#### PLANNING COMMISSIONERS

ALVIN DEJOHNETTE Chairperson

MATTHEW CHEN Vice Chairperson

JEFFREY SIMS Commissioner



OMAR COBIAN Commissioner

JOANN STEPHAN Commissioner

> RAY BAKER Commissioner

VACANT Commissioner

## PLANNING COMMISSION Regular Meeting

### Agenda

Thursday, February 9, 2023 at 6:00 PM City Hall Council Chamber – 14177 Frederick Street

**CALL TO ORDER** 

**ROLL CALL** 

PLEDGE OF ALLEGIANCE

### APPROVAL OF AGENDA

Approval of Agenda

### PUBLIC COMMENTS PROCEDURE

Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, members of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.

### **PUBLIC COMMENTS**

### **CONSENT CALENDAR**

All matters listed under Consent Calendar are considered to be routine and noncontroversial, and may be enacted by one roll call vote. There will be no discussion of these items unless a member of the Planning Commission requests that an item be removed for separate action

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the ADA Coordinator, at 951.413.3350 at least 72 hours before the meeting. The 72 hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

### NON-PUBLIC HEARING ITEMS

1. GENERAL PLAN ANNUAL PROGRESS REPORT AS REQUIRED BY GOVERNMENT CODE 65400

Case:	PEN23-0006		
Applicant:	City of Moreno Valley		
Property Owner:	City of Moreno Valley		
Representative:	Community Development Department		
Location:	Citywide		
Case Planner:	Claudia Manrique		
Council District:	All		
Proposal:	Annual Progress Report as Required by Government Code 65400		

### PUBLIC HEARING ITEMS

2.	Case:	PEN22-0172 - Plot Plan
	Applicant/Owner:	MCA Stoneridge
	Representative	Jacqueline Yanez
	Project Site:	Northeast Corner of Eucalyptus Avenue and Fir Avenue (APN: 488-400-024)
	Case Planner:	Ayida Smith
	Council District:	3
	Proposed Project:	To construct a 5,400 S.F. express car wash at the northeast corner of Eucalyptus Avenue and Fir Avenue in the existing Stoneridge Town Center.

### **OTHER COMMISSION BUSINESS**

No items for discussion.

### STAFF COMMENTS

### PLANNING COMMISSIONER COMMENTS

### ADJOURNMENT

Planning Commission Regular Meeting Thursday, February 23 at 6:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.



### PLANNING COMMISSION

**STAFF REPORT** 

Meeting Date: February 9, 2023

GENERAL PLAN ANNUAL PROGRESS REPORT AS REQUIRED BY GOVERNMENT CODE 65400

Case: PEN23-0006

Applicant: City of Moreno Valley

Property Owner: City of Moreno Valley

Representative: Community Development Department

Location: Citywide

Case Planner: Claudia Manrique

Council District: All

Proposal: Annual Progress Report as Required by Government Code 65400

### **SUMMARY**

The City is required by State law (Government Code Section 65400) to prepare an annual progress report on the status of the City's General Plan and its implementation ("Annual Report"). The Annual Report must be submitted to the Governor's Office of Planning and Research (OPR) and the California Department of Housing and Community Development (HCD). The Annual Report must be presented to the City Council for its review and acceptance before it is submitted to the above-referenced state agencies.

### BACKGROUND

Under State law, the City is required to adopt and maintain a comprehensive, long-term General Plan for its physical development including consideration of any land located outside its boundaries that bears a relationship to its planning activities. The General Plan is at the top of the hierarchy of the City's land use regulations, zoning, and other

Page 1

land use decisions must conform to the General Plan. In essence, the City's General Plan serves as the blueprint for future growth and development. As a blueprint for the future, the General Plan contains goals, objectives, policies, and programs designed to provide decision-makers with information and a basis for all land use related decisions.

The General Plan must contain the following eight mandatory elements: (1) Land Use Element; (2) Circulation Element; (3) Housing Element; (4) Conservation Element; (5) Open Space Element; (6) Noise Element; (7) Environmental Justice and (8) Safety Element.

### Land Use Element

The Land Use Element must designate the proposed general distribution, location, and extent of land uses for housing; business; industry; open space, including agriculture, natural resources, recreation, and enjoyment of scenic beauty; education; public buildings and grounds; waste disposal facilities; and other categories of public and private uses.

### **Circulation Element**

The Circulation Element must identify the general location and extent of existing and proposed major thoroughfares, transportation routes, terminals, military airports and ports, and other local public utilities and facilities.

### **Housing Element**

The Housing Element must identify and analyze existing and projected housing needs and establish goals, policies, quantified objectives, financial resources, and scheduled programs for the preservation, improvement, and development of housing.

### **Conservation Element**

The Conservation Element must address the identification, conservation, development, and use of natural resources.

### **Open Space Element**

The Open Space Element details comprehensive and long-range plans and measures for (1) preserving open space for natural resources, (2) managing the production of resources, (3) outdoor recreation, (4) public health and safety, (5) military installations, and (6) Native American places, features, and objects.

### **Noise Element**

The Noise Element considers potential noise problems in the community.

### **Environmental Justice Element**

The Environmental Justice Element must identify objectives and policies to reduce the unique or compounded health risks in disadvantaged communities by means that include, but are not limited to, the reduction of pollution exposure, including the improvement of air quality, and the promotion of public facilities, food access, safe and sanitary homes, and physical activity.

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### **Safety Element**

The Safety Element addresses risk associated with seismic, geologic, flood, and wildfire hazards. Known seismic and other geologic hazards must be mapped, and emergency evacuation routes, firefighting water supply, and similar emergency issues must be addressed.

### **City's General Plan**

The City's MoVal 2040 General Plan, approved by City Council on June 15, 2021, incorporates all required elements summarized above. The following is a summary of the current adoption status of the different required elements of the General Plan:

- Land Use and Community Character (2021)
- Economic Development (2021)
- Circulation (2021)
- Parks and Public Services (2021)
- Safety (2021)
- Noise (2021)
- Environmental Justice (2021)
- Healthy Community (2021)
- Open Space and Resource Conservation (2021)
- Housing Element (6<sup>th</sup> Cycle (2021-2029) certified by HCD on October 11, 2022)

### ANNUAL REPORT CONTENTS

The 2022 General Plan Annual Progress Report summarizes the City's progress toward implementing the goals, policies, and programs of the General Plan. It covers the period of January 1, 2022 through December 31, 2022. The Annual Report includes a report of all General Plan amendments approved by the Planning Commission and City Council in 2022. Three (3) General Plan Amendments, and two (2) additional Municipal Code Amendments were approved during the annual reporting period.

### General Plan and Municipal Code Amendments

The General Plan and Municipal Code Amendments that were approved during the reporting period are as followed:

Project Number	Action	Description	Location
PEN21-0073	Commission recommended approval. January 4, 2022 – City Council approval with the second reading of the zoning	Winter Omnibus – amending Sections 9.02.200, 9.02.230, 9.03.040, 9.03.050, 9.05.040, 9.07.080, 9.08.150, 9.08.260, 9.08.270, 9.08.280, 9.09.130, 9.11.040, 9.14.050, 9.15.030, 9.16.150, and 9.17.040 to Title 9 of the City of Moreno Valley Municipal Code to provide updates that comply with State requirements related to housing and housing production, streamline Code requirements to provide flexibility and clarity regarding existing requirements, and to streamline certain processes, and provide for other minor clarifications and clean-up items.	

Project	Action	Description	Location
Number			
PEN21-0113	Commission recommended approval. January 18, 2022– City Council approval with the second reading of the zoning ordinance on February 1, 2022	use designation of the Project site from Public	East side of Indian Street, north of Cottonwood Avenue
PEN20-0119	August 26, 2021 – Planning Commission recommended approval. January 18, 2022– City Council approval with the second reading of the zoning	Compass Danbe – A General Plan Amendment changing the land use designation of the Project site from Commercial (C) to Business Park/Light Industrial, a Change of Zone from Community	South side of Alessandro Boulevard west of Frederick Street and east of Graham Street
PEN22-0087		Spring Omnibus - amending Tables 9.02.020-1 and 9.02.020-2, and Sections 9.02.140, 9.02.320, 9.09.300, 9.09.310, 9.13.040, 9.13.080, 9.14.240, and 9.16.150 of Title 9 of the City of Moreno Valley Municipal Code to provide updates that comply with State requirements related to compliance with new State Law and Housing and Community Development (HCD) requirements, streamline Code requirements to provide flexibility and clarity regarding existing requirements and to streamline certain processes, and provide for other minor clarifications and clean-up items.	Citywide
PEN20-0162		Moreno Valley Business Center – A Plot Plan application for a light industrial warehouse building (164,187 sq. ft.).	NEC of Alessandro Boulevard and Day Street.

### Housing

The California Department of Housing and Community Development (HCD) requires the reporting of development activity related to Housing Element implementation on specific State reporting forms. The method of reporting Housing Element implementation is established by HCD with the purpose of tracking overall housing production in a community, as well as, more specifically, the City's progress towards meeting its Regional Housing Needs Allocation (RHNA). The City's Housing Element Implementation Progress Report is included as Exhibit A to the Annual Report (Attachment 1).

In summary, 279 new residential permits were issued in 2022, including 51 multiple family (apartment) units and 228 single-family dwelling (SFD) units. As the Cycle 6 Planning Period started on October 15, 2021, permitted units from both the Projection Period (June 30, 2021-October 14, 2021) and October 15, 2021 through December 31,

2021 count towards meeting Cycle 6's RHNA allocation. The City's progress in meeting its Year 2021-2029 RHNA goals is summarized in the table below.

	Table 1 City of Moreno Valley Cycle 6 RHNA Progress					
Income Level	2021- 2029 RHNA (# units)	Projection Period (6/30/21- 10/14/21)	2021 Units (10/15/21-12/31/21)	New Units 2022	Total Units to Date	Remaining RHNA Need (Cycle 6)
Very Low	3,779			0		3,779
Low	2,051			0		2,051
Moderate	2165	11	4	51	66	2,099
Above- Moderate	5,632	38	27	228	293	5,339
Total	13,627	49	31	279	359	13,268

### **ACCOMPLISHMENTS IN 2022**

The purpose of the Annual Report is to highlight significant accomplishments and summarize ongoing General Plan projects that the City has been working on since January 2022. Major accomplishments include key projects that demonstrate how the City is implementing the policy and realizing the vision of the General Plan.

Highlighted below are some of the items from the Annual Report.

### **Community Development Department (Planning)**

- Five (5) General Plan related projects reviewed and approved by City Council.
- Twenty-two (22) major projects reviewed and approved by the Planning Commission.

### Public Works

- Citywide Pavement Rehabilitation Program for Arterials and Collectors FY 2021/22 to FY 2025/26 (construction started in August 2022)
- Cottonwood Golf Center, Moreno Valley Community Park, March Field Park, and Pedrorena Park Parking Lot Pavement Rehabilitation (Design completed December 2022)
- Juan Bautista De Anza Multi-Use Improvement Trail ATP 2 and Trail Gap Closure ATP 3 (construction of both sections completed in 2022)
- SR 60-Moreno Beach Interchange project (construction ongoing)
- Public Improvements secured through bonds, etc.: \$20,746,000

### Moreno Valley Utility (MVU)

Accomplishments for energy efficiency in 2022 include the following:

- Completed the Eucalyptus Line Extension Project consisting of the installation of electrical infrastructure improvements allowing for service to commercial properties along Eucalyptus Ave and Memorial Way.
- Approved the installation of 490 residential solar systems totaling 2.05 MW

### Parks & Community Services

- Grand Opening and Dedication of the new Santiago Park, Moreno Valley's 33rd park, on March 23, 2022
- Kicked off the development of a NEW Parks, Community Services & Trails Master Plan I December 2022. The new plan will be completed in November 2023.
- Grand Opening of the new Demonstration Garden (January 10, 2022) and began hosting programs including workshops, open houses, seminars, and more.
- Hundreds of residents of all ages attended the quarterly Beautify MoVal Community Days of Service, which furthered the beautification of parks throughout the City.
- The Moreno Valley Public Library received a Library Technology Services Act (LSTA) grant via the State Library to offer Our MoVal Stories family digitization and preservation services, using professional-grade scanning, photo/videography, and audio recording equipment.

### **Financial and Management Services Department**

- Expanded free public internet access through the Wi-Fi Gardens to Box Springs, Community Park, Sunnymead Park, Adrienne Mitchell Park, and Patriot Park
- Moreno Valley GIS updated the public and internal map viewer websites to correspond with MoVal 2040 as well as created a new zoning atlas.
- Assisted 4,141 households with Fair Housing Services
- Provided 8 homes with energy efficient solar systems
- Street improvements and ADA improvements funded by HUD's Community Development Block Grant (CDBG) Program completed in 2021/22 benefited cumulatively 20,155 low-moderate income persons

In conclusion, the General Plan Annual Report satisfies the State-mandated annual report on the implementation status of Moreno Valley's General Plan. The actions, plans, programs, and projects documented in the Annual Report represent the City's commitment to achieving the goals and objectives set forth in the State required mandated General Plan Elements.

### **ENVIRONMENTAL**

In accordance with the California Environmental Quality Act (CEQA) and the State CEQA Guidelines, it has been determined that this item does not constitute a "Project" under CEQA in that it does not involve any discretionary action that has the potential to cause a direct or reasonably foreseeable indirect physical change in the environment, but rather it is a ministerial annual "reporting" duty the City must perform under State law.

### **NOTIFICATION**

No public notification other than accomplished with the routine posting of the meeting agenda is required for this City Council item.

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### STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2023-03 recommending that the City Council find and conclude that the January 2022 to December 2022 General Plan Annual Report is consistent with the requirements of Government Code Section 65400 and direct staff to submit the Annual Report to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2023.

Prepared by: Claudia Manrique Associate Planner Approved by: Sean P Kelleher Planning Division Manager

### ATTACHMENTS

To view large attachments, please click your "bookmarks" on the left hand side of this document for the necessary attachment.

- 1. Resolution 2023-03 2022 General Plan Annual Report
- 2. Exhibit A to Resolution No. 2023-03 2022 General Plan Annual Report

1.a

### **RESOLUTION NO. 2023-03**

### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY RECOMMENDING THAT THE CITY COUNCIL APPROVE THE 2022 GENERAL PLAN ANNUAL PROGRESS REPORT FOR SUBMISSION TO THE GOVERNOR'S OFFICE OF PLANNING AND RESEARCH (OPR) AND DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT (HCD)

WHEREAS, under California law, the City is required to adopt and maintain a comprehensive, long-term General Plan for its physical development including consideration of any land located outside its boundaries which bears a relationship to its planning activities; and

**WHEREAS**, the General Plan is at the top of the hierarchy of the City's land use regulations; zoning and other land use decisions must conform to the General Plan; and

**WHEREAS**, the City's General Plan serves as the blueprint for future growth and development and contains goals, objectives, policies and programs designed to provide decision makers with information and a basis for all land use related decisions; and

WHEREAS, pursuant to state law, the General Plan must contain the following eight mandatory elements: (1) Land Use Element; (2) Circulation Element; (3) Housing Element; (4) Conservation Element; (5) Open Space Element; (6) Noise Element; (7) Environmental Justice and (8) Safety Element; and

**WHEREAS**, the City has the option of including additional elements in its General Plan as well; and

**WHEREAS**, the City of Moreno Valley's current General Plan was adopted on June 15, 2021; and

**WHEREAS**, the City's adopted General Plan incorporates all of the required elements, and also Economic Development and Healthy Community Elements as follows:

- Land Use and Community Character
- Economic Development
- Circulation
- Parks and Public Services
- Safety
- Noise
- Environmental Justice
- Healthy Community
- Open Space and Resource Conservation
- Housing Element; and

Page 1 Resolution No. 2023-03 Date Approved:

1.a

**WHEREAS**, pursuant to Government Code Section 65400, the City is required to prepare an annual progress report on the status of the City's General Plan and its implementation ("Annual Report"); and

**WHEREAS**, the Annual Report must be submitted to the Governor's Office of Planning and Research (OPR) and the California Department of Housing and Community Development (HCD), on or before April 1, 2023; and

**WHEREAS**, the Annual Report must be presented to the City Council for review and acceptance before it is submitted to the above-referenced state agencies; and

WHEREAS, OPR suggests that the Annual Report contain the following: (1) measures associated with the implementation of the General Plan with specific reference to individual elements; (2) the degree to which the General Plan complies with OPR's General Plan Guidelines; (3) the date of the last update to the General Plan; (4) priorities for land use decision making that have been established by the City Council such as the passage of moratoria or emergency ordinances; (5) goals, policies, objectives, standards or other plan proposals that need to be added or were deleted, amended, or otherwise adjusted; (6) references to the status of any specific General Plan element or policy with a brief comment on how each advanced the implementation of the General Plan during the past year; (7) planning activities initiated such as master plans, specific plans, master environmental assessments, annexation studies, and other studies or plans; (8) General Plan amendments; and (9) major development applications processed; and

**WHEREAS**, the City is required to submit a Housing Element Annual Progress Report to the Department of Housing and Community Development (HCD) using forms prescribed by HCD; and

**WHEREAS,** the City's Strategic Plan (Momentum MoVal), adopted on August 16, 2016, included Initiative 1.9.1 which provided guidance on the preparation of a General Plan Annual Report.

## NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

### Section 1. Recitals and Exhibits

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

### Section 2. Evidence

That the Planning Commission has considered all of the evidence submitted into the administrative record for the 2022 General Plan Annual Progress Report (PEN23-0006), including, but not limited to, the following:

- a. Moreno Valley General Plan and all other relevant provisions contained therein;
- b. The 2022 General Plan Annual Progress Report, attached as Exhibit 1;
- c. Housing Element APR reporting requirements, which each jurisdiction is

Page 2 Resolution No. 2023-03 Date Approved: required to report certain housing information in accordance with state housing law (refer to Government Code Sections 65400, 65583 and 65584), attached as Appendix A to Exhibit 1;

- d. The City's General Plan Goals, Policies, and Actions updated as part of MoVal 2040, attached as Appendix B to Exhibit 1;
- e. Staff Report prepared for the Planning Commission's consideration and all documents, records, and references related thereto, and Staff's presentation at the February 9, 2023 Planning Commission hearing.

### Section 3. Findings

That based on the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission finds that the General Plan Annual Progress Report has been prepared for 2022 and is consistent with the guidelines from the Governor's Office of Planning and Research (OPR) and the California Department of Housing and Community Development (HCD).

### Section 4. CEQA Analysis

That in accordance with the California Environmental Quality Act (CEQA) and the State CEQA Guidelines, it has been determined that this item does not constitute a "Project" under CEQA in that it does not involve any discretionary action that has the potential to cause a direct or reasonably foreseeable indirect physical change in the environment, but rather it is a ministerial annual "reporting" duty the City must perform under State law.

### <u>Section 5</u>. Recommendation

That the City Council approve the 2022 General Plan Annual Progress Report for submission to the Governor's Office of Planning and Research (OPR) and Department of Housing and Community Development (HCD) on or before April 1, 2023.

### <u>Section 6</u>. Repeal of Conflicting Provisions

That all the provisions heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution, are hereby repealed.

### <u>Section 7</u>. Severability

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

### Section 8. Effective Date

That this Resolution shall take effect immediately upon its adoption.

### Section 9. Certification

That the Secretary of the Planning Commission shall certify to the passage of this Resolution.

PASSED AND ADOPTED THIS 9<sup>th</sup> day of February 2023.

CITY OF MORENO VALLEY PLANNING COMMISSION

Alvin DeJohnette, Chairperson

ATTEST:

Sean Kelleher, Planning Official

APPROVED AS TO FORM:

Steven B. Quintanilla, Interim City Attorney

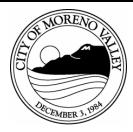
Exhibits: Exhibit A: 2022 General Plan Annual Report

> Page 4 Resolution No. 2023-03 Date Approved:

### 1.a

### Exhibit A

### 2022 General Plan Annual Report



### CITY OF MORENO VALLEY

Community Development Department Planning Division

# GENERAL PLAN ANNUAL PROGRESS REPORT

## **JANUARY 1, 2022 – DECEMBER 31, 2022**

## **TABLE OF CONTENTS**

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### ATTACHMENT

1. Appendix A - 2022 Housing Element Annual Progress Report Table

## ACKNOWLEDGEMENTS

CITY COUNCIL (Elected)	DISTRICT
Ulises Cabrera, Mayor	CITYWIDE MAYOR
Elena Baca-Santa Cruz	1
Edward A. Delgado	2
David Marquez	3
Cheylynda Barnard	4

### PLANNING COMMISSION (Appointed)

Alvin DeJohnette, Chairperson Jeffrey D. Sims, Vice Chair Matthew Chen JoAnn Stephan Omar Cobian Ray Baker

### TERM EXPIRES

November 2024 November 2024 November 2026 November 2024 November 2026

### TERM EXPIRES

June 30, 2025 March 31, 2023 March 31, 2025 June 30, 2025 June 30, 2025 June 30, 2025

### **CITY MANAGER**

Mike Lee, City Manager / Economic Development Director

### ASSISTANT CITY MANAGER

Michael Lloyd, Assistant City Manager (Development) Brian Mohan, Assistant City Manager / Chief Financial Officer / City Treasurer

### COMMUNITY DEVELOPMENT DEPARTMENT

Manuel A. Mancha, Community Development Director

### **Planning Division**

Sean Kelleher, Planning Official Julia Descoteaux, Senior Planner Claudia Manrique-Miklusek, Associate Planner Danielle Harper-Scott, Associate Planner Gabriel Diaz, Associate Planner Ayida Smith, Assistant Planner Grace Espino-Salcedo, Senior Permit Technician Summer Woodend, Permit Technician Dijen Patel, Permit Technician Rachel Ramirez, Senior Administrative Assistant Patty Castreje, Administrative Assistant

1.b

## **ANNUAL REPORT SUMMARY**

### BACKGROUND

On December 3, 1984, the City of Moreno Valley was incorporated as a general law city led by a City Council-Manager form of government. At the time of incorporation, the City of Moreno Valley consisted of 42 square miles and a population of 49,702 people. As of January 2023, the City includes 51.56 square miles with a population of 217,197 people.

The City adopted its first General Plan in 1988. The General Plan was amended and updated on July 11, 2006. The City began the process for a comprehensive General Plan update in November 2019 and was completed on June 15, 2021. The updated General Plan (MoVal 2040) recognizes the community's diverse population, distinct residential neighborhoods, neighborhood and regional commercial activities, industrial potential, and recreational amenities. MoVal 2040 comprehensively updated all the programs and policies in General Plan as well as added new Elements (Economic Development, Environmental Justice, and Healthy Community).

This document constitutes an annual report to the Planning Commission and City Council as required by state law on the updates of programs and policies in the General Plan. The document includes major projects, General Plan amendments, a status report of goal objectives, policies and programs of the current General Plan, and a Housing Program Status Report. This Annual Report includes projects and information from January 1, 2022 through and up to December 31, 2022.

The following is a summary of the current adoption status of the different required elements of the General Plan:

- Land Use and Community Character (2021)
- Economic Development (2021)
- Circulation (2021)
- Parks and Public Services (2021)
- Safety (2021)
- Noise (2021)
- Environmental Justice (2021)
- Healthy Community (2021)
- Open Space and Resource Conservation (2021)
- Housing Element (6<sup>th</sup> Cycle (2021-2029) certified by HCD on October 11, 2022)

### **ANALYSIS**

### **Government Code Section 65400**

California Governments Code Section 65400 requires that an annual report be made to the legislative body of the submitting jurisdiction on the status of the General Plan and progress towards its implementation prior to submittal to the Office of Planning & Research and Department of Housing and Community Development. The report must also include activity that addresses the City's share of regional housing needs. State law requires the following:

- A) A General Plan Annual Report shall be provided by April of each year to the City Council, the Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD); and
- B) A status of the General Plan and progress in its implementation shall be provided in the General Plan Annual Report; and
- C) Progress in meeting its share of the regional housing needs pursuant to Section 65584 of the Government Code shall be provided in the General Plan Annual Report.

### **Annual Review and Housing Program Summary Report**

Pursuant to State Law, the Annual Report and Review of the City of Moreno Valley General Plan reports the progress in implementing the General Plan to the City Council. The City of Moreno Valley's Annual Report includes the following items:

- 1. A list of Accomplishments from January 2022 through December 2022
- 2. A list of General Plan Amendments from January 2022 through December 2022
- Appendix A Housing Element Implementation Progress Report includes the City's progress made in meeting its share of regional housing needs pursuant to State Government Code Section 65584.
- 4. Appendix B MoVal 2040 General Plan complete list of goals, policies, objectives and programs towards implementing the City's blueprint for land use development, which was approved on June 15, 2021.

### Housing Element Progress

State law requires that each jurisdiction in California include a Housing Element in its General Plan that establishes specific actions, objectives, and timelines for meeting its State mandated Regional Housing Needs Assessment (RHNA) for each income level. The RHNA is provided to jurisdictions in eight-year cycles. The current cycle is Cycle 6, which covers the time period of 2021 through 2029.

Attachment: Exhibit A to Resolution No. 2023-03 - 2022 General Plan Annual Report [Revision 1] (6101 : General Plan Annual Progress Report)

Every year the City prepares an annual Housing Element Progress Report (Appendix A) that it submits to the California Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR) by April 1st. Shown in Table 1 is the City's progress in meeting its RHNA.

	Table 1           City of Moreno Valley Cycle 6 RHNA Progress					
Income Level	2021- 2029 RHNA (# units)	Projection Period (6/30/21-10/14/21)	2021 Units (10/15/21-12/31/21)	New Units 2022	Total Units to Date	Remaining RHNA Need (Cycle 6)
Very Low	3,779			0		3,779
Low	2,051			0		2,051
Moderate	2165	11	4	51	66	2,099
Above- Moderate	5,632	38	27	228	293	5,339
Total	13,627	49	31	279	359	13,268

As the Cycle 6 Planning Period started on October 15, 2021, permitted units from both the Projection Period (June 30, 2021-October 14, 2021) and October 15, 2021 through December 31, 2021 count towards meeting Cycle 6's RHNA allocation.

The 2022 Housing Element Annual Report also includes required data on the number of applications submitted to the City for the production of housing units, the number of applications that were approved by the Planning Commission or City Council, and the number of building permits that were issued. The intention is to monitor whether cities are limiting housing production through their approval processes by comparing the number of housing units applied for to the number that are actually constructed. The City of Moreno Valley encourages the production of new housing in the City and has a record of approving all applications that meet City standards. Table 2, taken from Table A of the 2022 Housing Element Annual Report, shows that 2,364 housing units were proposed in the applications received by the City in 2022.

Table 2           2022 Submitted Housing Entitlement Applications Summary			
Total Housing Applications Submitted	53		
Number of Proposed Units in All Applications Received	2,364		
Total Housing Units Approved	960		
Total Housing Units Disapproved	0		
Total Housing Units in Review	1,404		

### Moreno Valley General Plan – Goals, Objectives, Policies, and Programs

Appendix B evaluates MoVal 2040 General Plan goals and policies in a comprehensive document providing the goal/policy number, a description of each goal and policy, a discussion on implementation status, and the party responsible for carrying out each item.

1.b

- A goal is defined as a broad vision of what the community wants to achieve or provide to residents, landowners, and business owners. It is a statement of a desired condition based on community values. Goals are general in nature and usually timeless.
- A policy is a specific statement that guides decision-making. It indicates a commitment of the City to a particular course of action. A policy is based on and assists to implement the goal.

The General Plan Annual Report also summarizes the objectives leading up to the goal/policy as well as an update on existing programs.

### **General Plan Update**

The State Office of Planning and Research (OPR) recommends that cities update their General Plan every ten (10) years. The City of Moreno Valley completed its MoVal 2040 General Plan update on June 15, 2021.

### Strategic Plan

Momentum MoVal, the City of Moreno Valley's Strategic Plan, represents the results of active engagement by Moreno Valley residents and the City Council in charting the community's course into the future. Adopted on August 16, 2016, the document provides a course of action for the City's next comprehensive General Plan update. This includes Objective 1.9 to "Ensure the City's General Plan articulates the vision of how Moreno Valley wants to evolve over time, and provides an orderly and predictable process through which this vision is developed and implemented, including new attention to economic development, sustainability, public health, and innovation."

Initiatives included in the City's Strategic Plan articulate a plan of action for the completion of the comprehensive General Plan update. These include Initiative 1.9.3, which "includes consideration of incremental set aside of funding in the annual budget development in anticipation of future General Plan update and Initiative 1.9.4, which calls for "conducting the comprehensive update of the City's General Plan and supporting environmental document, including all mandatory elements (including the Housing Element (Cycle 6), which was certified by HCD on October 11, 2022). The comprehensive General Plan update (MoVal 2040) was approved on June 15, 2021. A Climate Action Plan was also developed.

### Assembly Bill 168 – Tribal Consultation

Governor Newsom signed AB 168 into law on September 25, 2020. AB 168 closes the loophole created by SB 35 that allowed developers to gain fast-tracked approval of housing projects at locations with known tribal cultural resources, without being subject to CEQA environmental review or tribal consultation.

AB 168 also states that annual reports on the status of a City's general plan must now include information on the progress of the city in adopting or amending its general plan in compliance with its obligations to consult with California Native American tribes. In addition, local government agencies must provide formal notice to California Native American tribes affiliated with geographic areas proposed for development.

MoVal 2040, and amendments thereto, have complied with its obligations to consult with California Native American tribes, and to identify and protect, preserve, and mitigate impacts to places, features, and objects described in Sections 5097.9 and 5097.993 of the Public Resources Code, pursuant to Chapter 905 of the Statutes of 2004. California Native American Heritage Commission as well as all Tribal agencies on the City of Moreno Valley's consultation list received notification of the comprehensive General Plan Update on April 21, 2020 via certified US mail.

### Adopted General Plan Amendments in 2022

The General Plan and Development Code provides the City of Moreno Valley with the tools necessary to guide the development of the City. The updated General Plan, MoVal 2040, will provide direction for the City for decades to come. Implementation of the General Plan includes key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the Plan.

State law allows the General Plan to be amended four times annually. This allows the General Plan to remain a current document responsive to the community's needs. Requests for amendments may be submitted by individuals or initiated by the City.

The following General Plan related projects reviewed and approved in January 2022 through December 2022 are as follows:

Project Action	Description	Location
Number		
PEN21-0073 December 9, 2021 Planning Commissi recommended approval. January 4 2022 – City Counci approval with the second reading of t zoning ordinance o January 18, 2022	on 9.02.200, 9.02.230, 9.03.040, 9.03.050, 9.05.040, 9.07.080, 9.08.150, 9.08.260, 9.08.270, 9.08.280, 9.09.130, 9.11.040, 9.14.050, 9.15.030, 9.16.150, and 9.17.040 to Title 9 of the City of Moreno he Valley Municipal Code to provide updates	

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PEN21-0113 PEN21-0114	zoning ordinance on February 1, 2022	The Courtyards at Cottonwood (Phase II) – A General Plan Amendment changing the land use designation of the Project site from Public (P) to Residential 15 (R15), a Change of Zone from Public (P) to Residential 15 (R15), and Plot Plan for thirty-two affordable multiple-family apartment units.	Indian Street, north of Cottonwood Avenue
PEN20-0119 PEN20-0120 PEN20-0121 PEN20-0124	August 26, 2021 – Planning Commission recommended approval. January 18, 2022– City Council approval with the second reading of the zoning ordinance on February 1, 2022	designation of the Project site from Commercial (C) to Business Park/Light Industrial, a Change of Zone from Community Commercial District (CC) to Light Industrial (LI), a Tentative Parcel Map for two parcels, and Plot Plans for two industrial buildings (290,726 sq. ft. and 98,877 sq. ft.).	Alessandro Boulevard west of Frederick Street and east of Graham Street
	June 21, 2022 – City Council approval with the second reading of the zoning ordinance on July 5, 2022	Spring Omnibus - amending Tables 9.02.020-1 and 9.02.020-2, and Sections 9.02.140, 9.02.320, 9.09.300, 9.09.310, 9.13.040, 9.13.080, 9.14.240, and 9.16.150 of Title 9 of the City of Moreno Valley Municipal Code to provide updates that comply with State requirements related to compliance with new State Law and Housing and Community Development (HCD) requirements, streamline Code requirements to provide flexibility and clarity regarding existing requirements and to streamline certain processes, and provide for other minor clarifications and clean-up items.	
		Moreno Valley Business Center – A Plot Plan application for a light industrial warehouse building (164,187 sq. ft.).	

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The City of Moreno Valley General Plan (MoVal 2040) continues to serve as an effective guide for orderly growth and development, preservation, and conservation of open space and natural resources. The document also provides for the efficient expenditure of public funds.

The City of Moreno Valley's legislative bodies will use MoVal 2040 as a primary source of long-range planning and policy direction. MoVal 2040 will guide future growth and preserve the quality of life within the community through the next planning period.

## MAJOR MILESTONES AND PROJECTS

The City of Moreno Valley is committed to implementing the adopted General Plan, Development Code and Design Guidelines. The Development Code and Design Guidelines, combined with the adopted Landscape Guidelines, are major tools to implement the General Plan.

The purpose of this Annual Report is to highlight significant accomplishments and summarize ongoing General Plan projects that the City of Moreno Valley has been working on since January of 2021. Major accomplishments include key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the General Plan. This report is prepared in accordance with Section 65040.5 of the California Government Code.

### Community Development Department - Planning

### General Plan Goals, Policies, and Actions

Policy LCC.1-1: Foster a balanced mix of employment, housing, educational, entertainment, and recreational uses throughout the city to support a complete community.

Policy LCC.1-2: Expand employment opportunities locally and provide sufficient lands for commercial, industrial, residential and public/quasi-public uses while ensuring that a high quality of life is maintained in Moreno Valley.

Policy LCC.1-6: Promote infill development along Alessandro, Sunnymead, and Perris to create mixed use corridors with a range of housing types at mid-to-high densities along their lengths and activity nodes at key intersections with retail/commercial uses to serve the daily needs of local residents.

Policy LCC.1-12: Balance levels of employment and housing within the community to provide more opportunities for Moreno Valley residents to work locally, cut commute times, and improve air quality.

Goal LCC-4: Expand the range of housing types in Moreno Valley and ensure a variety of options to suit the needs of people of all ages and income levels.

Policy LCC.4-1: Promote a range of residential densities throughout the community to encourage a mix of housing types in varying price ranges and rental rates.

Policy LCC.4-6: Cater to the needs of larger, multi-generational families by both promoting the development of 3 and 4-bedroom homes and by facilitating construction of accessory dwelling units.

### Major Development Projects in 2022

Major development projects reviewed and approved in January 2022 through December 2022 include:

Project Number	Action	Description	Location
	Commission		SWC of Iris Avenue and Perris Boulevard
PEN21-0311 PEN21-0136 PEN21-0311	Commission approval.	Tentative Tract Map (TTM 38123) to subdivide 33.57 gross acres into one hundred and seventy-seven (177) single-family lots and a Conditional Use Permit for a Planned Unit Development.	Boulevard and Lasselle Street
PEN18-0038	February 24, 2022		SWC of Hemlock Avenue and Redlands Boulevard
PEN21-0192	February 24, 2022	cannabis microbusiness (Moreno Valley-Fresh Farms,	SWC of Box Springs Road and Day Street, in the existing Canyon Springs Plaza
PEN21-0106 PEN21-0107 PEN21-0108 PEN21-0109 PEN21-0110	March 24, 2022		Eastside of Old 215 Frontage Road, south of Bay Avenue
PEN21-0206 PEN21-0300 PEN22-0006	April 14, 2022		SWC Perris Boulevard and Krameria Avenue

PEN21-0005			South side of Sunnymead Boulevard, east of Heacock Street
PEN21-0043 PEN21-0044 PEN21-0045		for Cottonwood Residential	Northside of Cottonwood Avenue, east of Perris Boulevard
PEN21-0254			North side of Sunnymead Boulevard, east of Heacock Street
PEN21-0149		the operation of a Commercial	NEC of Sunnymead Boulevard and Frederick Street
PEN21-0249	<b>,</b> ,	the operation of a Commercial Cannabis Dispensary (Element	South side of Sunnymead Boulevard, west of Indian Street, in the existing Sundance Plaza
PEN22-0063	<b>,</b> ,	•	NWC of Iris Avenue and Lasselle Street, in the existing Lakeside Plaza
PEN22-0037		Conditional Use Permit for the operation of a Commercial Cannabis Dispensary (Shango Alessandro).	SWC of Alessandro Boulevard and Indian Street
PEN22-0091 PEN21-0184		Conditional Use Permit for a Planned Unit Development and Tentative Tract Map 38236 for 204 single-family residential lots in the Downtown Center (DC) District (DR Horton).	

