

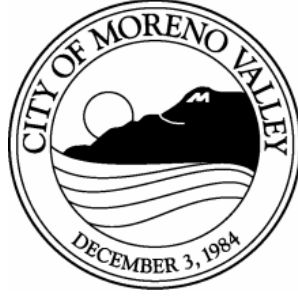
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**PLANNING COMMISSIONERS**

BRIAN LOWELL  
Chair

JEFFREY SIMS  
Vice-Chair

RAY L. BAKER  
Commissioner



JEFFREY BARNES  
Commissioner

CARLOS RAMIREZ  
Commissioner

PATRICIA KORZEC  
Commissioner

MELI VAN NATTA  
Commissioner

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# **PLANNING COMMISSION Regular Meeting**

## **Agenda**

**Thursday, March 24, 2016 at 7:00 PM  
City Hall Council Chamber – 14177 Frederick Street**

### **CALL TO ORDER**

### **ROLL CALL**

### **PLEDGE OF ALLEGIANCE**

### **APPROVAL OF AGENDA**

Approval of Agenda

### **CONSENT CALENDAR**

*All matters listed under Consent Calendar are considered to be routine and all will be enacted by one roll call vote. There will be no discussion of these items unless Members of the Planning Commission request specific items be removed from the Consent Calendar for separate action.*

### **APPROVAL OF MINUTES**

Planning Commission - Regular Meeting - May 28, 2015 7:00 PM

Approve as submitted.

Planning Commission - Regular Meeting - Jun 11, 2015 7:00 PM

Approve as submitted.

Planning Commission - Special Meeting - Jun 25, 2015 5:00 PM

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*Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

Approve as submitted.

Planning Commission - Special Meeting - Jun 30, 2015 6:00 PM

Approve as submitted.

Planning Commission - Regular Meeting - Jul 23, 2015 7:00 PM

Approve as submitted.

Planning Commission - Regular Meeting - Aug 27, 2015 7:00 PM

Approve as submitted.

Planning Commission - Regular Meeting - Dec 10, 2015 7:00 PM

Approve as submitted.

Planning Commission - Regular Meeting - Jan 28, 2016 7:00 PM

Approve as submitted.

## **PUBLIC COMMENTS PROCEDURE**

*Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, member of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.*

## **NON-PUBLIC HEARING ITEMS**

### **1. Hillside Residential Development (Report of: Community Development)**

Case:	Hillside Residential Development
Applicant:	City of Moreno Valley
Owner:	N/A
Representative:	N/A
Location:	HR and RR Zoning Districts City-wide
Case Planner:	Jeff Bradshaw
Council District:	City-wide

**PUBLIC HEARING ITEMS**

- 2. Case: PA15-0019 Conditional Use Permit
- Applicant: Rudy Dekermenjian
- Owner: Gene Cole
- Representative: Ramon Baguio
- Location: 11745 Steeplechase Drive
- Case Planner: Gabriel Diaz
- Council District: 3
  
- Proposal: PA15-0019 Conditional Use Permit

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2016-06, and thereby:

- 1. **DENY** Conditional Use Permit PA15-0019 based on the findings contained in Planning Commission Resolution 2016-06.
  
- 3. Case: Tentative Tract Map No. 36933 (P15-066) and an amended Conditional Use Permit (P15-067) on a 29 acre parcel of land in the R15 (Residential 15) and OS (Open Space) land use districts. The project proposes a maximum 274 small lot residential detached Planned Unit Development (PUD), one additional lot for a designated recreation area and 45 lettered lots for common open space purposes. Portions of the subject property were previously graded.
- Applicant: Beazer Home
- Owner: Beazer Homes Holding Corp.
- Representative: Pacific Development Solutions Group
- Location: Southeast corner of Eucalyptus Avenue and Fir Street
- Case Planner: Mark Gross

Council District: 3

Proposal: Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2016-03 and Resolution 2016-04, and thereby:

1. **CERTIFY** that the proposed project qualifies for an Addendum to the previously certified Mitigated Negative Declaration pursuant to Section 15164 of the California Environmental Quality Act (CEQA) as none of the conditions contained in Section 15162 calling for preparation of a subsequent negative declaration have occurred, and the project with mitigation will not have a significant impact on the environment.
2. **APPROVE** P15-066 for Tentative Tract Map No. 36933 to include the subdivision of a 29 acre parcel of land into a maximum of 274 residential lots, one lot for a designated recreational area and 45 lettered lots for common open space purposes within the R15 (Residential-15) and OS (Open Space) land use districts, subject to the attached conditions of approval included as Exhibit A to the resolution.
3. **APPROVE** P15-067 for an amended Conditional Use Permit and Planned Unit Development (PUD) for a maximum of 274 residential lots, one (1) lot for a designated recreation area and approximately 45 lettered lots for common open space areas within the R15 (Residential-15) and OS (Open Space) land use districts, subject to the attached conditions of approval and Planned Unit Development Guide included as Exhibits A and B to the resolution.
4. Case: PA14-0011  
Applicant: City of Moreno Valley  
Owner: City of Moreno Valley  
Representative: Community Development Department  
Location: Citywide  
Case Planner: Claudia Manrique  
Council District: All

Proposal:

Municipal Code Amendment

**STAFF RECOMMENDATION**

Staff recommends that the Planning Commission take the following action:

1. **APPROVE** a continuance of the Public Hearing to the Planning Commission meeting of April 28, 2016.

