
PLANNING COMMISSIONERS

JEFFREY SIMS
Chairperson

RAY L. BAKER
Vice Chairperson

PATRICIA KORZEC
Commissioner



ALVIN DEJOHNETTE
Commissioner

JOANN STEPHAN
Commissioner

ROBERT HARRIS
Commissioner

RAFAEL BRUGUERAS
Commissioner

PLANNING COMMISSION

Regular Meeting

Agenda

Thursday, October 24, 2019 at 7:00 PM
City Hall Council Chamber – 14177 Frederick Street

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PUBLIC COMMENTS PROCEDURE

Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, member of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.

PUBLIC COMMENTS

CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine and all will be enacted by one roll call vote. There will be no discussion of these items unless Members of the Planning Commission request specific items be removed from the Consent Calendar for separate action.

1. Planning Commission Minutes – Regular Meeting – October 10, 2019 7:00 PM

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

- 1. Case: PEN19-0177
- Applicant: Adele Brecht, on behalf of Panacea Farms MV, LLC
- Property Owner: Thong Van Tran and Kim Nguyen
- Location: 24685 Alessandro Boulevard
- Case Planner: Julia Descoteaux
- Council District: 3
- Proposal: Conditional Use Permit for a cannabis microbusiness, "Cannaporium," in a 27,343 square foot retail space located at 24685 Alessandro Boulevard, within the Sunnymead Village Center.

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

Planning Commission Regular Meeting, November 14, 2019 at 7:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 7:00 PM
October 10, 2019**

CALL TO ORDER

This Regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 7:05 p.m., by Chairperson Sims in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Jeffrey Sims	Chairperson	Present
	Ray L. Baker	Vice Chairperson	Present
	Patricia Korzec	Commissioner	Present
	Robert Harris	Commissioner	Present
	JoAnn Stephan	Commissioner	Present
	Rafael Brugueras	Commissioner	Present
	Alvin DeJohnette	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Korzec.

APPROVAL OF AGENDA

Motion to approve the agenda was made by Vice Chairperson Baker and seconded by Commissioner Korzec.

Vote: 7-0

Ayes: Vice Chairperson Baker, Commissioner Korzec, Harris, Stephan, Brugueras
Chairperson Sims and Commissioner DeJohnette

Action: **Approved**

STAFF PRESENT

Paul Early	City Attorney
Patty Nevins	Acting Community Development Director
Sean Kelleher	Senior Planner
Jerry Guarracino	Contract Planner
Claudia Manrique	Associate Planner
Michael Wolfe	City Engineer
Eric Lewis	City Traffic Engineer
Michael Lloyd	Assistant City Engineer
Paul Villalobos	Fire Marshal
Ashley Aparicio	Planning Commission Secretary

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public speakers.

CONSENT CALENDAR

1. Planning Commission - Regular Meeting - Aug 22, 2019 7:00 PM
2. Planning Commission - Regular Meeting - Sep 26, 2019 7:00 PM

Motion to approve the minutes of August 22, 2019 and September 26, 2019 was made by Vice Chairperson Baker and seconded by Commissioner Brugueras.

Vote: 7-0

Ayes: Vice Chairperson Baker, Commissioner Brugueras, Korzec, Harris, Stephan, Chairperson Sims and Commissioner DeJohnette

Action: **Approved**

NON-PUBLIC HEARING ITEMS

No items for discussion

PUBLIC HEARING ITEMS

1. PEN19-0110 - Courtyards at Cottonwood Proposed General Plan Amendment, Change of Zone, and Plot Plan for 81 affordable residential units on 8.37 acres, located at the northeast corner of Cottonwood Avenue and Indian Street (Report of: Planning Commission)
 - A. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-37, and thereby recommend that the City Council:
 1. Certify the Initial Study/Mitigated Negative Declaration, prepared for General Plan Amendment (PEN19-0108), Zone Change (PEN19-0109), Plot Plan (PEN19-0110), on file with the Community Development Department, incorporated herein by this reference, completed in compliance with the California Environmental Quality Act Guidelines, and that the Planning Commission reviewed and considered the information contained in the Initial Study/ Mitigated Negative Declaration, and that the document reflects the City's independent judgment and analysis; attached hereto as Exhibit A; and
 2. Approve the Mitigation Monitoring and Reporting Program prepared for Plot Plan application PEN19-0110, attached hereto as Exhibit B.

- B. Staff recommends that the Planning Commission APPROVE Resolution No.2019-38, and thereby recommend that the City Council:
 - 1. Approve General Plan Amendment application PEN19-0108 based on the findings contained in this resolution, and as shown on the attachment included as Exhibit A.
- C. Staff recommends that the Planning Commission APPROVE Resolution No.2019-39, and thereby recommend that the City Council:
 - 1. Approve Change of Zone application PEN19-0109 based on the findings contained in this resolution, and as shown on the attachment included as Exhibit A.
- D. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-40, and thereby recommend that the City Council:
 - 1. Approve Plot Plan application PEN19-0110 based on the findings contained in this resolution, and subject to the conditions of approval included as Exhibit A.

Public Hearing Opened: 7:54 p.m.

Darrell Barnes opposes the item.

David Connor opposes the item.

Karla Gomez opposes item.

Cheryl Didio supports the item.

Public Hearing Closed: 8:21 p.m.

Motion to approve Resolution Numbers 2019-37, 2019-38, 2019-39, and 2019-40 with Exhibit A as amended to remove Condition No. 86 from the conditions of approval of Resolution No. 2019-40 was made by Commissioner Korzec and seconded by Commissioner Stephan.

Vote: 7-0

Ayes: Commissioner Korzec, Stephan, Harris, Vice Chairperson Baker, Commissioner Brugueras, Chairperson Sims and Commissioner DeJohnette

Action: **Approved**

After the approval of Item No. 1 Chairperson Sims called for a ten-minute recess.

At 8:43 p.m. Chairperson Sims reconvened the meeting.

2. Conditional Use Permit for a new Banquet Facility located at 23750 Alessandro Boulevard, Suites L-107 Through L112, within an existing commercial center (Report of: Planning Commission)
 - A. Staff recommends that the Planning Commission APPROVE Resolution No. 2019-34, and thereby:
 1. Certify that the project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 (Class 1) Existing Facilities; and
 2. Approve PEN19-0181 Conditional Use Permit subject to the attached Conditions of Approval included as Exhibit A.

Public Hearing Opened: 8:36 p.m.

No public speakers.

Public Hearing Closed: 8:36 p.m.

Motion to approve Resolution No. 2019-34 was made by Commissioner Korzec and seconded by Vice Chairperson Baker.

Vote: 7-0

Ayes: Commissioner Korzec, Vice Chairperson Baker, Harris, Stephan, Brugueras, Chairperson Sims and Commissioner DeJohnette

Action: **Approved**

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

No items for discussion.

PLANNING COMMISSIONER COMMENTS

Commissioner Brugueras stated that he is glad that the City of Moreno Valley is doing its part in affordable housing, as it is very important. He stated that people may not like it and have bad ideas of what affordable housing is but we can turn it around, and we did tonight. He added that the project is built well, has a good design and it will make the community better and he hopes that the City continues and the developers know we are open for business in the City of Moreno Valley.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson Sims adjourned the meeting at 9:05 PM.

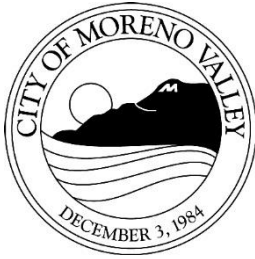
Submitted by:

Approved by:

Ashley Aparicio
Planning Commission Secretary

Jeffrey Sims
Chairperson

Minutes Acceptance: Minutes of Oct 10, 2019 7:00 PM (CONSENT CALENDAR)



PLANNING COMMISSION

STAFF REPORT

Meeting Date: October 24, 2019

CONDITIONAL USE PERMIT FOR A CANNABIS MICROBUSINESS IN A 26,678 SQUARE FOOT RETAIL SPACE LOCATED AT 24685 ALESSANDRO BOULEVARD WITHIN THE SUNNYMEAD VILLAGE CENTER.

Case:	PEN19-0177
Applicant:	Adele Brecht, on behalf of Panacea Farms MV, LLC
Property Owner	Thong Van Tran and Kim Nguyen
Location:	24685 Alessandro Boulevard
Case Planner:	Julia Descoteaux
Council District:	3
Proposal	Conditional Use Permit for a cannabis microbusiness, "Cannaporium," in a 27,343 square foot retail space located at 24685 Alessandro Boulevard, within the Sunnymead Village Center.

SUMMARY

The Applicant, Adele Brecht, on behalf of Panacea Farms MV, LLC, is requesting approval of a Conditional Use Permit (CUP) to allow a cannabis microbusiness, "Cannaporium," within a 26,678 square foot space located at 24685 Alessandro Boulevard in the Community Commercial (CC) Zone. The proposed use is a cannabis microbusiness consisting of cultivation, manufacturing, distribution, and retail cannabis sales. The applicant is proposing hours of operation between 7:00 am and 10:00 pm, seven days per week. This project, as conditioned, is consistent with goals, policies and objectives of the City's General Plan and Municipal Code.

Background

Pursuant to the authority granted to the City by Article XI, Section 7 of the California Constitution, a City may make and enforce, within its limits, regulations designed to promote the public health, safety and welfare. The City Council, recently adopted Ordinances that regulate commercial cannabis businesses in the City. These Ordinances are based on both federal and state laws.

Federal and State Laws

The Federal Controlled Substances Act classifies marijuana as a Schedule 1 Drug and makes it unlawful, under federal law, for any person to cultivate, manufacture, distribute, or possess with intent to manufacture, distribute, dispense, or possess. However, in 2016, Proposition 64 was approved by the voters in California (“The Adult Use Marijuana Act” or AUMA). AUMA established a comprehensive system to legalize, control and regulate the cultivation, processing, manufacturing, distribution, testing and sale of non-medical marijuana and products for use by adults 21 years of age and older. In addition, it allows taxation of commercial growth and retail sales of marijuana and marijuana products. Most recently, in 2017, then Governor Jerry Brown signed the “Medical and Adult-Use Cannabis Regulations and Safety Act” (MAUCRSA) which further amends prior statutory enactments.

City Regulations

In November 2017, the City Council adopted Ordinance 926, which set rules for the establishment, operation, and regulation of specific commercial cannabis uses, and in March 2018 the City Council approved Resolution 2018-11 approving the initial procedure for permit applications. Land use regulations for the operation of the cannabis uses were established in April 2018 with the adoption of Ordinance 932, which provided for the following cannabis uses: dispensaries, testing, cultivation, manufacturing, microbusinesses, and distribution.