	September 22, 2022	Conditional Use Permit for a	Northside of Alessandro
PEN21-0291		Single-Family Residential Planned Unit Development and Tentative Tract Map 38625 for 225 single-family residential lots in the Downtown Center (DC) District (Pacifica).	
PEN22-0071 PEN22-0072	,	Plot Plan and Conditional Use Permit for a 4-story hotel with 93 suites within the Towngate Specific Plan (SP 200).	Northside of Eucalyptus Avenue, east of Day Street , in the existing Towngate Square Center
PEN22-0106	October 27, 2022	Conditional Use Permit for the construction of a new wireless cell site facility, including a 65- foot-tall monopine tower at the Palm Canyon Community Church (25550 Ironwood Avenue).	NEC of Ironwood Avenue and Kitching Street
PEN22-0103	November 17, 2022	Conditional Use Permit for a smoke shop within an existing tenant space.	NWC of Perris Boulevard and Atwood Avenue, in the existing Zono's Plaza
PEN22-0022	December 8, 2022	Plot Plan for a 192-unit apartment complex (Crystal Cove).	SWC of Alessandro Boulevard and Lasselle Street
PEN22-0056	December 8, 2022	Tentative Tract Map 38363 to subdivide 1.79 acres into 8 single-family lots.	NEC of Indian Street and Angella Way
PEN21-0215 PEN21-0216	December 8, 2022	Tentative Tract Map 38064, which consolidates seven parcels into five parcels, and a Plot Plan for a 426-unit apartment complex.	NEC of Iris Avenue and Emma Lane, west of Perris Boulevard
PEN21-0174	December 22, 2022	Conditional Use Permit for the operation of a cannabis microbusiness within an existing building at 24595 Alessandro Boulevard.	SEC of Alessandro Boulevard and Indian Street, in the existing Sunnymead Village Center

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### Administratively Approved Housing in 2022

Administratively approved residential development projects reviewed and approved in January 2022 through December 2022 are as follows:

Project Number	Action	Description	Location
	January 4, 2022	ADU/Garage Conversion	Cobble Creek Drive
PEN21-0186	January 4, 2022	ADU/Garage Conversion	Unity Street
PEN21-0178	January 14, 2022	ADU/Garage Conversion	Birchwood Drive
PEN21-0231	January 18, 2022	ADU - Garage Conversion	Palmwood Drive
PEN21-0226	March 15, 2022	ADU - Detached Garage Conversion	Atwood Avenue
PEN21-0309	March 22, 2022	ADU/Garage Conversion	Quartz Road
PEN21-0278	March 31, 2022	Junior ADU/Garage Conversion	Escondido Court
PEN21-0232	April 6, 2022	Attached Accessory Dwelling Unit (ADU)	Rimview Road
PEN21-0324	April 19, 2022	ADU/Garage Conversion	Kalmia Avenue
PEN22-0028	June 6, 2022	ADU/Garage Conversion	Blue Ribbon Lane
PEN21-0269	June 21, 2022	Accessory Dwelling Unit (ADU) – detached	Alpha Street
PEN21-0267	June 27, 2022	Accessory Dwelling Unit (ADU) – detached	Bay Avenue
PEN22-0007	July 14, 2022	Custom Home	Featherbrook Court
PEN21-0304	August 8, 2022	ADU/Garage Conversion	Dracaea Avenue
PEN21-0253	August 10, 2022	Custom Home	Atwood Avenue
PEN21-0296	August 10, 2022	Custom Home	Highland Boulevard

PEN21-0264	August 16, 2022	Custom Home (Duplex)	Elm Court
PEN21-0320	August 22, 2022	Accessory Dwelling Unit (ADU) – detached	Cayman Circle
PEN21-0247	August 24, 2022	ADU/Garage Conversion	Fir Avenue
PEN21-0315	August 24, 2022	Accessory Dwelling Unit (ADU) – detached	Quebrada Court
PEN21-0119	August 31, 2022	Accessory Dwelling Unit (ADU) – detached	Alba Way
PEN21-0182	October 3, 2022	Custom Home	Cottonwood Avenue
PEN21-0190	October 5, 2022	Custom Home	Kitching Street
PEN21-0306	October 24, 2022	Accessory Dwelling Unit (ADU) – detached	Anthony Place
PEN22-0067	November 18, 2022	Custom Home and Accessory Dwelling Unit (ADU) - detached	Myers Avenue

### **Technology Updates in 2022**

The City of Moreno Valley received funding under the Department of Housing and Community Development's SB 2 Planning Grants Program. With a City Team (SimpliCITY Team) including staff members from Planning, Building and Safety, Land Development, Fire Prevention, Parks and Community Services, Maintenance and Operations, Special Districts, Media and Technology Services, the first task completed under the SB2 grant was the City's new Digital Plan Room in April 2021.

The Digital Plan Room has reduced the amount of review time for plan checks by eliminating the need to deliver and return plans for each plan check. The City fully transitioned from 100% paper review to 100% electronic plan review overnight. These advances have earned the City's online services the distinction of being a truly reliable, always-open-never-closing, digital counter.

In 2022, the SimpliCITY Team worked to further improve the virtual counter experience. The development of an online guide for all applications will make day-to-day business, paying online fees, and searching records even easier. Further software upgrades were also made and went live on January 3, 2023.

The City's Digital Plan Room is accessible at <u>www.moval.org/simplicity</u>.

### Public Works

### **General Plan Goals, Objectives, Policies**

Policy C.1-1: Support regional infrastructure investments for all modes to relieve congestion and support healthy communities in the City of Moreno Valley.

Goal C-2: Plan, design, construct, and maintain a local transportation network that provides safe and efficient access throughout the City and optimizes travel by all modes.

Policy C.2-1: Design, plan, maintain, and operate streets using complete streets principles for all types of transportation projects including design, planning, construction, maintenance, and operations of new and existing streets and facilities. Encourage street connectivity that aims to create a comprehensive, integrated, connected network for all modes.

Policy C.3-D: Update ITS Master Plan to include latest technology and innovations, and continue investment to expand ITS and citywide camera system.

Policy PPS.4-5: Facilitate installation of advanced technology infrastructure, including, but not limited to, infrastructure for high-speed internet access and solar energy.

### **Major Projects and Activities**

### Capital Projects Division

- Phase 1 Citywide Pavement Rehabilitation Program for Arterials and Collectors FY21/22 to FY25/26 (Construction started August 2022)
- Phase 2 Citywide Pavement Rehabilitation Program for Arterials and Collectors FY25/26 to FY30/31 (Construction started December 2022)
- Phase 1 Citywide Pavement Rehabilitation Program for Local Streets FY21/22 to FY25/26 (Construction started in August 2022)
- Phase 2 Citywide Pavement Rehabilitation Program for Local Streets FY25/26 to FY30/31(Construction started in December 2022)
- Phase 1 Pavement Rehabilitation Program for Various Local Streets CDBG FY21/22 (Construction completed December 2022)
- Phase 2 Pavement Rehabilitation Program for Various Local Streets CDBG FY22/23 (Construction started December 2022)
- Juan Bautista De Anza Multi-Use Improvement Trail ATP 2 (Construction completed September 2022)
- Juan Bautista De Anza Trail Gap Closure ATP 3 (Construction completed December 2022)
- Juan Bautista De Anza Multi-Use Improvement Trail ATP 4 (Construction awarded December 2022)
- ADA Access Ramps Improvements FY 2021/22 (Construction completed September 2022)
- SR 60- Moreno Beach Interchange project (Construction ongoing)
- Corporate Yard Office Building F (Design started December 2022)
- Cottonwood Golf Center, Moreno Valley Community Park, March Field Park, and Pedrorena Park Parking Lot Pavement Rehabilitation (Design completed December 2022)

### Land Development Division

- Public Improvements Secured through bonds: \$20,746,000
- Private Development Reviews Completed: 2,871
- Private Development Inspections Conducted: 7,091
- Permits Issued: 632

### Maintenance & Operations

- Over 4,000 potholes were filled throughout Moreno Valley in 2022.
- Graffiti abatement crews responded to over 11,000 locations across Moreno Valley.
- Over 314 miles of roadway were striped throughout 2022, and over 18,000 miles of curbs were swept throughout the year.

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### Moreno Valley Utility (MVU)

Accomplishments for energy efficiency in 2022 include the following:

- Statistics for Energy Efficiency programs:
  - Completed 258 energy audits
  - Performed tune-ups on 1,302 tons of HVAC systems
  - Changed 309 AC system filters
  - $\circ$  Installed 347 smart thermostats
  - Provided 4,663 LED lamps to replace inefficient lighting
  - o Saved 3,907,952 kWh annually
- Completed the Eucalyptus Line Extension Project consisting of the installation of electrical infrastructure improvements allowing for service to commercial properties along Eucalyptus Ave and Memorial Way.
- Approved the installation of 490 residential solar systems totaling 2.05 MW

### PARKS & COMMUNITY SERVICES

### General Plan Goals, Objectives, Policies

Policy PPS.1-6 Prioritize the maintenance and, where feasible, improvement of parks and recreational facilities to ensure safe, attractive facilities that are responsive to community needs.

Policy PPS.1-7 Provide on-going opportunities for public involvement and input into the park planning process, including priorities for amenities, facilities, programming, and improvements.

Policy PPS.1-8 Continue to encourage existing volunteer, service club and community group efforts to maintain and improve parks, such as "Beautify MoVal."

Policy HC1-4: Support community education programs on healthy eating habits and lifestyles, including topics such as nutrition, physical activity, and vegetable gardening.

Policy PPS.2-5 Partner with public and private entities to provide community services that support families and meet the diverse needs of community members of all ages, backgrounds, and interests.

Actions HC.1-K: Increase public awareness of youth program opportunities in Moreno Valley. Efforts may include, but are not limited: to helping to create and maintain a central directory of youth programs serving Moreno Valley and the school district; ensuring the directory is available online, as well as through guidance counselors; and targeting increasing participation in existing programs and increasing subsidized program spots for low-income youth.

Policy E.4-3: Support efforts to enhance education, increase high school graduation rates, and improve workforce readiness.

Action E.4-C: Work with local colleges, school districts, and other education and training providers to develop and implement applicable training programs and identify joint opportunities to spur growth of new and emerging job clusters and promote entrepreneurialism.

Action E.4-D: Identify and market local life-long learning opportunities, including workstudy programs, internships, online learning, and expanded curriculum offerings, in collaboration with educational institutions, businesses, and non-profit organizations.

Action PPS.1-E: Work with Moreno Valley Unified School District and Val Verde Unified School District to expand shared use of parks and recreational facilities.

### **Major Projects and Activities**

### <u>Parks</u>

- The Civic Center Amphitheater and Park hosted many successful events over the past year including Moval Rocks Summer Concert Series, Moval Movies in the Park, 4<sup>th</sup> of July Celebration, El Grito, Day of the Dead and Snow Day.
- The Parks team conducted over 1,200 classes throughout 2022, and nearly 1,400 classes at the Senior Community Center.
- Hundreds of residents of all ages attended the quarterly Beautify MoVal Community Days of Service, which furthered the beautification of parks throughout the City.
- The City opened Santiago Park, Moreno Valley's 33rd park, on March 23, 2022.
- Opened the latest extension of the Juan Bautista de Anza Trail from El Potrero Park to Lake Perris (Section 3) on May 18, 2022.
- Grand Opening of the new Demonstration Garden (January 10, 2022) and began hosting programs including workshops, open houses, seminars, and more.
- Kicked off the development of a NEW Parks, Community Services & Trails Master Plan I December 2022. The new plan will be completed in November 2023.
- Parks broke ground on a NEW LED Sports Field Lighting Project at Victoriano Park. Lighting dedication is planned for Monday, January 30, 2023.
- The Moreno Valley City Council approved the \$6 million Parks Rehabilitation and Refurbishment Program, the largest single parks investment in the City's history. Under the plan, all 33 of Moreno Valley's parks will receive various upgrades.
- The City Council also approved a \$4.4 million expansion of the Moreno Valley Senior Center.

### Library

The Moreno Valley Public Library (MVPL) joined the California Library Literacy Services program, becoming eligible for ongoing funding for three fiscal years (2021/2022, 2022/2023, 2023/2024), to support Read MoVal/Talk MoVal adult literacy and family

literacy services. The Library introduced monthly Family Literacy Socials for families with children younger than 12 years old and Kinder Camp readiness programs for prereaders and their parents.

All public workstations in the Computer Lab and Children's area at the Main Library were replaced with new Dell Optiplex All-in-One computers. Decommissioned public workstations from the Main Library were transferred to the Riverside County Community Action Partnership for free refurbishment and placement in eligible households in Moreno Valley.

MVPL received a Library Technology Services Act (LSTA) grant via the State Library to offer Our MoVal Stories family digitization and preservation services, using professional-grade scanning, photo/videography, and audio recording equipment.

For Earth Day, MVPL collaborated with Parks & Community Services and the non-profit Neighborhood Forest organization to distribute 345 trees to children and their families for planting.

The State Library awarded MVPL a 2022 Lunch at the Library grant, with Moreno Valley Friends of the Library as fiscal sponsor, to enhance library summer reading programs at the Main Library where Moreno Valley Unified School District (MVUSD) served free meals to children and to bring pop-up libraries to Celebration Park where MVUSD served summer meals and to Bethune Park where Val Verde Unified School District (VVUSD) served summer meals.

The Iris Plaza Library Branch introduced weekly *Game On!* sessions for teens and young adults at its location, which provides opportunities for local high school students from both school districts to practice and engage in friendly eSports competitions.

### FINANCIAL & MANAGEMENT SERVICES DEPARTMENT

### **General Plan Goals, Objectives, Policies**

Policy PPS.4-5: Facilitate installation of advanced technology infrastructure, including, but not limited to, infrastructure for high-speed internet access and solar energy.

Action PPS.2-B: Pursue funding from public, private, or philanthropic sources to expand community facilities and programs to better serve the needs of Moreno Valley residents.

Housing Program 5-E: Continue to administer the Mobile Home Grant Program to address substandard living conditions for very low-income owner-occupants and pursue new funding sources, such as those available through HCD's Mobile Home Park Rehabilitation and Resident Ownership Program (MPRROP). Market program via City communications and continue to distribute program material to mobile home parks.

Housing Program 6-A: Promote the use of solar energy and other environmentally sound, energy-efficient methods for heating and cooling homes, consistent with adopted building,

mechanical, and plumbing codes. Provide information through the website and newsletters to residents, highlighting the availability of financial incentives available through federal, State, and local government programs such as the County of Riverside Home Weatherization Program, Western Riverside Council of Governments' HERO program, and funding for solar projects for low-income homeowners available through the GRID Alternatives program.

Policy EJ.2-3: Actively promote efforts to repair, improve, and rehabilitate substandard housing conditions in collaboration with the Fair Housing Council of Riverside.

Action EJ.2-C: Continue to implement recommendations made in the City of Moreno Valley's Analysis of Impediments to Fair Housing Choice and Fair Housing Action Plan.

Action EJ.4-D: Explore innovative options for increasing citizen involvement, such as participatory budgeting

Action EJ.4-E: Periodically audit City hiring practices with the goal of identifying areas of improvement for workforce diversity beyond federally required Equal Employment Opportunity reports.

Policy HC.2-5: Expand opportunities for residents to volunteer their time and talents to contribute to community health and quality of life. Expand opportunities for interaction between community members, elected officials, commission members and City staff and for partnerships between the City and community groups that revolve around making Moreno Valley a healthier place for all residents. Expand opportunities for residents to socially connect across generations and culture at the neighborhood level and citywide.

Policy OSRC.4-1: Reduce the amount of solid waste disposed in landfills by promoting source reduction and recycling throughout Moreno Valley and by expanding the range of programs and information available to local residents and businesses, consistent with State requirements.

#### **Major Projects and Activities**

Technology Services Division

- Free, public Wi-Fi service funded by HUD's Community Development Block Grant (CDBG) Program benefited cumulatively 15,713 low to moderate-income persons and 47,215 residents in total
- Expanded free public internet access through the Wi-Fi Gardens to Box Springs, Community Park, Sunnymead Park, Adrienne Mitchell Park, and Patriot Park
- Created working maps for changes to the Zoning layer
- Conducted parcel analysis for areas of change
- Updated the Zoning and Overlay layers to correspond with the new General Plan
- Created new Zoning Atlases
- Updated Zoning and General Plan layers on the public and internal map viewers
- Created and printed Zoning and General Plan Map exhibits
- Municipal Information Systems Association of California (MISAC) award for Excellence in Information Technology Practices for the 20th consecutive year.

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The City of Moreno Valley remains committed to maximizing existing resources and opportunities to achieve a better quality of life for its low to moderate-income residents.

- Assisted 4,141 households with Fair Housing Services
- Provided street outreach to eighteen (18) persons
- Provided 8 homes with energy efficiency solar systems
- Aided 47,991 individuals through public services, including senior services, employment resources, youth services, and the MoVal Policing program
- Street improvements and ADA improvements funded by HUD's Community Development Block Grant (CDBG) Program completed in 2021/22 benefited cumulatively 20,155 low-moderate income persons
- The City administered various CDBG-CV programs that benefited 1,975 individuals to prevent, prepare for, and respond to the Coronavirus

#### PUBLIC SAFETY

#### **General Plan Goals, Objectives, Policies**

Goal S-1: Protect life and property from natural and human-made hazards.

Goal S-2: Provide effective response to disasters and emergencies.

#### **Major Projects and Activities**

- Our Moreno Valley Firefighters responded to over 20,000 calls for service, including 16,000 emergency medical calls and nearly 700 fire calls. Moreno Valley police officers responded to over 120,000 calls for service throughout 2022.
- The Moreno Valley City Council approved a massive \$5.5 million investment into public safety, hiring more motor deputies, a Fire Medic Squad, and a Park Ranger.
- The City's Fire Prevention Team inspected over 1,300 businesses and over 500 apartments, ensuring Moreno Valley remains safe from fire.
- Our police officers continue to make illegal fireworks a top non-emergency priority, issuing thousands of dollars in tickets throughout 2022.
- Thousands of residents got to know their Moreno Valley first responders during the annual Public Safety Expo and National Night Out.

## **Please Start Here**

	General Information
Jurisidiction Name	Moreno Valley
Reporting Calendar Year	2022
	Contact Information
First Name	Claudia
Last Name	Manrique
Title	Associate Planner
Email	claudiam@moval.org
Phone	9514133225
	Mailing Address
Street Address	14177 Frederick St
City	Moreno Valley
Zipcode	92553

**Optional:** Click here to import last year's data. This is best used when the workbook is new and empty. You will be prompted to pick an old workbook to import from. Project and program data will be copied exactly how it was entered in last year's form and must be updated. If a project is no longer has any reportable activity, you may delete the project by selecting a cell in the row and typing ctrl + d.

Click here to download APR Instructions

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## **Annual Progress Report**

January 2020

Optional: This runs a macro which checks to ensure all required fields are filled out. The macro will create two files saved in the same directory this APR file is saved in. One file will be a copy of the APR with highlighted cells which require information. The other file will be list of the problematic cells, along with a description of the nature of the error.

		Submittal Instructions
	<b>Optional:</b> Save before running. This copies data on Table A2, and creates another workbook with the table split across 4 tabs, each of which can fit onto a single page for easier printing. Running this macro will remove the comments on the column headers, which contain the instructions. Do not save the APR file after running in order to preserve comments once it is reopened.	<b>Please save your file as Jurisdictionname2022 (no spaces).</b> Example: the city of San Luis Obispo would save their file as SanLuisObispo2022
	<b>Optional:</b> This macro identifies dates entered that occurred outside of the reporting year. RHNA credit is only given for building permits issued during the reporting year.	Housing Element Annual Progress Reports (APRs) forms and tables must be submitted to HCD and the Governor's Office of Planning and Research (OPR) on or before April 1 of each year for the prior calendar year; submit separate reports directly to both HCD and OPR pursuant to Government Code section 65400. There are two options for submitting APRs:
ine system:	https://apr.hcd.ca.gov/APR/login.do	<ol> <li>Online Annual Progress Reporting System - Please see the link to the online system to the left. This allows you to upload the completed APR form into directly into HCD's database limiting the risk of errors. If you would like to use the online system, email <u>APR@hcd.ca.gov</u> and HCD will send you the login information for your jurisdiction. <i>Please note: Using the online system only provides the information to HCD. The APR must still be submitted to OPR. Their email address is opr.apr@opr.ca.gov.</i></li> <li>Email - If you prefer to submit via email, you can complete the excel Annual Progress Report forms and submit to HCD at <u>APR@hcd.ca.gov</u> and to OPR at <u>opr.apr@opr.ca.gov</u>. Please send the Excel workbook, not a scanned or PDF copy of the tables.</li> </ol>

Link to the onli

Jurisdiction	Moreno Valley	
Reporting Year	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

# ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

				Total												1			
		F	Project Identifier		Unit Ty	Date Application Submitted		Ρ	roposed Ur	nits - Afforda	bility by Ho	usehold Inco	omes		Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Density Bc Applica	
			1		2	3	4				5				6	7	8	9	10
Prior APN <sup>+</sup>	Current APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	<b>Unit Category</b> (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Date Application Submitted+ (see instructions)	Very Low- Income Deed Restricted	Very Low- Income Non Deed Restricted	Deed	e Low-Income Non Deed Restricted	Moderate- Income Dee Restricted	Moderate- Income Non Deed Restricted	Above Moderate- Income	Units by Project	Units by project	Total <u>DISAPPROVED</u> t Units by Project	Was <u>APPLICATION</u> <u>SUBMITTED</u> Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Ddi the housing development application seek incentives or concessions pursuant to Government Code section 65915?
Summary Row: Sta	art Data Entry Belo							C	D	0	0 0	D	0 1303	106 <sup>,</sup>	1 2364	90	60	D	
	292191021	WEBB ST	Custom Home Review - Webb Street 1	PEN22-0002	SFD	0	01/04/2022							1	1			No	No
	292191022	WEBB ST	Custom Home Review - Webb Street 2	PEN22-0003	SFD	0	01/04/2022							1	1			No	No
	259371009	FEATHERBROOK C	Custom Home Review - Featherbrook	PEN22-0007	SFD	0	01/06/2022							1	1			No	No
	478166030	KIMBERLY AVE	Custom Home Review - Mendoza	PEN22-0019	SFD	0	01/19/2022							1	1			No	No
	481210011	24935 MYERS AVE	Custom Home Review	PEN22-0067	SFD	0	03/31/2022							1	1			No	No
	488051003	24936 MYERS AVE	Attached ADU	PEN22-0097	ADU	0	05/09/2022							1	1			No	No
	478040018	CURTIS CIR	Custom Home Review - Curtis Cir.	PEN22-0081	SFD	0	04/08/2022							1	1			No	No
	292212005	12178 ZINNIA ST	Custom Home Review - FIRE REBUILD	PEN22-0099	SFD	0	05/10/2022							1	1			No	No
	263132022			PEN22-0165	SFD	0	08/01/2022		1				1	1	1			No	No
	473174012	KALMIA AVE	Custom Home Review - Desai 1	PEN22-0209	SFD	0	10/06/2022							1	1			No	No
	473174012	KALMIA AVE	Custom Home Review - Desai 2	PEN22-0210	SFD	0	10/06/2022							1	1			No	No
	474250011	IRONWOOD AVE	Custom Home Review - Sadik	PEN22-0213	SFD	0	10/06/2022							1	1			No	
	474250060	IRONWOOD AVE	Custom Home Review	PEN22-0219	SFD	0	10/12/2022							1	1			No	No
	474120010			PEN22-0224	SFD	0	10/25/2022							1	1			No	
	264040010			PEN22-0254	SFD	0	12/06/2022							1	1			No	
	486260005			PEN22-0091	SFD	0	04/26/2022			-	-		_	204	204	20	04	No	
	486240010 484030028			PEN22-0162 PEN22-0022	SFD 5+	D	07/19/2022 01/26/2022						200	67	200	19	12	No No	
	484030028			PEN22-0022	5+	R	02/04/2022						88		88			No	
	484242020			PEN22-0034	5+	R	02/07/2022						64		64			No	
	486091005		, , , , , , , , , , , , , , , , , , ,	PEN22-0084	2 to 4	R	04/22/2022						3		3			No	
	486280002,	ALESSANDRO BLV	Plot Plan with Hearing - Rocas Grande II Apartments	PEN22-0109	5+	R	06/02/2022						460		460			No	No
	486280004			PEN22-0110															
	291650036			SPEN22-0178	5+	R	08/31/2022						150		150			No	
	291130017			PEN22-0236	5+	R	11/07/2022						36		36			No	
	474130014 475150042			PEN22-0060 PEN22-0167	SFD SFD	0	03/17/2022 08/05/2022							3				No No	
	473174012	KALMIA AVE		PEN22-0107	SFD	0	10/06/2022							2				No	
	475090003			PEN22-0223	SFD	0	10/25/2022							3	3 3			No	
	479140022			PEN22-0010	SFD	0	01/10/2022							92	2 92	g	2	No	
		COTTONWOOD AV		PEN22-0013,		0	01/18/2022							60	60			No	No
	478250001			PEN22-0014, PEN22-0015, PEN22-0016 & PEN22-0017	SFD														
	316110030		Tentative Tract Map 38363 - single family residential	PEN22-0056	SFD	0	03/16/2022							8	8 8		8	No	No
		27381 COTTONWO		PEN22-0130		0	06/07/2022							133	3 133			No	No
	488190005, 488190027			PEN22-0133 PEN22-0134 PEN22-0135 PEN22-0136	SFD														
	488210006, 488210020			PEN22-0138, PEN22-0137	SFD	0	06/07/2022							108	3 108			Nc	No
	316030002, 316030018, 316030019		(GPA/CZ/CUP/EIS) - South of Iris 2021, LLC	PEN22-0156 PEN22-0157 PEN22-0158 PEN22-0159 PEN22-0160	SFD	0	07/11/2022							78	3 78			Nc	No

Note: "+" indicates an optional field

Cells in grey contain auto-calculation formulas

Table A

Housing Development Applications Submitted	

Attachment: Exhibit A to Resolution No. 2023-03 - 2022 General Plan Annual Report [Revision 1] (6101 : General Plan Annual Progress Report)