**OTHER COMMISSION BUSINESS**

**STAFF COMMENTS**

**PLANNING COMMISSION COMMENTS**

**ADJOURNMENT**

Next Meeting: Planning Commission Regular Meeting, **April 28, 2016 at 7:00 P.M.**, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 REGULAR MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Thursday May 28<sup>th</sup>, 2015, 7:00 PM  
6

7  
8  
9 CALL TO ORDER

10  
11 CHAIR LOWELL – Good evening ladies and gentlemen. I would like to call the  
12 May 28<sup>th</sup>, 2015 Regular Meeting of the Planning Commission to order. The time  
13 is 7:05 PM. Grace, can we have a rollcall please?  
14

15  
16 ROLL CALL

17  
18 Commissioners Present:

19  
20 Commissioner Ramirez  
21 Commissioner Korzec  
22 Commissioner Van Natta  
23 Commissioner Baker  
24 Vice Chair Sims  
25 Chair Lowell  
26 Alternate Planning Commissioner Lori Nickel  
27

28 Staff Present:

29  
30 Planning Official Richard Sandzimier  
31 Deputy City Attorney Paul Early  
32

33 GRACE ESPINO-SALCEDO – Commissioner Barnes will not be in today?  
34

35 CHAIR LOWELL – Correct.  
36

37 GRACE ESPINO-SALCEDO – Neither will alternate, Erlan Gonzalez?  
38

39 CHAIR LOWELL – Correct.  
40

41 GRACE ESPINO-SALCEDO – But, we do have Lori Nickel.  
42

43 CHAIR LOWELL – Okay. Thank you very much Grace. Carlos, would you like  
44 to lead us in the Pledge of Allegiance?  
45

1 **PLEDGE OF ALLEGIANCE**

2  
3  
4 **APPROVAL OF THE AGENDA**

5  
6 **CHAIR LOWELL** – Thank you. Would anyone like to motion to approve the  
7 Agenda for tonight’s meeting? Oh, the thing is not working.

8  
9 **COMMISSIONER BAKER** – I’ll move to approve the Agenda.

10  
11 **CHAIR LOWELL** – I’ll second it.

12  
13 **GRACE ESPINO-SALCEDO** – Because Commissioner Lori Nickel is not in the  
14 system, we will be doing a hand vote tonight.

15  
16 **CHAIR LOWELL** – Okay, easy enough, so we have a motion and a second?

17  
18 **VICE CHAIR SIMS** – Um-hum.

19  
20 **CHAIR LOWELL** – Can we have a rollcall vote please, Grace?

21  
22 **COMMISSIONER RAMIREZ** – Yes.

23  
24 **COMMISSIONER KORZEC** – Yes.

25  
26 **COMMISSIONER VAN NATTA** – Yes.

27  
28 **COMMISSIONER BAKER** – Yes.

29  
30 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah, I’m going to butt in here. I  
31 didn’t know if you were aware of this. It is customary for a Commissioner who is  
32 not present for a prior meeting to abstain from votes on approving the minutes.  
33 You certainly, if you did attend the last meeting and read the minutes and wanted  
34 to vote to approve, you certainly have the ability to. But, I just wanted to let you  
35 know that that’s...

36  
37 **CHAIR LOWELL** – We are approving the Agenda right now.

38  
39 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah, I know. I’m sorry. Either  
40 way, Agenda, Minutes, anything that you weren’t present for, an option you have  
41 is to abstain.

42  
43 **CHAIR LOWELL** – Thank you, Sir.

44  
45 **VICE CHAIR SIMS** – Yes.

1 **CHAIR LOWELL** – Yes. Now that we have approved the Agenda, we are  
2 moving on to the Consent Calendar, but I do not believe we have any Consent  
3 Calendar items?  
4

5 **COMMISSIONER VAN NATTA** – Before we do that could I ask, as far as  
6 procedure goes and we do have the alternate, should not that be something that  
7 is announced by the Chair at the beginning of the meeting that the alternate will  
8 be seated in place of whoever she is replacing rather than having the Clerk just  
9 ask her to sit down up here?  
10

11 **PLANNING OFFICIAL SANDZIMIER** – I think this is a good item to discuss, how  
12 we do it. I think what has just transpired is fine. I think that it actually kind of  
13 speaks for itself, but if you did want to do it as a formality in the future we could  
14 do that. That would be up to the Commissions desire on how you want to report  
15 that out.  
16

17 **CHAIR LOWELL** – Okay.  
18

19 **PLANNING OFFICIAL SANDZIMIER** – Because of the proposed rotational order  
20 of things, it is probably something that the Clerk will be maintaining the record of  
21 who would be the next person to call to, so it might be something you would  
22 defer to.  
23