Additionally, in December 2018, the City Council adopted Resolution No. 2018-94, establishing a maximum of 43 commercial cannabis permits. The table below identifies the various types of commercial cannabis permit types, number of permits allowed, and number and status of permits submitted.

Commercial Cannabis Permit Types	Number of Permits Allowed	Number of Provisional Business Permits Issued	Number of Conditional Use Permit Applications Submitted	Number of Conditional Use Permit Applications In Review	Number of Conditional Use Permit Applications Approved
Dispensaries	23	23*	22*	15	7
Testing Facilities	2	0	0	0	0
Cultivation	8	2	2	2	0
Manufacturing	5	2	2	2	0
Distribution (of	2	2	2	1	1

products from licensee to licensee only)					
Microbusinesses	3	3*	3*	1	1
*Note: The Provisional Business License for one Microbusiness and one Dispensary have been revoked; therefore, the associated Conditional Use Permit Applications were closed.					

The City’s multi-step process for selecting commercial cannabis businesses that can legally operate in the City is as follows:

Step 1 – Application Process. Commercial Cannabis Business Permit applications were reviewed and a background check of business Owner(s) and their Employees, was conducted. Applications with a minimum overall score of 80% were interviewed by staff to establish a candidate pool, and applications were required to be submitted through an online (PlanetBids) system. The City issued provisional Commercial Cannabis Business Permits to 32 successful applicants, including two provisional permits that were revoked by the City. Only these commercial cannabis businesses can proceed to the subsequent steps in the process.

Step 2 – Obtain a Conditional Use Permit. Municipal Code Section 9.09.290C2 requires that commercial cannabis businesses must obtain a Conditional Use Permit, which is a land use entitlement process to confirm the proposed land use and site development elements will be consistent with City established development regulations as well as compatible with other land uses near the proposed project.

Step 3 – State approval. In addition to local permits, each Commercial cannabis business must also obtain applicable State of California cannabis permits prior to commencing operation lawfully within the City.

Step 4 – Obtain a Certificate of Occupancy. Lastly, all commercial cannabis businesses must obtain a Certificate of Occupancy (“C of O”) from the Building and Safety Division, prior to opening for business. The C of O is the final step in the process and documents that the Applicant has completed all required tenant improvements to the building and modifications to the parking lot, as required by conditions of approval in the CUP Resolution, and have paid all requisite City fees.

Provisional Commercial Cannabis Business Permit

On August 20, 2018, Panacea Farms MV, LLC, the operator of the proposed Cannaporium microbusiness received a provisional Commercial Cannabis Business Permit (Permit Number MVCCBP-MB0001) from the City of Moreno Valley for their proposed location at 24685 Alessandro Boulevard. A subsequent application for a Conditional Use Permit was submitted to the City on August 8, 2019. The applicant has also applied for the necessary state permits.

PROJECT DESCRIPTION

Project

The applicants are requesting approval to establish a cannabis microbusiness named Cannaporium. The proposed business location will be 24685 Alessandro Boulevard in a vacant 26,678 square-foot building in the existing shopping center located at the southwest corner of Alessandro Boulevard and Indian Street. The subject space is located within the building area near Jenkins Drive (Assessor's Parcel Number 482-250-012). The applicant proposes to operate a cannabis microbusiness including cultivation, a retail dispensary for on-site sales, product manufacturing or packaging of various cannabis products, and distribution of cannabis products to other dispensaries (no deliveries to customers allowed). Municipal Code, Section 9.09.290 E (6) b, Commercial Cannabis Microbusinesses, defines a microbusiness as a cannabis facility that includes a combination of at least three of the following four activities: manufacturing, cultivation (limited to 10,000 square feet) distribution, and dispensary.

The applicant has proposed three entrances into the building. Two entrances are located on the front (north side) of the building and include an entrance for the dispensary and an entrance for the cultivation, manufacturing, distribution operations. A single entrance is proposed at the rear (south side) to a secured waste storage room. Additionally a single vehicle roll up door is proposed at the rear (south side) of the building for access to the secured garage which provides parking for a minimum of two vehicles.

Customers and employee parking will be provided within the main parking lot for the center. Proposed hours of operation for the cannabis microbusiness will be between 7:00 am and 10:00 pm, seven days per week. The hours of operation are consistent with provisions in state law regulating hours of operation for retail cannabis businesses only between the hours of 6:00 am and 10:00 pm.

Site

Safety and Security Plan

Moreno Valley Municipal Code Section 9.09.294(B) (6) requires that any transfer of product or currency shall be identified in an individual security plan that is approved by the City. A Safety and Security Plan has been provided to the City, that identifies methods to address site security for employees, customers and the public as well as fire prevention methods that comply with local and state laws. Some of the highlights of the Safety and Security Plan include the following:

- 1) Utilization of licensed security guards to monitor and patrol the exterior and interior of the business premises.
- 2) Use of electronic locks to control all entrances and exits.
- 3) Installation and maintenance of a security and a fire alarm system through a licensed alarm company.
- 4) Installation of a video surveillance system consisting of interior and exterior cameras and video recorders.

The Safety and Security Plan ensures safety for both customers and employees of Cannaporium. Public access will be limited to the dispensary area of the building. Access to all cultivation, manufacturing, and distribution areas will be controlled through the use of key cards and electronic passcodes. In addition, video cameras will be placed both inside and outside the building and the video feed will be monitored and stored for review. The video surveillance on the exterior of the building will record all activities in the parking lots surrounding the dispensary. A condition of approval requires the applicant to provide all video to the Police and Fire Departments, upon their request. Additionally, the site will be patrolled by one or more licensed and armed, security officers during hours of operation.

The Municipal Code requires that two secured parking spaces be identified on a plot plan for those vehicles used to transfer cannabis products and currency to and from the site. The applicant has identified those two secured parking spaces adjacent to the north side of the building in the employee parking area. The two secured parking spaces will be monitored with security cameras as well as patrolled by an armed security officer.

Odor Control Plan

The Odor Control Plan provided demonstrates conformance with City requirements related to abating odors that would otherwise emanate to the exterior from the microbusiness. This Plan states that the dispensary will utilize carbon air filters on all air returns in the building and all air exhaust to the outside of the building, to trap all odors. Carbon filters can effectively absorb all odors and impurities in the air, according to the Odor Control Plan.

These systems will ensure that any odors associated with the dispensary are not detectable outside the premises, including parking lots, public rights-of-way, and adjacent business locations or surrounding neighborhoods. The carbon filters and the air exchange systems will be further reviewed and permitted by Building Division staff, as part of the tenant improvement construction plans for the dispensary.

Surrounding Area

Tenants adjacent to the proposed use include a restaurant and a place of worship; other uses in the same building include a tattoo studio, salon, and minor automobile repair facility. Surrounding land uses include single-family homes to the north across Alessandro Boulevard, a commercial center to the east, single-family homes to the south across Jenkins Street, and a commercial center and vacant land to the west across Indian Street.

Access/Parking

Access to Sunnymead Village Center is provided from three existing driveways on Alessandro Boulevard and two existing driveways on Indian Street. A Reciprocal Parking and Access Agreement has been recorded on the shopping center property, allowing parking and access throughout the shopping center for all business employees and their customers.

As identified in the table below, a total of 64 parking stalls are required for the proposed cannabis microbusiness use. A total of 81 parking stalls are located on the subject parcel (Assessor’s Parcel Number 482-250-012).

Development Standard			Proposal
Manufacturing Cultivation	1/500 sq. ft. of gross floor area (19,744 sq. ft.)	40 stalls	81 stalls
Retail Dispensary	1/225 sq. ft. of gross floor area (1,912 sq. ft.)	9 stalls	
Office	1/250 sq. ft. of gross floor area (2,822 sq. ft.)	12 stalls	
Warehousing	1/1,000 sq. ft. of gross floor area (2,200 sq. ft.)	3 stalls	
Total Required:		64 stalls	

In addition to the on-site parking the applicant has proposed to convert a portion of the building to a secured garage in order to provide secured parking for a minimum of two vehicles in compliance with the Municipal Code.

Design/Landscaping

The project does not include any expansion of the building. However, the project will incorporate interior tenant improvements for each of the proposed microbusiness uses. A special condition has been placed on the project requiring that the applicant submit plans detailing provisions for controlled/secured access into and out of the dispensary area prior to the approval of the tenant improvement plans.

REVIEW PROCESS

In compliance with the Municipal Code, the Project Review Staff Committee (PRSC) reviewed this project on August 20, 2019. The applicant has worked with staff, and modified the proposed floor plan to the satisfaction of all Departments. Based on staff’s review, it was determined that the project will be consistent with the City’s requirements, subject to the conditions of approval in the attached Resolution.

ENVIRONMENTAL

This project is a cannabis microbusiness consisting of cultivation, manufacturing, distribution, and retail cannabis sales within an existing retail tenant space within an existing shopping center. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 for Existing Facilities.

NOTIFICATION

The public hearing notice for this project was published in the local newspaper on October 11, 2019. Public notices were sent to all property owners of record within 600 feet of the project site on October 10, 2019. The public hearing notice for this project was posted on the project site on October 11, 2019.

As of the date of report preparation, staff has received no phone calls or correspondence in response to the noticing for this project.

REVIEW AGENCY COMMENTS

The project application materials were circulated for review by all appropriate City departments and divisions as well as applicable outside agencies. Throughout the review process, comments and proposed conditions of approval were provided in writing to the Applicant.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2019-36, and thereby:

1. **CERTIFY** that Conditional Use Permit PEN19-0177 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities); and
2. **APPROVE** Conditional Use Permit PEN19-0177 subject to the attached Conditions of Approval included as Exhibit A.

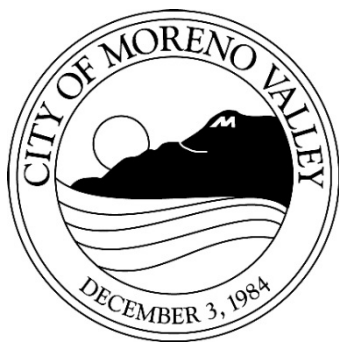
Prepared by:
Sean P Kelleher

Approved by:
Patty Nevins
Acting Community Development Director

ATTACHMENTS

1. Public Hearing Notice
2. Radius Map
3. Resolution No. 2019-36

4. Exhibit A to Resolution No. 2019-36 Conditions of Approval
5. Site Plan
6. Proposed Floor Plan
7. Building Elevations
8. General Plan Map
9. Zoning Map
10. Aerial



This may affect your property

Notice of PUBLIC HEARING

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

Project: PEN19-0177
Applicant: Panacea Farms MV, LLC
Owner: Andrew Minor
Representative: Andrew Minor
APN: 482-520-012
Location: 24685 Alessandro Boulevard
Proposal: A Conditional Use Permit for a Commercial Cannabis Microbusiness, "Cannaporium" that includes cultivation, manufacturing, a retail dispensary and distribution of cannabis products in an existing building located in the Community Commercial zone.