1.b

InvisionMoreno ValleyApporting Year2022(Jan. 1 - Dec. 31)Anning Period6th Cycle10/15/2021 - 10/15/2029		ELEMENT PROGRESS REPORT Element Implementation			<b>Note: "+" indicates an</b> Cells in grey contain aut							
Project Identifier	Annual Building Activity Report Summary -	Table A2         - New Construction, Entitled, Permits and Completed         Affordability by Household Incomes - Completed Entitle			Afforda	ability by Household Incomes - Building Permits	Af	ffordability by Household Incomes - Certificates of Occupanc	y III	Streamlining Infill	Housing with Financial Assistance and/or Deed Restrictions Housing without Financial Assistance or Deed Restrictions Term of Affordability or Deed Restriction Demolished/Destroye	ed Units Density Bonus Notes
Prior APN <sup>+</sup> Current APN Street Address Project Name <sup>+</sup> Local √ Trac	risdiction ing ID <sup>+</sup> Unit Category (SFA,SFD,2 to 4,5+,ADU,MH) Tenure R=Renter O=Owner VeryLow-Income Deed Restricted VeryLow-Income Non Deed Restricted	Low-Income Deed Low-Income Non Moderate-Income Non Restricted Deed Restricted Deed Restricted Restricted	re- Income Above Ei Deed Moderate- <u>Dat</u> tricted Income	5 6 ntitlement <u>e Approved</u> # of Units issued Entitlements De	ryLow-Income eed Restricted Restricted D	Low-Income Deed Restricted Non Deed Restricted Restricted Moderate- Income Deed Restricted Restrict	Income Stricted VeryLow-Income Non Deed Restricted Deed Restric	me cted Non Deed Restricted Restricted Moderate- Income Deed Restricted Restricted Composition (Composition)	Certificates of Occupancyor other forms of readiness (see instructions) <u>Date</u> <u>Issued</u>	131415How many of the units were Extremely Low Income?*W as Project APPROVED using GC 65913.4(b)? (SB 35 Streamlining) Y/NInfill Unit Y/N*	1617181920its?Assistance Programs for Each Development (may select multiple - see instructions)Deed Restriction Type (may select multiple - see instructions)For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)Term of Affordability or Deed Restriction (years) (if affordable in perpetuity enter 1000)*Number of Demolished/Destroy ed Units	Jemolished/Destro yed Units Owner or RenterTotal DensityBonus Applied to the Project (Percentage Increase in Total Allowable Units or Total Maximum Area)Number of Other Incentives, Concessions, Waivers, or Other Modifications Given to the Project (Excluding Parking W aivers or Parking Modifications)Did the project receive a reduction or waiver of parking W aivers or Parking Modifications)Did the project receive a reduction or waiver of parking W aivers or Parking Modifications)
259371009     FEATHERBROOK CT     Custom Home Review - Featherbrook     PEN       481210011     24935 MYERS AVE     Custom Home Review     PEN	2-0022         5+         R         0         0           2-007         SFD         O	O         O         O           D         O         O         O           Image: Contract of the second se	1	977       12/9/2022     192       7/14/2022     1       11/18/2022     1	0 0 0	Image: state of the state of	40 0 0	40       0       0       81       261         40       0       0       81       261         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1         40       1       1       1       1       1         40       1       1       1       1       1         40       1       1       1       1       1         40       1       1       1       1       1         40       1       1 <td< td=""><td>0 0 0 0</td><td>O         O           0         N         N           0         N         N           0         N         N           0         N         N</td><td>Image: Constraint of the second se</td><td>Image: Note of the second se</td></td<>	0 0 0 0	O         O           0         N         N           0         N         N           0         N         N           0         N         N	Image: Constraint of the second se	Image: Note of the second se
486260005       14101 OLIVER ST       CUP (PUD), TTM 38236, Single Family Residential       PEN         479140022       COTTONWOOD AVE       Tentative Condo Map 34544 & Plot Plan       PEN         316110030       ANGELLA WY       Tentative Tract Map 38363 - single family residential       PEN	2-0091         SFD         O         Image: second		<u>92</u> 8	10/3/2022     204       5/18/2022     92       1/3/2023     8       6/16/2022     1		Image: state stat		Image: second	C C C C C C	0         N         N           0         0         N         N           0         0         N         N           0         0         N         N           0         0         N         N	Image: Sector	Image: selection of the
	2-0004         SFD         O         Image: Constraint of the second se		52	5/19/2022       23         1/9/2022       52         5/12/2022       20		Image: second se Image: second sec		Image: second		0         N         N           0         0         N         N           0         0         N         N	Image: Constraint of the second state of the second sta	Image:
316160008       INDIAN ST       Extension of Time - Tentative Tract Map 32716 (SF)       PEN         487461006       COTTONWOOD AVE       Extension of Time - Tentative Tract Map 37643 (SF)       PEN	2-0058 5+ R 2-0090 SFD O 2-0095 SFD O		57 6 31 8	5/19/2022       272         6/27/2022       57         8/11/2022       31         10/5/2022       8				Image: Sector		0 N N 0 0 N N 0 0 N N	Rental Projects in R10 - R20, COMU & DC Zoning is considered Moderate Income       DC Zoning is considered Moderate         Income       Income	Image: Section of the section of th
478090030BRADSHAW CIRExtension of Time - Tentative Tract Map 37462 (SF)PEN47416103511970 MATHEWS RDDetached ADU - 1200 SF (PEN19-0258)BFF26437301111773 CONSTANTINE CIRDetached ADU 1200 SF (PEN20-0129)BFF48103300112131 NITA DR398 SF ADU (Garage Conversion) - PEN20-0078BFF47523301124944 ENCHANTED WAY324 SF ADU (garage conversion) - PEN20-0083BFF29621205723386 DIZA ST649 SF Attached ADU [PEN21-0014]BFF31605202424664 GOYA AVE632 SQ FT New Attached ADU [PEN21-0120]BFF48510101324801 GOLD STAR DR326 SF ADU (Garage Conversion) - portion of existing 3- BFFBFF	2-0174         O O<	Image: state stat	1     1       1     1       1     1       1     6       1     6	6/1/2020     1       10/21/2020     1       8/5/2020     1       10/7/2020     1       6/28/2021     1       8/9/2021     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: state of the state	12/19/2022	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADU ADU	Image: Section of the section of th
304510023       27863 SPRING GROVE ST       ADU/Detached 499 SF (PEN21-0098)       BFF         484153004       14430 CHANTRY DR       500 SF Detached ADU [PEN21-0146]       BFF         482382019       24361 COMFORT CT       355 SF Studio ADU [Garage Conversion] PEN21-0154 (Master Plan BFR21-0302)       BFF         292222033       23775 HEMLOCK AVE       Attached ADU/1332 SF ADU (2nd floor of the existing detached garage) (PEN21-0173)       BFF         263180041       13443 HILDEGARDE ST       ADU (Garage Conversion) Converted 280 SF (e) Garage &       E	1-0300     ADU     R       1-0313     ADU     R       1-0345     ADU     R       2-0004     ADU     R		1	9/30/2021     1       9/28/2021     1       9/21/2021     1       12/1/2021     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: second	8/5/2022 1 0 0 0 0 0 0	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADU     ADU       ADU     ADU       ADU     ADU       ADU     ADU       ADU     ADU       ADU     ADU	Image: Note of the systemImage: Note of the system
482600030 13331 HAREWOOD DR Junior ADU (JADU) - 420 SF (attached Garage Conversion) Studio w/separate entry - DID NOT REQUIRE BFF	2-0014 ADU R 2-0032 ADU R 2-0035 ADU R		1 · · · · · · · · · · · · · · · · · · ·	9/1/2021     1       1/18/2022     1       4/8/2021     1       7/26/2021     1       10/05/2022     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: second		0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADU     ADU	Image: Section of the section of t
482362017       24949 BRANCH ST       ADU (Garage Conversion) - 355 SF ADU - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         482201021       24908 ALESSANDRO BLV       ADU (Garage Conversion) - 427 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF	2-0039         ADU         R         Image: Constraint of the second se		1 C	D8/19/2022     1       D7/19/2022     1       D7/14/2022     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: select	11/23/2022 1	0         N         N           0         N         N           0         N         N           0         N         N	ADUADUADUImage: ADUImage: ADUImage: ADUImage: ADUImage: ADUImage: ADUImage: ADUImage: ADUImage: ADU	AAImage: Constraint of the constraint of
487492001       13738 REGIS DR       Detached ADU - 748 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         482060013       24939 ATWOOD AVE       ADU (Garage Conversion) - 600 SF [PEN21-0226]       BFF	2-0056 ADU R 2-0071 ADU R		1 C 1 C	D8/09/2022     1       D8/23/2022     1       3/15/2022     1       3/31/2022     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: Constraint of the second se	11/8/2022     1       11/23/2022     1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADUADUADUADUADUADUADUADUADUADUADUADUADUADU	Image: Constraint of the systemImage: Constraint of the systemIm
474402001       25474 KALMIA AVE       ADU (Garage Conversion) - 504 SF ADU (PEN21-0324)       BFF         291393011       12273 TURTON LN       ADU (Garage Conversion) - 387 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF	2-0094 ADU R		1 (	J//19/2022     1       4/19/2022     1       07/28/2022     1       07/27/2022     1		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		Image: Second		0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADU	Image: Section of the section of th
bath/kitchen/laundry) - DID NOT REQUIRE AN     BFF       ENTITLEMENT APPLICATION     291344043       2291344043     22824 CHAMBRAY DR       JADU - 256 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION	2-0103     ADU     R       2-0104     ADU     R       2-0106     ADU     R       2-0107     ADU     R		1 1 1 1 1 (	10/25/2022     1       10/25/2022     1       10/25/2022     1       09/07/2022     1		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		Image: Second		0 0 N N 0 0 N N 0 0 N N	ADUADUADUADUADUADUADUADUADUADU	Image: Section of the section of th
AN ENTITLEMENT APPLICATION       AN ENTITLEMENT APPLICATION         479422006       12362 YUMA CT       ADU (Garage Conversion) - 496 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         474084029       25434 ALPHA ST       Detached ADU - 663 SF (PEN21-0269)       BFF         487012002       25779 ONATE DR       ADU (Garage Conversion) - 462 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         482662026       14788 KENNEBEC CT       ADU (Garage Conversion) - 451 SF - DID NOT REQUIRE       DET	2-0108 ADU R 2-0113 ADU R 2-0118 ADU R 2-0118 ADU R		1 C 1 C 1 C 1 C 1 C 1 C 1 C 1 C 1 C 1 C	07/27/2022     1       6/21/2022     1       11/28/2022     1       11/29/2022     1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: second		N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	ADU     ADU	Image: set
474181019       25675 ASPENWOOD CT       ADU (Garage Conversion) - 532 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         484060066       14134 MARTINIQUE PL       ADU (attached Garage Conversion) - 378 SF - DID NOT REQUIRE AN ENTITLEMENT APPLICATION       BFF         486280054       14302 LASSELLE ST       "Villa Annette" New 28149 SF Residential Building Type 1 - BIdg 3 (18 units) (PEN16-0123)       BFF	2-0134 ADU R 9-0109 5+ R		1	07/19/2022     1       11/29/2022     1       3/14/2017     18		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			10/24/2022 18	0 N N 0 N N 3 0 N N	ADU       ADU         ADU       ADU         ADU       ADU         ADU       ADU         ADU       Compare the second	ADU           Image: Constraint of the second secon
486280054       14372 LASSELLE ST       "Villa Annette" New 18158 SF Residential Building Type 1 -       BFF         Bldg 1 (14 units) (PEN16-0123)       882161024       24520 COTTONWOOD AVE       The Courtyards at Cottonwood - Bldg D (1 story 20 -       BFF         residential apt) - 17048 SF (Affordable Units) (PEN19-0110)       8FF       8FF	R	10		3/14/2017 14 5/26/2020 20	10	14       09/30/2020       14         10       6/1/2021       20	) 10		10/24/2022     14       6/30/2022     20	0 N N 0 0 N N	Income       Income         Image: Second stabilization Program (NSP), HOME Investment Partnerships Program       56	Image: Constraint of the project. Also a parking reduction with the project. Also a parking reduction         Image: Constraint of the project. Also a parking reduction         Image: Constraint of the project. Also a parking reduction
482161021 24560 COTTONWOOD AVE The Courtyards at Cottonwood - Bldg B (2 story - 30 BFF residential apts) -31889 SF (Affordable Units) (PEN19-0110)	0-0061 5+ R 15	15		5/26/2020 30	15	15         6/1/2021         30         14	5 15		6/30/2022 30	0 N N	HOME       (HOME) funds, state tax credits and private funds on Moreno Valley Housing Authority property.       Image: Comparison of Co	12.0%       2       Development Standards Modification, Other       Yes       Affordable Housing Agreement is required as part of the approval of the project. Also a parking reduction
482161023       24540 COTTONWOOD AVE       The Courtyards at Cottonwood - Bldg C (2 story - 30 residential apts) - 31889 SF (Affordable Units) (PEN 19-0110)       BFF         482161022       24580 COTTONWOOD AVE       The Courtyards at Cottonwood - Bldg A (residential portion - 2nd floor) - 1325 SF (Manager Unit)       BFF	R 15	15		5/26/2020 30 5/26/2020 1	15	15       6/1/2021       30       1         15       1       6/1/2021       30       1	5 15		6/30/2022 30 12/1/2022 1	0 N N 0 N N	HOMEOther, DBThe project is publicly-privately funded with a combination of Neighborhood Stabilization Program (NSP), HOME Investment Partnerships Program (HOME) funds, state tax credits and private funds on Moreno Valley Housing Authority property.56Image: Solution of the project is publicly-privately funded stabilization Program (NSP), HOME Investment Partnerships Program (HOME) funds, state tax credits and private funds on Moreno Valley Housing Authority property.56Image: Solution of the project is publicly-privately funded (HOME) funds, state tax credits and private funds on Moreno Valley Housing Authority property.56	12.0%       12.0%       Pevelopment Standards Modification, Other       Yes       Affordable Housing Agreement is required as part of the approval of the project. Also a parking reduction         Image: Comparison of the project of the project. Also a parking reduction       Image: Comparison of the project
486280054       14344 LASSELLE ST       "Villa Annette" New 28149 SF Residential Building Type 1 - Bldg 5 (18 units) (PEN16-0123)       BFR         486280054       14330 LASSELLE ST       "Villa Annette" New 18158 SF Residential Building Type 2 - Bldg 2 (14 units) (PEN16-0123)       BFR         486280054       14442 LASSELLE ST       "Villa Annette" New 18158 SF Residential Building Type 2 - Bldg 2 (14 units) (PEN16-0123)       BFR         486280054       14442 LASSELLE ST       "Villa Annette" New 18158 SF Residential Building Type 2 - Bldg 9 (14 units) (PEN16-0123)       BFR	0-0136 5+ R		14 :	3/14/2017 18 3/14/2017 14 3/14/2017 14		18       09/30/2020       18         06/09/2022       14       14         14       06/09/2022       14         14       09/30/2020       14			10/24/2022 18 00 10/24/2022 14	3 0 N N	Image: Construction of the second state of the second s	Image: Section of the section of th
30861003915940 LASSELLE STTR 32142 Aspen Hills - Building 20 - Phase 1 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861000915958 LASSELLE STTR 32142 Aspen Hills - Building 22 - Phase 1 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861003915946 LASSELLE STTR 32142 Aspen Hills - Building 21 - Phase 2 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861003915946 LASSELLE STTR 32142 Aspen Hills - Building 21 - Phase 2 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861000915952 LASSELLE STTR 32142 Aspen Hills - Building 37 - Phase 2 - 4 plex (Units BFTBFT	O         O           1-0524         SFA         O           1-0525         SFA         O		4	4/1/2004     4       4/1/2004     4       4/1/2004     4		Image:			8/5/2022 4 8/22/2022 4	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	Image: Set and detailed intodetailed intodetailed intodetailed intodetailed intodetailed income       Image: Set and detailed intodetailed intodetailed intodetailed intodetailed income         Image: Set and detailed intodetailed intodetailed intodetailed intodetailed intodetailed income       Market Rate Condos - For Sale         Image: Set and detailed intodetailed intodetailed intodetailed intodetailed intodetailed income       Market Rate Condos - For Sale         Image: Set and detailed intodetailed intodetai	Image: Section of the section of th
1-4) - Attached Townhomes (PA04-0051)30861003615862 LASSELLE STTR 32142 Aspen Hills - Building 4 - Phase 3 - 6 plex (Units 1-6) - Attached Townhomes (PA04-0051)BFT30861000915964 LASSELLE STTR 32142 Aspen Hills - Building 23 - Phase 4 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT	0 1-0527 SFA 0		6	4/1/2004     4       4/1/2004     6       4/1/2004     4		Image: Constraint of the second se		Image: Constraint of the second sec	11/3/2022 6	0 0 N N 3 0 N N 0 0 N N	Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale         Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale         Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale	Image: Sector
30861000915970 LASSELLE STTR 32142 Aspen Hills - Building 24 - Phase 4 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861001015976 LASSELLE STTR 32142 Aspen Hills - Building 25 - Phase 5 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861001015982 LASSELLE STTR 32142 Aspen Hills - Building 26 - Phase 5 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT30861001015982 LASSELLE STTR 32142 Aspen Hills - Building 26 - Phase 5 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)BFT	0 1-0530 SFA 0		4	4/1/2004 4 4/1/2004 4 4/1/2004 4		Image: A state of the stat		Image: Second	с с с	0 0 N N 0 0 N N 0 0 N N	Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale         Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale       Image: Market Rate Condos - For Sale	
308610011       15994 LASSELLE ST       TR 32142 Aspen Hills - Building 10 - Phase 6 - 6 plex (Units 1-6) - Attached Townhomes (PA04-0051)       BFT         308610010       15988 LASSELLE ST       TR 32142 Aspen Hills - Building 27 - Phase 6 - 4 plex (Units 1-4) - Attached Townhomes (PA04-0051)       BFT         263132030       13177 EDGEMONT ST 9-12       Apollo III Development - Building #3 Units 9 thru 12 - (1)       BFF	0 1-0533 SFA 0		4	4/1/2004 6 4/1/2004 4 11/14/2019		Image: state in the state		Image: second	04/27/2022	0 0 N N 0 0 N N	Image: Contrast of the contrast	Image: state in the state
Quadplex (4264 SF 2 Bedroom Res, 1692 SF Garages, 616 SF Patios, 170 SF Porches) [PEN18-0064]26313203313191 EDGEMONT ST 15-18Apollo III Development - Building #5 Units 15 thru 18 - (1) Quadplex (4264 SF 2 Bedroom Res, 1692 SF Garages, 616 SF Patios, 170 SF Porches) [PEN18-0064]BFF26313203013189 EDGEMONT ST 13-14Apollo III Development - Building #4 Units 13 & 14 for (1)BFF	R		4	4 11/14/2019 4 11/14/2019		4     4     4       12/16/2020     4       4     12/16/2020       4     12/16/2020		4 4	04/27/2022 4	0 N N 0 N N	Image: Construction of the construc	
478272003       28200 WAR ADMIRAL ST       Rebuild Custom Home - SFD 2230 SF (PEN18-0222) - BFP property on SEPTIC (Reference Permit#299012 in 1985 for Original 1,880 SF)       BFP property on SEPTIC (Reference Permit#299012 in 1985 for Original 1,880 SF)         474120054       11668 PERRIS BLV       1 Story SFD (Custom Home) 1436 SF on Sewer (PEN19- 0070)       BFP property on SEPTIC (Reference Permit#299012 in 1985 for Original 1,880 SF)			2 1 1	2 7/10/2019 1 11/19/2019 1		2     2     2     2     2       1     1     04/22/2022     1       1     1     07/19/2022     1		2 	2 C	0         N         N           0         0         N         N           0         0         N         N	DC Zoning is considered Moderate       Income	Image: Section of the section of th
292191023         12065 WEBB ST         Custom Home - SFD 2118 SF (PEN19-0224)         BFR           488430018         12727 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 95 - Plan 2DR - SFD 1733 SF         BFR           488430022         12695 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 99 - Plan 1C - Beazer Hyde Park - TR 36933 PH 31, Lot 99 - Plan 1C -         BFR	I-0286         SFD         O           1-0310         SFD         O			5/28/2020       1         3/24/2021       1         8/27/2021       1         12/4/2019       1         10/27/2010       1         10/27/2010       1		$ \begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: state of the state	09/28/2022 1 06/07/2022 1 06/07/2022 1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	Image: second	Image: Custom Home       Custom Home         Image: Custom H
SFD 1542 SF,         SFD 1542 SF,           488430023         12692 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 100 - Plan 1DR - SFD 1542 SF,         BF1           488430024         12700 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 101 - Plan 2C - SFD 1733 SF,         BF1           488430025         12708 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 102 - Plan 1A - SFD 1542 SF         BF1           488430025         12708 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 102 - Plan 1A - SFD 1542 SF         BF1           488430025         12708 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 103 - Plan 2B - SFD 1542 SF         BF1	1-0411         SFD         O         Image: Constraint of the second se		1 1 1 1 1 1	I0/27/2010     1       I0/27/2010     1       I0/27/2010     1       I0/27/2010     1		Image: Note of the state o			06/07/2022         1           06/07/2022         1           06/10/2022         1           06/10/2022         1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N	Image: Constraint of the second se	Image: Constraint of the second se
488430026         12/16 SCREE WAY         SFD 1733 SF,         BF1           488430027         12724 SCREE WAY         Beazer Hyde Park - TR 36933 PH 31, Lot 104 - Plan 1C - SFD 1542 SF,         BF1           488410012         27157 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 12 - Plan 3BR - SFD 1818 SF         BF1           488410013         27165 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 13 - Plan 4CR - SFD 1982 SF         BF1           488410014         27173 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 13 - Plan 4CR - SFD 1982 SF         BF1	1-0147 SFD O		1 1	10/27/2010       1         10/27/2010       1         10/27/2010       1         10/27/2010       1		Image: Constraint of the system of the sy		1       1       1       1       1       1       1       1       1       1	06/10/2022       1         01/19/2022       1         01/19/2022       1         01/19/2022       1	O         N         N           O         N         N           O         N         N           O         N         N           O         N         N		Image: Section of the section of th
SFD 1733 SF,           488410015         27181 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 15 - Plan 1BR - SFD 1542 SF,         BFT           488410016         27184 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 16 - Plan 2D - SFD 1733 SF,         BFT           488410017         27176 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 17 - Plan 1B - SFD 1542 SF,         BFT           488410018         27168 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 17 - Plan 2B - SFD 1542 SF,         BFT           488410018         27168 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 18 - Plan 2B - SFD 1733 SF,         BFT	1-0150         SFD         O         Image: Constraint of the second se		1 1 1 1	10/27/2010       1         10/27/2010       1         10/27/2010       1         10/27/2010       1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		1           1           1           1           1           1           1           1           1           1	01/19/2022         1           01/19/2022         1           01/19/2022         1           01/19/2022         1           01/19/2022         1	O         N         N           O         N         N           O         N         N           O         N         N           O         N         N		Image: Constraint of the system         Image: Constra
SFD 1733 SF,           488410019         27160 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 19 - Plan 1A - SFD 1542 SF,         BFT           488410020         27152 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 20 - Plan 3CR - SFD 1818 SF,         BFT           488410011         27149 GILDED WAY         Beazer Hyde Park - TR 36933 PH 28, Lot 11 - Plan 4D - SFD 1982 SF,         BFT           488410010         27150 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 10 - Plan 3BR - SFD 1982 SF,         BFT           488410010         27150 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 10 - Plan 3BR - SFD 1818 SF,         BFT	1-0154         SFD         O           1-0145         SFD         O           1-0331         SFD         O	Image: Constraint of the second sec	1 1 1 1	10/27/2010110/27/2010110/27/2010110/27/20101		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		Image: state of the state o	01/19/2022       1         01/19/2022       1         01/24/2022       1         03/15/2022       1	O         N         N           O         N         N           O         N         N           O         N         N           O         N         N	Image: Section of the section of th	Image: Section of the section of th
SFD 1818 SF,           488410001         27147 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 1 - Plan 4C - SFD         BFT           488410008         27166 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 8 - Plan 3C - SFD         BFT           488410009         27158 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 9 - Plan 4D - SFD         BFT           488410009         27158 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 9 - Plan 4D - SFD         BFT           488410002         27155 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 2 - Plan 3AR - SFD         BFT           488410002         27155 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 2 - Plan 3AR - SFD         BFT           5FD 1818 SF,         5FD 1818 SF,         5FD         BFT	1-0329         SFD         O         Image: Constraint of the second se		1 1 1 1 1 1	10/27/2010110/27/2010110/27/2010110/27/20101		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			03/16/2022       1         03/16/2022       1         03/16/2022       1         03/21/2022       1	O         N         N           O         N         N           O         N         N           O         N         N           O         N         N	Image: Section of the section of th	Image: Constraint of the second sec
SFD 1818 SF,         SFD 1818 SF,           488410003         27163 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 3 - Plan 1DR - SFD 1542 SF,         BFT           488410004         27171 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 4 - Plan 2BR - SFD 1733 SF,         BFT           488410005         27179 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 5 - Plan 4CR - SFD 1982 SF,         BFT           488410006         27182 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 6 - Plan 2A - SFD         BFT           488410006         27174 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 7 - Plan 1B - SFD         BFT           488410007         27174 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 7 - Plan 1B - SFD         BFT	1-0325         SFD         O         Image: Constraint of the second se		1 1 1 1 1 1	10/27/2010       1         10/27/2010       1         10/27/2010       1         10/27/2010       1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $		1       1       1       1       1       1       1       1	03/21/2022     1       03/21/2022     1       03/21/2022     1       03/21/2022     1       03/21/2022     1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		
488410007         27174 CANYON ROCK CT         Beazer Hyde Park - TR 36933 PH 29, Lot 7 - Plan 1B - SFD         BFT           488430032         12685 IRONSTONE WAY         Beazer Hyde Park - TR 36933 PH 30, Lot 109 - Plan 3C - SFD 1818 SF,         BFT           488430033         12682 IRONSTONE WAY         Beazer Hyde Park - TR 36933 PH 30, Lot 110 - Plan 3BR - SFD 1818 SF,         BFT           488430034         12690 IRONSTONE WAY         Beazer Hyde Park - TR 36933 PH 30, Lot 111 - Plan 2A - SFD 1818 SF,         BFT           488430034         12690 IRONSTONE WAY         Beazer Hyde Park - TR 36933 PH 30, Lot 111 - Plan 2A - SFD 1733 SF,         BFT           488430035         12696 IRONSTONE WAY         Beazer Hyde Park - TR 36933 PH 30, Lot 112 - Plan 4C -         BFT	1-0366         SFD         O           1-0367         SFD         O           1-0368         SFD         O		1 1 1 1 1 1	10/27/2010 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			03/21/2022 1 04/14/2022 1 04/14/2022 1 04/14/2022 1 04/14/2022 1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		
488430035       12696 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 112 - Plan 4C - SFD 1982 SF       BFT         488430028       12717 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 105 - Plan 1AR - SFD 1542 SF,       BFT         488430029       12709 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 106 - Plan 2BR - SFD 1733 SF,       BFT         488430030       12701 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 107 - Plan 1DR - SFD 1733 SF,       BFT         488430031       12693 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 108 - Plan 4AR -       BFT	I-0362         SFD         O           1-0363         SFD         O           1-0364         SFD         O		1 1 1 1 1 1	10/27/2010 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			04/14/2022 1 04/20/2022 1 04/20/2022 1 04/20/2022 1 04/20/2022 1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		
SFD 1982 SF         488430036       12704 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 113 - Plan 3D - SFD 1818 SF,       BFT         488430037       12712 IRONSTONE WAY       Beazer Hyde Park - TR 36933 PH 30, Lot 114 - Plan 1B - SFD 1542 SF,       BFT         488430020       12711 SCREE WAY       MODEL HOME CONVERSION and CofO for Beazer Hyde Park TR 36933, Lot 97, Plan 3R (Original Permit # BFT18-       BFT	1-0370         SFD         O           1-0371         SFD         O           1-0503         SFD         O		1 1 1 1	10/27/2010       1         10/27/2010       1         10/27/2010       1         10/27/2010       1		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$			04/20/2022 1 04/20/2022 1 06/29/2022 1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		Image: Note of the second s
1       0019 - 4/30/18)         488430021       12703 SCREE WAY       MODEL HOME CONVERSION; SALES OFFICE       BFT         CONVERSION and CofO for Beazer Hyde Park TR 36933,       Lot 98, Plan 2R (Original Permit # BFT18-0020 / PEN21- 0237)       BFT         312020025       12719 SCREE WAY       MODEL HOME CONVERSION and CofO for Beazer Hyde       BFT         Park TR 36933, Lot 96, Plan 4R (Original Permit # BFT18- 0018)       0018)       BFT         486240011       27852 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 4 Lot 61;       BFT	SFD         O           1-0502         SFD         O		1 1	10/27/2010 1 10/27/2010 1 12/28/2018 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			06/29/2022 1 06/29/2022 1 6/23/2022	0 N N 0 N N		
486240011       27852 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 4 Lot 61; Two Story SFD 261 SF (PEN18-0105)       BF1         486240011       27860 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 2 Lot 62; One Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH       BF1         486240011       27868 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 3 Lot 63; Two Story SFD 2319 sf, GARAGE 428 sf, FRONT PORCH       BF1         486240011       27868 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 3 Lot 63; Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH       BF1         486240011       27876 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 1 Lot 64; One Story SFD 1898 sf, GARAGE 415 sf, FRONT PORCH       BF1         486240011       27876 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 1 Lot 64; One Story SFD 1898 sf, GARAGE 415 sf, FRONT PORCH       BF1         486240011       27873 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 2 Lot 65;       BF1         486240011       27873 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 2 Lot 65;       BF1	1-0438         SFD         O         Image: Constraint of the second se			12/28/2018 12/28/2018 12/28/2018 1		1     1/10/2022     1       1     1/10/2022     1       1     1/10/2022     1       1     1/10/2022     1			6/23/2022       1         6/23/2022       1         6/20/2022       1         6/20/2022       1	v         N         N           0         N         N           0         N         N           0         N         N           0         N         N		
486240011       27873 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 2 Lot 65; One Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 61 sf - MVU release       BF1         486240011       27861 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 4 Lot 66; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf - MVU release       BF1         486240011       27849 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 1 Lot 67; One Story SFD 1898 SF       BF1         486240011       27837 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 1 Plan 3 Lot 68; Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH       BF1	1-0442 SFD O 0 1-0443 SFD O		1 1 1	12/28/2018 12/28/2018 12/28/2018 12/28/2018 1 12/28/2018		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$			6/23/2022 1 6/23/2022 1 6/23/2022 1	0NN0NN0NN0NN		
486240011       27837 SOLITODE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 1 Plan 3 Lot 66;       BF 1         Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH       44 sf - MVU release       1486240011       27812 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 1 Lot 56;       BF 1         0ne Story SFD 1898 sf,       0ne Story SFD 1898 sf,       1590 Alessandro Bivd - Del Sol - PH 2 Plan 4 Lot 57;       BF 1         486240011       27820 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 4 Lot 57;       BF 1         486240011       27828 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 4 Lot 57;       BF 1         486240011       27828 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 2 Lot 58;       BF 1         486240011       27828 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 2 Lot 58;       BF 1         0ne Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH       69 sf - MVU release       169 sf - MVU release       178 31590 Alessandro Bivd - Del Sol - PH 2 Plan 3 Lot 59;       BF 1         486240011       27836 SOLITUDE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 2 Plan 3 Lot 59;       BF 1         50 sf - MVU release       178 31590 Alessandro Bivd - Del Sol - PH 2 Plan 3 Lot 59;       BF 1         50 solutione       178 31590 Alessandro Bivd - Del Sol - PH 2 Plan 3 Lot 59;       BF 1         50 sol	1-0471         SFD         O         Image: Constraint of the second se		1 1 1 1			Image: Section of the section of th			6/23/2022       1         6/23/2022       1         6/23/2022       1         7/12/2022       1         7/12/2022       1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		Image: state s
486240011       27844 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 2 Plan 1 Lot 60; One Story SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 81 sf - MVU release       BFT         486240011       27825 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 2 Plan 2 Lot 69; One Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 64 sf - MVU release       BFT         486240011       27813 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 2 Plan 4 Lot 70; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf - MVU release       BFT	1-0476 SFD O O I O O O O O O O O O O O O O O O O		1 1 1	1 12/28/2018 12/28/2018 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			7/12/2022     1       7/12/2022     1       7/14/2022     1       7/20/2022     1	N         N           0         N         N           0         N         N           0         N         N           0         N         N		
Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH         72 sf - MVU release         486240011       27772 SOLITUDE AVE         TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 3 Lot 51;       BF1         Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH       B6 sf - MVU release         486240011       27780 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 1 Lot 52;       BF1         SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 80 sf -       MVU release       MVU release	1-0495         SFD         O           1-0496         SFD         O		1 1 1 1 1	1		$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$			7/20/2022       1         7/20/2022       1         7/20/2022       1	0 N N 0 N N 0 N N		
486240011       27804 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 55;       BF1         486240011       27804 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 55;       BF1         1       27804 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 55;       BF1         1       27801 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 71;       BF1         1       27801 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 71;       BF1         1       27801 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 71;       BF1         1       1       27801 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 4 Lot 71;       BF1	1-0498         SFD         O         Image: Constraint of the second se		1 1 1 1	12/28/2018     1       12/28/2018     1       12/28/2018     1       12/28/2018     1       12/28/2018     1		$ \begin{array}{c c c c c c c c c c c c c c c c c c c $			7/20/2022       1         7/21/2022       1         7/21/2022       1         7/21/2022       1	0         N         N           0         N         N           0         N         N           0         N         N           0         N         N		
30 sf - MVU release       30 sf - MVU release         486240011       27789 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 3 Plan 3 Lot 72; Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH 44 sf - MVU release       BF1         486240011       27777 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 1 Lot 73; One Story SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 148 sf - MVU release       BF1         486240011       27765 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 2 Lot 74; One Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH       BF1	I-0516         SFD         O           1-0517         SFD         O		1 1 1	1 12/28/2018 12/28/2018 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			8/1/2022     1       8/1/2022     1       8/1/2022     1	O         N         N           O         N         N           O         N         N           O         N         N		
486240011       27753 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 4 Lot 75; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf - MVU release       BFT         486240011       27741 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 1 Lot 76; One Story SFD 1898 sf,       BFT         486240011       27729 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 3 Lot 77; Two Story SFD 2537 sf, GARAGE 428 sf, FRONT PORCH       BFT	1-0520 SFD O		1 1 1 1	1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			8/1/2022       1         8/1/2022       1         8/22/2022       1	0 N N 0 N N 0 N N		Image: series of the series
30 sf - MVU release       30 sf - MVU release         486240011       27717 SOLITUDE AVE       TR 31590 Alessandro Blvd - Del Sol - PH 4 Plan 2 Lot 78; One Story SFD 2319 sf,       BF1         486240011       14171 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 4 Lot 42; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH       BF1         486240011       14165 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 2 Lot 43; One Story SFD 2319 sf,       BF1	2-0003 SFD O		1	12/28/2018 1 12/28/2018 1 12/28/2018 1		$\begin{array}{c c c c c c c c c c c c c c c c c c c $			8/22/2022       1         8/22/2022       1         8/22/2022       1	0         N         N           0         N         N           0         N         N           0         N         N		

Jurisdiction     Moreno Valley       Reporting Year     2022     (Jan. 1 - Dec. 31)	ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation	Note: "+" indicates an optional field Cells in grey contain auto-calculation formulas					
Planning Period         6th Cycle         10/15/2021 - 10/15/2029           486240011         14159 ECLIPSE ST         TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 3 Lot 44; Two Story SFD 2537 sf,         BFT22-0005         SFD         O           486240011         14153 ECLIPSE ST         TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 3 Lot 45; Two Story SFD 2537 sf,         BFT22-0006         SFD         O           0ne Story SFD 1898 sf,         One Story SFD 1898 sf,         O 100 Plan 1 Lot 45;         BFT22-0006         SFD         O	Image:	1       3/10/2022         1       3/10/2022         1       3/10/2022		1       8/24/2022         1       8/29/2022	1 0 1 0	N N N	
486240011       14156 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 2 Lot 46; One Story SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 69 sf - MVU release       BFT22-0007       SFD       O         486240011       14162 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 1 Lot 47; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 168 sf - MVU release       BFT22-0008       SFD       O         486240011       14168 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 1 Lot 47; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 168 sf - MVU release       BFT22-0008       SFD       O         486240011       14168 ECLIPSE ST       TR 31590 Alessandro Blvd - Del Sol - PH 5 Plan 4 Lot 48; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH       BFT22-0009       SFD       O	Image: Second	1       3/10/2022         1       3/10/2022         1       3/10/2022         1       3/10/2022         1       3/10/2022         1       3/10/2022         1       3/10/2022		1       8/31/2022         1       8/31/2022         1       8/31/2022         1       8/31/2022		N N N	
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48624001127681 SOLITUDE AVETR 31590 Alessandro Blvd - Del Sol - PH 6 Plan 3 Lot 81; Two Story SFD 2537 sf,BFT22-0045SFDO48624001127669 SOLITUDE AVETR 31590 Alessandro Blvd - Del Sol - PH 6 Plan 2 Lot 82; One Story SFD 2319 sf,BFT22-0046SFDO48624001127657 SOLITUDE AVETR 31590 Alessandro Blvd - Del Sol - PH 6 Plan 4 Lot 83; Two Story SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 30 sf - MVU releaseBFT22-0047SFDO48624001127645 SOLITUDE AVETR 31590 Alessandro Blvd - Del Sol - PH 6 Plan 1 Lot 84; BFT22-0047BFT22-0048SFDO	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	Image: Second system       1       3/24/2022		Image: 1       9/1/2022         Image: 1       9/1/2022         Image: 1       9/1/2022         Image: 1       9/1/2022	1 0 1 0 1 0	N N N N N N N	Image: Second state of the second s
480240011       27045 SOLITODE AVE       TR 31590 Alessandro Bivd - Del Sol - PH 6 Fial T Lot 64, One Story SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 148 sf - MVU release       BFT22-0046       SFD       O         486240011       14169 SUMMER RUN CT       TR 31590 Alessandro Bivd - Del Sol - PH 7 Plan 2 Lot 34; SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 69 sf - MVU release       BFT22-0067       SFD       O         486240011       14163 SUMMER RUN CT       TR 31590 Alessandro Bivd - Del Sol - PH 7 Plan 4 Lot 35; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 30 sf -       BFT22-0068       SFD       O	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	Image: Size in the second s		Image:	1 0 1 0 1 0	N N N N N N N	
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486240011       14172 SUMMER RUN CT       TR 31590 Alessandro Blvd - Del Sol - PH 7 Plan 3 Lot 41; SFD 2537 sf, GARAGE 428 sf, FRONT PORCH 58 sf - MVU release       BFT22-0074       SFD       O         486240011       27760 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 4 Lot 91; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf - MVU release       BFT22-0097       SFD       O         486240011       27774 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 1 Lot 92; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 148 sf -       BFT22-0098       SFD       O	Image: Second	Image: Second		Image: Second	1 0 1 0 1 0	N N N N	Image: Second se Image: file       Image: fil
MVU release       MVU release       BFT22-0099       SFD       O         486240011       27788 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 3 Lot 93; SFD 2537 sf, GARAGE 428 sf, FRONT PORCH 86 sf - MVU release       BFT22-0099       SFD       O         486240011       27802 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 2 Lot 94; SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 56 sf - MVU release       BFT22-0100       SFD       O         486240011       27816 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 4 Lot 95;       BFT22-0101       SFD       O	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	Image: Second		Image: state of the state o	1 0 1 0	N N N	
486240011       27676 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 1 Lot 96; SFD 1898 sf, GARAGE 498 sf, FRONT PORCH 80 sf - MVU release       BFT22-0102       SFD       O         486240011       27676 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 8 Plan 1 Lot 96; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 80 sf - MVU release       BFT22-0102       SFD       O         486240011       27676 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 4 Lot 85; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf -       BFT22-0120       SFD       O	Image: second	Image: Second	1	Image: Constraint of the second se	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	Image: Second se Image: Exact second seco
486240011       27690 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 2 Lot 86; SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 69 sf - MVU release       BFT22-0121       SFD       O         486240011       27704 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 1 Lot 87; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 168 sf - MVU release       BFT22-0122       SFD       O         486240011       27704 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 1 Lot 87; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 168 sf - MVU release       BFT22-0122       SFD       O         486240011       27718 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 4 Lot 88; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf -       BFT22-0123       SFD       O	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	Image: Second		1       12/19/2022         1       12/19/2022         1       12/19/2022         1       12/19/2022		N N N	
AB6240011       27732 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 3 Lot 89; SFD 2537 sf, GARAGE 428 sf, FRONT PORCH 44 sf - MVU release       BFT22-0124       SFD       O         486240011       27746 BRODIAEA AVE       TR 31590 Alessandro Blvd - Del Sol - PH 9 Plan 2 Lot 90; SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 64 sf - MVU release       BFT22-0125       SFD       O         486580008       14139 RADIANCE CT       TR 31590 Alessandro Blvd - Del Sol - PH 10 Plan 4 Lot 8;       BFT22-0161       SFD       O	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	Image: Second	1	Image: state of the state o		N N N	
Image: SFD 2617 sf,Image: SFD 2617 sf,Image: SFD 2617 sf,Image: SFD 2617 sf,48658000914133 RADIANCE CTTR 31590 Alessandro Blvd - Del Sol - PH 10 Plan 2 Lot 9; SFD 2319 sf,BFT22-0162SFDO48658100527704 MALTBY AVETR 31590 Alessandro Blvd - Del Sol - PH 10 Plan 4 Lot 26; SFD 2617 sf,BFT22-0163SFDO48658100627716 MALTBY AVETR 31590 Alessandro Blvd - Del Sol - PH 10 Plan 1 Lot 27; SFD 2617 sf,BFT22-0164SFDO48658100627716 MALTBY AVETR 31590 Alessandro Blvd - Del Sol - PH 10 Plan 1 Lot 27; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 80 sf - MV/L releaseBFT22-0164SFDO	Image: Second	Image: Strate     Image: Strate       Image: Strate     1	1     1       1     1       1     1       1     1	Image:	1 0 1 0 1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	Image: Second
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SFD 2617 sfSFD 2617 sfSFD48658001714114 STRATUS CTTR 31590 Alessandro Blvd - Del Sol - PH 11 Plan 2 Lot 17; SFD 2319 sfBFT22-0174SFD48658001927706 LUMINOUS AVETR 31590 Alessandro Blvd - Del Sol - PH 11 Plan 1 Lot 19; SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 80 sf - MVU releaseBFT22-0175SFDO48658002027718 LUMINOUS AVETR 31590 Alessandro Blvd - Del Sol - PH 11 Plan 4 Lot 20; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 72 sf - MVU releaseBFT22-0176SFDO	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	Image: state in the state		1     10/11/2022       1     10/11/2022       1     10/11/2022       1     10/11/2022       1     10/17/2022	1 0 1 0 1 0	N N N N N N N N N	
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SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 30 sf - MVU release       Image: Constraint of the sector of t	Image: state of the state	Image: Second		Image: state of the state o		N N N	
Image: SFD 1898 sf, GARAGE 415 sf, FRONT PORCH 168 sf - MVU release       MVU release       MVU release         486580011       14121 RADIANCE CT       TR 31590 Alessandro Blvd - Del Sol - PH 12 Plan 4 Lot 11; SFD 2617 sf, GARAGE 498 sf, FRONT PORCH 30 sf - MVU release       BFT22-0195       SFD       O         486580012       14115 RADIANCE CT       TR 31590 Alessandro Blvd - Del Sol - PH 12 Plan 2 Lot 12; SFD 2319 sf, GARAGE 413 sf, FRONT PORCH 69 sf - MVU release       BFT22-0196       SFD       O	Image:	1       6/7/2022         1       6/7/2022         1       6/7/2022         1       6/7/2022         1       6/7/2022         1       6/7/2022         1       6/7/2022	1 1	1       12/19/2022         1       12/19/2022         1       12/19/2022         1       12/28/2022	1 0 1 0 1 0	N N N N N N N N	
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Image: SFD 1898 sfImage: SFD 1898 sfImage: SFD 1898 sfImage: SFD 1898 sfImage: SFD 1898 sf48659000414170 LANDON RDTR 31590 Alessandro Blvd - Del Sol - PH 13A Plan 3 Lot 33; SFD 2537 sfBFT22-0224SFDO48820002513620 SHANNON STTR 32408 KB Homes Auburn (Moothart) MODELS - Lot 2  Plan 2 - SFD 1860 SFBFT22-0256SFDO48820002513634 SHANNON STTR 32408 KB Homes Auburn (Moothart) MODELS - Lot 3  Plan 4 - SFD 2531 SFBFT22-0257SFDO48820002527789 KILDARE PLTR 32408 KB Home Auburn (Moothart) PH 1 Plan 2D   LotBFT22-0284SFDO	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	Image: state stat	Image: state of the state o	Image: Contract of the contract		N N N	Image: state in the state
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482582039       24923 GOSSAMER CT       TR 36708 Century Comm-Mesa Verde PH 10 - Lot 37 - Plan 4AR - SFD 2404 sf, GARAGE 424 sf, PORCH 53 sf - MVU Release       BFT21-0339       SFD       O         482582039       24926 GOSSAMER CT       TR 36708 Century Comm-Mesa Verde PH 10 - Lot 36 - Plan 3B - SFD 2322 sf, GARAGE 467 sf, PORCH 91 sf - MVU Release       BFT21-0338       SFD       O         482710001       14521 GULFSTREAM LN       TR 36708 Century Comm-Mesa Verde PH 11 - Lot 27 - Plan 1A - SFD 1524 sf, GARAGE 419 sf, PORCH 44 sf - MVU       BFT21-0355       SFD       O	Image: Second	Image: Second state of the second s		1     2/14/2022       1     2/14/2022       1     2/14/2022       1     2/14/2022       1     2/14/2022		N N N	Image: Second
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482710001       24900 GULPSTREAM LN       TR 36708 Century Comm-Mesa Verde PH 12 - Lot 33 - Plan       BFT21-0406       SFD       O         2AR - SFD 2191 sf, GARAGE 419 sf, PORCH 89 sf - MVU Release       2AR - SFD 2191 sf, GARAGE 419 sf, PORCH 89 sf - MVU Release       BFT21-0361       SFD       O         482710001       24905 AVIATION LN       TR 36708 Century Comm-Mesa Verde PH 11 - Lot 33 - Plan 3C - SFD 2322 sf, GARAGE 467 sf, PORCH 91 sf - MVU Release       BFT21-0361       SFD       O         482710001       24908 AVIATION LN       TR 36708 Century Comm-Mesa Verde PH 11 - Lot 28 - Plan 1BR - SFD 1524 sf, GARAGE 419 sf, PORCH 42 sf - MVU       BFT21-0356       SFD       O	Image: Second	Image: Sector of the sector	1 1 1 1	1     3/14/2022       1     3/14/2022       1     3/14/2022       1     3/14/2022       1     3/28/2022       1     1	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	Image: Market Rate Condos - For Sale       Market Rate Condos - For Sale         Image: Market Rate Condos - For Sale       Market Rate Condos - For Sale         Image: Market Rate Condos - For Sale       Market Rate Condos - For Sale
ReleaseReleaseReleaseRelease48271000124912 GULFSTREAM LNTR 36708 Century Comm-Mesa Verde PH 12 - Lot 54 - Plan 4AR - SFD 2404 sf, GARAGE 424 sf, PORCH 53 sf - MVU ReleaseBFT21-0407SFD048271000124915 AVIATION LNTR 36708 Century Comm-Mesa Verde PH 11 - Lot 32 - Plan 5AR - SFD 2677 sf,BFT21-0360SFD048271000124918 AVIATION LNTR 36708 Century Comm-Mesa Verde PH 11 - Lot 29 - Plan 1C - SFD 1524 sf, GARAGE 419 sf, PORCH 42 sf - MVUBFT21-0357SFD0	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	Image: state in the state		Image: state of the state o	1 0 1 0 1 0	N N N N N	And the second secon
ReleaseReleaseReleaseRelease4827100124922 GULFSTREAM LNTR 36708 Century Comm-Mesa Verde PH 12 - Lot 55 - Plan 3B - SFD 2322 sf,BFT21-0408SFDO4827100124925 AVIATION LNTR 36708 Century Comm-Mesa Verde PH 11 - Lot 31 - Plan 2AR - SFD 2191 sf, GARAGE 419 sf, PORCH 89 sf - MVU ReleaseBFT21-0359SFDO48271000124928 AVIATION LNTR 36708 Century Comm-Mesa Verde PH 11 - Lot 30 - Plan 1A - SFD 1524 sf, GARAGE 419 sf, PORCH 42 sf - MVUBFT21-0358SFDO00000000	Image: series of the series	Image: Constraint of the state of		$\begin{array}{c c c c c c c c c c c c c c c c c c c $	1 0 1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	And the second secon
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Image:	Image: Constraint of the second se	Image: Second		1     3/9/2022       1     3/9/2022       1     5/19/2022		N N N	Image: Second
Plan 6B - Lot 32, SFD 2771 sf; Garage 427 sf; Front PorchO48525000415594 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 12-Enclave, Plan 5E - Lot 33, SFD 2320 sf; Garage 427 sf; Front PorchBFT21-0456SFD48525000515584 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 12-Enclave, Plan 5E - Lot 33, SFD 2320 sf; Garage 427 sf; Front PorchBFT21-0457SFD48525000515584 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 12-Enclave, Plan 6A - Lot 34, SFD 2771 sf; Garage 427 sf; Front PorchBFT21-0457SFD0OOOOO0OOOO	Image: state in the state	Image: Second	1	1 1 5/24/2022 1 5/24/2022 1	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	Image: Second se Image: Exact description       Image: Exact description       Image: Exact description       Image: Exact description         Image: Exact descrip
485250006       15576 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, BFT21-0458       SFD       0         485250007       15570 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, BFT21-0459       SFD       0         485250007       15570 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, BFT21-0459       SFD       0         485250007       15570 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, BFT21-0459       SFD       0         20 sf - MVU release       20 sf - MVU release       0       0       0       0       0         485250008       15566 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, Plan 4B - Lot 37, SFD 2948 sf; Garage 423 sf; Front Porch       SFD       0       0         91an 7D - Lot 37, SFD 2948 sf; Garage 423 sf; Front Porch       0 <td< td=""><td>Image: state stat</td><td>Image: Note of the second s</td><td></td><td>1     5/24/2022       1     5/24/2022       1     5/24/2022       1     5/24/2022       1     5/24/2022</td><td></td><td>N N N N N N N N N N N N N N N N N N N</td><td></td></td<>	Image: state stat	Image: Note of the second s		1     5/24/2022       1     5/24/2022       1     5/24/2022       1     5/24/2022       1     5/24/2022		N N N N N N N N N N N N N N N N N N N	
485241013       15597 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 12-Enclave, Plan 7E - Lot 57, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT21-0461       SFD       O         485250009       15552 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 6E - Lot 38, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT21-0506       SFD       O         485250010       15546 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 6E - Lot 38, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT21-0506       SFD       O         485250010       15546 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 6E - Lot 38, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT21-0507       SFD       O	Image: series of the series	Image:		Image: 1     5/24/2022       1     6/24/2022       1     6/24/2022	1 0 1 0	N N N	
Plan 5B - Lot 39, SFD 2320 sf; Garage 421 sf; Front Porch       0         485250011       15532 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, BFT21-0508       SFD       0         100       15563 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, BFT21-0509       BFT21-0509       SFD       0         100       15563 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, BFT21-0509       BFT21-0509       SFD       0         100       15563 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, BFT21-0509       BFT21-0509       SFD       0         101       15563 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, BFT21-0509       SFD       0       0         101       15563 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, 20 sf - MVU release       BFT21-0509       SFD       0	Image: state stat	Image: Sector state       Image: Sector state<		1 6/24/2022 1 6/24/2022	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$
485241015       15555 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 5A - Lot 59, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT21-0510       SFD       O         485241016       15543 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 7E - Lot 60, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT21-0511       SFD       O         485241017       15533 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 13-Enclave, Plan 6B - Lot 61, SFD 2771 sf; Garage 427 sf; Front Porch       BFT21-0512       SFD       O	Image: Second	Image: Second		1     6/24/2022       1     6/24/2022       1     6/24/2022       1     6/24/2022       1     6/24/2022	1 0 1 0 1 0	N N N N N N N N	
485240014       15587 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 6B - Lot 14, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT22-0022       SFD       O         485240015       15599 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, 55 sf - MVU release       BFT22-0023       SFD       O         485240015       15599 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, 55 sf - MVU release       BFT22-0023       SFD       O         485240016       15611 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, 44 sf - MVU release       BFT22-0024       SFD       O	Image: state stat	Image: state in the state		1     6/29/2022       1     6/29/2022       1     6/29/2022       1     6/29/2022       1     6/29/2022		N N N N	
Plan 7B - Lot 16, SFD 2948 sf; Garage 423 sf; Front Porch       0         39 sf - MVU release       39 sf - MVU release         485240017       15623 CRUSADER DR         485240018       15635 CRUSADER DR         485240018       15635 CRUSADER DR         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 6D - Lot 17, SFD 2771 sf; Garage 427 sf; Front Porch       SFD         O       0         Hasse       0         Veritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2320 sf; Garage 421 sf; Front Porch       SFD         O       0         485240019       15647 CRUSADER DR         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release         Meritage Homes/Legacy Park TR 36760 PH 14-Enclave, Plan 5A - Lot 18, SFD 2300 sf; Garage 421 sf; Front Porch 44 sf - MVU release	Image: series of the series	Image: state in the state		Image: state of the state o		N N N	
Plan 4B - Lot 19, SFD 1910 sf; Garage 419 sf; Front Porch       0         20 sf - MVU release       20 sf - MVU release         485241009       15590 CRUSADER DR         485240010       15539 CRUSADER DR         485240010       15539 CRUSADER DR         Meritage Homes/Legacy Park TR 36760 PH 15-Enclave, Plan 3A - Lot 53, SFD 2197 sf; Garage 421 sf; Front Porch       SFD         28 sf - MVU release       0         Plan 6E - Lot 10, SFD 2771 sf; Garage 427 sf; Front Porch       0         55 sf - MVU release       0	Image: Sector	Image: Second		1     6/29/2022       1     6/29/2022       1     8/15/2022	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	
485240011       15551 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 15-Enclave, Plan 5B - Lot 11, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0051       SFD       O         485240012       15563 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 15-Enclave, Plan 4D - Lot 12, SFD 1910 sf; Garage 419 sf; Front Porch 20 sf - MVU release       BFT22-0052       SFD       O         485240013       15575 CRUSADER DR       Meritage Homes/Legacy Park TR 36760 PH 15-Enclave, Plan 7A - Lot 13, SFD 2948 sf; Garage 423 sf; Front Porch       BFT22-0053       SFD       O	Image: Constraint of the state of	Image: Note of the second s		Image: state in the state i	1 0 1 0 1 0	N N N N N N N	
39 sf - MVU release	Image: series of the series	Image: state in the state		Image: Non-State     Non-State       1     8/12/2022       1     8/23/2022       1     1		N N N	
Image: Home S/Leg acy Park TR 36760 PH 15-Enclave, BFT22-0057       SFD       O         485241008       15578 CRUSADER DR       Meritage Homes/Leg acy Park TR 36760 PH 15-Enclave, BFT22-0057       SFD       O         485240003       24544 LANCER PL       Meritage Homes/Leg acy Park TR 36760 PH 16-Enclave, BFT22-0075       BFT22-0075       SFD       O         Heritage Homes/Leg acy Park TR 36760 PH 16-Enclave, BFT22-0075       SFD       O       O       O         A85240003       24544 LANCER PL       Meritage Homes/Leg acy Park TR 36760 PH 16-Enclave, BFT22-0075       SFD       O       O         Flan 5E - Lot 3, SFD 2320 sf; Garage 421 sf; Front Porch sf - MVU release       SFD       O       O       O	Image: Second	Image: Second	1	0/15/2022       1       8/15/2022       1       1       1       10/3/2022	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	
485240004       24532 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, Plan 7A - Lot 4, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT22-0076       SFD       O         485240005       24520 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, Plan 5B - Lot 5, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0077       SFD       O         485240006       24508 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, Plan 5B - Lot 5, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0078       SFD       O         485240006       24508 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, Plan 6D - Lot 6, SFD 2771 sf; Garage 427 sf; Front Porch 55       SFD       O	Image: Constraint of the state of	Image: Note of the second s		1     9/29/2022       1     10/3/2022       1     10/3/2022       1     10/3/2022	1 0 1 0 1 0	N N N N N N N	
Image: store       sf - MVU release       Image: store       Image: store       Image: store       Image: store       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0079       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0080       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0080       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0080       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0080       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0081       SFD       O         Image: store       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, store       BFT22-0081       SFD       O	Image: series of the series	Image: state in the state		1     1       1     10/3/2022       1     10/3/2022       1     10/3/2022       1     10/3/2022		N N N	
Plan 7B - Lot 9, SFD 2948 sf; Garage 423 sf; Front Porch 39       0         485241003       24541 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, BFT22-0082       SFD       0         485241004       24529 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, BFT22-0083       SFD       0         485241004       24529 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 16-Enclave, Plan 6A - Lot 47, SFD 2771 sf; Garage 419 sf; Front Porch       SFD       0         1000       55 sf - MVU release       Plan 6A - Lot 47, SFD 2771 sf; Garage 427 sf; Front Porch       0       0         1000       55 sf - MVU release       Plan 6A - Lot 47, SFD 2771 sf; Garage 427 sf; Front Porch       0       0         1000       55 sf - MVU release       Plan 6A - Lot 47, SFD 2771 sf; Garage 419 sf; Front Porch       0       0	Image: Sector	Image: Second	1	1 9/30/2022 9/30/2022	1 0 1 0 1 0	N N N N N N N N N N N N N N N N N N N	
485251012 15593 AVENGER DR 485251012 15593 AVENGER DR CONVERSION & CofO - Lot 85 - Plan 1 - SFD 1926 sf, GARAGE 421 sf, PORCH 24 sf - MVU Release O	Image: 1         8/24/2017         1	1 3/25/2022		9/30/2022	1 0	N N	

Jurisdiction       Moreno Valley         Reporting Year       2022       (Jan. 1 - Dec. 31)         Planning Period       6th Cycle       10/15/2021 - 10/15/2029	ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation	Note: "+" indicates an optional fie Cells in grey contain auto-calculation							
485251013       15601 AVENGER DR       TR 36760 Meritage Homes Legacy Park - Arbor MODEL CONVERSION & CofO - Lot 86 - Plan 3X - SFD 2197 sf, GARAGE 421 sf, PORCH 106 sf - MVU Release       BFT22-0093       SFD       O         485240001       24568 LANCER PL       Meritage Homes/Legacy Park TR 36760 PH 17-Enclave, Plan 6B - Lot 1, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT22-0103       SFD       O		1       8/24/2017       1         1       8/24/2017       1	1       3/25/2022         1       5/11/2022	1     Image: Second secon	1 0 N 1 0 N	N			
48524000224556 LANCER PLMeritage Homes/Legacy Park TR 36760 PH 17-Enclave, Plan 5D - Lot 2, SFD 2320 sf, Garage 421 sf; Front Porch 44 sf - MVU releaseBFT22-0104SFDO48525001215526 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 17-Enclave, Plan 5E - Lot 41, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU releaseBFT22-0105SFDO48525001315518 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 17-Enclave, Plan 6D - Lot 42 SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU releaseBFT22-0106SFDO48525001415510 RAPTOR RDMeritage Homes/Legacy Park TR 36760 PH 17-Enclave, Plan 6D - Lot 42 SFD 2771 sf; Garage 427 sf; Front Porch S5 sf - MVU releaseBFT22-0107SFDO		1       8/24/2017       1       Image: Constraint of the second	1       5/11/2022         1       5/11/2022         1       5/11/2022         1       5/11/2022	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1 0 N 1 0 N 1 0 N	N			
Han 7B - Lot 43, SFD 2948 sf; Garage 423 sf; Front Porch       O         485250015       15502 RAPTOR RD       Meritage Homes/Legacy Park TR 36760 PH 17-Enclave, BFT22-0108       SFD         Plan 4A - Lot 44, SFD 1910 sf; Garage 419 sf; Front Porch       O       O         20 sf - MVU release       O       O		1       8/24/2017       1       Image: Constraint of the second	Image:	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1 0 N 1 0 N 1 0 N	N			
40024 1002       24003 DANGELKTE       Meritage Hones/Legacy Park TR 30700 PH 17-Enclave, Plan 7B - Lot 46, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT22-0110       SFD       O         485250023       15541 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 19-Enclave, 39 sf - MVU release       BFT22-0155       SFD       O         485250024       15553 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 19-Enclave, 39 sf - MVU release       BFT22-0156       SFD       O         485250024       15553 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 19-Enclave, Plan 5D - Lot 70, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0156       SFD       O         485250025       15565 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 19-Enclave, Plan 5D - Lot 70, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0157       SFD       O		1       8/24/2017       1       Image: Constraint of the second	Image:	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	1 0 N 1 0 N 1 0 N	N			
485250025       15565 HAWK ST       Meritage Homes/LegacyPark TR 36760 PH 19-Enclave, Plan 6E - Lot 71, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BF122-0157       SFD       O         485251004       15574 HAWK ST       Meritage Homes/LegacyPark TR 36760 PH 19-Enclave, Plan 4B - Lot 77, SFD 1910 sf; Garage 419 sf; Front Porch 20 sf - MVU release       BF122-0158       SFD       O         485251005       15562 HAWK ST       Meritage Homes/LegacyPark TR 36760 PH 19-Enclave, Plan 6A - Lot 78, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BF122-0159       SFD       O         485251005       15562 HAWK ST       Meritage Homes/LegacyPark TR 36760 PH 19-Enclave, Plan 6A - Lot 78, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BF122-0159       SFD       O		1       8/24/2017       1       Image: Constraint of the second	1       5/25/2022         1       5/25/2022         1       5/25/2022         1       5/25/2022	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	1 0 N 1 0 N 1 0 N	N			
Plan 5E - Lot 79, SFD 2320 sf; Garage 421 sf; Front Porch       0         485250026       15577 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 18-Enclave, BFT22-0167       SFD       0         485250027       15589 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 18-Enclave, BFT22-0168       SFD       0         485250027       15589 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 18-Enclave, BFT22-0168       SFD       0         Plan 4D - Lot 73, SFD 1910 sf; Garage 419 sf; Front Porch       0       0       0       0		1       8/24/2017       1       Image: Constraint of the second	1       5/25/2022         1       5/25/2022         1       5/25/2022         1       5/25/2022         1       5/25/2022	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	1 0 N	N			
20 sf - MVU release20 sf - MVU release48525100115612 HAWK STMeritage Homes/Legacy Park TR 36760 PH 18-Enclave, Plan 6D - Lot 74, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU releaseBFT22-0169SFDO48525100215600 HAWK STMeritage Homes/Legacy Park TR 36760 PH 18-Enclave, Plan 6E - Lot 75, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU releaseBFT22-0170SFDO48525100315588 HAWK STMeritage Homes/Legacy Park TR 36760 PH 18-Enclave, Plan 6E - Lot 75, SFD 2771 sf; Garage 423 sf; Front Porch 55 sf - MVU releaseBFT22-0171SFDO48525100315588 HAWK STMeritage Homes/Legacy Park TR 36760 PH 18-Enclave, Plan 7A - Lot 76, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU releaseOO		1       8/24/2017       1       Image: Constraint of the second	1       5/25/2022         1       5/25/2022         1       5/25/2022         1       5/25/2022         1       5/25/2022	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	1 0 N 1 0 N 1 0 N	N			
485250016       24749 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 5E - Lot 62, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0201       SFD       O         485250017       24739 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 5E - Lot 62, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0202       SFD       O         485250017       24739 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 7D - Lot 63, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT22-0202       SFD       O         485250018       24727 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 6A - Lot 64, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVU release       BFT22-0203       SFD       O		1       8/24/2017       1       Image: Constraint of the second	Image:	1       Image: Constraint of the state of t	1 0 N 0 0 N 0 0 N	N		Image: Second	12/14/2022 - DEMO due to Fireburn of SFD includes foundation. SFD was destroyed by Fire prior to the occupancy of the new buyer.         12/14/2022 - DEMO due to Fireburn of SFD includes foundation. SFD was destroyed by Fire prior to the occupancy of the new buyer.
485250019       24715 LIGHTNING WAY       55 sf - MVU release       BFT22-0204       SFD       O         485250020       24703 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 7B - Lot 65, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT22-0204       SFD       O         485250020       24703 LIGHTNING WAY       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 5E - Lot 66, SFD 2320 sf; Garage 421 sf; Front Porch 44 sf - MVU release       BFT22-0205       SFD       O         485250021       15517 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, Plan 6D - Lot 67, SFD 2771 sf; Garage 427 sf; Front Porch 55 sf - MVL release       BFT22-0206       SFD       O		1       8/24/2017       1       Image: Constraint of the second	1       6/30/2022         1       6/30/2022         1       6/30/2022         1       6/30/2022	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	0 0 N 0 0 N 1 0 N	N		1       Destroyed       O       Image: Constraint of the second	12/14/2022 - DEMO due to Fireburn of SFD includes foundation. SFD was destroyed by Fire prior to the occupancy of the new buyer.         12/14/2022 - DEMO due to Fireburn of SFD includes foundation. SFD was destroyed by Fire prior to the occupancy of the new buyer.         12/14/2022 - DEMO due to Fireburn of SFD includes foundation. SFD was destroyed by Fire prior to the occupancy of the new buyer.
485250022       15529 HAWK ST       55 sf - MVU release       SFD       0         485251007       15538 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, BFT22-0208       SFD       0         485251007       15538 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, BFT22-0208       SFD       0         485251007       15538 HAWK ST       Meritage Homes/Legacy Park TR 36760 PH 20-Enclave, BFT22-0208       SFD       0         485251010       15565 AVENGER DR       Meritage Homes/Legacy Park TR 36760 Build Out-Enclave, BFT22-0213       SFD       0         485251010       15565 AVENGER DR       Meritage Homes/Legacy Park TR 36760 Build Out-Enclave, BFT22-0213       SFD       0         Flan 6A - Lot 83, SFD 2771 sf; Garage 427 sf; Front Porch       55 sf - MVU release       0       0		1       8/24/2017       1       Image: Constraint of the second	Image: 1       6/30/2022         Image: 1       6/30/2022         Image: 1       6/30/2022         Image: 1       9/7/2022	1       1       12/22/2022       1         1       1       1       12/22/2022       1         1       1       1       1       12/22/2022       1         1       1       1       1       1       1       1	1 0 N 1 0 N 0 0 N	N			
485251011       15577 AVENGER DR       Meritage Homes/Legacy Park TR 36760 Build Out-Enclave, Plan 7B - Lot 84, SFD 2948 sf; Garage 423 sf; Front Porch 39 sf - MVU release       BFT22-0214       SFD       O         485251008       15543 AVENGER DR       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0267       SFD       O         485251009       15557 AVENGER DR       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         485251009       15557 AVENGER DR       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2948 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2948 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2948 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2948 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2948 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O         2949 sf,       TR 36760 Meritage Homes [Enclave @ Legacy Park]       BFT22-0268       SFD       O		1       8/24/2017       1       Image: Constraint of the second	Image:	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	0 0 N 1 0 N 1 0 N	N			
259541009       23124 SAMANTHA PL       TR 24203 KB Boulder Ridge PH 8 - Plan 3CR, Lot 44 - SFD 2091 sf, GARAGE 417 sf, PORCH 33 sf - (Very High Fire Hazard Severity Zone) - SCE Release       BFT20-0066       SFD       O         259531004       9631 TRAILHEAD LN       TR 24203 KB Boulder Ridge Build Out - Plan 2RA, Lot 61 - SFD 1751 sf (Very High Fire Hazard Severity Zone)       BFT21-0121       SFD       O         259531006       9659 TRAILHEAD LN       TR 24203 KB Boulder Ridge Build Out - Plan 3RB, Lot 63 - SFD 1751 sf (Very High Fire Hazard Severity Zone)       BFT21-0123       SFD       O		1       10/9/2018       1 <td>Image: 1       4/14/2020         Image: 1       9/2/2021         Image: 1       9/2/2021</td> <td>1       1       2/24/2022       1         1       1       2/24/2022       1         1       1       1       2/24/2022       1</td> <td>1 0 N 1 0 N</td> <td>N</td> <td></td> <td></td> <td></td>	Image: 1       4/14/2020         Image: 1       9/2/2021         Image: 1       9/2/2021	1       1       2/24/2022       1         1       1       2/24/2022       1         1       1       1       2/24/2022       1	1 0 N 1 0 N	N			
SFD 2091 sf, (Very High Fire Hazard Severity Zone)       O         259532002       9652 TRAILHEAD LN       TR 24203 KB Boulder Ridge Build Out - Plan 1B, Lot 67 - SFD 1551 sf, GARAGE 418 sf, PORCH 72 sf - (Very High Fire Hazard Severity Zone)       BFT21-0125       SFD       O         259532003       9638 TRAILHEAD LN       TR 24203 KB Boulder Ridge Build Out - Plan 3A, Lot 68 - SFD 2091 sf, GARAGE 417 sf, PORCH 42 sf - (Very High Fire Hazard Severity Zone)       BFT21-0126       SFD       O         259531008       9687 TRAILHEAD LN       MODEL HOME CONVERSION and CofO for KB Boulder       BFT21-0466       SFD       O		1       10/9/2018       1 <td>1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021</td> <td>1       1       2/24/2022       1         1       1       1       2/24/2022       1         1       1       1       2/24/2022       1         1       1       1       2/24/2022       1</td> <td>N       1     0       1     0       1     0       1     0</td> <td>N</td> <td></td> <td></td> <td></td>	1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021         1       9/2/2021	1       1       2/24/2022       1         1       1       1       2/24/2022       1         1       1       1       2/24/2022       1         1       1       1       2/24/2022       1	N       1     0       1     0       1     0       1     0	N			
Ridge TRACT 24203, Lot 65, Plan 4AR (Original Permit #BFT19-0105)O2595320019668 TRAILHEAD LNTR 24203 KB Boulder Ridge Build Out - Plan 2C, Lot 66 - SFD 1751 sf, (Very High Fire Hazard Severity Zone)BFT21-0124SFD2595310079673 TRAILHEAD LNMODEL HOME CONVERSION and CofO for KB Boulder Ridge TRACT 24203, Lot 64, Plan 2BR (Original Permit #BFT19-0104)BFT21-0467SFDO47475101610613 CLOUD HAVEN DRKB-Daybreak TR 31592 PH 3D Plan 4DR Lot 73: SFDBFT18-0702SFDO		1       10/9/2018       1         1       10/9/2018       1         1       10/9/2018       1         1       10/9/2018       1         1       6/24/2003       1	Image:	1       1       2/24/2022       1         1       1       1       2/28/2022       1         1       1       1       3/3/2022       1         1       1       1       3/7/2022       1	N         N           1         0         N           1         0         N           1         0         N           1         0         N	N			
2977sfComparisonComparison25953000123009 LAWLESS RDTR 24203 KB Boulder Ridge PH 24 - Plan 4C, Lot 1 - SFD 2396 sf, (Very High Fire Hazard Severity Zone)BFT21-0035SFD47844003228580 YAROW WAYKB Homes-Bella Cortina TR 36436 PH 7 Plan 1D Lot 73: SFD 1772BFT18-0228SFDO47846201028671 YAROW WAYKB Homes-Bella Cortina TR 36436 PH 8C Plan 2B Lot 127: SFD 1905BFT18-0501SFDO47846100414308 TANSY RDKB Homes-Bella Cortina TR 36436 PH 8D Plan 5A Lot 98: SFD 3061BFT18-0519SFDO		1       6/24/2003       1       I <thi< th="">       I       I       <thi< <="" td=""><td>1       12/1//2018         1       12/1//2018         1       8/30/2021         1       5/31/2018         1       8/7/2018         1       8/7/2018</td><td>1       1       3/1/2022       1         1       1       3/1/2022       1         1       1       1       3/1/2022       1         1       1       1       4/14/2022       1         1       1       1       4/14/2022       1         1       1       1       4/14/2022       1</td><td>1     0     N       1     0     N       1     0     N       1     0     N       1     0     N       1     0     N</td><td>N</td><td></td><td></td><td></td></thi<></thi<>	1       12/1//2018         1       12/1//2018         1       8/30/2021         1       5/31/2018         1       8/7/2018         1       8/7/2018	1       1       3/1/2022       1         1       1       3/1/2022       1         1       1       1       3/1/2022       1         1       1       1       4/14/2022       1         1       1       1       4/14/2022       1         1       1       1       4/14/2022       1	1     0     N       1     0     N       1     0     N       1     0     N       1     0     N       1     0     N	N			
478440007       14301 QUINCY ST       KB-Bella Cortina TR 36436 PH 13, Plan 3C, Lot 7 - SFD       BFT19-0408       SFD       O         481342039       24631 IRONWOOD AVE       PM 33637 - "Ironwood" Lot 39 Plan 1B - SFD 2014 sf, (PEN17-0096)       BFT20-0162       SFD       O         481342040       24639 IRONWOOD AVE       PM 33637 - "Ironwood" Lot 40 Plan 1C - SFD 2014 sf, (PEN17-0096)       BFT20-0163       SFD       O         481342041       24647 IRONWOOD AVE       PM 33637 - "Ironwood" Lot 41 Plan 1D - SFD 2014 sf       BFT20-0164       SFD       O		1       5/14/2015       1       Image: Constraint of the second	Image: Constraint of the second se	1	I     O     N       1     0     N       1     0     N       1     0     N	N			
474250059       26255 IRONWOOD AVE       Partial Garage Conversion into ADU (Total 1,200 SF) of an Existing Detached Garage (PEN20-0126) **3/21/22 REVISIONS**       BFR20-0204       ADU       R         1       485220015       15860 EMMA LN       Demolish Fire Damage Structure- SFD of 2000 Sf [BSR22-0016       BSR22-0016       SFD       O         1       28611 MAZANITA AVE       Demolish fire damaged structure - SFD of 1580 SF [BSR21-0044       BSR21-0044       SFD       O	Image: selection of the	1       4/1/2005       1         10/21/2020       1       Image: Constraint of the second s	Image: selection of the	$ \begin{array}{c c c c c c c c c c c c c c c c c c c $	1     0     N       1     0     N       0     0     N       0     0     N	N	ADU	Image: Marking and Mark	Image: Conversion to ADU         Attached ADU/Partial Garage Conversion to ADU         Fire-damaged structure - SFD was required to be demolished (3/29/2022)         Fire-damaged structure - SFD was required to be demolished (1/13/2022)         Fire-damaged structure - SFD was required to be demolished (1/13/2022)
488190028 27381 COTTONWOOD AVE       Full demolition of SFD including all utilities and foundation       BOD22-0020       SFD       O         488190028 27383 COTTONWOOD AVE       Full demolition of SFD including all utilities and foundation       BOD22-0021       SFD       O       O         488190028 27385 COTTONWOOD AVE       Full demolition of SFD including all utilities and foundation       BOD22-0022       SFD       O	Image: select	001001001001001001001001001	Image: Section of the section of th	022	0     0     N       0     0     N       0     0     N       0     0     N       0     0     0       0     0     0       0     0     0	N		1DemolishedO1DemolishedO1DemolishedO1DemolishedO1DemolishedO1DemolishedO1DemolishedO1II1I<	SFD demolished 5/4/22 (previous fire damage)         Image: Image
Image: select	Image: second	0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0		011	0			Image: section of the section of th	Image:
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Image: big	Image: state in the state in	0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0	Image: state in the state	UII	0	Image: Sector of the sector		Image: series of the series	Image:
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Image: series of the series	Image: state of the state of	0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0		0       0	0			Image: section of the section of th	Image:
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Image: series of the series	Image: series of the series	0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0         0       0       0	Image: section of the section of th	000	0	Image: Sector of the sector		Image: series of the series	Image: state
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Image: select		0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0         0       0       0       0		0       0					
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Jurisdiction	Moreno Valley	
Reporting Year	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

## ANNUAL ELEMENT PROGRESS REPORT **Housing Element Implementation**

						Tab	le B							
					Regional	Housing Nee	ds Allocation	Progress						
					Permit	tted Units Iss	ued by Afford	lability						
												3	4	
Ir	Income Level RHNA Allocation by Income Level 2021 10/14/2021 2021 2022 2023 2024 2025 2026 2027 2028 2029 2029												Total Units to Date (all years)	Total Remaining RHNA by Income Level
	Deed Restricted	3,779	-	-	-	-	-	-	-	-	-	-		3,779
Very Low	Non-Deed Restricted	5,119	-	-	-	-	-	-	-	-	-	-	-	3,779
	Deed Restricted	2,051	-		-	-	-	-	-	-	-	-		2,051
Low	Non-Deed Restricted	2,031	-	-	-	-	-	-	-	-	-	-	-	2,001
	Deed Restricted	2,165	-	-	-	-	-	-	-	-	-	-	66	2,099
Moderate	Non-Deed Restricted	2,103	11	4	51	-	-	-	-	-	-	-	00	2,055
Above Moderate		5,632	38	27	228	-	-	-	-	-	-	-	293	5,339
Total RHNA		13,627												
Total Units			49	31	279	-	-	-	-	-	-	-	359	13,268
				Prograss toward ox										

Progress toward extremely low-income housing need, as determined pursuant to Government Code 65583(a)(1).

			•	regress toward ex	a entery ten meen	ie neachig need, a	e determined pure		10 0000 00000(u)( !	<i>.</i> ,				
5										6	7			
		Extremely low-Income Need		2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date	Total Units Remaining
Extremely Low-Incon	ne Units*	1,890		-	-	-	-	-	-	-	-	-	-	1,890

\*Extremely low-income houisng need determined pursuant to Govermnet Code 65583(a)(1). Value in Section 5 is default value, assumed to be half of the very low-income RHNA. May be overwritten. Note: units serving extremely low-income households are included in the very low-income RHNA progress and must be reported as very low-income units in section 7 of Table A2. They must also be reported in the extremely low-income category (section 13) in Table A2 to be counted as progress toward meeting the extremely low-income housing need determined pursuant to Government Code 65583(a)(1). Please note: For the last year of the 5th cycle, Table B will only include units that were permitted during the portion of the year that was in the 5th cycle. For the first year of the 6th cycle, Table B will only include units that were permitted since the start of the planning period. Projection Period units are in a separate column. Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.

Please contact HCD if your data is different than the material supplied here

1.b

ANNUAL	EL	.EM	EN	IT	F
Housing	Ele	eme	nt	Im	۱ķ

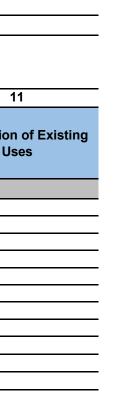
Jurisdiction	Moreno Valley	
Reporting Year	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

	Table C																	
						-	Sites Identif	ied or Rezoned to	Accommodate	Shortfall Housin	ng Need and No	Net-Loss Law						
		Project Ider	ntifier		Date of Rezone	RH	NA Shortfall by Ho	usehold Income Cate	gory	Rezone Type				s	ites Description			
		1	-		2			3		4	5	6	7		8	9	10	11
	APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Date of Rezone	Very Low-Income	Low-Income	Moderate-Income	Above Moderate- Income	Rezone Type	Parcel Size (Acres)	General Plan Designation	Zoning	Minimum Density Allowed	Maximum Density Allowed	Realistic Capacity	Vacant/Nonvacant	Description of E Uses
Summary Row: Start Data Entry Below																		

# PROGRESS REPORT

### Note: "+" indicates an optional field

Cells in grey contain auto-calculation formulas





Packet Pg. 46

1.b

# **ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation**

Jurisdiction Reporting Year	Moreno Valley 2022	(Jan. 1 - Dec. 31)								
	Table D									
	Program Implementation Status pu	rsuant to GC Section	65583							
Describe progress of	Housing Programs Pro all programs including local efforts to remove governmental constraints to th		ant and development of housing as identified in the housing							
Describe progress of	element.									
1	2	3	4							
Name of Program H-1: Availability of a wid	Objective	Timeframe in H.E	Status of Program Implementation							
range of housing l location, type of unit, ar	by nd Action 1-A: Review and update the General Plan periodically (if an updat ng is needed) to ensure that growth trends are addressed.	te Ongoing 2021-2029	The General Plan was adopted in June 2021. General Plan amendments are being reviewed as they are submitted.							
H-1 Con't	Action 1-B: Target one mixed-use project over the planning period Encourage development of a variety of housing types through zonir mechanisms such as overlay zones (Senior Housing, Planne Development) and incentives. Update the density bonus incentive section of the development code to comply with State Density Bonus Law	ed as opportunities arise es	The Municipal Code was updated in 2021 to meet these provisions. Annual updates have provided for further diversity.							
H-1 Con't	Action 1-C: Target one mixed-use project with a residential component over the planning period (2021-2029) Foster a diverse mix of housing types and densities in proximity to employment, shopping, transit, recreation, and other services by focusing new development on vacant and underutilized sites in the Center Mixed Use, Corridor Mixed Use, and Downtown Center General Plan land use designations.	Ongoing and as g opportunities arise	<sup>s</sup> The Municipal Code was updated in 2021 to meet these provisions. Annual updates have provided for further diversity.							
H-1 Con't	Action 1-D: Proactively promote housing development opportunities Publish an inventory of properties available for residential developme on the City's website, updating and disseminating it at least annual throughout the planning period.	-	Ongoing							
H-1 Con't	Action 1-E: Outreach and involvement of non-profit and for-profit housing developers Engage non-profit and for-profit developers in an advisory role developing Annual Action Plans for Consolidated Plan implementatio This may include surveys, focus group discussions, and one-on-or consultation. Summarize consultation activities in Annual Action Plans.	n. n. n. appually throughout the	Ongoing							
H-1 Con't	Action 1-F: Facilitate production of higher density housing in strategic locations meet RHNA requirements and further community objectives As of June 1, 2022 Moreno Valley is one of 263 California communities subject to SB 35 streamlining provisions that offer an expedited approv process for residential and mixed use projects in urbanized area proposing to provide at least 10 percent of their units as affordab housing. SB 35 streamlining provisions apply to the majority of sites in th COMU designation as well as to portions of Sunnymead Village ar therefore represent an additional incentive for higher density housing and adjacent the city's key transit corridors. To promote opportunities ar	es al as <sup>le</sup> April 2023, reporting annually by April of each year thereafter via in Appual Progress Report	As of January 2023, No Applications have been made by developers at this time.							

to HCD. incentives for higher density housing that will help the City meet its RHNA requirements and address community priorities, the City will promote opportunities for SB 35 development in Moreno Valley. Activities may include creating fact sheets, posting information to the website, and highlighting opportunities during pre-development application consultations.