Council District: 3

The project has been evaluated against criteria set forth in the California Environmental Quality Act (CEQA) Guidelines and it was determined that the project will not have a significant effect on the environment. A finding that the project is exempt from the provisions of CEQA as a Class 1 Categorical Exemption in accordance with CEQA Guidelines Section 15301 for Existing Facilities is being recommended for the project.

Any person interested in the proposal may speak at the hearing or provide written testimony at or prior to the hearing. The application file and environmental documents may be inspected at the Community Development Department at 14177 Frederick Street, Moreno Valley, California during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday and 7:30 a.m. to 4:30 p.m. on Fridays), or you may telephone (951) 413-3206 for further information.

The Planning Commission, at the Hearing or during deliberations, could approve changes to the project. If you challenge this project, including any modifications considered for the project, in court, you may be limited to raising only those items you or someone else raised

at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



LOCATION N ↑

PLANNING COMMISSION HEARING

City Council Chamber, City Hall
 14177 Frederick Street
 Moreno Valley, Calif. 92553

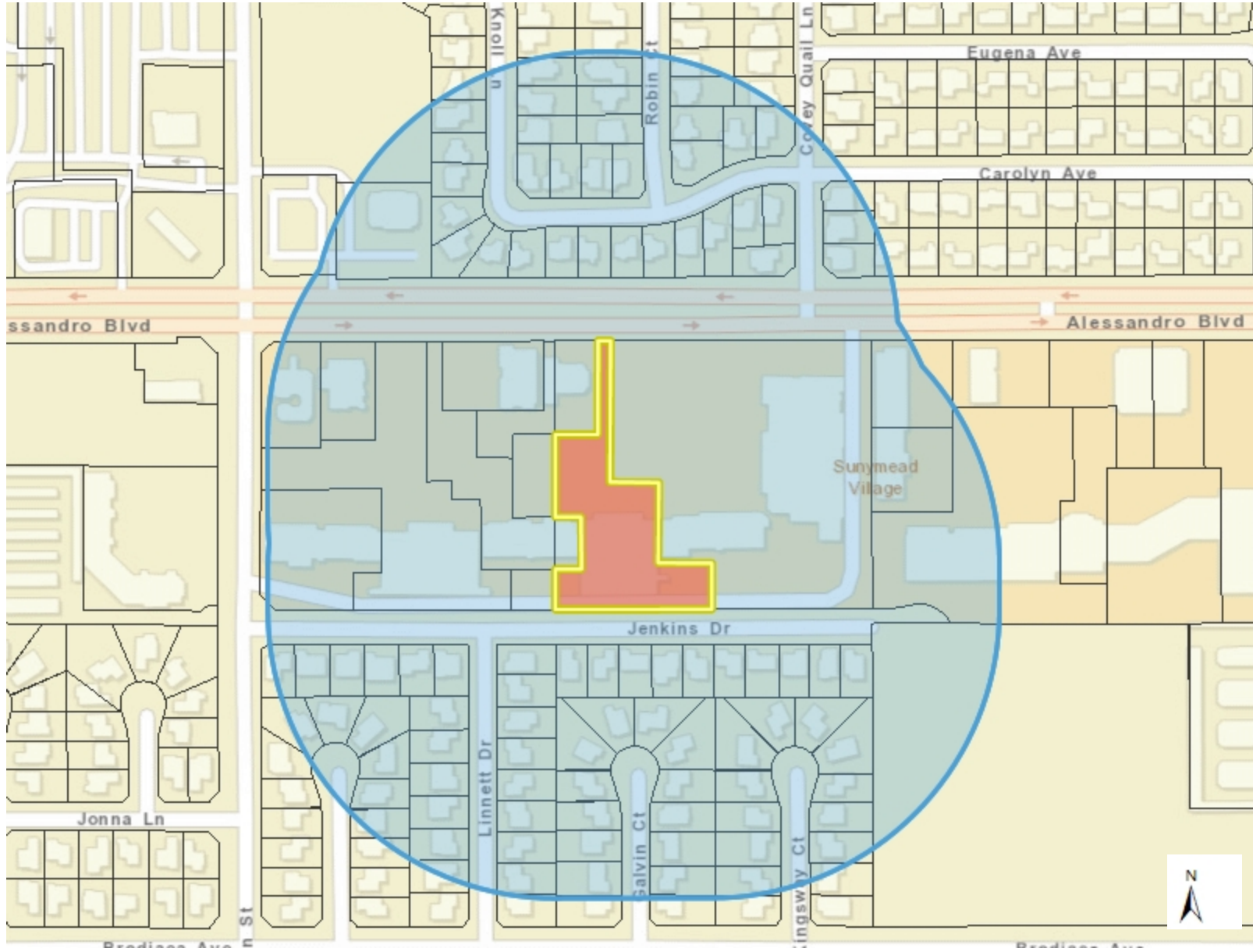
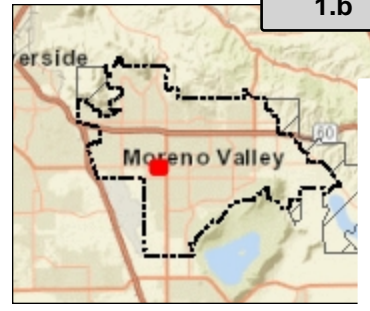
DATE AND TIME: October 24, 2019 at 7:00 P.M.

CONTACT PLANNER: Julia Descoteaux

PHONE: 951.413.3209

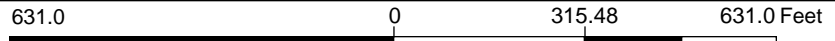
Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

600 Foot Radius Map



Legend

- Parcels
- World Street Map



WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 9/12/2019

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Notes

APN: 482-520-012

Attachment: Radius Map (3786 : PEN19-0177 - CUP - Cannaporium)

PLANNING COMMISSION RESOLUTION NO. 2019-36

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING A CONDITIONAL USE PERMIT (PEN19-0177) FOR A CANNABIS MICROBUSINESS CONSISTING OF CULTIVATION, MANUFACTURING, DISTRIBUTION, AND RETAIL CANNABIS SALES, "CANNAPORIUM," WITHIN A 26,678 SQUARE FOOT RETAIL SPACE AT 24685 ALESSANDRO BOULEVARD, LOCATED ON THE SOUTH SIDE OF ALESSANDRO BOULEVARD EAST OF INDIAN STREET (ASSESSOR PARCEL NUMBER 482-520-012).

WHEREAS, Mr. Adele Brecht, representative for Cannaporium, has filed an application for the approval of Conditional Use Permit (CUP) PEN19-0177 for the development of a 26,678 square foot cannabis microbusiness consisting of cultivation, manufacturing, distribution, and retail cannabis sales, operating between the hours of 7:00 AM and 10:00 PM, 7-days per week, as described in the title above; and

WHEREAS, the application has been evaluated in accordance with established City of Moreno Valley (City) procedures, and with consideration of the Municipal Code, General Plan and other applicable regulations; and

WHEREAS, upon completion of a thorough development review process the project was appropriately agendized and noticed for a public hearing before the Planning Commission of the City of Moreno Valley (Planning Commission); and

WHEREAS, the public hearing notices for this project were published in the local newspaper on October 11, 2019 and public notice were sent to all property owners of record within 600 feet of the project site on October 10, 2019. The public hearing notice for this project was also posted on the project site on October 11, 2019; and

WHEREAS, on October 24, 2019, the Planning Commission held a public hearing to consider the application; and

WHEREAS, on October 24, 2019, the Planning Commission of the City of Moreno Valley determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et. seq.) under CEQA Guidelines Section 15301, Class 1: Existing Facilities; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on October 24, 2019 including written and oral staff reports, public testimony and the record from the public hearing, this Planning Commission hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: State Planning Law requires cities and counties to set forth goals, policies, and implementation programs for the long term physical development of the community. Section 65302 (a) of the Government Code requires preparation of a land use element which designates the proposed general distribution and general location of the uses of land for housing, business, industry, public buildings, and open space. The proposed development is located within the Commercial (C) land use designation of the Moreno Valley General Plan.

The CUP has been evaluated against General Plan Objective 2.4, which states “provide commercial areas within the City that are conveniently located, efficient, attractive, and have safe and easy pedestrian and vehicular circulation in order to serve the retail and service commercial needs of Moreno Valley residents and businesses” Staff has confirmed that the proposed project does not conflict with any of the goals, objectives, policies, and programs of the General Plan. The reuse of an existing commercial suite within an existing commercial center with a new cannabis microbusiness will provide a convenient, safe, and easily accessible commercial business within the City.

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

FACT: The proposed project is within the Community Commercial (CC) zoning district. Municipal Code Section 9.02.290(C)(2)

(Cannabis Business Locations and Use), requires a Conditional Use Permit in order to lawfully operate commercial cannabis activities including dispensaries. The proposed Conditional Use Permit for a cannabis dispensary will comply with the Municipal Code Section 9.09.290 Commercial Cannabis Activities, which provides standards for cannabis dispensaries. The proposed cannabis microbusiness consisting of cultivation, manufacturing, distribution, and retail cannabis sales will be located within a 26,678 square foot tenant space in the commercial center.

The project is designed in accordance with the provisions of Section 9.09.290 Commercial Cannabis Activities, as well as Section 9.04 Commercial Districts, and Section 9.16 Design Guidelines of the City's Municipal Code. The project as designed and conditioned would comply with all applicable zoning standards.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: The proposed cannabis microbusiness will operate in an existing 26,678 square foot retail space within an existing center. This proposed use will be consistent with General Plan Goal 6.1 as it achieves acceptable levels of protection from natural and man-made hazards to life, health, and property through the implementation of the Applicant's Security Plan, and compliance with applicable building and fire codes.

Planning staff has reviewed the request in accordance with the latest edition of the California Environmental Quality Act (CEQA) Guidelines and has determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et. seq.) under CEQA Guidelines Section 15301, Class 1: Existing Facilities.

4. **Redevelopment Plan** - The project conforms with any applicable provisions of any city redevelopment plan.