Action 1-G: Facilitate production of affordable housing and smaller units that can be "affordable by design." A key objective of the 2040 General Plan is to facilitate the redevelopment and revitalization of the Moreno Valley Mall in order to enhance its role as an activity center within the community and a destination within the region. Central to this objective is the introduction of higher density housing on the site, including apartments, condominiums, and townhomes that cater to the needs of residents of all ages and stages of life. IGP Business Group, the owner of the Moreno Valley Mall, is preparing an amendment to the Towngate Specific Plan for the redevelopment of approximately 60 acres of the 80.33-acre property to integrate a dynamic mix of retail, office, personal Plan amendments service, and residential uses. IGP Business Group envisions the construction of up to 1,600 new multi-family housing units on a 15.2-acre portion of the redevelopment area, which would be subdivided into at least four parcels to facilitate phased construction of the project. The City will continue to meet with the property at least quarterly, work proactively to ensure parcelization at appropriate sizes and, as needed, will identify additional regulatory or process incentives to facilitate on-site provision of studios and 1-bedroom units for students and other households with limited financial resources.

H-1 Con't

April 2024, with adoption Amendments to the Towngate specific plan are in review. The of Towngate Specific Draft EIR was Circulated on November 27, 2022.

H-1 Con't	Action 1-H: Increase opportunity for innovative housing types Encourage Innovative and 'Non-Traditional' Forms of Housing. Provide opportunities and facilitate innovative housing approaches in financing, design, construction and types of housing to increase the variety and supply of lower and moderate-income housing. Examples include co- housing, eco-housing, manufactured housing, new construction or rehabilitation self-help or "sweat equity" housing for first time lower or moderate-income homeowners, and cooperatives or joint ventures between owners, developers and nonprofit groups in the provision of affordable housing.	2022	Winter omnibus allows for single-family residential housing within all residential districts opening the door for more flexible standards. (2022)
H-1 Con't	Action 1-I: Encourage Manufactured Housing. Continue to allow manufactured housing units in single-family detached areas, consistent with State law requirements, to provide a mix of affordable and moderate- income homes. The City's Zoning Ordinance allows manufactured housing by right in single-family detached areas in the HR, RR, R1, RA2, R2, R3 and R5 districts, so long as the housing is placed on permanent foundations in compliance with all applicable building regulations; is certified under the National Manufactured Housing Construction and Safety Standards Act of 1974 and was constructed not more than ten (10) years prior to request to install; and is compatible with the immediate area and meets the development standards of the underlying district. Review the Planning and Zoning Code to identify and address any requirements that may restrict or prevent the construction of modular housing. (Goal of 20 moderate income manufactured housing units)	Ongoing 2024	Ongoing
	Action 1-J: Facilitate rehabilitation of 20 units per year. Continue to use		
H-1 Con't	available funds for the rehabilitation and preservation of multifamily rental and ownership housing that is affordable to lower and moderate-income	•	
	households. The Housing Authority has identified 152 affordable units in		
	need of rehabilitation.	of all 152 units by 2028	
	Action 1-K: To promote high-density housing near transportation opportunities. Periodically review parking standards for senior and		Reviewed as part of Winter Omnibus (2022). There are no
H-1 Con't	affordable housing developments that are located in proximity to transit	-	
	stops and evaluate opportunities to revise with a view to further		proposed at these locations.
	incentivizing such projects.		
	Action 1-L: To ensure consistency between the concurrent update to the		
	2040 General Plan and the 2021-29 Housing Element, the City shall		
	prepare an update to Title 9 (Planning and Zoning) of the Municipal Code, an update to the City's Zoning Map, and rezone identified Inventory sites		
	in all RHNA income levels with the view of ensuring residential density		
H-1 Con't	development standards are consistent with adopted planning documents	Rezoned by October 15,	Appendix D List of Sites rezone complete.
	(see Appendix D for List of Sites to be Rezoned). Inventory sites identified	////	
	for rezoning include targeted efforts to expand the supply of available		
	residential land, up-zone existing neighborhoods in areas of opportunity		
	or in high quality neighborhood transit areas, and to allow and encourage mixed- use zoning.		
	Action 1-M: Compliance with State ADU laws. Amend the Planning and		
	Zoning Code to update the ADU ordinance in order to comply with State		
H-1 Con't	law. Modifications would include, but are not limited to, allowing ADUs in		Completed with Spring Omnibus (2021)
	multifamily zones and removing the current requirement of one parking		
	space per bedroom for an ADU.		
	Action 1-N: Given that Moreno Valley's existing housing stock is		
	predominantly single-family homes and that analysis of local market conditions indicates robust demand for smaller units in the city, there is		
	strong potential for ADU development to help meet local housing needs.		
	However, the cost and complexity of designing an ADU and navigating		
	the permitting process can be an impediment for homeowners.		
H-1 Con't	Recognizing this, the City will facilitate construction of ADUs in the future		Ongoing (LEAP funding extension in process)
	by offering pre-approved, code-compliant ADU construction plans that will minimize time and costs associated with design development, plan check		
	review, and plan check fees for homeowners. Pre-approved plans will be		
	made publicly available by Q2 of 2023 and promoted through outreach		
	activities (see Program 1-M). (Goal of 15 ADUs/JADUs annually each		
	year throughout the planning period for a total of 120 units by 2029).		
	Action 1-O: Facilitate the development of affordable ADUs and JADUs. Develop incentives and tools to facilitate ADU construction for very low-,		
	low- and moderate-income households. Incentives may include flexible		
H-1 Con't	zoning requirements, development standards, or processing incentives		Ongoing (SB2 & LEAP funding extension in process)
	that facilitate the creation of ADUs, such as reduced parking		
	requirements, or website information on resources and technical		
	assistance.		
	Action 1-P: Facilitate the development of affordable ADUs. Develop and implement an ADU outreach plan to promote the construction of smaller		
H-1 Con't	units that are "affordable by design" in single-family neighborhoods.		Ongoing (SB2 & LEAP funding extension in process)
· · ·	Outreach activities could include providing information via the City's		6 6 (
	website, and/or educational workshops.		
	Action 1-Q: Track progress toward Sixth Cycle RHNA production goals	a) reporting with annual	
	ensure compliance with State law. The City will monitor ADU and JADU permitting/construction trends and affordability in Moreno Valley, reporting	report to HCD in April	
H-1 Con't	performance in its Housing Element Annual Progress Reports. If actual	2023; annually by April of	General Plan Annual Progress Report will be submitted to
	performance is not in line with projections in October 2025, the City will		HCD & OPR by April 1, 2023
		2025 for corrective action	

- performance is not in line with projections in October 2025, the City will review and take action as needed to ensure compliance with "no-net loss" avaluation (if needed evaluation (if needed provisions of State law.

Action/Program 2-A: 451 new housing units (likely in a horizontal mixed use format) on identified vacant commercial properties with a combined area of 31.32 acres throughout Moreno Valley to further the City's fair housing objectives, consistent with State law

To promote the development of higher density housing along key

H-2: Suitable and affordable housing for persons with special needs, including housing for lower income households, large families, single parent households, the disabled, and senior citizens and shelter for the homeless.

H-2 Con't

process.

density by October 2025.

corridors and ensure a distribution of units that furthers the City's fair housing objectives consistent with State law, the City will amend the planning and zoning code to (1) permit housing at up to 30 dwelling units per acre by right (consistent with Government Code 65583.2 (h) and (i)) on vacant commercial properties, primarily located in the eastern part of Rezoning complete within In process the city along Moreno Beach Boulevard, a major north-south arterial 3 years served by transit and (2) incorporate development standards that facilitate construction at the maximum permitted density. These sites range from 0.99 acres to 8.32 acres in size and are free of environmental constraints, including Alquist-Priolo zones, flood zones, and areas with hazardous materials contamination. Current zoning does not allow for housing development. The implementation mechanism could be either a change to permitted use tables in the code or creation of a floating housing overlay zone.

ACTION/FIOVIAITI 2-D. 440 NEW HOUSING UNITS ANDUADE TO LOW AND VELY Low Income Households on properties owned by religious facilities. Churches, synagogues, and mosques can be important partners in providing affordable housing in Moreno Valley, and representatives of the local faith-based community have expressed interest in pursuing affordable housing projects, particularly projects that offer a pathway to success for socio-economically disadvantaged community members or provide housing for at risk and homeless youth. Focus group discussions identified cost and experience with residential development as the principal challenges for faith-based organizations. Therefore, to facilitate production of affordable housing projects on properties owned by religious facilities, the City will:

a. Amend the planning and zoning code to permit residential development at up to 30 dwelling units per acre by-right (consistent with Government Code 65583.2 (h) and (i)) on church, synagogue, and mosque properties where affordable housing is proposed. The City has identified 30 properties of sufficient size with a combined area of 105.5 acres. All these properties have vacant land and/or surface parking lots that can accommodate housing in areas free of environmental constraints. The Code amendment may take the form of a zoning overlay, change to permitted use tables, or changes in development standards. b. Provide a program of technical assistance and development support to faith-based organizations wishing to pursue affordable housing developments on their properties. This may include the preparation of factsheets; introductions to qualified design professionals, construction contractors, property management firms, and affordable housing operators; consultations on navigating the development application

c. Proactively conduct outreach to faith-based organizations in Moreno Valley to raise awareness of programs and incentives available to them for affordable housing development. This may include mailers, phone calls, meetings, and publication of information on the City's website.

Action/Program 2-C: Continue to track affordable housing units citywide. This includes monitoring the method by which units remain affordable to lower-income households (i.e., covenants, deed restrictions, loans, etc.). Compile report annually with preparation of Housing Element Annual

Progress Report. Action/Program 2-D: The Moval 2040 General Plan Incorporates a newly created Corridor Mixed Use (COMU) designation designed to accommodate higher density housing along key transit corridors in Moreno Valley. Minimum permitted residential density in the COMU designation is 15 dwelling units per acre and maximum is 25 dwelling units per acre prior to application of any density bonus. This range was set on the basis of consultations with affordable and market rate developers and analysis of recent development trends in the city and April surrounding region, reflective of local conditions and real estate economic fundamentals that present a significant financial feasibility challenge for construction at higher densities. Given the outreach and analysis that year underpins the COMU designation, the City believes that it is appropriate to HCD to facilitate the development of higher density housing and a broader range of typologies that will be affordable to households of all ages, abilities and incomes; however, the City commits to monitoring development within the COMU designation and assessing the need to increase density annually throughout the planning period. The City will amend the planning and zoning code to increase it to the regional default

within 3 years or 1 year of statutory deadline as applicable; (b) April of year following rezoning; In process (c) ongoing with regular reporting annually by April of each year thereafter via Annual

Ongoing

(a) Rezoning complete Progress Report to HCD.

Annually by March 31, 2021-2029

2023, reporting Work to amend the Municipal/Zoning Code is in process. annually by April of each One COMU 192-unit apartment complex was approved on thereafter via December 8, 2022, by Planning Commission (PEN22-0022) Annual Progress Report with a density of 24 dwelling units per acre.

H-2 Con't

H-2 Con't	<ul> <li>Action/Program 2-E: Permits for 5,830 lower income units, including 1,890 extremely low, 1,889 very low, and 2,052 low-income units, consistent with the City's regional allocation of such units for the planning period Recognizing that local funding capacity for affordable housing has been severely diminished by the dissolution of redevelopment agencies, the City will continue to facilitate production of affordable housing, including units targeted to extremely low income (ELI) households and persons with special needs (elderly, disabled/developmentally disabled, large households, female-headed households, homeless, and farmworkers), through the following efforts:</li> <li>a. Provide administrative assistance upon request to developers seeking available State and federal funding and/or tax credits for the construction of low- and moderate-income housing.</li> <li>b. Facilitate projects that incorporate affordable units by granting modifications to development standards, expediting the review process, and/or providing financial incentives consistent with City regulations and State law.</li> <li>c. Contact affordable housing developers at least once each year to identify opportunities and connect them with available assistance programs.</li> <li>d. Whenever feasible, provide targeted assistance for special needs housing and extremely low income (ELI) units will be provided through density bonuses and/or regulatory incentives, modified development standards and fee deferrals.</li> </ul>	Ongoing 2021-2029, with annual progress reporting via the Consolidated Annual Performance and Evaluation Report (CAPER)	Ongoing
H-2 Con't	Action/Program 2-F: Ten (10) accessibility modifications annually throughout the planning period. Use available funds to provide grants to assist with accessibility modifications to housing for elderly and disabled persons.	Ongoing 2021-2029, with annual progress reporting via the Consolidated Annual Performance and Evaluation Report	Ongoing
H-2 Con't	Action/Program 2-G: Opportunity for increased number of family-sized rental housing units. Identify and implement as feasible regulatory incentives and/or development standards that can help promote the development of rental housing units with three or more bedrooms suitable for families.	2022-2023	In process
H-2 Con't	<ul> <li>Action/Program 2-H: Focus outreach in areas of highest proportion of cost burdened households and highest gentrification risk as identified with Cal Enviroscreen data and other sources.</li> <li>In collaboration with non-profit groups and educational institutions in Moreno Valley and the surrounding area, establish a program to facilitate home sharing and tenant matching opportunities as viable options to make efficient use of existing housing that will help address the housing needs of seniors, people living with disabilities, people living with developmental disabilities, people at risk of homelessness and single heads of households. The program should:</li> <li>a. Assist in outreach in identifying potential owners, such as seniors who wish to remain in their home or new buyers who could afford single family homes with the extra income potential.</li> <li>b. Assist in publicizing and helping to identify potential renters interested in home sharing opportunities.</li> <li>c. Consider opportunities for renters who do not have vehicles to be matched at locations that have limited parking available.</li> </ul>	Identify potential partners by 2024; consult partners and establish program by 2025; conduct outreach and publicize opportunities at least annually each year after establishment.	In process
H-2 Con't	Action/Program 2-I: Target one project of a minimum of 40 units for extremely-low and very-low incomes over the planning period Through the Moreno Valley Housing Authority, if funding is available, or through interested certified Community Housing Development Organizations (CHDO) and/or non-profit organizations, pursue a program to purchase affordability covenants on existing multiple-family units, subject to restrictions that the affordability covenants would be in effect for not less than 30 years, and that at least 20 percent of the units would be affordable to extremely low- and very low- income households. In the	Ongoing 2021-2029	Ongoing

	affordable to extremely low- and very low- income households. In the event that efforts are not successful, the City will: • Coordinate with qualified entities • Ensure compliance with noticing the tenants • Assist with funding or support funding applications • Provide outreach education and support to tenants		
H-2 Con't	Action/Program 2-J: Maintain a list of mortgage lenders participating in the California Housing Finance Agency (CHFA) program and refer the program to builders or corporations interested in developing housing in the City. Action/Program 2-K: Twenty (20) units over the planning period	Update the list annually and maintain it throughout the planning period	In process
H-2 Con't	Continue to offer incentives such as reduction in development standards, and expedited permit processing in exchange for affordability covenants on units in multiple-family developments.	Ongoing 2021-2029	Ongoing
H-2 Con't	Action/Program 2-L: Update the Municipal Code to permit permanent supportive housing to be developed by-right in all multifamily and mixed- use zones, consistent with AB 2162. Action/Program 2-M: Promote the development of 20 rental units with two	2022	Winter Municipal Code omnibus (2022)
H-2 Con't	or three bedrooms over the planning period Prioritize resources such as HOME funds, California Housing Finance Agency single-family and multiple-family programs, HUD Section 208/811 loans for the development of rental projects that provide units with two or three bedrooms.	Ongoing 2021-2029	Ongoing
H-2 Con't	Action/Program 2-N: Update the Municipal Code to remove constraints to the development of emergency shelters, including the 500-foot distance requirement from residentially zoned properties and establish parking requirements based on staffing level only, consistent with AB 139 and SB 2.	2022	In process

	Action/Program 2-O: Update the Municipal Code to permit the			
H-2 Con't	development of Low Barrier Navigation Centers by-right in all mixed-use	2022	In process	
	and nonresidential zones permitting multifamily uses, consistent with AB 101.			
	Action/Program 2-P: State law requires that any employee housing			
	providing accommodations for six or fewer employees be treated as a			
	single-family structure with a residential land use designation and that no conditional use permit, zoning variance, or other zoning clearance shall			
H-2 Con't	be required of employee housing that serves six or fewer employees that	2022	In process	
	is not required of a family dwelling of the same type in the same zone.			
	The City will update the Municipal Code to comply with California Code,			
	Health and Safety Code Section 17021.5. Action/Program 3-A: Goal to create 752 affordable units over the			
H-3: Removal or mitigation	planning cycle. Continue to offer additional incentives including a			
of constraints to the maintenance, improvement,	reduction in development impact fees to projects that make 100 percent			
and development of	of their units available to lower income households. The City currently	2022-2023	In process	
affordable housing, where	offers a 50 percent reduction of the development impact fee and park land impact mitigation fee for units affordable to very low income			
appropriate and legally	households, and 25 percent reduction of the development impact fee and			
possible.	park land impact mitigation fee for units affordable to low income			
	Action/Program 3-B: Goal to create 752 affordable units over the planning			
H-3 Con't	cycle. Continue to defer payment of development impact sees for affordable units until issuance of Certificate of Occupancy.	2022-2023	In process	
	Action/Program 3-C: Goal to create 752 affordable units over the planning			
H-3 Con't	cycle. Continue to exempt Traffic Uniform Mitigation Fee (TUMF) for	2022-2023	In process	
	qualifying affordable projects as provided for in the adopted fee	2022-2023	in process	
	ordinance. Action/Program 3-D: Encourage the consolidation of smaller, adjacent			
	lots in a centrally located area of the city where higher density would			
	support retail vitality and more frequent/reliable transit service. Offer			
	incentives to encourage the development of higher density housing in the			
H-3 Con't	Sunnymead Village area, which has numerous small vacant and underutilized lots in proximity to transit stops, parks, and shopping.	Ongoing 2021-2029	Ongoing	
	Incentives may include reductions in development standards (e.g.,			
	parking, common open space), expedited permit processing, or			
	subsidizing a portion of development costs with available funding.			
	Action/Program 3-E: Implement electronic plan check software to	Launch in 2021, thereafter, implement on		
H-3 Con't	streamline the development application process and facilitate plan check	an ongoing basis 2021-	In process	
	corrections and resubmittals.	2029		
	Action/Program 3-F: Update Title 9 of the Municipal Code to permit group			
H-3 Con't	homes for 6 or fewer and 7 or more persons in all residential zones with objective standards to facilitate approval certainty. Incorporate objective	2022	In process	
	standards to guide the integration of these facilities into existing	LULL		
	neighborhood contexts.			
	Action/Program 3-G: Update Title 9 of the Municipal Code to establish a	0000	Winter Municipal Code considered (2000)	
H-3 Con't	reasonable accommodations process that complies with federal and State law.	2022	Winter Municipal Code omnibus (2022)	
	Action/Program 3-H: Update Title 9 of the Municipal Code to eliminate			
	requirements for minimum dwelling sizes in multiple-family projects and to			
H-3 Con't	clarify that standards for minimum lot size, width and depth apply to new	2022	Winter Municipal Code omnibus (2022)	
	lots that are created under the Subdivision Map Act, and not to existing lots.			
	Action/Program 3-I: Update Title 9 of the Municipal Code (Section			
H-3 Con't	9.09.170) for consistency with the provisions of State law related to	2021	In process	
	emergency shelters (Section 65583.(a)(4)(A)). Action/Program 3-J: Comply with SB 1087 (Government Code Section		Completed	
	65589.7), provide a copy of the adopted Housing Element to water and		Completed	
H-3 Con't	sewer providers immediately upon adoption and will work with water and	2021		
	sewer providers to adopt written policies and procedures that grant			
	priority for service allocations to proposed developments that include housing units affordable to lower income households.			
	Action/Program 3-K: Work collaboratively to address shortfall of funding		In process	

H-3 Con't	<ul> <li>Action/Program 3-K: Work collaboratively to address shortfall of funding for affordable housing. In coordination with other jurisdictions in Riverside County and the SCAG region, as appropriate, lobby for modifications to address unfunded State mandates and to provide opportunities for additional funding for affordable housing. Specific modifications include, but are not limited to, the following:</li> <li>a. Address unfunded mandates and expenses local governments must incur to comply with State requirements.</li> <li>b. Assist local governments in meeting their affordable housing requirements and identify alternatives means of funding through the State of California to replace Redevelopment.</li> </ul>	2022-2023	In process
H-3 Con't	BSMWC would be eligible; coordinate with BSMWC on an annual basis if necessary. Support Box Springs Mutual Water Company (BSMWC) in pursuit of funding to upgrade water conveyance and treatment infrastructure in the Edgemont area. Potential funding sources may include the California State Water Resources Control Board's Safe and Affordable Drinking Water (SADW) Fund Program or other California Climate Investment programs.	2023-2024	N/A
H-4: Increased opportunities for homeownership.	Action/Program 4-A: Continue to provide favorable home purchasing options to lower and moderate- income households, when funds are available, through the County of Riverside's First Time Homebuyers	Ongoing 2021-2029; develop outreach and public education strategies by 2023	In process

H-4 Con't	Action/Program 4-B: Continue to provide homebuyer support, including down payment and closing cost assistance and foreclosure prevention resources, through the through homebuyer programs such as those offered by the California Housing Finance Agency (CHFA). Publicize the availability of these programs on the City's website and/or other avenues, such as social media campaigns targeted to the most at-risk segments of the population, including Native Americans, African Americans, and Hispanic residents.	Ongoing 2021-2029; develop outreach and public education strategies by 2023	In process
H-4 Con't	Action/Program 4-C: Maintain relationships with local lenders, developers and other constituencies such as realtors, and non-profit organizations through applications workshops and other events that emphasize specific opportunities, issues, and ideas for future housing development in Moreno Valley.		In process
H-4 Con't	Action/Program 4-D: Continue to provide funds for Homebuyer Assistance Program (HAP) silent seconds and work with approved lenders that have HAP experience. The goal of the program is to provide homeownership for low and moderate-income families. Work with the County to ensure that efforts are made to raise awareness of eligibility among African Americans in particular, recognizing the relatively lower rate of homeownership for this segment of the population.	Ongoing 2021-2029	In process
H-5: Enhanced quality of existing residential neighborhoods in Moreno Valley, through maintenance and preservation, while minimizing displacement impacts.	Action/Program 5-A: Available Neighborhood Stabilization Program funding (NSP 3 funds) was used for the Courtyards at Cottonwood project to acquire and redevelop an abandoned and foreclosed residential property that might otherwise have become a source of abandonment and blight. The City has a portfolio of NSP properties that includes single- family and multi-family properties and the Moreno Valley Housing Authority will continue to administer covenants through annual inspections.	Ongoing 2021-2029, with reporting through annual compliance check	In process
H-5 Con't	Action/Program 5-B: Ensure building safety and integrity of residential neighborhoods through code enforcement. Enforcement actions may include issuance of a permit prior to construction, repair, addition to, or relocation of any residential structure.	Ongoing 2021-2029	In process
H-5 Con't	Action/Program 5-C: Monitor substandard dwellings and in cases where repair is not financially feasible, remove when necessary and feasible. (Goal of 3 units per year during the planning cycle)	Ongoing 2021-2029	In process
H-5 Con't	Action/Program 5-D: Continue to administer a program to provide grant funds for neighborhood beautification in targeted neighborhoods. (Goal of 3 units per year during the planning cycle)	Ongoing 2021-2029	In process
H-5 Con't	Action/Program 5-E: Continue to administer the Mobile Home Grant Program to address substandard living conditions for very low-income owner-occupants and pursue new funding sources, such as those available through HCD's Mobile Home Park Rehabilitation and Resident Ownership Program (MPRROP). Market program via City communications and continue to distribute program material to mobile home parks. (Target of 3 mobile homes per year during the planning	Ongoing 2021-2029	In process
H-5 Con't	Action/Program 5-F: Provide enhanced code compliance services in the CDBG target areas with funding of up to 5,000 hours of code enforcement in the CDBG target areas.	Ongoing 2021-2029	In process
H-5 Con't	Action/Program 5-G: Conduct four (4) annual neighborhood clean-ups as part of the Keep MoVal Beautiful program. Throughout the year, community groups and volunteers will be invited to clean up a park, street segment, or other areas that need care, improving the living environment of residents.		In process
H-5 Con't	Action/Program 5-H: Place-Based Community Revitalization Efforts. Dedicate staff resources and funding for place-based community revitalization activities that improve the quality of life in Moreno Valley's DACs and low income neighborhoods. These strategies, which complement programs to preserve affordable housing (1-J), prevent displacement (7-D), promote safe and sanitary housing (5-E and 5-F), and beautify neighborhoods (5-D, 5-F) focus on the environmental justice priorities identified in the Genera Plan: air quality, drinking water quality in the BSMWC service area, and healthy food access, access to parks, community safety safe routes to school complete streets and livable	Ongoing 2021-2029	In process

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community safety, safe routes to school, complete streets, and livable neighborhoods and streets.

H-6: Proactive energy conservation and waste reduction activities in all residential neighborhoods.

Action/Program 6-A: Promote the use of solar energy and other environmentally sound, energy efficient methods for heating and cooling homes, consistent with adopted building, mechanical and plumbing codes. Provide information through the website and newsletters to residents, highlighting the availability of financial incentives available through federal, State, and local government programs such as the County of Riverside Home Weatherization Program, Western Riverside Council of Governments' HERO program, and funding for solar projects for low-income homeowners available through the GRID Alternatives program. Ongoing 2021-2029 Action/Program 6-B: Continue to offer incentives for residential housing

units built to green building standards that exceed the requirements of the City's building code. Through its Density Bonus Program for green building and energy efficiency, the City currently offers a density bonus of

H-6 Con't

up to 5 percent to developers of multifamily residential housing dwelling units in the R10, R15, R20, R30, and SP204-Village Residential zones. Extend this incentive to qualifying multifamily residential housing dwelling units in the Center Mixed Use (CEMU) and Corridor Mixed Use (COMU) general plan land use designations subsequent to adoption by the City Council.

Ongoing 2021-2029 In process

In process

	Action/Program 6-C: Encourage and facilitate environmentally sensitive construction practices by: a. Restricting the use of chloroflourocarbons (CFCs), hydrochloroflourocarbons (HCFCs), and halons in mechanical equipment	Ongoing 2021-2029	Ongoing
H-6 Con't	<ul> <li>and building materials;</li> <li>b. Promoting the use of products that are durable and allow efficient end-of-life disposal (recyclable);</li> <li>c. Requiring large project applicants to submit a construction waste management plan for City approval;</li> <li>d. Promoting the use of locally or regionally available materials; and</li> </ul>		
H-7: Equal housing opportunity for all residents of Moreno Valley, regardless of race, religion, sex, marital status, ancestry, national origin, color, or handicap.	<ul> <li>e. Promoting the use of cost-effective design and construction strategies that reduce resource and environmental impacts.</li> <li>Action/Program 7-A: In conjunction with the Riverside County Fair Housing Council (RCFHC), support RCFHC's efforts regarding mediation and enforcement of rights and RCFHC's efforts to eliminate housing discrimination by actively tracking and pursuing any complaints within Moreno Valley. Additional specific actions will include: <ul> <li>a. Make information detailing fair housing practices available at City Hall and on the City's website.</li> <li>b. Partner with the RCFHC to conduct workshops and seminars about landlord and tenant responsibilities and rights.</li> </ul> </li> </ul>	Ongoing 2021-2029; (a) publish information by 2022 and update annually as appropriate; (b) annually	Ongoing
H-7 Con't	Action/Program 7-B: Partner with the RCFHC, the Inland Valley Realtors Association, and affordable housing operators to develop and conduct trainings on anti-discrimination and fair housing practices for realtors and property managers. Develop separate training for each group and conduct them at regular intervals through the planning period.	Conduct first trainings by end of 2024	In process
H-7 Con't	Action/Program 7-C: Collaborate with the Riverside County Housing Authority to develop a Landlord Incentive Program to promote the participation of rental property owners in the HCV program. The program will involve outreach to raise awareness among property owners throughout the city and consider best practices to incentivize new landlords to participate in the program. Incentives offered to new and returning landlords may include one-time enrollment bonuses; no-loss bonuses that bridge between date of Request for Tenancy Approval (RFTA) submittal to start date of Housing Assistance Payment contract; and/or payment for normal wear and tear damage to the rental unit in excess of security deposit. Additional or increased incentives may be	2023	In process
H-7 Con't	offered for properties in areas of highest opportunity. Action/Program 7-D: Collaborate with the County of Riverside, Lift to Rise, Inland SoCal United Way, and other partners to explore options and seek funding for rental assistance programs, such as the MoVal Rental Rescue Program, currently funded by the U.S. Department of the Treasury to provide emergency rental and financial assistance in an effort to keep Moreno Valley residents affected by COVID-19 housed. Programs should be targeted to segments of the population most at risk of displacement, including Native Americans, African Americans and Hispanic renters.		In process
H-7 Con't	Action/Program 7-E: Work with the Housing Authority of the County of Riverside to encourage voucher holders to select rental housing in high opportunity neighborhoods identified by the Housing Authority in order to reduce the geographic concentration of Section 8 housing in any area of Moreno Valley.	Ongoing 2021-2029, with annual progress reporting via the Consolidated Annual Performance and Evaluation Report	Ongoing
H-7 Con't	Action/Program 7-F: Pursuant to HUD-LA guidance, amend the definitions of the following terms found in the Planning and Zoning Code to help eliminate potential impediments to fair housing choice in Moreno Valley: "disability," "supportive housing," "transitional housing," "residential care facilities," and "special needs populations." Definitions will be amended for consistency with the federal Fair Housing Act, the California Fair Employment and Housing Act, and the California the Health and Safety Code as appropriate. Additionally, the Planning and Zoning Code will be revised to indicate the residential zones in which transitional and	2022	Completed

supportive housing is permitted.

Action/Program 7-G: The housing needs of persons with developmental disabilities are typically not addressed by Title 24 Regulations, and require, in addition to basic affordability, slight modifications to existing units, and in some instances, a varying range of supportive housing facilities. To accommodate residents with developmental disabilities, the City will seek State and federal monies, as funding becomes available, in support of housing construction and rehabilitation targeted for persons with developmental disabilities. Additionally, the City will undertake the following specific actions:

a. Update the Planning and Zoning Code to provide regulatory incentives, Ongoing 2021-2029; (a) such as expedited permit processing, and fee waivers and deferrals, to projects targeted for persons with developmental disabilities.

2024; (b) annually; (c) 2025

H-7 Con't

b. To further facilitate the development of units to accommodate persons with developmental disabilities, the City shall conduct outreach to developers of supportive housing to encourage development of projects targeted for special needs groups. c. As housing is developed or identified, Moreno Valley will work with the

Inland Regional Center to implement an outreach program informing families within the city of housing and services available for persons with developmental disabilities. Information will be made available on the City's website.

Ongoing

**Annual Progress Report** 

ANNUAL	ELEMENT	PROGRESS	REPORT

Housing Elemen	t Implementation
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	•	
(CCR T	itle 25 §6202)	

		10/13/2021 - 10/13/2028					3/		
			Comm	nercial Develop	Tab <u>ment Bo</u> nus App	le E proved pursuant t	to GC Section 65915.7		
	Project I	dentifier				cted as Part of Agree		Description of Commercial Development Bonus	Commercial Development Bonus Date Approved
APN	Street Address	1 Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Very Low Income	Low Income	2 Moderate Income	Above Moderate Income	3 Description of Commercial Development Bonus	4 Commercial Development Bonus Date Approved
Summary Row: Start	Data Entry Below								
		İ			İ	1			

Jurisdiction Moreno Valley Reporting Period2022(Jan. 1 - Dec. 31) Planning Period 6th Cycle 10/15/2021 - 10/15/2029 Note: "+" indicates an optional field Cells in grey contain auto-calculation formulas

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on of Commercial opment Bonus	Commercial Development Bonus Date Approved
3	4
on of Commercial opment Bonus	Commercial Development Bonus Date Approved

1.b

Jurisdiction	Moreno Valley	
Reporting Period	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

# ANNUAL ELEMENT PROGRESS REPORT

**Housing Element Implementation** 

Table F Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c) Please note this table is optional: The jurisdiction can use this table to report units that have been substantially rehabilitated, converted from non-affordable by acquisition, and preserved, including mobilehome park preservation, consistent with the standards set forth in Government Code section 65583.1, subdivision (c). Please note, motel, hotel, hostel rooms or other structures that are converted from non-residential units pursuant to Government Code section 65583.1(c)(1)(D) are considered net-new housing units and must be reported in Table A2 and not reported in Table F. Units that Count Towards RHNA<sup>†</sup> Note - Because the statutory requirements severely limit what e Units that Do Not Count Towards RHNA<sup>+</sup> counted, please contact HCD to receive the password that will en Listed for Informational Purposes Only to populate these fields. Activity Type Extremely Low-Extremely Low-Very Low-Income<sup>+</sup> Very Low-Income Low-Income<sup>1</sup> TOTAL UNITS<sup>+</sup> Income<sup>+</sup> Income<sup>+</sup> Low-Income<sup>+</sup> TOTAL Rehabilitation Activity Preservation of Units At-Risk Acquisition of Units Mobilehome Park Preservation Total Units by Income

Note: "+" indicates an optional field

Cells in grey contain auto-calculation formulas

can be nable you	The description should adequately document how each unit complies with subsection (c) of Government Code Section 65583.1 <sup>+</sup> . For detailed reporting requirements, see the chcklist here:
L UNITS⁺	https://www.hcd.ca.gov/community- development/docs/adequate-sites-checklist.pdf

Jurisdiction	Moreno Valley	
Reporting Period	2022	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

Note: "+" indicates an optional field Cells in grey contain auto-calculation formulas

Table F2
Above Moderate Income Units Converted to Moderate Income Pursuant to Government Code section 65400.2

For up to 25 percent of a jurisdiction's moderate-income regional housing need allocation, the planning agency may include the number of units in an existing multifamily building that were converted to deed-restricted rental housing for moderate-income households by the imposition of affordability covenants and restrictions for the unit. Before adding information to this table, please ensure housing developments meet the requirements described in Government Code 65400.2(b).

		Project Identifier			Unit Ty	ypes	Affordability by Household Incomes After Conversion				Units credited toward Al RHNA	oove Moderate	Notes			
		1			2	3				4				5		6
Prior APN <sup>+</sup>	Current APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Unit Category (2 to 4,5+)	Tenure R=Renter	very Low-		Low- Income Deed Restricted	Low- Income Non Deed Restricted	Moderate- Income Deed Restricted	Moderate- Income Non Deed Restricted	Above Moderate- Income	Total Moderate Income Units Converted from Above Moderate	Date Converted	<u>Notes</u>
Summary Row: S	tart Data Entry Belo	W														

Report) 1] (6101

Jurisdiction	Moreno Valley	
Reporting Period	2022	(Jan. 1 - Dec. 31
Planning Period	6th Cycle	10/15/2021 - 10/15/20

NOTE: This table must only be filled out if the housing element sites inventory contains a site which is or was owned by the reporting jurisdiction, and has been sold, leased, or otherwise disposed of during the reporting year.

Cells in grey contain auto-calculation formulas

	•	-	•••			
5/2021 - 10/15/2029	ANNUAL	ELE	MENT	PROGRE	SS REP	ORT
	Housing	Elen	nent In	nplementa	ation	

	Locally Owned La	nds Included in the		Table G tes Inventory that ha	ve been sold, leased, or other	wise disposed of
		Identifier			.,	
		1		2	3	4
APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Deslistis Conseits	Entity to whom the site transferred	Intended Use for Site
Summary Row: Star	t Data Entry Below					

Jurisdiction Reporting Period	Moreno Valley 2022	(Jan. 1 - Dec. 31)	NOTE: This table is meant to contain an invenory of ALL surplus/excess lands the reporting jurisdiction owns	Note: "+" indicates an optional field Cells in grey contain auto-calculation formulas			
ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation							

	For Riverside Cou			PN's as follows:999-	999-999	
			Table H wned Surplus Si			
1	Parcel Identifier 2	3	4	Designation 5	Size 6	Notes 7
APN	Street Address/Intersection	Existing Use	Number of Units	Surplus Designation	Parcel Size (in acres)	Notes
Summary Row: Star	t Data Entry Below					

**Annual Progress Report** 

Jurisdiction Reporting Period Planning Period	Moreno Valley 2022 6th Cycle		needs to be complete applied for pursuant 66411.7 OR units cor 65852.21. Units entitled/permit	CTS ONLY. This table only ed if there were lot splits to Government Code astructed pursuant to ted/constructed must also A2. Applications for these ed in Table A.	t splits code at to Housing Element Implementation for these				
					Table I				
	U	nits Constructed	Pursuant to Gov	ernment Code 65852	2.21 and Applicati	ons for Lot Split	s Pursuant to Go	overnment Code	e 66411.7 (SB9)
	Project	dentifier		Project Type	Date		Unit C	constructed	
		1		2	3			4	
APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Activity	Date	Very Low Income	Low Income	Moderate Income	Above Moderate Income
Summary Row: Star	t Data Entry Below								

# PORT optional field

loderate Income	Above Moderate Income

1.b

Jurisdiction	Moreno Valley				
Reporting Period	2022	(Jan. 1 - Dec. 31)			
Planning Period	6th Cycle	10/15/2021 - 10/15/2029			

#### NOTE: STUDENT HOUSING WITH DENSITY BONUS ONLY. This table only needs to be completed if there were student housing projects WITH a density bonus approved pursuant to

# ANNUAL ELEMENT PROGRESS REPORT

# Housing Element Implementation

Government Code65915(b)(1)(F)

	Table J											
		Student he	ousing developm	ent for lower income s	students for which	ch was granted a	a density bonus	pursuant to subj	oaragraph (F) of	paragraph (1) of	subdivision (b) o	of Section 65915
	Project	ldentifier		Project Type Date Units (Beds/Student Capacity) Approved								
		1		2	3				4			
APN	Street Address	Project Name <sup>+</sup>	Local Jurisdiction Tracking ID <sup>+</sup>	Unit Category (SH - Student Housing)	Date	Very Low- Income Deed Restricted	Very Low- Income Non Deed Restricted	Low- Income Deed Restricted	Low- Income Non Deed Restricted	Moderate- Income Deed Restricted	Moderate- Income Non Deed Restricted	Above Moderate- Income
Summary Row: Sta	rt Data Entry Below											
L	1	1	1		1	ļ	1	1		1	1	

**Annual Progress Report** 

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Jurisdiction	Moreno Valley			
Reporting Year	2022 (Jan. 1 - Dec. 31)			
Planning Period	6th Cycle	10/15/2021 - 10/15/2029		

Building Permits Issued by Affordability Summary				
Income Level	Current Year			
VeryLow	0			
Very Low	Non-Deed Restricted	0		
Law	Deed Restricted	0		
Low	Non-Deed Restricted	0		
Moderate	Deed Restricted	0		
Moderate	Non-Deed Restricted	51		
Above Moderate		228		
Total Units		279		

Note: Units serving extremely low-income households are included in the very low-income permitted units totals

Units by Structure Type	Entitled	Permitted	Completed
SFA	52	48	14
SFD	417	180	247
2 to 4	0	0	0
5+	484	14	155
ADU	24	37	6
MH	0	0	0
Total	977	279	422

Housing Applications Summary	
Total Housing Applications Submitted:	53
Number of Proposed Units in All Applications Received:	2,364
Total Housing Units Approved:	960
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions			
Number of Applications for Streamlining	0		
Number of Streamlining Applications Approved	0		
Total Developments Approved with Streamlining	0		
Total Units Constructed with Streamlining	0		

Units Constructed - SB 35 Streamlining Permits						
Income Rental Ownership Total						
Very Low	0	0	0			
Low	0	0	0			
Moderate	0	0	0			
Above Moderate	0	0	0			
Total	0	0	0			

Cells in grey contain auto-calculation formulas

Jurisdiction	Moreno Valley	
Reporting Year	2022	(Jan. 1 - Dec. 31)

Please update the status of the prop	posed uses listed in the en	tity's application for funding and the	ANNUAL ELEMENT PROGRESS REPORT Local Early Action Planning (LEAP) Reporting (CCR Title 25 §6202) corresponding impact on housing within the region or jurisdiction, as applicable, categ	orized based on the elig	ible uses specified in Section 50515.02 or
50515.03, as applicable. Total Award Amount	\$		500,000.00 Total award amount is auto-populated based on amounts entered in rows 15-26.		
Task	\$ Amount Awarded	\$ Cumulative Reimbursement Requested	Task Status	Other Funding	Notes
Zoning Consistency/Zoning Code Update	\$0.00	\$0.00	In Progress	None	Title of the first Task
I: Project Initiation	\$10,000.00	\$0.00	In Progress	None	
Task 2: Preparation of Summary and Recommendations	\$100,000.00	\$0.00	In Progress	None	Two omnibus Municipal Code Amendments completed. Two more in progress.
Task 3: Administrative Draft Zoning Code and Updated Zoning Map	\$275,000.00	\$0.00	In Progress	None	GIS has completed the updated zoning map an related zoning atlas. Planning has completed 2 Municipal Code Amendments.
Task 4: Website Materials	\$5,000.00	\$0.00	In Progress	None	Revision to scope of work in progress
Task 5: Hearings (Planning Commission and City Council)	\$10,000.00	\$0.00	In Progress	None	Revision to scope of work in progress
II: Update of Conditions of Approval and Integration with Case Track System	\$0.00	\$0.00	Other (Please Specify in Notes)	None	Revision to scope of work in progress
Task 1: Project Initiation	\$20,000.00	\$0.00	Other (Please Specify in Notes)	None	Revision to scope of work in progress
Task 2: Preparation of Comprehensive Update to conditions of approval for development services	\$60,000.00	\$0.00	Other (Please Specify in Notes)	None	Revision to scope of work in progress
Task 3: Technical Support and Final Testing in ACP	\$20,000.00	\$0.00	Other (Please Specify in Notes)	None	Revision to scope of work in progress
					EXECUTED AMENDED AGREEMENT NUMBER 1 PGP-14007 AM.1 between HCD and the City of Moreno Valley (December 9, 2022), allowing fo an extension of time on the LEAP grant until September 2023.

Summary of entitlements, building permits, and certificates of occupancy (auto-populated from Table A2)

Completed Entitlement Issued by Affordability Summary			
Income Level		Current Year	
Very Low	Deed Restricted	0	
	Non-Deed Restricted	0	
Low	Deed Restricted	0	
	Non-Deed Restricted	0	
Moderate	Deed Restricted	0	
	Non-Deed Restricted	508	
Above Moderate		469	

Total Units	977

Building Permits Issued by Affordability Summary			
Income Level		Current Year	
Very Low	Deed Restricted	0	
	Non-Deed Restricted	0	
Low	Deed Restricted	0	
	Non-Deed Restricted	0	
Moderate	Deed Restricted	0	
	Non-Deed Restricted	51	
Above Moderate		228	
Total Units		279	

Certificate of Occupancy Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	40
	Non-Deed Restricted	0
Low	Deed Restricted	40
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	81
Above Moderate		261
Total Units		422





### PLANNING COMMISSION

**STAFF REPORT** 

Meeting Date: February 9, 2023

PLOT PLAN FOR A 5,400 S.F. EXPRESS CAR WASH FACILITY WITHIN THE STONERIDGE TOWN CENTER.

Case: PEN22-0172 - Plot Plan

Applicant/Owner: MCA Stoneridge

Representative Jacqueline Yanez

Project Site: Northeast Corner of Eucalyptus Avenue and Fir Avenue (APN: 488-400-024)

Case Planner: Ayida Smith

Council District: 3

Proposed Project: To construct a 5,400 S.F. express car wash at the northeast corner of Eucalyptus Avenue and Fir Avenue in the existing Stoneridge Town Center.

#### **SUMMARY**

Jacqueline Yanez, (the "Applicant"), submitted an application for a Plot Plan for the development of a 5,400 S.F. Express Car Wash on a 1.43-acre site located on the northeast corner of Eucalyptus Avenue and Fir Avenue within the Stoneridge Town Center. The Proposed Project as designed and conditioned is consistent with the City's General Plan, Municipal Code, and Community Commercial (CC) District requirements.

#### PROJECT DESCRIPTION

#### Proposed Project

The Proposed Project is a 5,400 S.F. automated car wash facility. The facility includes a car wash within an enclosed building and parking areas equipped with vacuum stations for drying and completing the interior detailing of the vehicles.

Page 1

#### <u>Site</u>

The Project Site is located on the northeast corner of Eucalyptus Avenue and Fir Avenue within the Stoneridge Town Center. The Project Site topography is generally flat sloping gently from north to south. There are no structures on the site. To support the proposed development, the Project Site will include the construction of sidewalks, parking, landscaping, utilities, signage, and lighting.

#### Surrounding Area

Surrounding land uses to the north, east, and west of the Proposed Project include existing commercial uses within the shopping center, within the Community Commercial (CC) District. To the south of the Project Site across Eucalyptus Avenue are existing homes within the (R15) District.

The proposed car wash facility has been found to be consistent with the objectives, goals, and policies outlined in the City's General Plan and compatible with the existing and planned land uses in the project area.

#### Access/Parking

Access to the Project Site is by an existing driveway directly adjacent to the existing pad off Eucalyptus Avenue. The Proposed Project exceeds the Municipal Code requirements for parking. A total of 12 parking spaces are required. The Proposed Project as designed provides a total of 24 spaces. The total number of parking spaces includes spaces for customers to dry and vacuum their vehicles. The Proposed Project as designed satisfies all parking requirements of the City's Municipal Code.

#### Design/Landscaping

The building is contemporary in style with simple, clean building forms and stone veneer that is consistent with the shopping center. Building exterior finishes include a blend of blue and earth-tone paint colors, stone veneer, metal fascia, and a pre-finished standing seam metal roof over the car wash entrance, building, and canopy elements.

The Proposed Project has been designed to meet the required landscaped standards and objectives as set forth in the City's Municipal Code. The landscape elements of the Proposed Project include the landscape setback areas along Eucalyptus Avenue, the parking lot landscape, street trees, and landscape treatments around the perimeter of the Project Site.

#### **REVIEW PROCESS**

The Applicant has worked with staff and modified the proposed plans to the satisfaction of all departments. Based on the staff's review, it was determined that the Proposed Project will be consistent with the City's requirements, subject to the conditions of approval in the attached Resolution.

#### **ENVIRONMENTAL**

Page 2

The Proposed Project has been evaluated in compliance with the criteria set forth in the California Environmental Quality Act (CEQA). As designed and conditioned, the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines 15332 for In-Fill Development. The in-fill development exemption is applicable to this project as it is: 1) consistent with the applicable General Plan policies and all applicable zoning designation and regulations and applicable policies: 2) occurs on a site that is less than five acres in size substantially surrounded by urban uses; 3) the site has no value, as habitat for rare, threatened or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site can be adequately served by all required utilities and public services.

#### NOTIFICATION

Public notice was sent to all property owners of record within 600' of the project. Notice was provided pursuant to Government Code 65905. The public hearing notice for this project was also posted on the project site and published in the local Press-Enterprise newspaper.

#### **REVIEW AGENCY COMMENTS**

Staff has coordinated with outside agencies and where applicable, conditions of approval have been included to address concerns from the responding agencies, including addressing input from the tribal agencies.

#### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2023-01, and thereby:

- 1. **FINDING** that Plot Plan PEN22-0172 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development); and
- 2. **APPROVING** Conditional Use Permit PEN22-0172 subject to the attached Conditions of Approval as Exhibit A to the Resolution.

Prepared by: Ayida Smith Assistant Planner Approved by: Sean P Kelleher Planning Division Manager

#### **ATTACHMENTS**

To view large attachments, please click your "bookmarks" on the left hand side of this document for the necessary attachment.

1. Resolution No 2023-01 - Mister Carwash

- 2. Project Plans
- 3. Zoning Map

2

Page 4

2.a

#### **RESOLUTION NUMBER 2023-01**

#### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PLOT PLAN (PEN22-0172) FOR A CAR WASH FACILITY LOCATED AT THE NORTHEAST CORNER OF EUCALYPTUS AVENUE AND FIR AVENUE WITHIN THE STONERIDGE TOWN CENTER (APN: 488-400-024)

**WHEREAS**, the City of Moreno Valley ("City") is a general law city and municipal corporation of the State of California, and

**WHEREAS**, Jacqueline Yanez ("Applicant") has submitted an application for a Plot Plan (PEN22-0172) for a car wash facility ("Proposed Project") located at the Northeast Corner of Eucalyptus Avenue and Fir Avenue within the Stoneridge Town Center (APN: 488-400-024) ("Project Site"); and

WHEREAS, Section 9.02.070 (Plot Plan) of the Moreno Valley Municipal Code acknowledges that the purpose of plot plans is to provide a mechanism by which all new construction of industrial, commercial, or multiple-family residential can be reviewed when not subject to other discretionary review processes which have review authority over the Proposed Project's design; and

**WHEREAS,** the Proposed Project has been evaluated in accordance with Section 9.02.070 (Plot Plan) of the Municipal Code with consideration given to the City's General Plan, Zoning Ordinance, the Moreno Valley Industrial Area Specific Plan 208I, and other applicable laws and regulations; and

**WHEREAS**, Section 9.02.070 (Plot Plan) of the Municipal Code imposes conditions of approval upon projects for which a Plot Plan is required, which conditions may be imposed by the Planning Commission to address on-site improvements, off-site improvements, the manner in which the site is used and any other conditions as may be deemed necessary to protect the public health, safety and welfare and ensure that the Proposed Project will be developed in accordance with the purpose and intent of Title 9 ("Planning and Zoning") of the Municipal Code; and

WHEREAS, Staff has presented for the Planning Commission's consideration Conditions of Approval to be imposed upon the Plot Plan which conditions have been deemed necessary to protect the public health, safety, and welfare and ensure that the Proposed Project will be developed in accordance with the purpose and intent of Title 9 (Planning and Zoning) of the Municipal Code; and

**WHEREAS**, pursuant to the provisions of Section 9.02.200 (Public Hearing and Notification Procedures) of the Municipal Code and Government Code Section 65905, a public hearing was scheduled for February 9, 2023, and notice thereof was duly published, posted, and mailed to all property owners of record within 600 feet of the Project Site; and

**WHEREAS**, on February 9, 2023, the public hearing to consider the Proposed Project was duly conducted by the Planning Commission, at which time all interested persons were provided with an opportunity to testify and present evidence; and

WHEREAS, consistent with the requirements of Section 9.02.070 (Plot Plan) of the Municipal Code, at the public hearing the Planning Commission considered Conditions of Approval to be imposed upon Plot Plan PEN22-0172 for the Plot Plan (the "Conditions of Approval"), which conditions were prepared by Planning Division staff who deemed said conditions to be necessary to protect the public health, safety, and welfare and to ensure the Proposed Project will be developed in accordance with the purpose and intent of Title 9 ("Planning and Zoning") of the Municipal Code; and

WHEREAS, on February 9, 2023, in accordance with the provisions of the California Environmental Quality Act (CEQA<sup>1</sup>) and CEQA Guidelines<sup>2</sup>, the Planning Commission approved Resolution 2023-01, finding that the Proposed Project has been evaluated against criteria set forth in the California Environmental Quality Act (CEQA) Guidelines and it was determined that the Proposed Project will not have a significant effect on the environment. A finding that the Proposed Project is exempt from the provisions of CEQA as a Class 32 Categorical Exemption in accordance with CEQA Guidelines Section 15332 for In-fill Development Projects is being recommended for the Proposed Project; and

**WHEREAS**, at the public hearing, the Planning Commission considered whether each of the requisite findings specified in Section 9.02.070 of the Municipal Code and set forth herein could be made concerning the Proposed Project as conditioned by Conditions of Approval.

# NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

#### Section 1. Recitals and Exhibits

That the foregoing Recitals and attached exhibits are true and correct and are hereby incorporated by this reference.

#### Section 2. Notice

That pursuant to Government Code Section 66020(d)(1), notice is hereby given that the Proposed Project is subject to certain fees, dedications, reservations, and other exactions as provided herein, in the staff report and conditions of approval (collectively, "Conditions"); and these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the ninety-day approval period in which

<sup>&</sup>lt;sup>1</sup> Public Resources Code §§ 21000-21177

<sup>&</sup>lt;sup>2</sup> 14 California Code of Regulations §§15000-15387

you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun.

#### Section 3. Evidence

That the Planning Commission has considered all evidence submitted into the Administrative Record for the Proposed Project, including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;
- (c) Application for the approval of Plot Plan PEN22-0172 and all documents, records, and references contained therein;
- (d) Conditions of Approval for Plot Plan PEN22-0172, attached hereto as Exhibit A, and incorporated herein by reference;
- (e) Staff Report prepared for the Planning Commission's consideration and all documents, records, and references related thereto, and Staff's presentation at the public hearing;
- (f) Testimony, and/or comments from Applicant and its representatives during the public hearing; and
- (g) Testimony and/or comments from all persons provided in written format or correspondence, at, or prior to, the public hearing.

#### Section 4. Findings

That based on the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission makes the following findings in approving the Proposed Project, Plot Plan PEN22-0172:

- a. The Proposed Project is consistent with the goals, objectives, policies and programs of the General Plan;
- b. The Proposed Project complies with all applicable zoning and other regulations;
- c. The Proposed Project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity; and
- d. The location, design and operation of the Proposed Project will be compatible with existing and planned land uses in the vicinity.

#### Section 5. Approval

That based on the foregoing Recitals, Evidence contained in the Administrative Record and Findings, as set forth herein, the Planning Commission hereby approves the Proposed Project, Plot Plan PEN22-0172, subject to the Conditions of Approval for Plot Plan PEN22-0172 attached hereto as Exhibit A.

#### Section 6. Repeal of Conflicting Provisions

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

#### Section 7. Severability

That the Planning Commission declares that, should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

#### Section 8. Effective Date

That this Resolution shall take effect immediately upon the date of adoption.

#### Section 9. Certification

That the Secretary of the Planning Commission shall certify to the passage of this Resolution.

#### PASSED AND ADOPTED THIS 9<sup>th</sup> day of February 2023.

CITY OF MORENO VALLEY PLANNING COMMISSION

Alvin DeJohnette, Chairperson

ATTEST:

Sean P. Kelleher, Planning Official

APPROVED AS TO FORM:

Steven B. Quintanilla, Interim City Attorney

Exhibit A: Plot Plan (PEN22-0172) Conditions of Approval

#### Exhibit A

Plot Plan (PEN22-0172) Conditions of Approval

CITY OF MORENO VALLEY CONDITIONS OF APPROVAL Plot Plan (PEN22-0172)

EFFECTIVE DATE: EXPIRATION DATE:

#### COMMUNITY DEVELOPMENT DEPARTMENT

#### Planning Division

- 1. A change or modification to the land use or the approved site plans may require a separate approval. Prior to any change or modification, the property owner shall contact the City of Moreno Valley Community Development Department to determine if a separate approval is required.
- 2. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
- 3. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
- 4. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
- 5. The Developer shall defend, indemnify and hold harmless the City, city council, commissions, boards, subcommittees and the City's elected and appointed officials, commissioners, board members, officers, agents, consultants and employees ("City Parties") from and against any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorneys' fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to the legality, validity or adequacy of any of the following items: (i) any prior or current agreements by and among the City and the Developer; (ii) the current, concurrent and subsequent permits, licenses and entitlements approved by the City; (iii) any environmental determination made by the City in connection with the Project Site and the Project; and (iv) any proceedings or other actions undertaken by the City in connection with the adoption or approval of any of the

above. In the event of any administrative, legal, equitable action or other proceeding instituted by any third party (including without limitation a governmental entity or official) challenging the legality, validity or adequacy of any of the above items or any portion thereof, the Parties shall mutually cooperate with each other in defense of said action or proceeding. Notwithstanding the above, the City, at its sole option, may tender the complete defense of any third party challenge as described herein. In the event the City elects to contract with special counsel to provide for such a defense, the City shall meet and confer with the Developer regarding the selection of counsel, and the Developer shall pay all costs related to retention of such counsel by the City.

- 6. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
- 7. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
- 8. Any signs indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)
- 9. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

# Special Conditions

- Drive-up or drive-through speaker system shall not be detectable above daytime ambient noise levels beyond the property line boundaries, and shall not exceed fifty-five (55) dBA at any one time beyond the boundaries of the property line. (MC9.09.080 C.6 and 9.10.140)
- 11. The shopping center parking lot lighting shall be maintained in good repair and shall comply with the Municipal Code lighting standards.
- 12. Prior to the start of any construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet high with locking, gated access and shall remain through the duration of construction. Security shall remain in place until the project is completed or the above conditions no longer exist. (Security fencing

is required if there is: construction, unsecured structures, unenclosed storage of materials and/or equipment, and/or the condition of the site constitutes a public hazard).

- 13. One outdoor trash receptacle shall be provided shall be provided for every ten (10) required parking spaces, with a minimum of one receptacle provided to be located front portion of the site for use by patrons. (MC 9.09.080 C 5.)
- 14. The site has been approved for an approximately 5,400-square-foot car wash facility with associated on-site vacuum stations and site improvements as conditioned and/or included in the project plans. A change or modification shall require separate approval.

## Prior to Grading Permit

- 15. Prior to issuance of any grading permit, all Conditions of Approval shall be printed on the grading plans.
- 16. Prior to the issuance of grading permits, decorative (e.g. colored/scored concrete or as approve by the Planning Official) pedestrian pathways across circulation aisles/paths shall be provided throughout the development to connect dwellings with open spaces and/or recreational uses or commercial/industrial buildings with open space and/or parking. and/or the public right-of-way. The pathways shall be shown on the precise grading plan. (GP Objective 46.8, DG)
- 17. Prior to issuance of any building permit, all Conditions of Approval shall be printed on the building plans.
- 18. Prior to the issuance of building permits, the developer shall provide documentation that contact was made to the U.S. Postal Service to determine the appropriate type and location of mailboxes.
- 19. Prior to the issuance of building permits, proposed covered trash enclosures shall be included in the Planning review of the Building and Safety Review of the Fence and Wall plan or separate Planning submittal. The trash enclosure(s), including the roof materials, shall be compatible with the architecture, color and materials of the building(s) design. Trash enclosure areas shall include landscaping on three sides. Approved design plans shall be included in a Building submittal (Fence and Wall or building design plans). (GP Objective 43.6, DG)
- 20. Prior to the issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Requirements

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and shall include:

a. A three (3) foot high decorative wall, solid hedge, or berm shall be placed in any setback areas between a public right of way and a parking lot for screening.

b. Finger and end planters with required step-outs and curbing shall be provided every 12 parking stalls as well as at the terminus of each aisle.

c. Drought tolerant landscape shall be used. Sod shall not be used.

d. Street trees shall be provided every 40 feet if missing from the existing street-side landscape area.

e. On-site trees shall be planted at an equivalent of one (1) tree per thirty (30) linear feet of the perimeter of a parking lot and per thirty linear feet of a building dimension for the portions of the building visible from a parking lot or right of way. Trees may be massed for pleasing aesthetic effects.

f. Enhanced landscaping shall be provided at all driveway entries and street corner locations The review of all utility boxes, transformers, etc. shall be coordinated to provide adequate screening from public view.

g. Landscaping on three sides of any trash enclosure.

h. All site perimeter and parking lot landscape and irrigation shall be installed prior to the release of the certificate of any occupancy or Building Final.

- Prior final, 21. to building the developer/owner or developer's/owner's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), and the City's adopted Development Impact Fees. (Ord)
- 22. Prior to or at building plan check submittal, the elevation plans shall include decorative lighting sconces on all sides of the buildings of the complex facing a parking lot, courtyard or plaza, or public right of way or open space to provide up-lighting and shadowing on the structures. Include drawings of the sconce details for each building within the elevation plans, approved by the Planning Division prior to building permit issuance.
- 23. Detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be included in the Building Plans for review by the Planning Division. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used, shall include style, illumination, location, height and method of shielding per the City's Municipal Code requirements. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, 9.16.280)
- 24. Prior to issuance of building permits, screening details shall be addressed on the building plans for roof top equipment submitted for Planning Division review and approval through the building plan check process. All equipment shall be completely screened so as not to be visible from public view, and the screening

shall be an integral part of the building.

# Prior to Building Final or Occupancy

- 25. Prior to building final, all required landscaping and irrigation shall be installed per plan, certified by the Landscape Architect and inspected by the Planning Division. (MC 9.03.040, MC 9.17).
- 26. Prior to building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department Planning Division on a CD disk.

# **Building Division**

- 27. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
- 28. Prior to submittal, all new development, including residential second units, are required to obtain a valid property address prior to permit application. Addresses can be obtained by contacting the Building Safety Division at 951.413.3350.
- 29. Contact the Building Safety Division for permit application submittal requirements.
- 30. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m(except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.
- 31. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
- 32. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
- 33. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
- 34. All new structures shall be designed in conformance to the latest design standards

adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc.

- 35. The proposed non-residential project shall comply with California Green Building Standards Code, Section 5.106.5.3, mandatory requirements for Electric Vehicle Charging Station (EVCS).
- 36. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
- 37. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

# FIRE DEPARTMENT

### Fire Prevention Bureau

- 38. All Fire Department access roads or driveways shall not exceed 12 percent grade. (CFC 503.2.7 and MVMC 8.36.060[G])
- 39. The Fire Department emergency vehicular access road shall be (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. The approved fire access road shall be in place during the time of construction. Temporary fire access roads shall be approved by the Fire Prevention Bureau. (CFC 501.4, and MV City Standard Engineering Plan 108d)
- 40. The angle of approach and departure for any means of Fire Department access shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m), and the design limitations of the fire apparatus of the Fire Department shall be subject to approval by the AHJ. (CFC 503 and MVMC 8.36.060)
- 41. Prior to construction, all locations where structures are to be built shall have an approved Fire Department access based on street standards approved by the Public Works Director and the Fire Prevention Bureau. (CFC 501.4)
- 42. Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for Fire Lanes and signage. (CFC 501.3)

- 43. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. (CFC 509.1 and MVLT 440A-0 through MVLT 440C-0)
- 44. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height. (CFC 505.1, MVMC 8.36.060[I])
- 45. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3) a After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.
- 46. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
- 47. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
- 48. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire alarm system monitored by an approved Underwriters Laboratory listed central station based on a requirement for monitoring the sprinkler system, occupancy or use. Fire alarm panel shall be accessible from exterior of building in an approved location. Plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9 and MVMC 8.36.100)
- 49. Fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet and an unobstructed vertical clearance of not less the thirteen (13) feet six (6) inches. (CFC 503.2.1 and MVMC 8.36.060[E])
- 50. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])

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- 51. Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards. (MVMC 8.36.060, CFC 501.4)
- 52. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)
- 53. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the C.F.C., MVMC, and NFPA 24. Fire hydrants shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are (6" x 4" x 2 ½" x 2 ½") (CFC 507.5.1, 507.5.7, Appendix C, NFPA 24-7.2.3, MVMC 912.2.1)
- 54. If construction is phased, each phase shall provide an approved emergency vehicular access way for fire protection prior to any building construction. (CFC 501.4)
- 55. Plans for private water mains supplying fire sprinkler systems and/or private fire hydrants shall be submitted to the Fire Prevention Bureau for approval. (CFC 105 and CFC 3312.1)
- 56. The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B and Table B105.1. The applicant/developer shall provide documentation to show there exists a water system capable of delivering said waterflow for 2 hour(s) duration at 20-PSI residual operating pressure. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. (CFC 507.3, Appendix B)
- 57. Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Fire Prevention Bureau for review. Plans shall: a. Be signed by a registered civil engineer or a certified fire protection engineer; b. Contain a Fire Prevention Bureau approval signature block; and c. Conform to hydrant type, location, spacing of new and existing hydrants and minimum fire flow required as determined by the Fire Prevention Bureau. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be

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**CONDITIONS OF APPROVAL** Plot Plan (PEN22-0172) Page 9

maintained accessible.

## FINANCIAL & MANAGEMENT SERVICES DEPARTMENT

## Moreno Valley Utility

- 58. This project requires the installation of electric distribution facilities. A non-exclusive easement shall be provided to Moreno Valley Utility and shall include the rights of ingress and egress for the purpose of operation, maintenance, facility repair, and meter reading.
- 59. This project requires the installation of electric distribution facilities. The developer shall submit a detailed engineering plan showing design, location and schematics for the utility system to be approved by the City Engineer. In accordance with Government Code Section 66462, the Developer shall execute an agreement with the City providing for the installation, construction, improvement and dedication of the utility system following recordation of final map and concurrent with trenching operations and other improvements so long as said agreement incorporates the approved engineering plan and provides financial security to guarantee completion and dedication of the utility system.

The Developer shall coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to the City all utility infrastructure including but not limited to, conduit, equipment, vaults, ducts, wires (including fiber optic cable). switches, conductors, transformers, and "bring-up" facilities including electrical capacity to serve the identified development and other adjoining, abutting, or benefiting projects as determined by Moreno Valley Utility - collectively referred to as "utility system" (to and through the development), along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and/or delivery of any and all "utility services" to and within the For purposes of this condition, "utility services" shall mean electric, cable project. television, telecommunication (including video, voice, and data) and other similar services designated by the City Engineer. "Utility services" shall not include sewer, water, and natural gas services, which are addressed by other conditions of approval.

The City, or the City's designee, shall utilize dedicated utility facilities to ensure safe, reliable, sustainable and cost effective delivery of utility services and maintain the integrity of streets an\*STOPS HERE\*d other public infrastructure. Developer shall, at developer's sole expense, install or cause the installation of such interconnection facilities as may be necessary to connect the electrical distribution infrastructure within the project to the Moreno Valley Utility owned and controlled electric distribution system.

- 60. Existing Moreno Valley Utility electrical infrastructure shall be preserved in place. The developer will be responsible, at developer's expense, for any and all costs associated with the relocation of any of Moreno Valley Utility's underground electrical distribution facilities, as determined by Moreno Valley Utility, which may be in conflict with any developer planned construction on the project site.
- 61. This project shall coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to the City fiber optic cable improvements consisting of fiber optic cable, splices and termination equipment to serve the identified development and other adjoining, abutting, or benefiting projects as determined by Moreno Valley Utility along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and/or delivery of any and all "fiber optic services" to and within the project.
- 62. This project shall coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to Moreno Valley Utility fiber optic cable improvements consisting of conduit, and pull boxes to serve the identified development and other adjoining, abutting, or benefiting projects as determined by Moreno Valley Utility along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and/or delivery of any and all "fiber optic services" to and within the project.
- 63. This project shall coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to Moreno Valley Utility electric streetlight improvements consisting of streetlight poles, mast-arms, fixtures conduit, wiring, terminations and pull boxes to serve the identified development and other adjoining, abutting, or benefiting projects as determined by the Land Development Department along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and/or delivery of any and all "street light services" to and within the project.

# PUBLIC WORKS DEPARTMENT

# Land Development

- 64. The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]
- 65. The final approved conditions of approval (COAs) issued and any applicable Mitigation Measures by the Planning Division shall be photographically or electronically placed on mylar sheets and included in the Grading and Street

Improvement plans.

66. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:

(a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.

(b) Observance of working hours as stipulated on permits issued by the Land Development Division.

(c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.

(d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.

Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

- 67. Drainage facilities (e.g., catch basins, water quality basins, etc.) with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency escape shall also be provided.
- 68. This project shall submit civil engineering design plans, reports and/or documents (prepared by a registered/licensed civil engineer) for review and approval by the City Engineer per the current submittal requirements, prior to the indicated threshold or as required by the City Engineer. The submittal consists of, but is not limited to, the following:

a. Precise grading w/ erosion control plan (prior to grading permit issuance);

b. Prior to issuance of any permit, the Master Final Water Quality Management Plan shall be amended;

c. As-Built revision for all plans (prior to Occupancy release);

# Prior to Grading Plan Approval

- 69. Resolution of all drainage issues shall be as approved by the City Engineer.
- 70. The developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:

a. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the City Engineer, lot lines

shall be located at the top of slopes.

b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control, sight distance control, and slope easements as approved by the City Engineer.

c. All improvement plans are substantially complete and appropriate clearance letters are provided to the City.

d. A soils/geotechnical report (addressing the soil's stability and geological conditions of the site) shall be submitted to the Land Development Division for review. A digital (pdf) copy of the soils/geotechnical report shall be submitted to the Land Development Division.

- 71. Grading plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
- 72. The developer shall select Low Impact Development (LID) Best Management Practices (BMPs) designed per the latest version of the Water Quality Management Plan (WQMP) - a guidance document for the Santa Ana region of Riverside County.
- 73. The developer shall pay all remaining plan check fees.
- 74. A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared in conformance with the State's current Construction Activities Storm Water General Permit. A copy of the current SWPPP shall be kept at the project site and be available for review upon request.
- 75. Any proposed trash enclosure shall include a solid cover (roof) and sufficient size for dual bin (one for trash and one for recyclables). The architecture shall be approved by the Planning Division and any structural approvals shall be made by the Building & Safety Division.
- 76. For projects that will result in discharges of storm water associated with construction with a soil disturbance of one or more acres of land, the developer shall submit a Notice of Intent (NOI) and obtain a Waste Discharger's Identification number (WDID#) from the State Water Quality Control Board (SWQCB) which shall be noted on the grading plans.

# Prior to Grading Permit

- 77. A receipt showing payment of the Area Drainage Plan (ADP) fee to Riverside County Flood Control and Water Conservation District shall be submitted. [MC 9.14.100(O)]
- 78. A digital (pdf) copy of all approved grading plans shall be submitted to the Land

Development Division.

- 79. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the implementation and maintenance of erosion control measures. At least twenty-five (25) percent of the required security shall be in the form of a cash deposit with the City. [MC 8.21.160(H)]
- 80. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project. [MC 8.21.070]
- 81. The developer shall pay all applicable inspection fees.