FACT: In January 2011, the Governor of the State of California proposed statewide elimination of redevelopment agencies. State legislation was passed on June 29, 2011 prohibiting redevelopment agencies from engaging in new business and established timelines for dissolution of redevelopment agencies. For these reasons, the finding is no longer applicable. Even if redevelopment was still in place, the site is not within the boundaries of the City redevelopment plan.

5. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

FACT: The project site is consistent with the Commercial (C) General Plan and Community Commercial zoning designations. The proposed cannabis microbusiness consisting of cultivation, manufacturing, distribution, and retail cannabis sales will be within a 26,678 square foot existing space in the commercial center. Only interior tenant improvements, consistent with applicable federal, state and local regulations, are proposed. The project is a conditionally permitted use within the Community Commercial (CC) zone.

Additionally, the project site is not located within 600 feet from any public or private school providing instruction in kindergarten or grades 1 through 12, and from day care centers, youth centers, or arcades.

Overall, the proposed project has been found to be consistent with certain objectives, goals and policies outlined in the City's General Plan, as well as being compatible with the existing land uses in the project area.

This project as proposed and conditioned conforms to all development standards of the Community Commercial (CC) zone and the design guidelines for commercial developments prescribed in the City's Municipal Code and City Landscape Standards.

FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

1. FEES

Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat Conservation Plan (MSHCP) Mitigation Fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this Resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

2. **DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

The adopted Conditions of Approval for PEN19-0177, incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. **CITY RIGHT TO MODIFY/ADJUST; PROTEST LIMITATIONS**

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the applicable statute of limitations has previously expired.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2019-36, and thereby:

1. **APPROVE** Conditional Use Permit PEN19-0177 based on the findings contained in this resolution, and subject to the attached conditions of approval included as Exhibit A.

APPROVED this 24th day of October 2019.

Jeffrey Sims
Chairperson, Planning Commission

ATTEST:

APPROVED AS TO FORM:

Patty Nevins,
Acting Community Development Director
Secretary to the Planning Commission

City Attorney

Attachments:

Exhibit A: Conditions of Approval

Attachment: Resolution No. 2019-36 [Revision 3] (3786 : PEN19-0177 - CUP - Cannaporium)

CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Conditional Use Permit (PEN19-0177)

EFFECTIVE DATE:
 EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

1. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
2. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
3. This project is located within the Community Commercial (CC) zone. The provisions of the Zoning Ordinance, and the Conditions of Approval shall prevail unless modified herein. (MC 9.13)
4. The commercial cannabis microbusiness shall be consistent with all other applicable federal, state and local requirements including the Moreno Valley Municipal Code Title 5 and Title 9, and all related Municipal Code sections. (MC 9.09.290 (E)(6)(a-f))
5. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
6. All landscaped areas and the parking lot shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
7. Any signs indicated on the submitted plans are not included with this approval and shall be renewed under separate permit.
8. All site plans, grading plans, landscape plans and proposed signage shall be coordinated for consistency with this approval.
9. A copy of all pages of these conditions shall be included in the construction drawing package.

Special Conditions

10. The site has been approved for a commercial cannabis microbusiness that includes a retail dispensary, cultivation, manufacturing and distribution of cannabis products and materials, located at 24685 Alessandro Boulevard (approximately 26,678 square feet) per the approved plans and per the requirements of the City's Municipal Code (MC) Section 9.09.290 Commercial cannabis activities, 9.09.293 Cannabis Business locations and use, and 5.05 Commercial

Cannabis Activity. A change or modification to the interior design/set-up, exterior elevations or business process (including security procedures) shall require separate review and approval. For a Conditional Use Permit, violation may result in revocation in the case of a Conditional Use Permit per MC Section 9.09.290 F and 9.02.260. Testing and delivery to customers is not allowed.

11. The cannabis license and the Conditional Use Permit apply only to the 26,678 square foot tenant space at 24685 Alessandro Boulevard. No use of any other tenant space outside of this building/space is allowed per the Conditional Use Permit, PEN19-0177.
12. Daily hours of operation for the dispensary may start no earlier than 7:00 am and end no later than 10:00 pm, Sunday through Saturday.
13. A licensee conducting a commercial cannabis microbusiness shall meet all applicable operational requirements for retail/commercial cannabis dispensaries, commercial cannabis cultivation, commercial cannabis distribution and commercial cannabis manufacturing activities. (MC 9.09.290 (E)(6)(d))
14. All four activities associated with the commercial cannabis microbusiness: 1) retail/commercial cannabis dispensaries; 2) commercial cannabis cultivation; 3) commercial cannabis distribution; and 4) commercial cannabis manufacturing, shall commence and be continuously in operation. Should that applicant wish to modify or discontinue any of these activities an application to amend this conditional use permit shall be submitted to the City for review and approval.
15. The commercial cannabis operation shall have a valid Commercial Cannabis Business Permit and shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.
16. Prior to occupancy, the operator must hold a microbusiness (Type 12) license issued by the State Bureau of Cannabis Control. (MC 9.09.290 (E)(6)(e))
17. Only manufacturing facilities with a Type-6 state license (non-volatile) may be allowed to operate in the city.
18. All City Fire, Police and Code personnel shall have unlimited and unrestricted property access for inspections of commercial cannabis businesses and facilities during business hours. (MC 9.09.290 (D)(2)(g))
19. The cannabis licensee shall display its current valid Commercial Cannabis Business Permit under Chapter 5.05 of this Code and a Conditional Use Permit issued in accordance with this chapter inside the lobby or waiting area of the main entrance to the site. The permits shall be displayed at all times in a conspicuous plane so that it may be readily seen by all persons entering the site. (MC 9.09.290 (D)(2)(c))
20. A microbusiness operation shall be consistent with all other applicable federal, state and local requirements, including Moreno Valley Municipal Code Title 5. (MC 9.09.290 (E)(6)(f))
21. All operations conducted and equipment used must be in compliance with all applicable state and local regulations, including all building, electrical and fire codes. (MC 9.09.290 (E)(7)(b))
22. No commercial cannabis microbusiness owner or employee shall: (i) cause or permit the sale, distribution, or consumption of alcoholic beverages on or within 50 feet of the premises of the cannabis business (ii) hold or maintain a license from the State Division of Alcoholic Beverage

- Control for the sale of alcoholic beverages; or (iii) operate a business on or adjacent to the dispensary property that sells alcoholic beverages. No alcoholic beverages shall be allowed or stored on the dispensary property.
23. No person shall smoke, ingest, or otherwise consume cannabis in any form on, or within twenty (20) feet of the dispensary site. (MC 9.09.290 (E)(4)(f))
 24. Retail delivery service of any cannabis products associated with the dispensary use is not permitted. Deliveries to licensed cannabis facilities associated with the cultivation, manufacturing, and distribution uses of the microbusiness is permitted.
 25. No cannabis or marijuana raw materials or products shall be visible from the exterior of any structure, facility, or building in which commercial cannabis microbusiness are being conducted. All commercial cannabis activities must take place within a fully enclosed, secured and permanent structure (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(6)(c))
 26. The commercial cannabis microbusiness shall have designated locked storage/safe room or safe that is bolted to the floor on the property for after-hours storage of medical and adult use recreational cannabis and cannabis infused products, products being manufactured, and cannabis that has completed the cultivation process or is otherwise not being cultivated. All storage areas shall be separated from the main entrance and lobby and shall be secured by a lock accessible only to managers and/or staff on the premises (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel).
 27. All cultivation activities shall take place within the enclosed structure.
 28. All cultivation areas in the building shall be separated from the main entrance and lobby, and shall be secured by a lock accessible only to managers and staff of the cannabis cultivation licensee (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel).
 29. The total area of the premises designated/used for the cultivation canopy shall not be more than ten thousand (10,000) square feet.
 30. Any person(s) cultivating cannabis with the use of grow lights, fans, ventilation devices or any other electrical or mechanical equipment shall comply with all applicable building and fire code requirements adopted by the city of Moreno Valley, and shall obtain all necessary permits and prerequisite inspections required for such installation prior to commercial use of the equipment and/or facility.
 31. All cultivation facilities shall be organized in orderly rows with aisles at least three feet wide, and no more than eight feet between an aisle and the next aisle or the aisle and the wall, and clear access shall be maintained to all exits unless the planning official, building official and fire marshal collectively determine that the business has provided an alternative, properly dimensioned floor plan that confirms equivalent access and clearance/separation between plants and the facility exits.
 32. An area designed for the secure transfer of cannabis from the cultivation area to a vehicle for transportation shall be provided.
 33. Two secured parking spaces, identified on a plot plan shall be located convenient to the

required secured area of each facility to be used by secured transfer vehicles involved in the couriering or dispensing of cannabis materials products to and from the facility and for use by any secured vehicle commissioned for the transfer of currency to and from the facility. (MC 9.09.290 (E)(9)(f))

34. Security surveillance cameras and a video recording system must be installed to monitor all doors into and out of the buildings on the site, the parking lot, loading areas, and all exterior sides of the property adjacent to the public rights-of-way. The camera and recording systems must be of adequate quality, color rendition, and resolution to allow the identification of any individual present on the site. The recording system must be capable of exporting the recorded video in standards MPEG formats to another common medium, such as a DVD or USB drive. (MC 9.09.290 (E)(12)(a))
35. All windows on the building that houses the Cannabis Facility shall be appropriately secured and all marijuana securely stored.
36. Professionally and centrally monitored fire, robbery, and burglar alarm systems must be installed and maintained in good working condition. The alarm system must include a private security company that is required to respond to every alarm. (MC 9.09.290 (E)(12)(b))
37. Waste and storage and disposal of all marijuana and cannabis products shall meet all applicable state and local health regulation. (MC 9.09.290 (E)(13))
38. The premises must be equipped with an odor absorbing ventilation and exhaust system so that odor generated inside the Cannabis Business that is distinctive to its operation is not detected outside the Cannabis Business, anywhere on adjacent property or public rights-of-way, on or about any exterior or interior common area walkways, hallways, breeze-ways, foyers, lobby areas, or any other areas available for common use by tenants or the visiting public, or within any other unit located within the same building as the Cannabis Business. As such, Cannabis Businesses must install and maintain the following equipment or any other equipment which the Local Licensing Authority determines has the same or better effectiveness:
 - a. An exhaust air filtration system with odor control that prevents internal odors from being emitted externally; or
 - b. An air system that creates negative air pressure between the Cannabis Businesses' interior and exterior so that the odors generated inside the Cannabis Business are not detectable outside the Cannabis Business.
39. All Cannabis heating, ventilation, air conditioning and odor control plans and blue prints shall be stamped by a Licensed HVAC Mechanical Engineer.
40. All window arrays, doors and associated framing systems shall be renovated to install new glazing compounds and seals.
41. The Applicant shall install automatic closures on all interior and exterior doors.
42. All interior and exterior door seals shall be replaced and adjusted.
43. The Applicant shall seal and renovate all facility roll up doors, garage doors and associated systems.
44. All roof venting, wall penetrations, panel joints etc. shall be sealed.
45. The Applicant shall install air curtains on all exterior doors.

46. The Applicant shall place anti-odor gels and diffusers near all Cultivation exterior doors and windows.
47. A fire sprinkler system shall be installed for this project or as required by the Municipal Code Section 9.09.290. An approved automatic fire sprinkler system, designed in compliance with the California Fire Code is required in every building that houses a commercial cannabis business. This is a minimum standard and does not preclude the city from imposing additional fire prevention measures as deemed necessary by the fire marshal. (MC 9.09.290 (E)(7)(d))
48. All mechanical equipment, either roof or ground mounted, and shall be screened from public view. All such equipment shall be fully screened by the roof structure, a parapet wall, appropriate ground mounted walls, berming, or landscaping. All walls shall architecturally match the building. If after construction, but prior to the issuance of a Certificate of Occupancy, it is determined by the Planning Manager that equipment can be viewed from the public right-of-way a plan for screening the equipment shall be submitted to the Planning Department for approval. Once approved, said screening shall be constructed prior to issuance of a Certificate of Occupancy.
49. Prior to approval of tenant improvement plans, two copies of a detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted to the Planning Division for review and approval. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall include style, illumination, location, height and method of shielding. The lighting shall be designed in such a manner so that it meets the lighting standards in the Cannabis Ordinance 932. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, DG) Lighting shall comply with the provisions of MC Section 9.08.100 including fixture type, wattage illumination levels and shielding. (MC 9.09.290 (E)(10))
50. The parking lot lighting shall be maintained in good repair and shall comply with the Municipal Code lighting standards and the Security Plan at all times.
51. Exterior landscaping within ten (10) feet of a licensed premises shall be designed, installed and maintained free of locations which could reasonably be used by persons to conceal themselves and/or to enable undesirable activity. The design and maintenance practices shall give appropriate consideration to both natural and artificial illumination. (MC 9.09.290 (E)(8)(c))
52. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approval of any new or repaired landscaping by the Planning Division designed per the City's Municipal Code 9.17.
53. Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation shall be installed, and inspected and approved by the Planning Division. (MC 9.03.040)
54. The applicant shall repaint the exterior of the suite, to the satisfaction of the Planning Division. Applicant shall submit paint colors and descriptions to the Planning Division for review and approval prior to repainting the building.
55. The applicant shall slurry seal and restripe the parking lot area within the limits of their parcel to the satisfaction of the Building and Planning Divisions. Applicant shall submit a restriping plan to the Planning and Building Divisions for review and approval prior to restriping the parking lot.

56. Licensee shall prohibit loitering by individuals outside the licensed premises or anywhere on the property. (MC 9.09.290 (E)(14)(c))
57. Licensee shall remove any graffiti from the licensed premises within twenty-four (24) hours of its occurrence, or as requested by the city. (MC 9.09.290 (E)(14)(d))

Security Plan and Measures

58. Prior to Building Permit or Certificate of Occupancy, the process for any transfer of product or currency shall be identified in an updated Security Plan to be reviewed and approved by the Planning Division. (MC 9.09.290 (D)(2)(f))
59. The Security Plan on file with the City of Moreno Valley shall remain in effect as long as the established use is in operation. Any changes, additions, removal or modifications to the plan shall be submitted to the City for review and inclusion in the Conditional Use Permit file.
60. Prior to approval of tenant improvement plans, the applicant shall submit plans detailing provisions for controlled/secured access into and out of the dispensary area.

Miscellaneous Operating Requirements

61. Persons under the age of twenty-one (21) years shall not be allowed on the premises. It shall be unlawful and a violation of this chapter for any person to employ any person at a commercial cannabis business who is not at least twenty-one (21) years of age. Persons under the age of eighteen (18) years shall not be allowed on the premises of an M-Type commercial cannabis business. (MC5.05.310 (H)(1))

Building Division

62. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
63. Contact the Building Safety Division for permit application submittal requirements.
64. Any construction within the city shall only be completed between the hour of seven a.m. to seven p.m. Monday through Friday, excluding holidays and from eight a.m. to four p.m. on Saturday, unless written approval is obtained from the city building official or city engineer. (MC 8.14.040(E))
65. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
66. The proposed development is subject to the payment of applicable processing fees as required by the City's current Fee Ordinance at the time a building permit application is submitted or prior to the issuance of permits as determined by the City.
67. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
68. The proposed project's occupancy shall be classified by the Building Official and must comply

with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the 2016 California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.

69. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2016 CBC.
70. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)
71. The proposed non-residential project shall comply with 2016 California Green Building Standards Code, Section 5.106.5.3, mandatory requirements for Electric Vehicle Charging Stations (EVCS).

Economic Development Department (EDD)

72. New Moreno Valley business are encouraged to hire local residents.
73. New Moreno Valley business may utilize the workforce recruitment services provided by the Moreno Valley Employment Resource Center (“ERC”).
The ERC offers no cost assistance to businesses recruiting and training potential employees. Complimentary services include:
 - a. Job Announcements
 - b. Applicant testing / pre-screening
 - c. Interviewing
 - d. Job Fair support
 - e. Training space

New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.
74. New Moreno Valley businesses may adopt a “First Source” approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of public recruitment.

FIRE DEPARTMENT

Fire Prevention Bureau

75. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height. (CFC 505.1 and MC 8.36.060(I))
76. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire alarm system monitored by an approved Underwriters Laboratory listed central station based on a requirement for monitoring the sprinkler system, occupancy or use. Fire alarm panel shall be accessible from exterior of building in an approved location. Plans shall

be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9 and MC 8.36.100)

77. Reference Materials for Business: Update to applicable current code cycle for any reference in regards to project. Please be aware that the 2019 California Codes will contain a Chapter on Cannabis related occupancies and additional regulations specific to this type of business will apply at time of Building Permit issuance.
78. Note on Title sheets for Building plans that proposed modifications to fire alarm, fire sprinklers or any fire protections systems will be under deferred submittal.
79. Provide details and specifications on proposed interior gates/security bars.
80. Electronically controlled access must be interlocked to release with activation of fire alarm system. Note on plans as part of proposed modifications to fire alarm system.
81. Knox Box Tamper switch is designed for operation with the fire alarm system. Knox boxes are only accessible by Fire Department Personnel. A supervisory alarm showing that Knox box has been opened is the intended purpose of the tamper switch. Interactivity with the Burglar alarm will need to be discussed and approved for the purpose of this project.
82. Site access control gate shall be required to be electronically controlled with a remote activation device for Emergency Fire Response. Add notation on any plan submittals regarding the site access gate(s).

The Moreno Valley Municipal code requires accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel. Understanding that security measures and access restrictions by electronic devices are necessary, this requirement will still be in effect. Please note this on future submittals and references for this project to avoid any confusion or misunderstanding on this subject.

83. Hazardous, flammable and combustible materials shall be disclosed at time of building/occupancy permit issuance. An inventory list of these items shall be submitted and provided for review along with quantities, hazard rating and method of storage of these items.
84. Operational details shall be provided to determine proper approval of equipment (listed/design built) for the business. Details while provided in the submittal package are general and do not provide sufficient information for proper review. Fire Suppression/Hood systems are mentioned that would require approval for this specific use. More information is needed for the type and scope of the system, (Systems approved for occupied spaces for example).
85. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in force at the time of building plan submittal.

PUBLIC WORKS DEPARTMENT

Land Development

86. The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State

of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]

87. For non-subdivision projects, a copy of the Covenants, Conditions and Restrictions (CC&Rs) shall be submitted for review by the City Engineer. The CC&Rs shall include, but not be limited to access easements, reciprocal access, private and/or public utility easements as may be relevant to the project.
88. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
 - a. Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - b. Observance of working hours as stipulated on permits issued by the Land Development Division.
 - c. The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - d. All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.

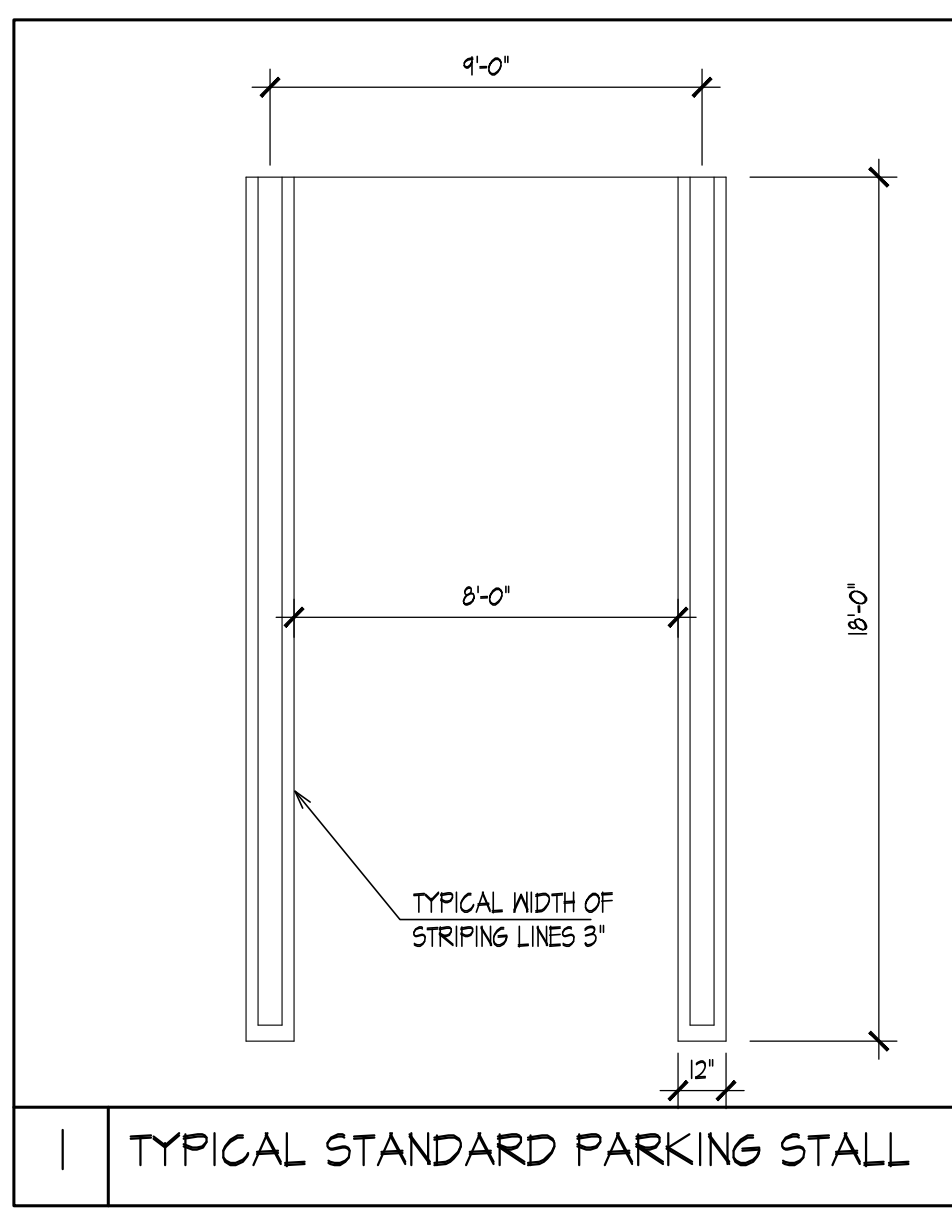
Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor (s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

Prior to Encroachment Permit

89. All applicable inspection fees shall be paid.
90. Any work performed within public right-of-way requires an encroachment permit.