# Prior to Encroachment Permit

82. Any work performed within public right-of-way requires an encroachment permit.

# Prior to Building Permit

- 83. An engineered-fill certification, rough grade certification and compaction report shall be submitted for review and approved by the City Engineer. A digital (pdf) copy of the approved compaction report shall be submitted to the Land Development Division. All pads shall meet pad elevations per approved grading plans as noted by the setting of "blue-top" markers installed by a registered land surveyor or licensed civil engineer.
- 84. For Commercial/Industrial projects, the owner may have to secure coverage under the State's General Industrial Activities Storm Water Permit as issued by the State Water Resources Control Board.
- 85. A walk through with a Land Development Inspector shall be scheduled to inspect existing improvements within public right of way along project frontage. Any missing, damaged or substandard improvements including ADA access ramps that do not meet current City standards shall be required to be installed, replaced and/or repaired. The applicant shall post security to cover the cost of the repairs and complete the repairs within the time allowed in the public improvement agreement used to secure the improvements.

# Prior to Occupancy

- 86. All outstanding fees shall be paid.
- 87. All required as-built plans (prepared by a registered/licensed civil engineer) shall be

submitted for review and approved by the City Engineer per the current submittal requirements.

- 88. The final/precise grade certification shall be submitted for review and approved by the City Engineer.
- 89. For commercial, industrial and multi-family projects, a Stormwater Treatment Device and Control Measure Access and Maintenance Covenant shall be recorded to provide public notice of the maintenance requirements to be implemented per the approved final project-specific WQMP. A boilerplate copy of the covenants and agreements can be obtained by contacting the Land Development Division.

## Special Districts Division

- 90. Major Infrastructure SFD Major Infrastructure Financing District. Prior to applying for the 1st Building Permit, the gualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for the construction and maintenance of major infrastructure improvements, which may include but is not limited to thoroughfares, bridges, and certain flood control improvements. This condition will be applicable provided said district is under development at the time this project applies for the 1st Building Permit. This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings. An alternative to satisfying this condition will be identified at such time as a special financing district has been established. At the time of development, the developer Districts Administration must contact Special at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.
- 91. Park Maintenance Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the

annexation fee or fund an endowment) to provide an ongoing funding source for the continued maintenance, enhancement, and/or retrofit of parks, open spaces, linear parks, and/or trails systems.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

Alternatively, the condition can be satisfied by the Developer funding an endowment in an amount sufficient to yield an annual revenue stream that meets the annual obligation, as calculated by Special Districts Admin staff. The Developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to satisfy this condition.

92. Maintenance Services Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for the operation and maintenance of public improvements and/or services associated with impacts of the development. This condition will only be applicable provided said district is under development at the time this project applies for the 1st Building Permit.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be

reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

An alternative to satisfying this funding source will be identified at such time as a special financing district has been established. At the time of development, the developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.

93. Public Safety Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for Public Safety services, which may include but is not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. This condition will only be applicable provided said district is under development at the time this project applies for the 1st Building Permit.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

An alternative to satisfying this condition will be identified at such time as a special financing district has been established. At the time of development, the developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.

94. The ongoing maintenance of any water quality BMP (e.g. Bioswale) constructed in the public right of way shall be the responsibility of a property owner association or the property owner.

# PARKS & COMMUNITY SERVICES DEPARTMENT

96. This project is subject to current Development Impact Fees.

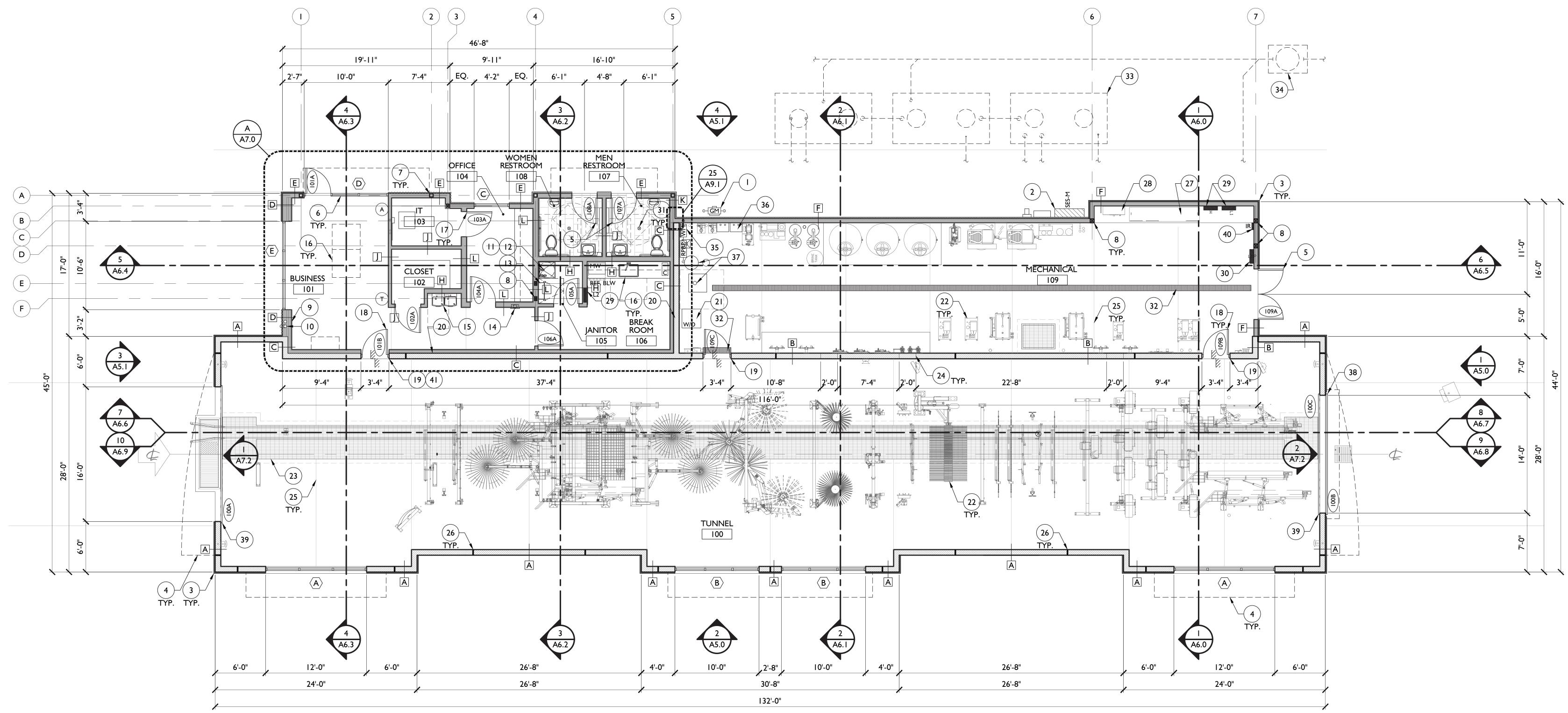
2.a



August 5, 2022 Mister Car Wash CA 1027, 130C1 Elevations and Materials A23 Studios #22130

# achment: Project Plans (6084 : Mister Carwash - PEN22-01):

Packet Pg. 89

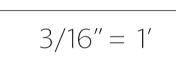






2 O F











# **FINISH LEGEND**

MP-2	METAL PANEL - CTMRS / PRE- FINISHED R-PANEL / IN THE NAVY - SW9178	CU-1	SPLIT FAC CLOSE TO
MP-4	METAL PANEL - CTRMS / PRE- FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	ALU	WINDOW THERMAL ALUMINU
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	SPLIT FAC BE CLOSE SW6255
SV-1	STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-3	EXTERIOR WILLIAMS SW7665
PT-9	EXTERIOR PAINT - SHERWIN- WILLIAMS / IN THE NAVY SW9178	PT-7	EXTERIOR WILLIAMS SW9176
PT-6	EXTERIOR PAINT - SHERWIN- WILLIAMS / MORNING FOG SW6225	EIFS	EXTERIOR FINISHING

CE CMU - COLOR TO BE O WALL STREET SW7665

WS & DOORS -ALLY BROKEN ANODIZED IUM / CLEAR

CE CMU - COLOR TO SE TO MORNING FOG

DR PAINT - SHERWIN-/IS / WALL STREET

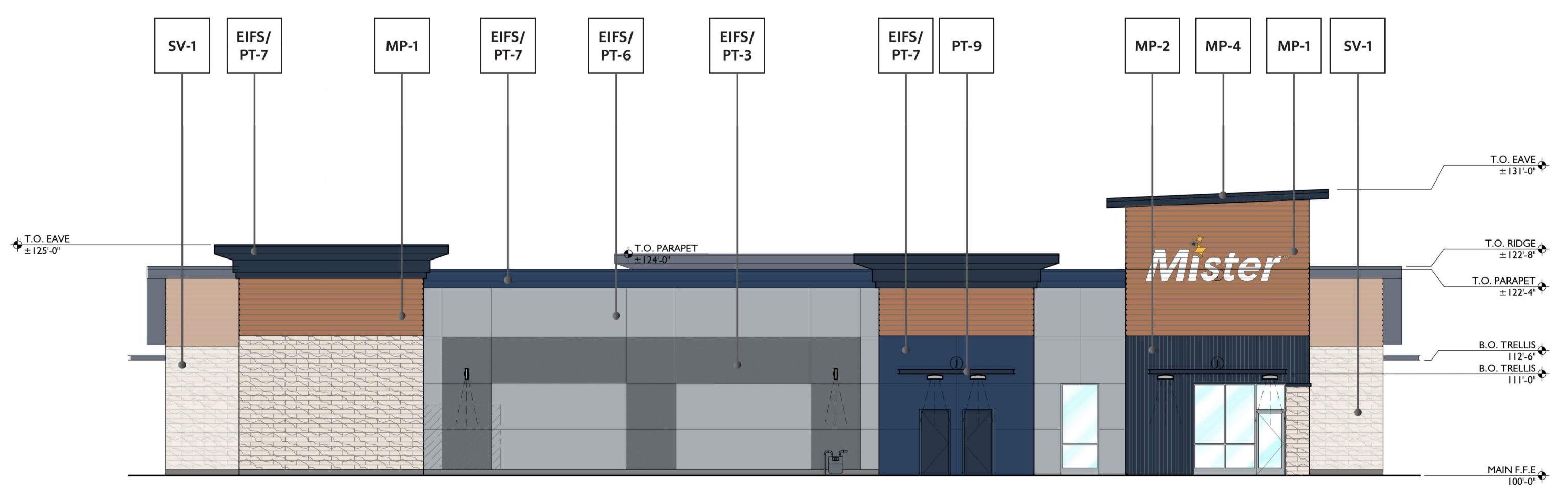
DR PAINT - SHERWIN-AS / DRESS BLUES

OR INSULATION NG SYSTEM













# **FINISH LEGEND**

MP-2	METAL PANEL - CTMRS / PRE- FINISHED R-PANEL / IN THE NAVY - SW9178	CU-1	SPLIT FAC CLOSE TO
MP-4	METAL PANEL - CTRMS / PRE- FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	ALU	WINDOW THERMAL ALUMINU
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	SPLIT FAC BE CLOSE SW6255
SV-1	STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-3	EXTERIOR WILLIAMS SW7665
PT-9	EXTERIOR PAINT - SHERWIN- WILLIAMS / IN THE NAVY SW9178	PT-7	EXTERIOR WILLIAMS SW9176
PT-6	EXTERIOR PAINT - SHERWIN- WILLIAMS / MORNING FOG SW6225	EIFS	EXTERIOR FINISHING

CE CMU - COLOR TO BE O WALL STREET SW7665

WS & DOORS -ALLY BROKEN ANODIZED IUM / CLEAR

CE CMU - COLOR TO SE TO MORNING FOG

DR PAINT - SHERWIN-/IS / WALL STREET

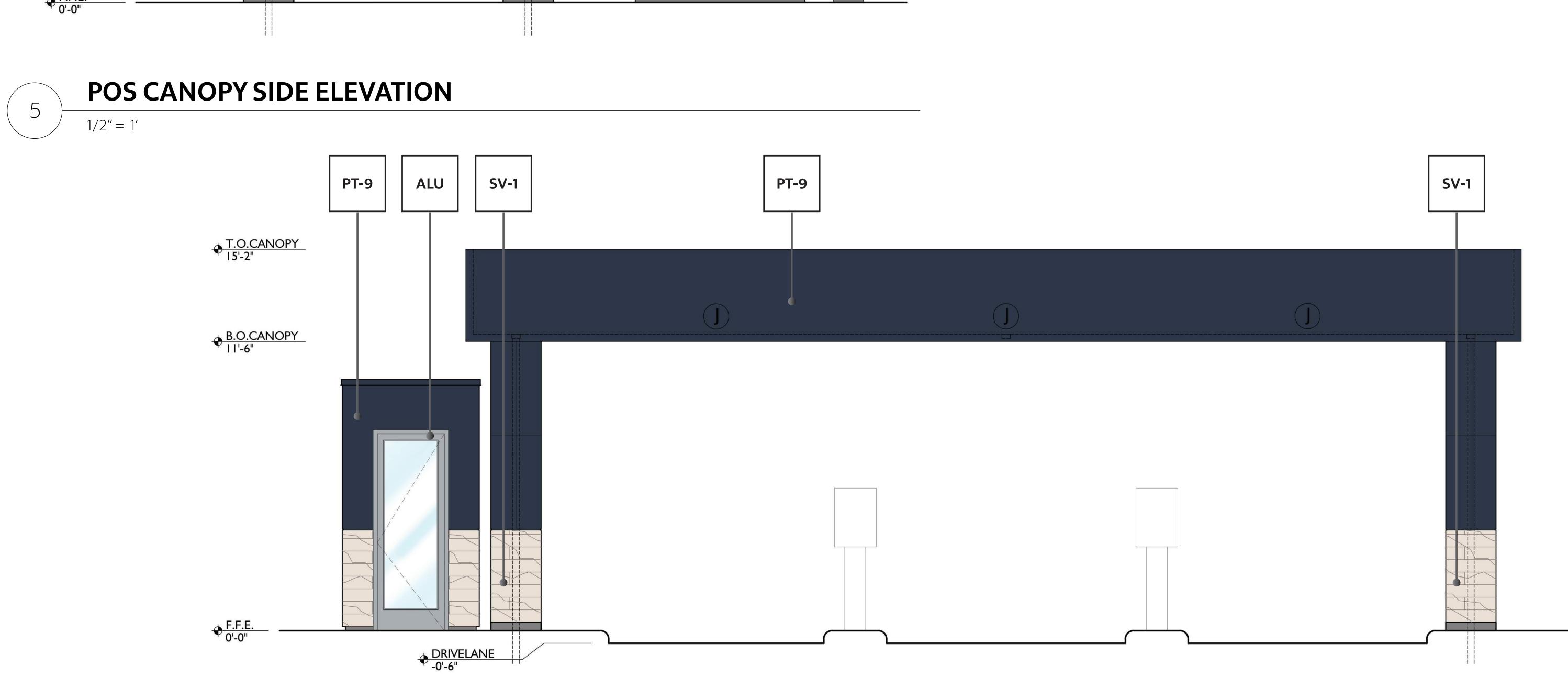
DR PAINT - SHERWIN-AS / DRESS BLUES

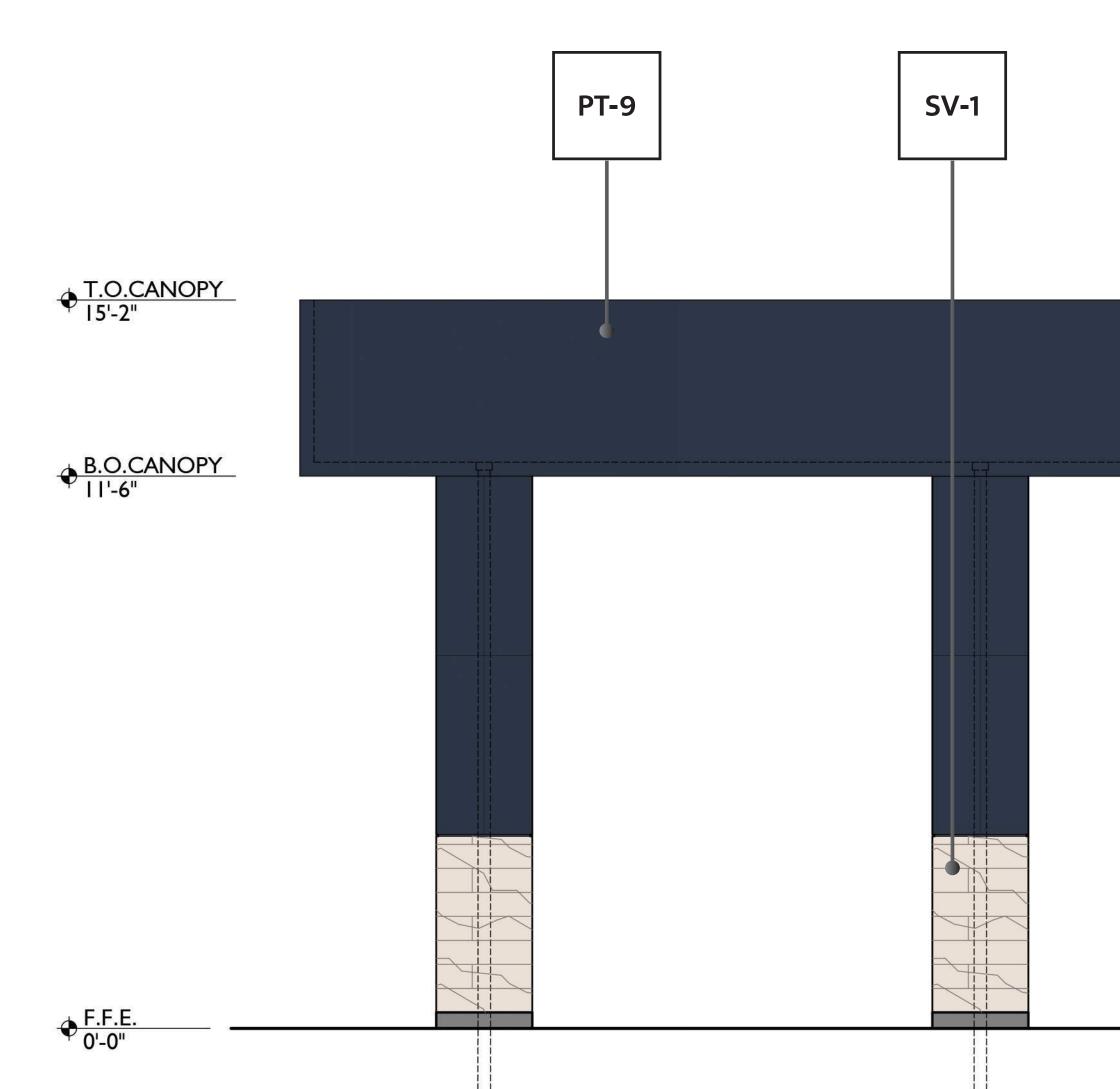
OR INSULATION NG SYSTEM





# **POS CANOPY FRONT ELEVATION** 1/2'' = 1'







# FINISH LEGEND

MP-2	METAL PANEL - CTMRS / PRE- FINISHED R-PANEL / IN THE NAVY - SW9178	CU-1	SPLIT F CLOSE
MP-4	METAL PANEL - CTRMS / PRE- FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	ALU	WIND THERN ALUM
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	SPLIT F BE CLC SW625
SV-1	STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-3	EXTER WILLIA SW766
PT-9	EXTERIOR PAINT - SHERWIN- WILLIAMS / IN THE NAVY SW9178	PT-7	EXTER WILLIA SW917
PT-6	EXTERIOR PAINT - SHERWIN- WILLIAMS / MORNING FOG SW6225	EIFS	EXTER FINISH

T FACE CMU - COLOR TO BE SE TO WALL STREET SW7665

DOWS & DOORS -RMALLY BROKEN ANODIZED MINUM / CLEAR

T FACE CMU - COLOR TO CLOSE TO MORNING FOG 5255

ERIOR PAINT - SHERWIN-LIAMS / WALL STREET 7665

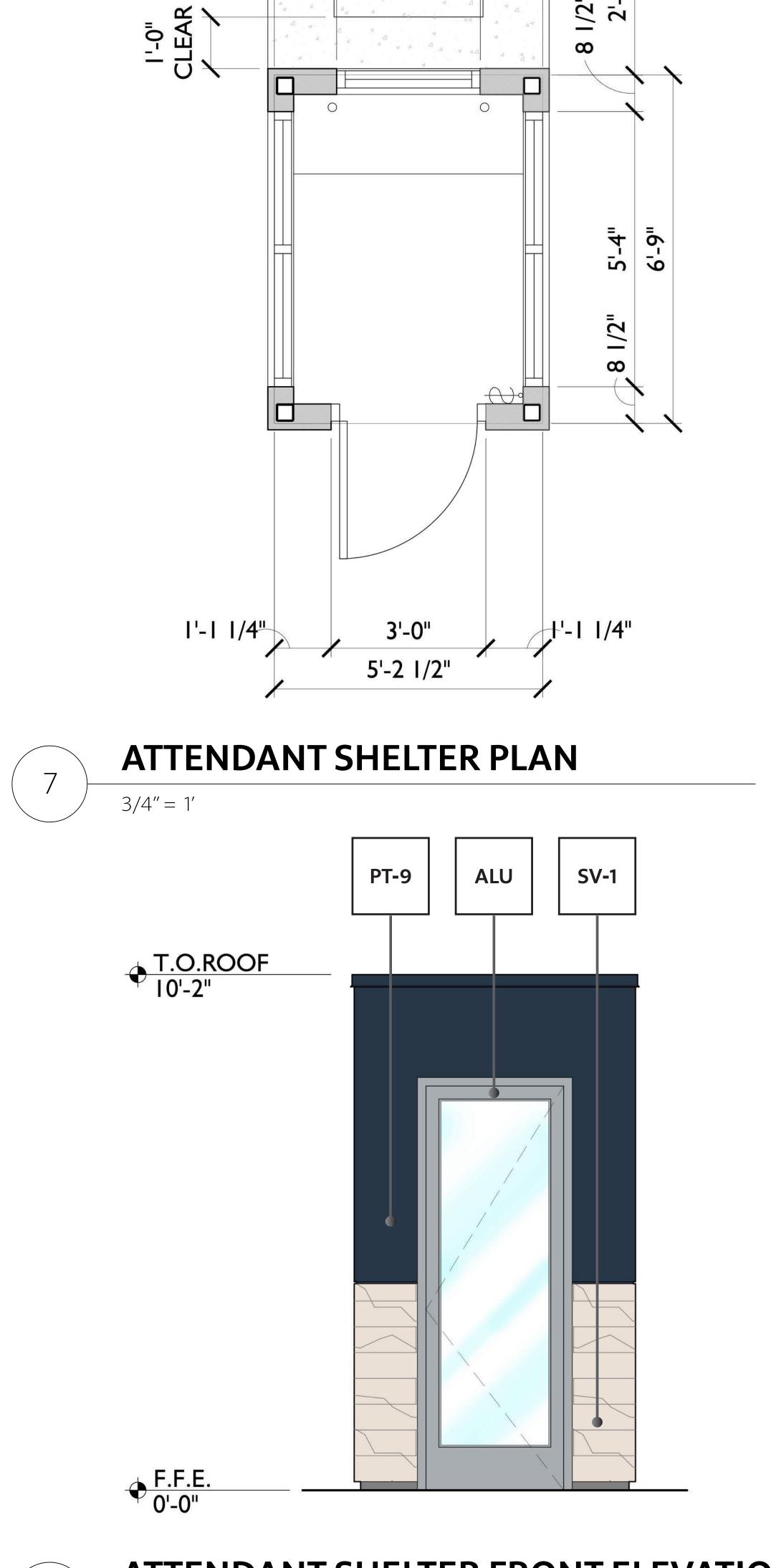
ERIOR PAINT - SHERWIN-LIAMS / DRESS BLUES 9176

ERIOR INSULATION SHING SYSTEM









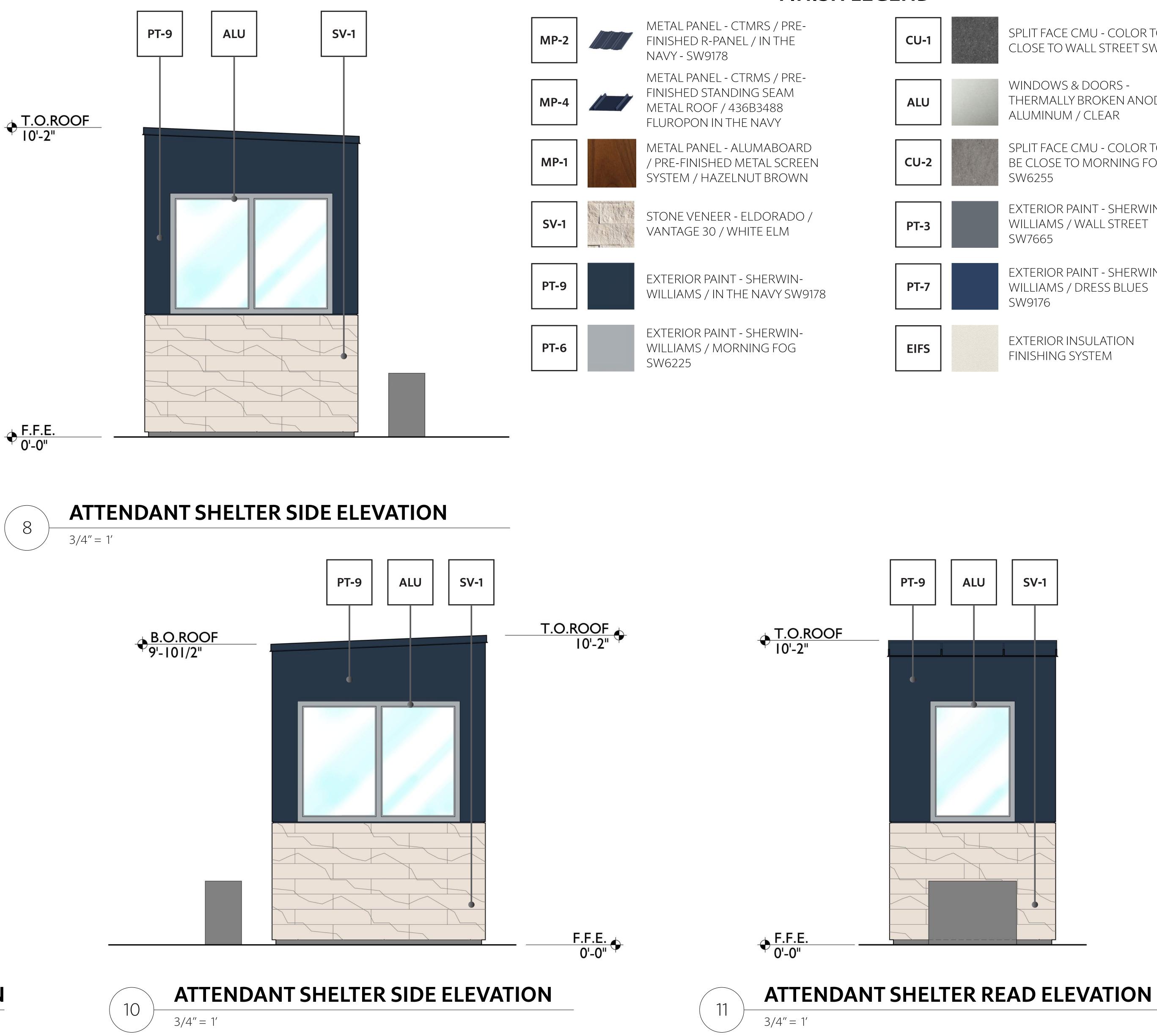
I'-2 I/2<sup>\_\_\_</sup>

,**∤'-2 I/2**"

1/2" 2'-6"

 $\infty$ 

2'-9 1/2"



# **FINISH LEGEND**

MP-2	METAL PANEL - CTMRS / PRE- FINISHED R-PANEL / IN THE NAVY - SW9178	CU-1	SPLIT F CLOSE
MP-4	METAL PANEL - CTRMS / PRE- FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	ALU	WIND THERN ALUM
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	SPLIT F BE CLC SW625
SV-1	STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-3	EXTER WILLIA SW766
PT-9	EXTERIOR PAINT - SHERWIN- WILLIAMS / IN THE NAVY SW9178	PT-7	EXTER WILLIA SW917
PT-6	EXTERIOR PAINT - SHERWIN- WILLIAMS / MORNING FOG SW6225	EIFS	EXTER FINISH

FACE CMU - COLOR TO BE SE TO WALL STREET SW7665

DOWS & DOORS -RMALLY BROKEN ANODIZED MINUM / CLEAR

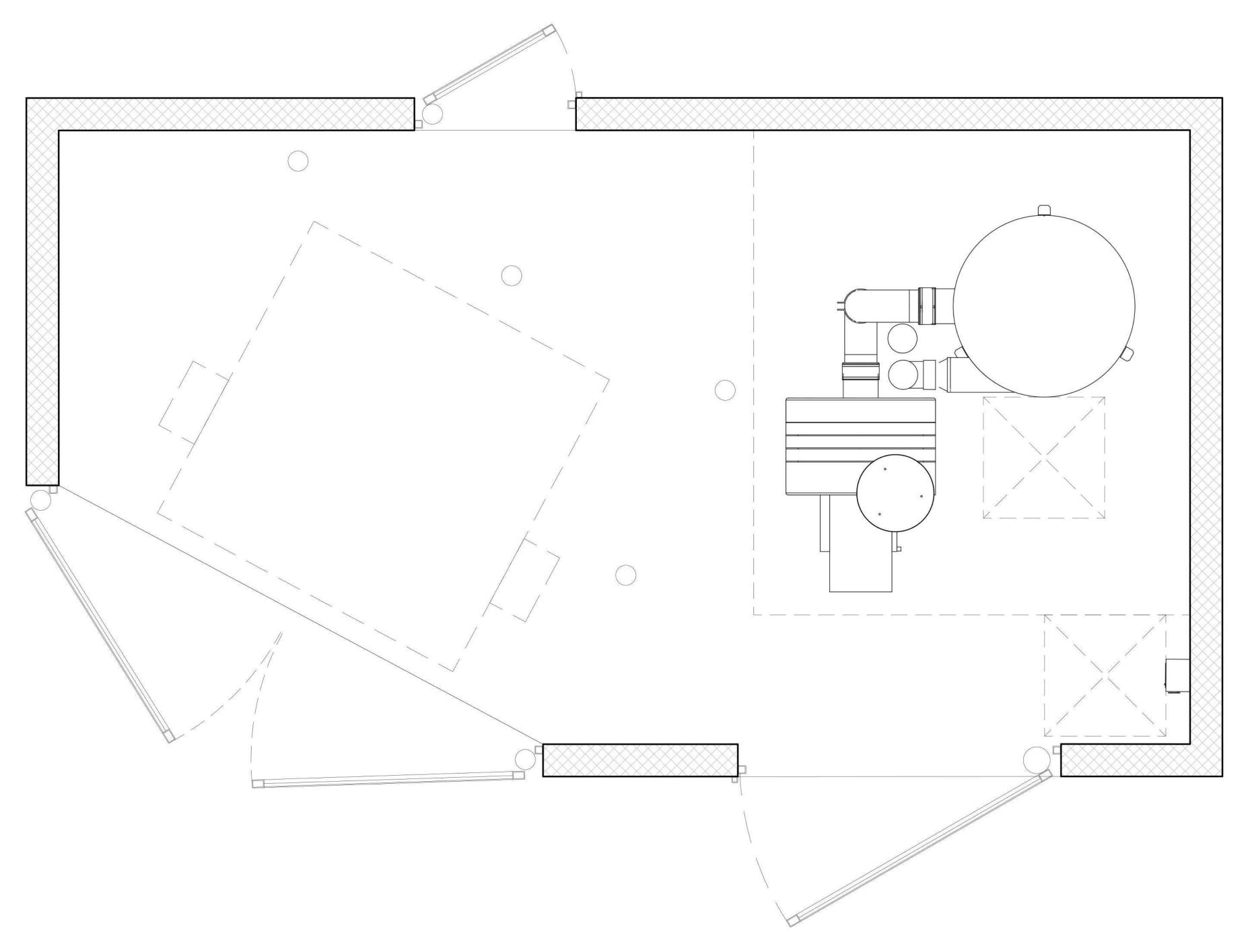
FACE CMU - COLOR TO LOSE TO MORNING FOG 255

ERIOR PAINT - SHERWIN-LIAMS / WALL STREET 565

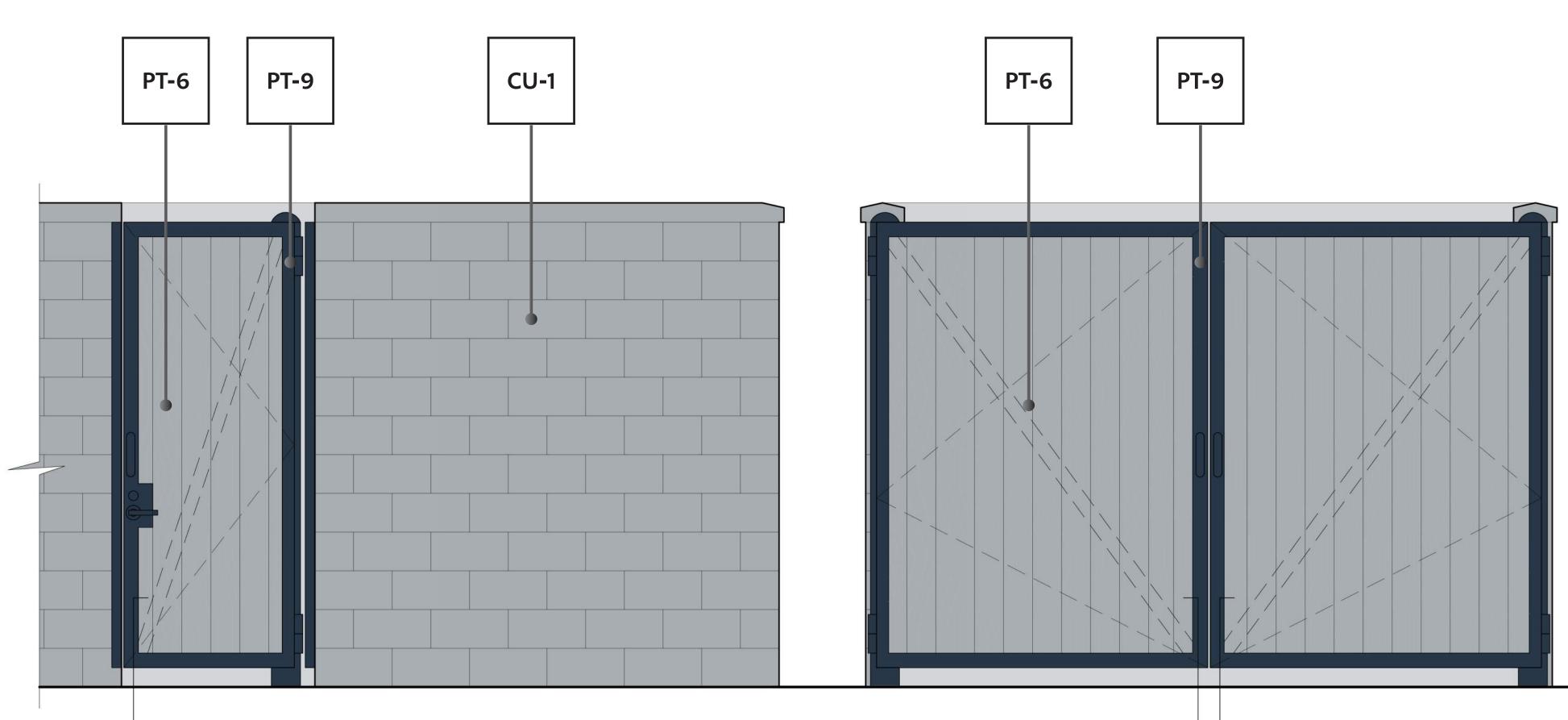
ERIOR PAINT - SHERWIN-LIAMS / DRESS BLUES 176