Prior to Occupancy

91. All outstanding fees shall be paid.
92. Any proposed monument sign adjacent to the public street shall be submitted for review and approval meeting the current City Standard, MVS1-164, and the City's Municipal Code for monument signs.



1 TYPICAL STANDARD PARKING STALL

OCCUPANT LOAD
PER 2016 CBC

	OCCUPANCY TYPE	SQ.FT.	OCCUPANT LOAD
TOTAL	F-1	12,923	49.2
TOTAL	S	3,722	7.5
TOTAL	B	8,121	27.2
TOTAL	M	1,912	31.9
TOTAL (E) FOOTPRINT		26,678	
TOTAL FOOTPRINT		26,678	116
TOTAL SITE		89,733.6	

NOTE:
A RECIPROCAL ACCESS AGREEMENT EXIST FOR THE SHARED-USE DRIVEWAY(S)



NOTE:
THIS PROJECT SHALL COMPLY WITH THE LOCAL ORDINANCE AND THE 2016 CALIFORNIA BUILDING CODE, PART 2; THE 2016 CALIFORNIA RESIDENTIAL CODE, PART 2.5; THE 2016 CALIFORNIA ELECTRICAL CODE, PART 3; THE 2016 CALIFORNIA MECHANICAL CODE, PART 4; THE 2016 CALIFORNIA PLUMBING CODE, PART 5; THE 2016 CALIFORNIA ENERGY CODE, PART 6; THE 2016 CALIFORNIA FIRE CODE, PART 4; THE 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10; THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11; THE 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12

WORK SCOPE:
USE AN EXISTING 26,678 SQ. FT. BUILDING FOR A CANNABIS MICRO-BUSINESS

REQUIRED PARKING
RETAIL AREA (1912 SQ. FT. @ 1,225 = 4
STORAGE/CULTIVATION/EXTRACTION (16,645 SQ. FT. @ 1,1000 = 17
KITCHEN/OFFICE/BREAK ROOM/TRANSIT (8121 SQ. FT. @ 1,250 = 33
TOTAL REQUIRED PARKING = 54

PROVIDED PARKING
74 STANDARD SPACES PROVIDED
2 HANDICAP PROVIDED
81 SPACES PROVIDED

BUILDING INFORMATION:
DEVELOPMENT TYPE: COMMERCIAL
CONSTRUCTION TYPE: III-B FULLY SPRINKLERED
DESCRIPTION OF USE: PROFESSIONAL, RETAIL & OFFICE
OCCUPANCY: B, M, S, F-1
OF STORIES: 1
SPRINKLERS: YES
ZONING: C-1
YEAR BUILT: 1980

APPLICANT:
PANACEA FARMS MV, LLC
630 7TH STREET
SAN JACINTO, CA 92582
TEL: 951-242-5126
CEL: 951-232-4930
FAX: 951-634-0174

REPRESENTATIVE:
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EMERGENCY CONTACT:
ANDY MINOR
CANNAPORIUM LLC
630 7TH STREET
SAN JACINTO, CA 92582
TEL: 951-242-5126
CEL: 951-232-4930
E-MAIL: AMINOR@PANACEAFARMS.COM

LEGAL DESCRIPTION:
PARCEL 3 PM 075004
SUBDIVISION NAME: PM-1748
24685 ALESSANDRO BLVD
MORENO VALLEY RIVERSIDE COUNTY, CA
APN 482-520-012

LEGEND:
← ADA PATH OF TRAVEL FROM BUILDING TO PARKING TO PUBLIC RIGHT OF WAY WITH SLOPE AND CROSS SLOPE LESS THAN 2%.

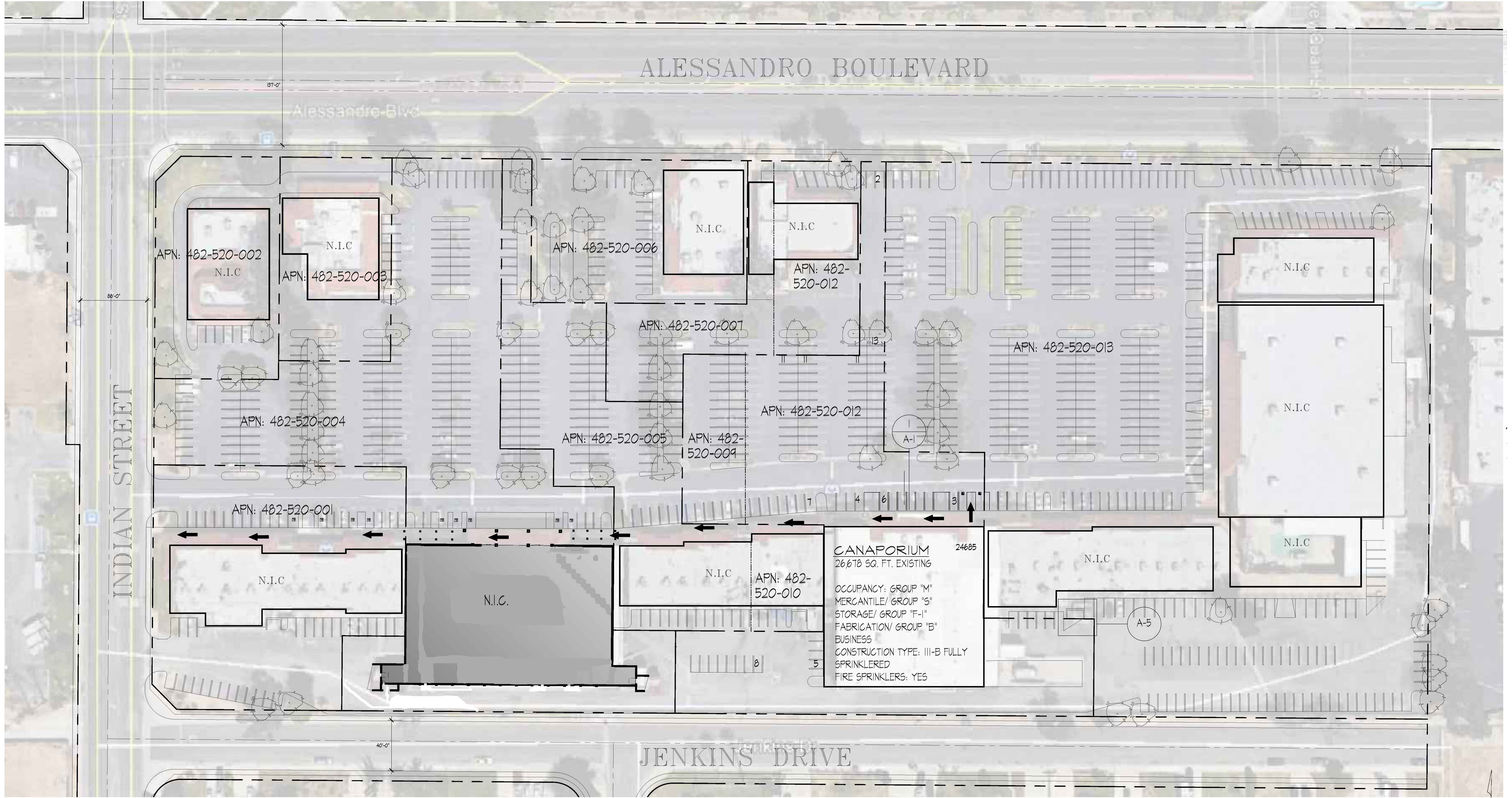
SHEET INDEX:
A-1 SITE PLAN
A-2 DEMO FLOOR PLAN
A-3 FLOOR PLAN
A-4 ELEVATIONS
A-5 TRASH ENCLOSURE

REVISIONS:

NO.	DATE	DESCRIPTION	BY	CHKD.
1				

PLANNING DEPT. REV.:
OK/1/1/14

DMA
DAVE MADDEN ARCHITECT
Phone 951-634-2112 • E-Mail: dmarchitect.net
35443 Veranda Circle, Miladomar, California 92543



1 SITE PLAN
SCALE: 1" = 40'-0"

Project and Location:
CANNAPORIUM T.I.
24685 ALESSANDRO BLVD.
MORENO VALLEY, CA 92553
CONDITIONAL USE PERMIT: PE19-0177

Site Plan

Professional Seal:
DAVE MADDEN ARCHITECT
No. C-25783
10-31-14
STATE OF CALIFORNIA

Drawn by LM
Checked by
Date 05/31/14
Job No. 14-026

North Arrow

Sheet Number
A-1
Of 5 Sheets

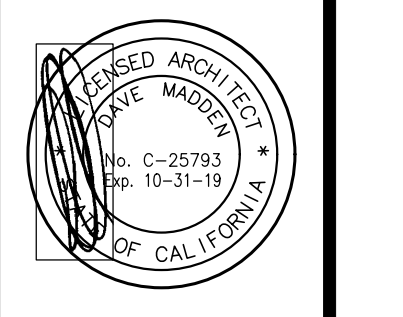
Attachment Site Plan (Revision 1) (07/16) - PE19-0177 - CUP - Cannaporium

REVISIONS
 PLANNING DEPT. REV. 02/11/14

DMA
 DAVE MADDEN ARCHITECT
 Phone 415-424-2112 • E-Mail: dave@maddenarchitect.net
 954-113 Veranda Circle, Wildomar, California 92595