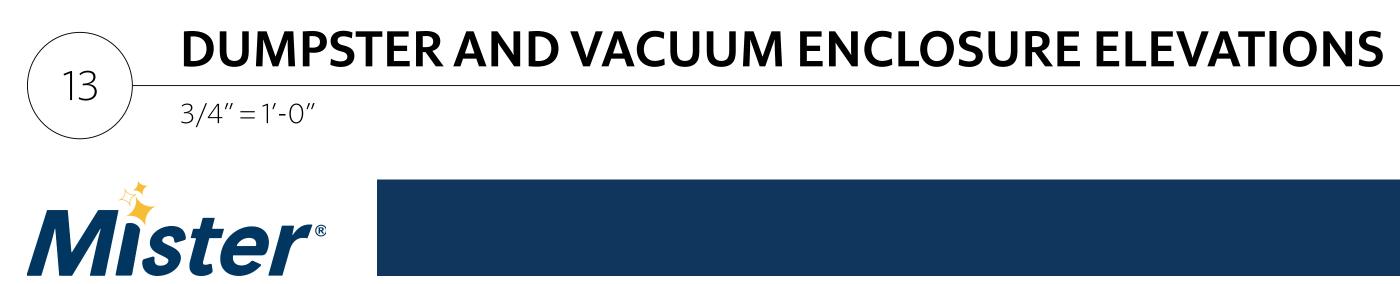
ERIOR INSULATION SHING SYSTEM









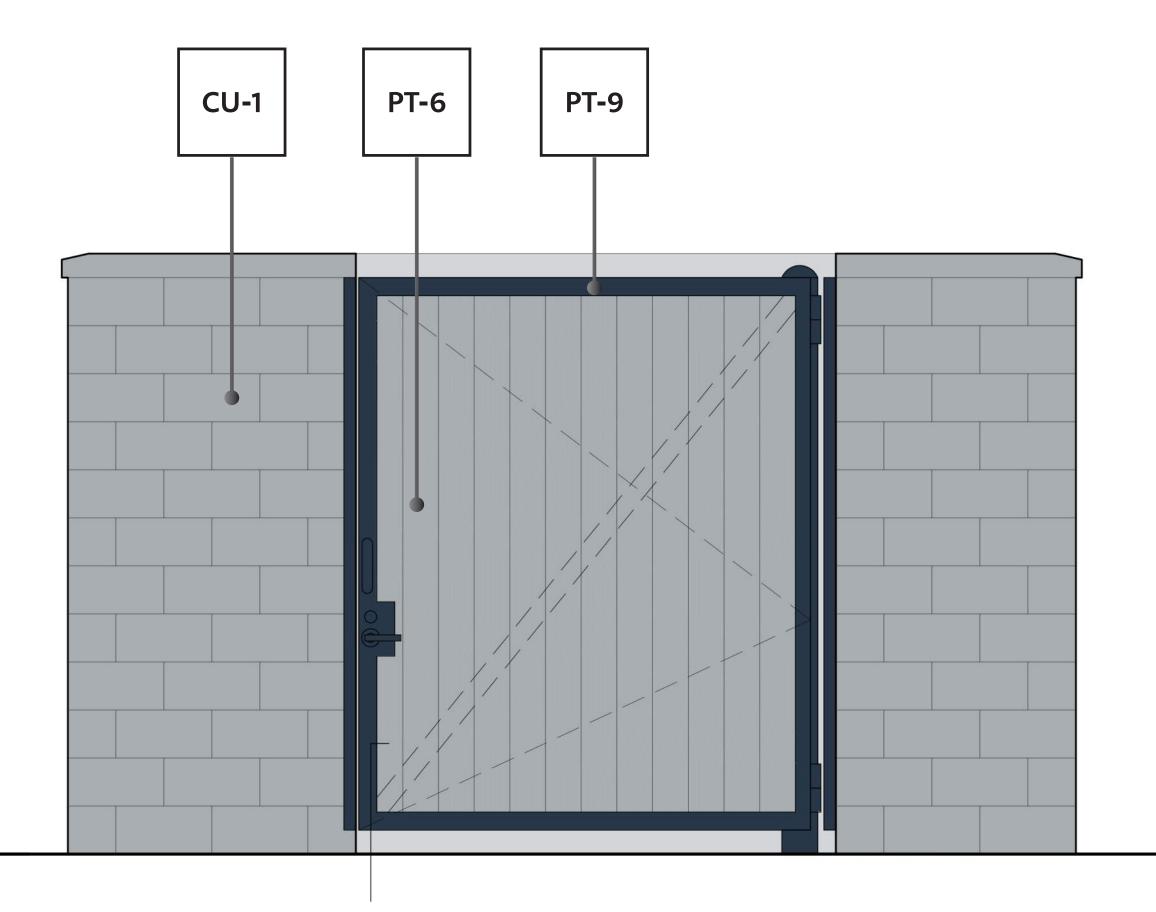






# **FINISH LEGEND**

MP-2	METAL PANEL - CTMRS / PRE- FINISHED R-PANEL / IN THE NAVY - SW9178	CU-1	SPLIT F CLOSE
MP-4	METAL PANEL - CTRMS / PRE- FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	ALU	WIND THERN ALUM
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	SPLIT F BE CLC SW625
SV-1	STONE VENEER - ELDORADO / VANTAGE 30 / WHITE ELM	PT-3	EXTER WILLIA SW766
PT-9	EXTERIOR PAINT - SHERWIN- WILLIAMS / IN THE NAVY SW9178	PT-7	EXTER WILLIA SW917
PT-6	EXTERIOR PAINT - SHERWIN- WILLIAMS / MORNING FOG SW6225	EIFS	EXTER FINISH



TFACE CMU - COLOR TO BE SE TO WALL STREET SW7665

DOWS & DOORS -RMALLY BROKEN ANODIZED MINUM / CLEAR

TFACE CMU - COLOR TO LOSE TO MORNING FOG 255

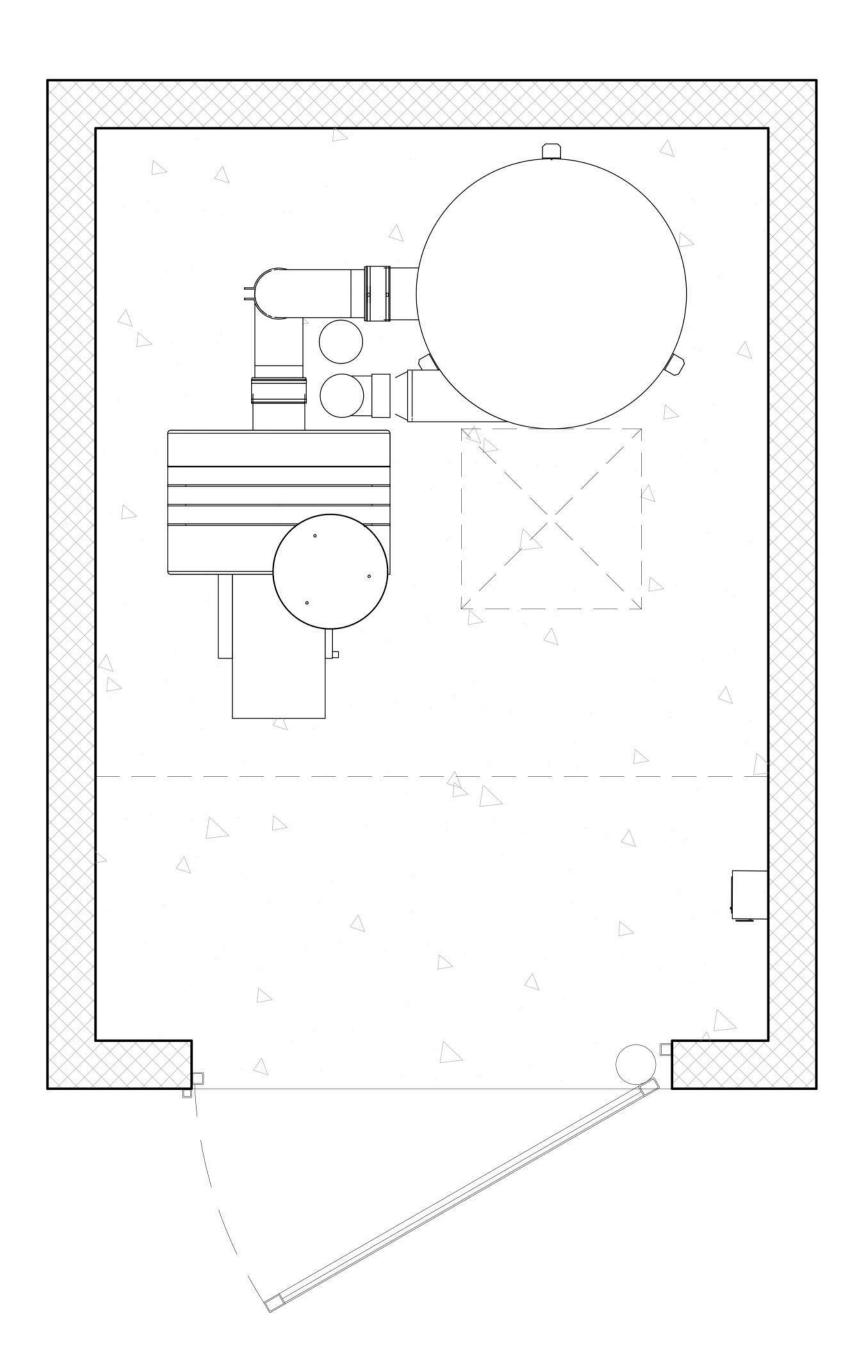
ERIOR PAINT - SHERWIN-LIAMS / WALL STREET 565

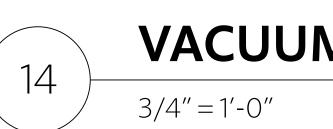
ERIOR PAINT - SHERWIN-LIAMS / DRESS BLUES 176

ERIOR INSULATION SHING SYSTEM



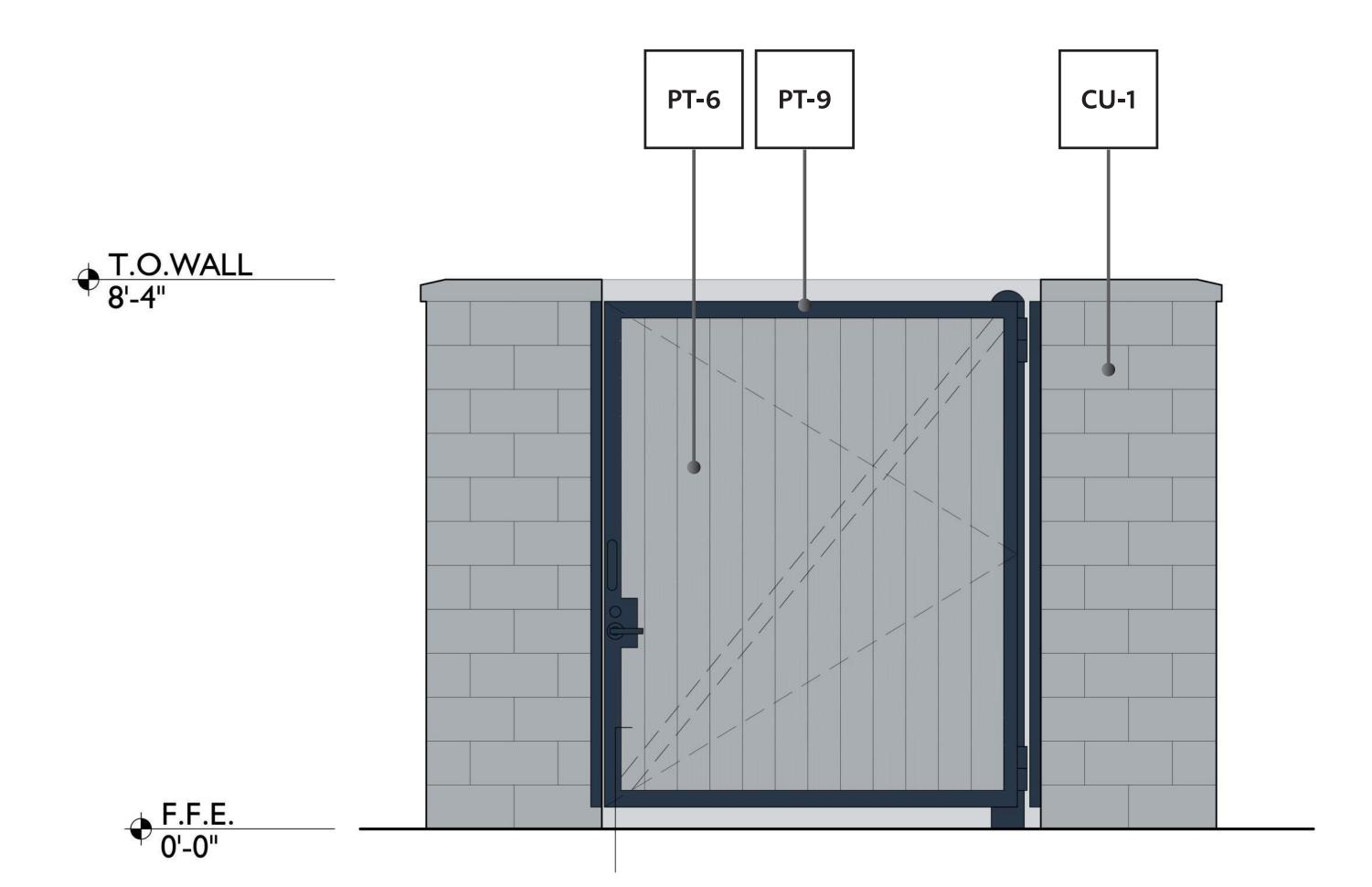








# VACUUM ENCLOSURE ELEVATIONS AND PLAN



# FINISH LEGEND





SPLIT FACE CMU - COLOR TO BE CLOSE TO WALL STREET SW7665

WINDOWS & DOORS -THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR

SPLIT FACE CMU - COLOR TO BE CLOSE TO MORNING FOG SW6255

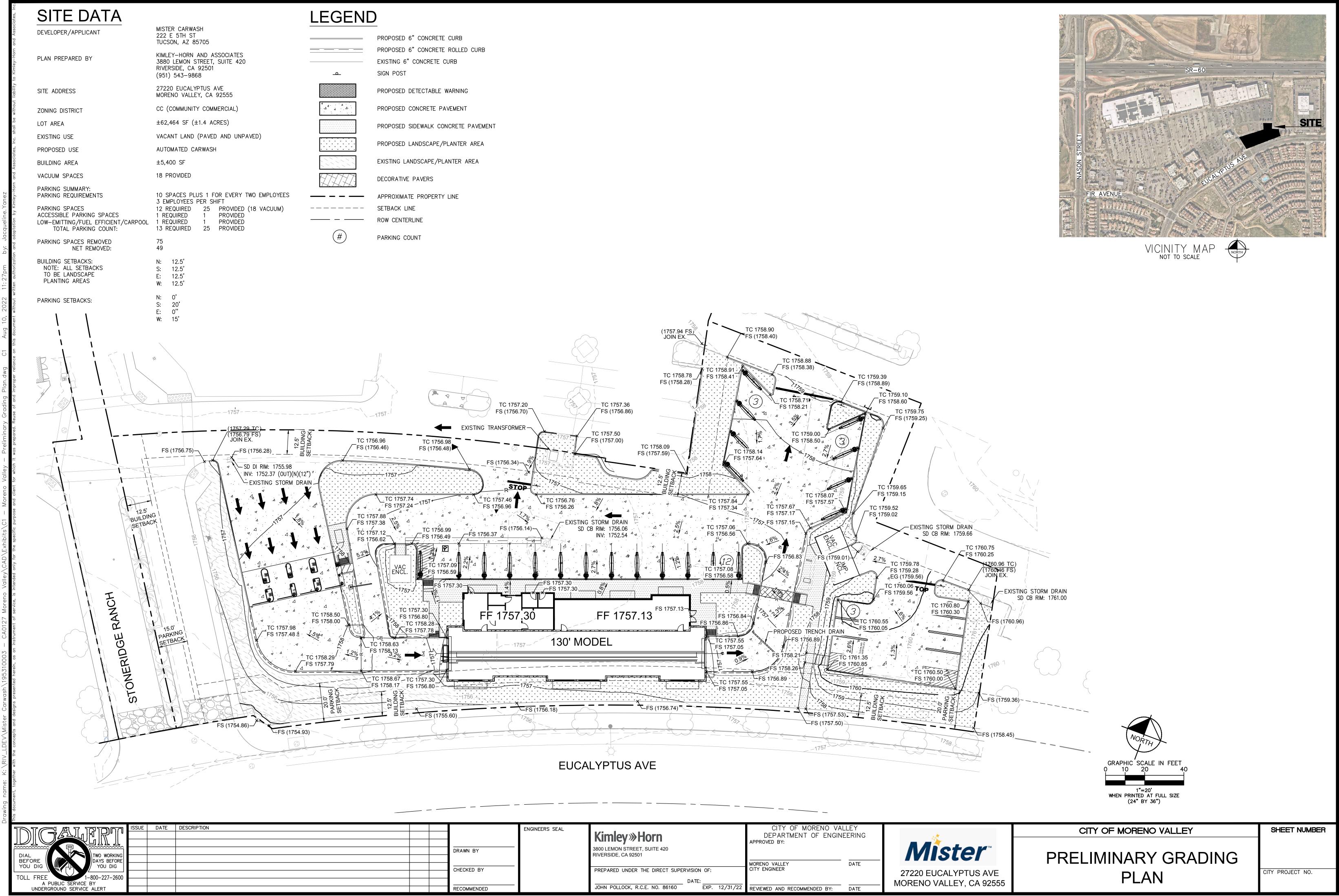
EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665

EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176

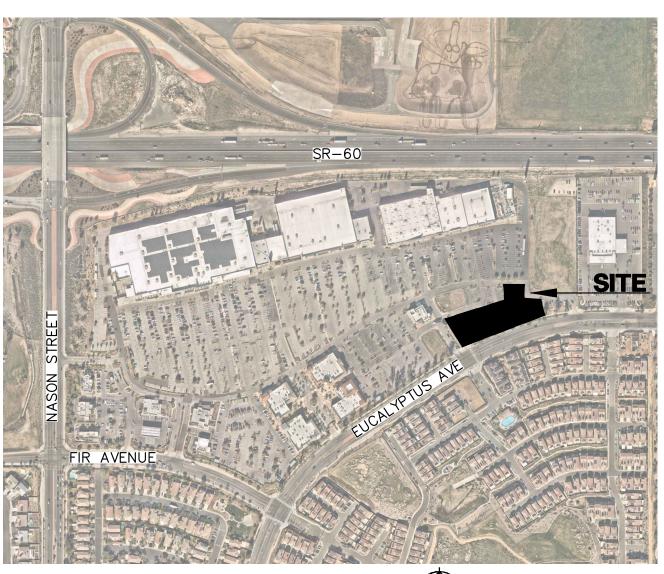
EXTERIOR INSULATION FINISHING SYSTEM



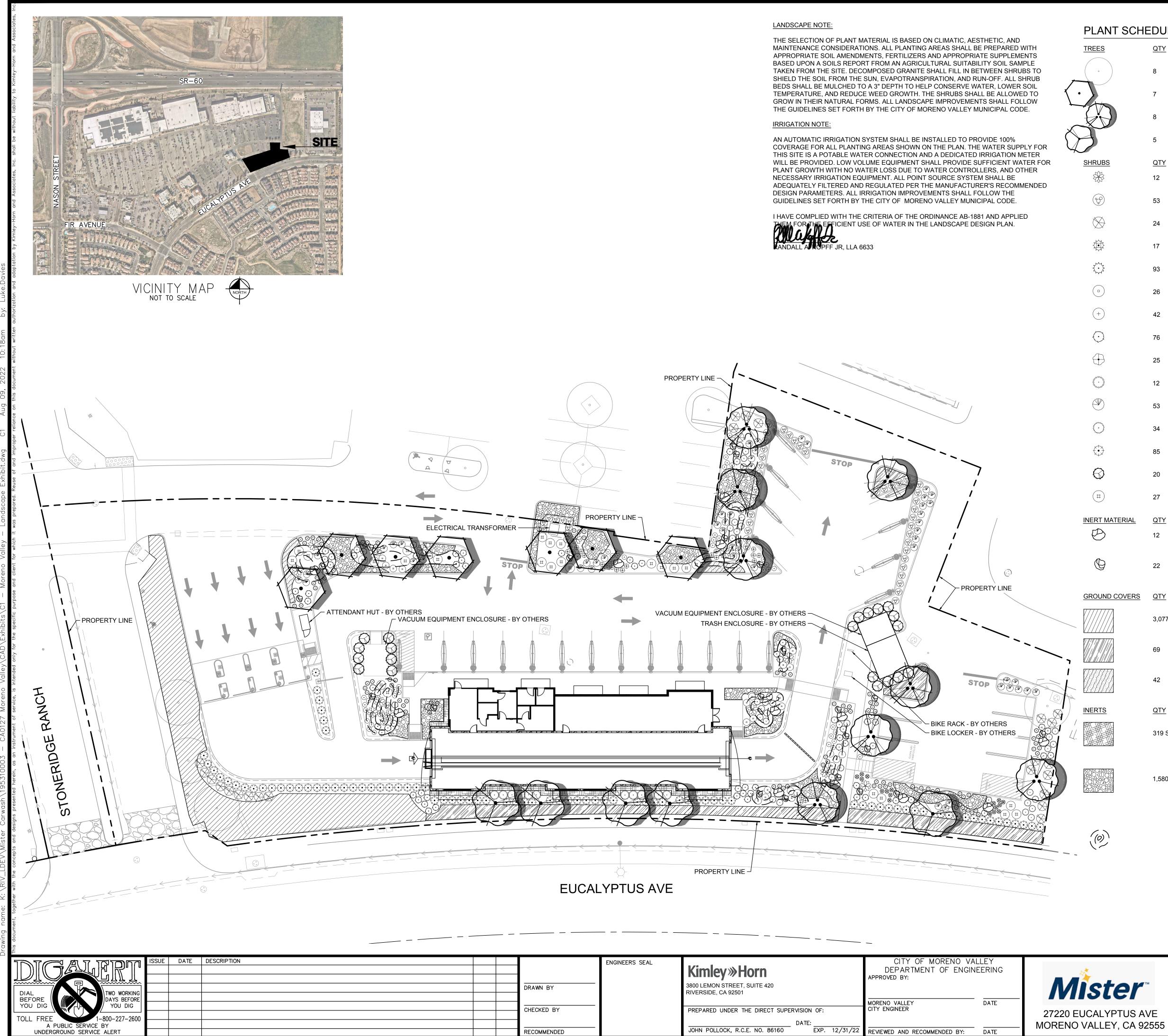
8 O F



DRAWN BY	ENGINEERS SEAL	Kimley » Horn 3800 LEMON STREET, SUITE 420 RIVERSIDE, CA 92501	CITY OF MORENO VALLE DEPARTMENT OF ENGINEER APPROVED BY:	
CHECKED BY		PREPARED UNDER THE DIRECT SUPERVISION OF:	MORENO VALLEY DA CITY ENGINEER	ATE 27220
RECOMMENDED		JOHN POLLOCK, R.C.E. NO. 86160         DATE: EXP. 12/31/22	REVIEWED AND RECOMMENDED BY: DA	ATE MORENO



2.b

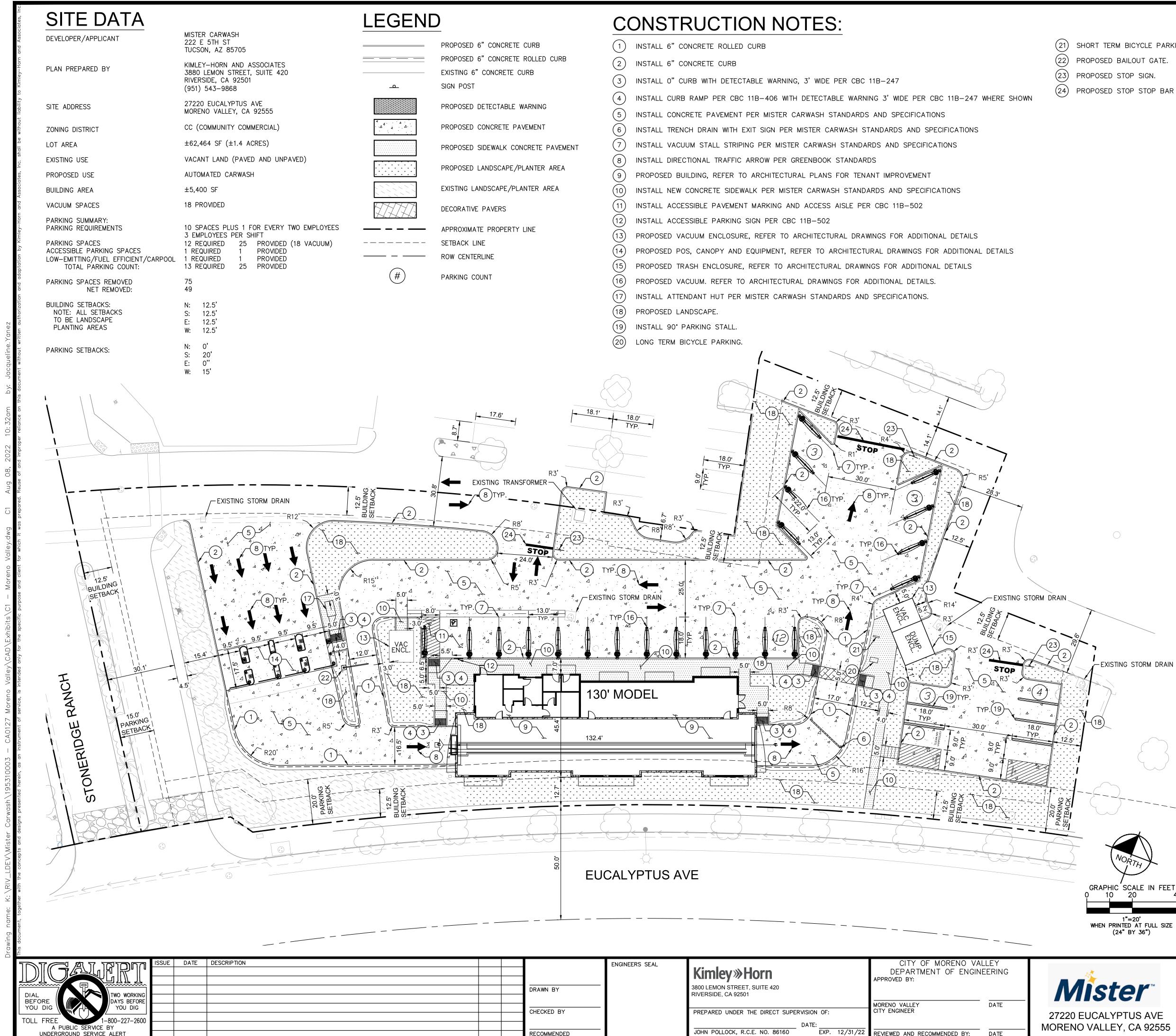


2.b

PLANT SCH	EDULE			
TREES	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>CONT</u>	WUCOLS
	8	EXISTING TREE / TO REMAIN, PROTECT IN PLACE	-	-
	7	LAGERSTROEMIA INDICA / CRAPE MYRTLE	24" BOX	MODERATE
ED .	8	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	24" BOX	MODERATE
5	5	PYRUS CALLERYANA 'BRADFORD' / BRADFORD CALLERY PEAR	24" BOX	MODERATE
SHRUBS	<u>QTY</u> 12	<u>BOTANICAL / COMMON NAME</u> AGAVE ATTENUATA 'SUPER NOVA' / SUPER NOVA FOXTAIL AGAVE	<u>CONT.</u> 5 GAL.	<u>WUCOLS</u> LOW
	53	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL.	LOW
$\bigotimes$	24	CISTUS SALVIIFOLIUS 'PROSTRATUS' / SAGELEAF ROCKROSE	5 GAL.	LOW
	17	DIANELLA REVOLUTA / SPREADING FLAX LILY	5 GAL.	LOW
یکس • • • •	93	DIANELLA TASMANICA `VARIEGATA` / VARIEGATED FLAX LILY	5 GAL.	LOW
	26	ELYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE WILD RYE	5 GAL.	LOW
+	42	FESTUCA GLAUCA `ELIJAH BLUE` / ELIJAH BLUE FESCUE	5 GAL.	LOW
$\bigcirc$	76	HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA	5 GAL.	LOW
$\overset{\mathbf{r}}{\bigoplus}$	25	LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / HIDCOTE ENGLISH LAVENDER	5 GAL.	LOW
$\odot$	12	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS SAGE	5 GAL.	LOW
	53	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	5 GAL.	LOW
a province	34	MUHLENBERGIA DUBIA / PINE MUHLY	5 GAL.	LOW
	85	NANDINA DOMESTICA `LEMON LIME` / LEMON LIME NANDINA	5 GAL.	MODERATE
$\bigcirc$	20	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL.	LOW
(#)	27	PENNISETUM SETACEUM 'CUPREUM' / RED FOUNTAIN GRASS	5 GAL.	LOW
INERT MATERIAL	QTY	BOTANICAL / COMMON NAME	CONT.	WUCOLS
$\bigcirc$	12	ROCK BOULDERS / 4` DIAMETER 4`X4`X4` `PALE SUNSET BOULDER` BY SOUTHWEST BOULDER AND STONE OR APPROVED EQUAL.	ROCK	-
	22	ROCK BOULDERS / 3` DIAMETER 3`X3`X3` `PALE SUNSET BOULDER` BY SOUTHWEST BOULDER AND STONE OR APPROVED EQUAL.	ROCK	-
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	<u>WUCOLS</u>
	3,077 SF	EXISITING LANDSCAPE / TO REMAIN, PROTECT IN PLACE	EXISTING	
	69	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	5 GAL.	LOW
	42	SENECIO MANDRALISCAE / BLUE FINGERS	1 GAL.	LOW
INERTS	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT.	
	319 SF	PEA GRAVEL PEA GRAVEL WITH ALUMINUM EDGING OVER COMMERCIAL-GRADE WEED BARRIER FABRIC AT BUILDING FOUNDATION. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCURMENT.	-	
	1,580 SF	ROCK MULCH 6" DEPTH MIN. OF 75% 2" TO 4" DIAMETER NOYLA COBBLESTONE AND 25% 1-1/2" DIAMETER RIVER ROCK OVER COMMERCIAL-GRADE WEED BARRIER FABRIC. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT.	-	
(0)		LANDSCAPE MOUNDS - EACH CONTOUR LINE REPRESENTS A 12" RISE IN THE GRADE. LANDSCAPE MOUNDS TO BE GRADED SMOOTH USING SITE SOIL IF AVAILABLE. IF SITE SOIL IS NOT AVAILABLE, CONTRACTOR SHALL IMPORT CLEAN, SANDY LOAM TOPSOIL, SUITABLE FOR LANDSCAPE PLANTINGS. A SEPARATE SOIL ANALYSIS REPORT SHALL BE PROVIDED FOR ANY IMPORTED SOIL	NORTH	Ì
		ÇGRA	APHIC SCALE	
			10 20 1"=20'	40
		WHE	1"=20" N PRINTED AT (24" BY 36	
к.		CITY OF MORENO VALLEY	SHEET N	IUMBER

# LANDSCAPE EXHIBIT

CITY PROJECT NO.



CONSTRUCTION NOTES
--------------------

DRAWN BY	ENGINEERS SEAL	Kimley » Horn 3800 LEMON STREET, SUITE 420 RIVERSIDE, CA 92501	CITY OF MORENO VALLEY DEPARTMENT OF ENGINEERING APPROVED BY:	Μ
CHECKED BY		PREPARED UNDER THE DIRECT SUPERVISION OF: DATE: JOHN POLLOCK, R.C.E. NO. 86160 EXP. 12/31/22	MORENO VALLEY CITY ENGINEER REVIEWED AND RECOMMENDED BY: DATE	– 27220 E – MORENC

SHORT TERM BICYCLE PARKING. (24) PROPOSED STOP STOP BAR AND MARKING.



NORTH VICINITY MAP NOT TO SCALE

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 11 AS SHOWN ON LOT LINE ADJUSTMENT NO. 990 / AND CERTIFICATE OF COMPLIANCE, AS EVIDENCED BY DOCUMENT RECORDED OCTOBER 11, 2007 AS INSTRUMENT NO. 2007-0631947, OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 11 OF PARCEL MAP NO. 34411, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 217, PAGES 67 THROUGH 72, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF PARCEL 6 OF SAID PARCEL MAP NO. 34411 LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE EASTERLY TERMINUS OF THE SOUTHERLY LINE OF PARCEL 5 OF LOT LINE ADJUSTMENT NO. 982 / AND CERTIFICATE OF COMPLIANCE, RECORDED JUNE 15, 2007 AS INSTRUMENT NO. 2007-0394187, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, SHOWN AS HAVING A BEARING AND DISTANCE OF "SOUTH 89° 22' 58" EAST, 41.88 FEET";

THENCE, ALONG THE EASTERLY PROLONGATION OF SAID SOUTHERLY LINE, SOUTH 89° 22' 58" EAST, 74.67 FEET TO THE EASTERLY LINE OF SAID PARCEL 6.

EXCEPT AN UNDIVIDED 1/4 INTEREST IN AND TO ALL OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE OR WITHIN 500 FEET BELOW THE SURFACE OF SAID LAND. AS RESERVED BY WELLS FARGO BANK, N.A., FORMERLY BANK OF AMERICA, NT & SA, TRUSTEE UNDER THE ANTOINETTE J. WILSON TRUST AGREEMENT OF 1986 AND AS TRUSTEE UNDER THE ARLENE KATHERINE GONZALES TRUST AGREEMENT OF 1986, RECORDED OCTOBER 7, 1987 AS INSTRUMENT NO. 290570, OF OFFICIAL RECORDS.

ALSO EXCEPT AN UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE OR WITHIN 500 FEET BELOW THE SURFACE OF SAID LAND, AS RESERVED BY SAM PERRICONE, TRUSTEE, RECORDED OCTOBER 7, 1987 AS INSTRUMENT NO. 290571, OF OFFICIAL RECORDS.

ALSO EXCEPT AN UNDIVIDED 1/4 INTEREST IN AND TO ALL OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE OR WITHIN 500 FEET BELOW THE SURFACE OF SAID LAND, AS RESERVED BY WELLS FARGO BANK, N.A., FORMERLY BANK OF AMERICA, NT & SA, TRUSTEE UNDER AGREEMENT WITH PERINA PISTONETTI DIBETTA, DATED AUGUST 7, 1974, RECORDED OCTOBER 7, 1987 AS INSTRUMENT NO. 290573, OF OFFICIAL RECORDS.

# PARCEL B:

VARIOUS NON-EXCLUSIVE EASEMENTS AS DEFINED IN ARTICLE II OF THAT CERTAIN OPERATION AND EASEMENT AGREEMENT DATED JUNE 27, 2006, RECORDED JUNE 27, 2006 AS INSTRUMENT NO. 2006-0465183, OF OFFICIAL RECORDS, BUT ONLY TO THE EXTENT THAT SUCH EASEMENTS ARE APPURTENANT TO AND BENEFIT PARCEL A ABOVE, AS SUCH MAY BE MODIFIED OR AFFECTED BY THAT CERTAIN DECLARATION AND GRANT OF EASEMENTS DATED MARCH 16, 2018, RECORDED MARCH 16, 2018, AS INSTRUMENT NO. 2018-0101138, OF OFFICIAL RECORDS AND BY THAT CERTAIN DECLARATION OF RESTRICTIVE COVENANTS DATED MARCH 16, 2018, RECORDED MARCH 16, 2018, AS INSTRUMENT NO. 2018-0101139, OF OFFICIAL RECORDS.

APN: 488-400-024

THE PROPERTY SHOWN AND DESCRIBED HEREON IS THE SAME PROPERTY DESCRIBED IN CHICAGO TITLE TITLE INSURANCE COMPANY, ORDER NO. 00175353-987-0C1-JS9, DATED APRIL 7, 2022.

# CITY OF MORENO VALLEY

SHEET NUMBER

2.b

SITE PLAN

CITY PROJECT NO.

Packet Pg. 99