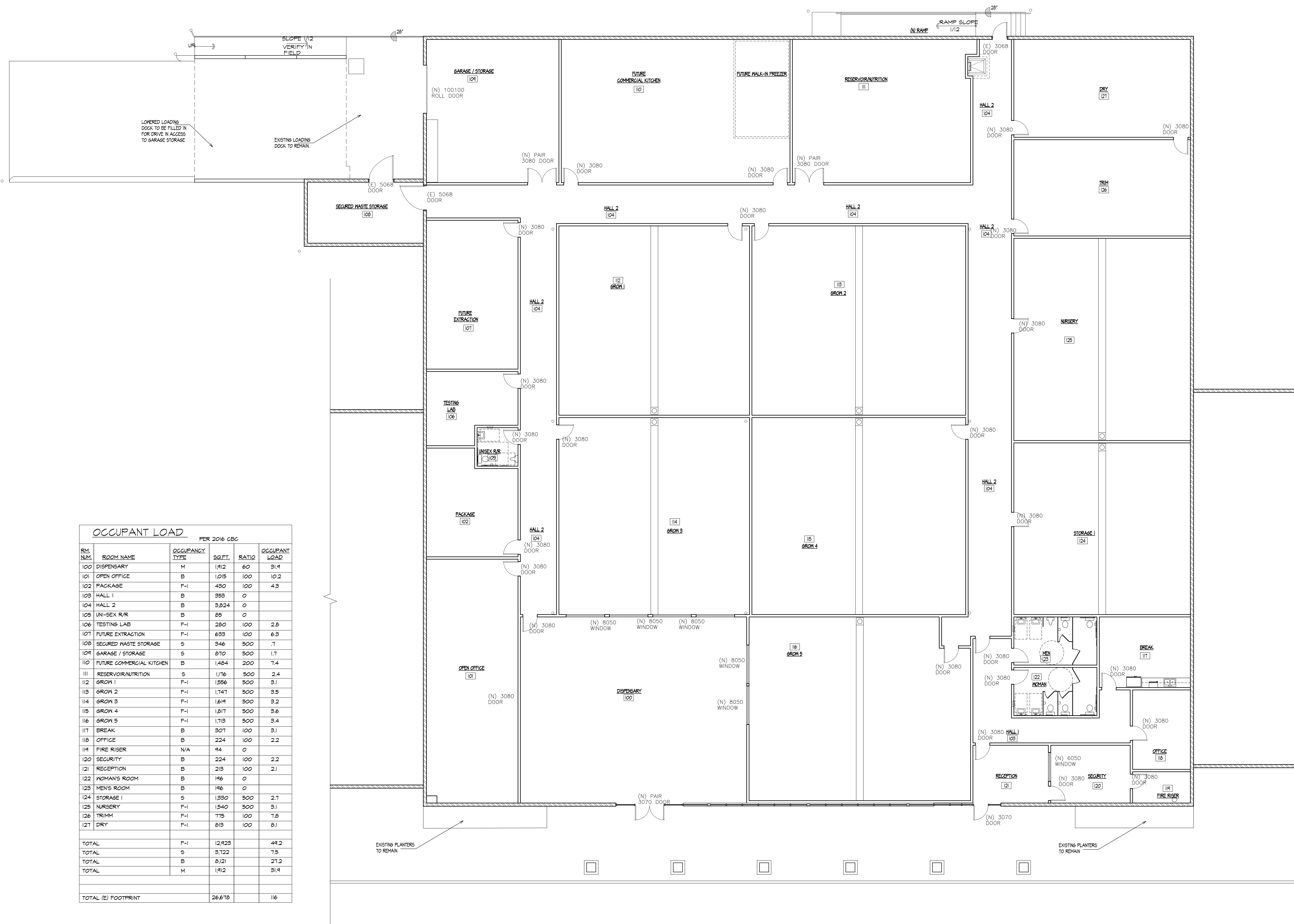
FLOOR PLAN

Project and Location
CANNAPORIUM T.I.
24625 ALESSANDRO BLVD.
MORENO VALLEY, CA 92553



Drawn by LM
 Checked by
 Date 05/16/19
 Job No. 19-026

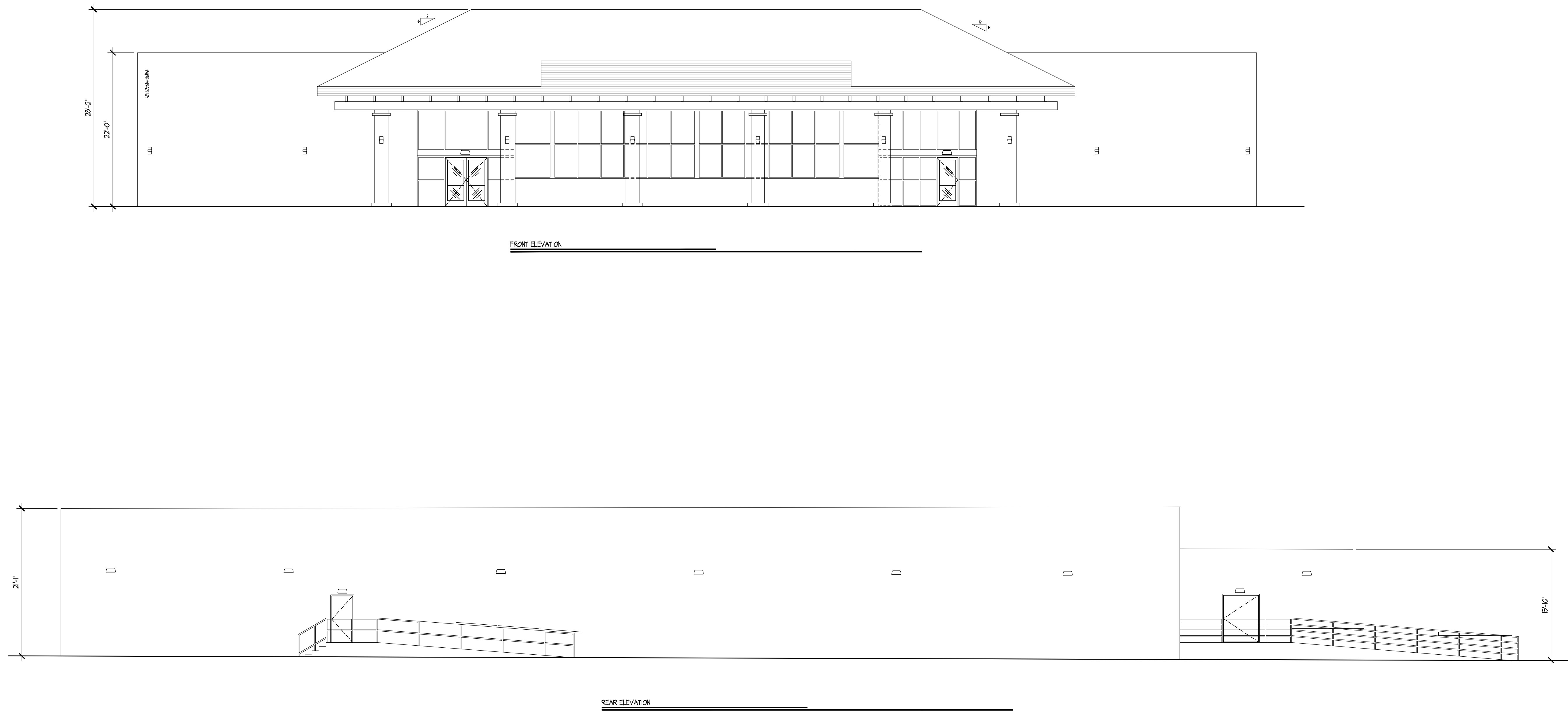
Sheet Number
A-3
 Of Sheets



OCCUPANT LOAD				
PER 2016 CBC				
RM. NUM.	ROOM NAME	OCCUPANCY TYPE	SQ. FT.	OCCUPANT LOAD
100	DISPENSARY	M	1412	60
101	OPEN OFFICE	B	1015	100
102	PACKAGE	F-1	450	100
103	HALL 1	B	353	0
104	HALL 2	B	9,224	0
105	UNI-SEX R/R	B	85	0
106	TESTING LAB	F-1	280	100
107	FUTURE EXTRACTION	F-1	633	100
108	SECURED WASTE STORAGE	S	346	100
109	GARAGE / STORAGE	S	870	100
110	FUTURE COMMERCIAL KITCHEN	B	1,484	200
111	RESERVOIR/NUTRITION	S	1,176	500
112	GROW 1	F-1	1,556	500
113	GROW 2	F-1	1,741	500
114	GROW 3	F-1	1,619	500
115	GROW 4	F-1	1,817	500
116	GROW 5	F-1	1,713	500
117	BREAK	B	307	100
118	OFFICE	B	224	100
119	FIRE RISER	N/A	94	0
120	SECURITY	B	224	100
121	RECEPTION	B	213	100
122	WOMAN'S ROOM	B	146	0
123	MEN'S ROOM	B	146	0
124	STORAGE 1	S	1,330	500
125	NURSERY	F-1	1,540	500
126	TRIMM	F-1	175	100
127	DRY	F-1	813	100
TOTAL		F-1	12,423	44.2
TOTAL		S	3,722	7.5
TOTAL		B	8,121	27.2
TOTAL		M	1,412	31.4
TOTAL (E) FOOTPRINT			26,675	116

WALL LEGEND	
	EXISTING 8" CMU WALLS TO REMAIN
	EXISTING 2X WALLS TO BE REMOVED
	NEW 2X WALLS

BUILDING INFORMATION:
 DEVELOPMENT TYPE: COMMERCIAL
 CONSTRUCTION TYPE: III-B FULLY SPRINKLERED
 DESCRIPTION OF USE: PROFESSIONAL RETAIL & OFFICE
 OCCUPANCY: B, M, S, F-1
 # OF STORIES: 1
 SPRINKLERS: YES
 ZONING: C-1
 YEAR BUILT: 1960



FRONT ELEVATION

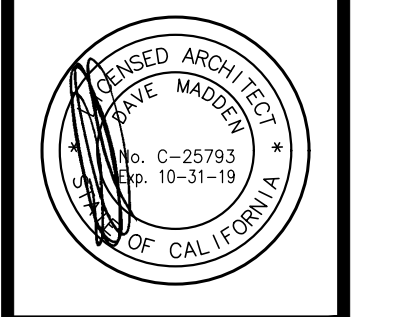
REAR ELEVATION

NO.	DATE	REVISIONS
1	09/11/19	ISSUED FOR PERMIT
2		
3		
4		
5		

DMA
 DAVE MADDEN ARCHITECT
 Dave Madden Architect, Inc.
 95493 Veranda Circle, Wildomar, California 92595
 Phone 951-934-2712 • E-Mail: dma@dmarchitect.com

ELEVATIONS

Project and Location
 CANNAPORIUM T.I.
 24685 ALESSANDRO BLVD.
 MORENO VALLEY, CA 92553



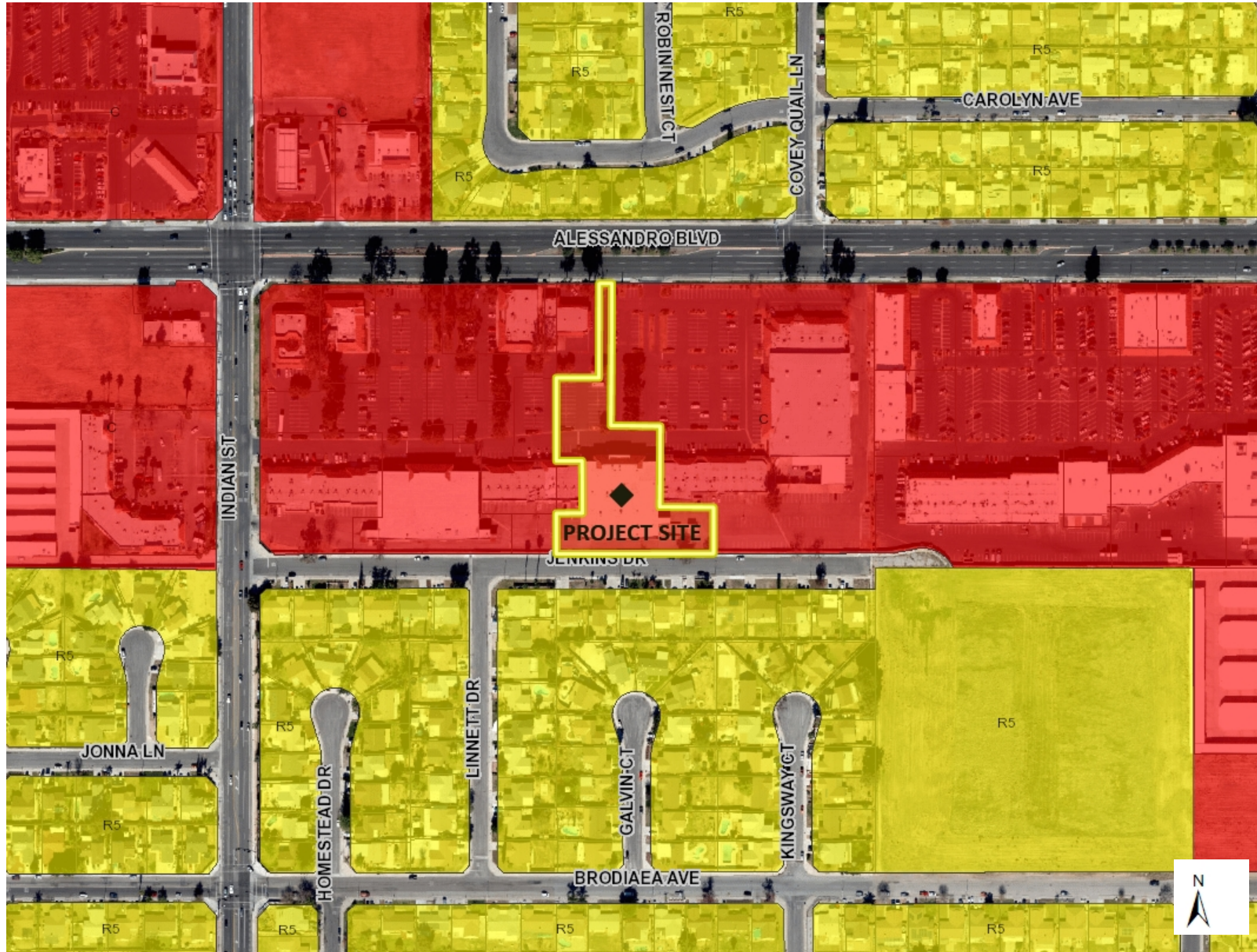
Drawn by LM
 Checked by
 Date 09/11/19
 Job No. 19-026

1/8" = 1'-0"
 Sheet Number
A-4
 Of Sheets

19026-ELEV-01-00.dwg

Attachment: Building Elevations [Revision 1] (3786) - PEN-19-0177 - CUP - Cannaporium

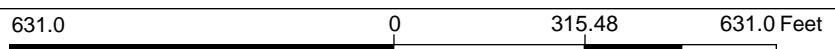
Commercial (C) General Plan Designation



Legend

Land Use

- Residential: Max. 1 du/ac
 - Mixed Use
 - Residential: Max. 2 du/ac
 - Rural Residential: Max 2.5 du/ac
 - Residential: Max. 3 du/ac
 - Residential: Max. 5 du/ac
 - Residential: Max. 5 or 15 du/ac
 - Residential: Max. 10 du/ac
 - Residential: Max. 15 du/ac
 - Residential: Max. 20 du/ac
 - Residential: Max. 30 du/ac
 - Hillside Residential
 - Planned Residential
 - Residential/Office
 - Office
 - Commercial
 - Business Park/Light Industrial
 - Open Space
 - Public Facilities
 - Floodplain
- ### Master Plan of Trails
- Bridge
 - Improved
 - Multiuse
 - Proposed



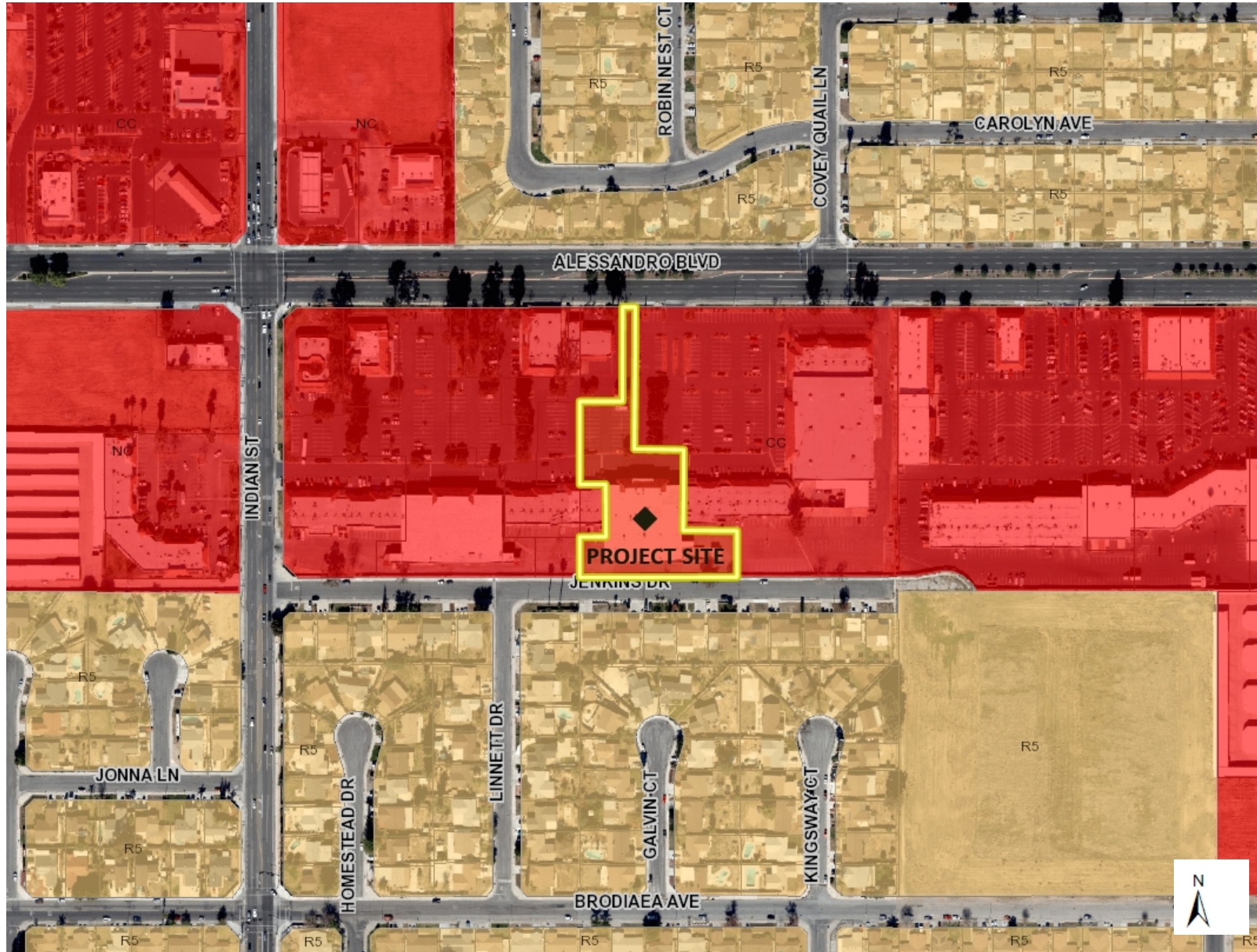
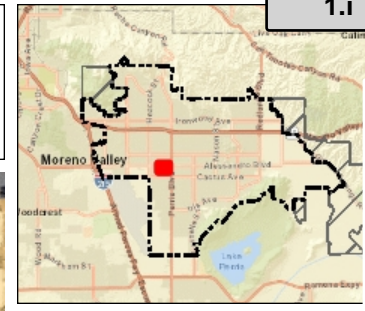
DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Notes

PEN19-0177 - Conditional Use Permit

Attachment: General Plan Map (3786 : PEN19-0177 - CUP - Cannaporium)

Community Commercial (CC) Zoning District



Legend

Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

Road Labels

- Parcels
- City Boundary
- Sphere of Influence
- World Street Map

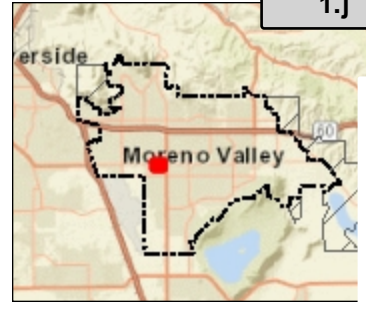
Notes

PEN19-0177 - Conditional Use Permit

631.0 0 315.48 631.0 Feet

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Aerial Photograph



Legend

Parcels

Notes

APN: 482-520-012

616.0 0 308.02 616.0 Feet