24 **CHAIR LOWELL** – It is something that Grace could say well we have so and so  
25 who is available to fill in tonight, and then I would just call them up or something  
26 along those lines.  
27

28 **PLANNING OFFICIAL SANDZIMIER** – Yeah, it could be a part of the rollcall  
29 procedure.  
30

31 **COMMISSIONER VAN NATTA** – The more official way to do it is to have the  
32 Chair call the Alternate to be seated after the Clerk has advised who is available.  
33

34  
35 **CONSENT CALENDAR**  
36

37 *All matters listed under Consent Calendar are considered to be routine and will*  
38 *be enacted by one roll call vote. There will be no discussion of these items*  
39 *unless Members of the Planning Commission request specific items be removed*  
40 *from the Consent Calendar for separate action.*  
41

42 **CHAIR LOWELL** – Okay so we moved on to the Consent Calendar, but I do not  
43 believe we have any consent items.  
44  
45  
46



1 **APPROVAL OF MINUTES**

2  
3 None

4  
5  
6 **PUBLIC COMMENTS PROCEDURE**

7  
8 *Any person wishing to address the Commission on any matter either under the*  
9 *Public Comments section of the Agenda of scheduled items or public hearings,*  
10 *must fill out a “Request to Speak” form available at the door with our automated*  
11 *kiosk, which is down right now, and so we would actually be asking you to fill out*  
12 *a Speaker’s Slip. The completed form must be submitted to the Secretary prior*  
13 *to the Agenda item being called by the Chairperson. In speaking to the*  
14 *Commission, member of the public may be limited to three minutes per person*  
15 *except for the Applicant for entitlement. The Commission may establish an*  
16 *overall time limit for comments on a particular Agenda item. Members of the*  
17 *public must direct their questions to the Chairperson of the Commission and not*  
18 *to other members of the Commission, the Applicant, the Staff or the audience.*

19  
20 **CHAIR LOWELL** – We will move on to the Public Comments portion of the  
21 meeting tonight. Grace, do we have any Public Speaker Slips?

22  
23 **GRACE ESPINO-SALCEDO** – We do not have any, thank you.

24  
25 **CHAIR LOWELL** – Okay, do I need to close the Public Comment portion?

26  
27 **DEPUTY CITY ATTORNEY EARLY** – It’s not a hearing so you can just move on  
28 to the next Agenda item.

29  
30  
31 **NON-PUBLIC HEARING ITEMS**

32  
33 None

34  
35  
36 **PUBLIC HEARING ITEMS**

37  
38 None

39  
40  
41 **OTHER COMMISSION BUSINESS**

42  
43 **Rules of Procedures for Alternative Planning Commissioners (Report**  
44 **of: Community Development)**

1 **CHAIR LOWELL** – Moving on to Other Commission Business, which I have one  
2 item tonight which is Rules of Procedures for Alternate Planning Commissioners.  
3 Do we have the report by Staff today?  
4

5  
6 **PLANNING OFFICIAL SANDZIMIER** – Yes. Very quickly, while this is just  
7 mostly a discussion item amongst the Commission, we did take the liberty of  
8 putting together a simple Staff Report which is in your packet. The Staff Report  
9 indicates that, from summary standpoint, at your last Commission meeting you  
10 did form an Ad-hoc Committee made up of Chair Lowell, Commissioner Van  
11 Natta, and Commissioner Barnes. And, the sole purpose for the Ad-hoc  
12 Committee was to further investigate the Rules of Procedures that we want to  
13 consider with regard to the alternate Commissioners. There was also an  
14 intended purpose to try and meet with Council Members, so this evening it is our  
15 expectation that that Ad-hoc Committee will be reporting out their findings on that  
16 research and the meeting that they had with any Council Members. We also did  
17 include in your Staff Report the Rules of Procedure for the Commission as a  
18 whole. We would like to be amending those this evening. We also included a  
19 set of Rules of Procedure for the City of San Marcos, which were things that  
20 were discovered as part of the research by Chairman Lowell and follow-up to  
21 what we discussed at the last meeting. We also included the ordinance that was  
22 approved by the City Council for your information, so we believe that the  
23 information in the Staff Report and available to the Commission this evening  
24 adequately provides you with the information to take on the discussion this  
25 evening. We will be taking your discussion and adding them to another  
26 document that was circulated this evening on the dais. It is a Redline version of  
27 the current Rules of Procedure that were drafted in response to an earlier  
28 meeting this week with the Ad-hoc Committee; the City Attorney’s Office, Paul  
29 Early Representative; and myself and I would like to ask our Attorney, Paul Early,  
30 if he has anything else he would like to add.  
31

32 **DEPUTY CITY ATTORNEY EARLY** – Just that the draft Redline in front of you is  
33 just the result of the recommendations of that Ad-hoc Committee that I worked  
34 with them over the last basically 24-48 hours. We hashed out some proposed  
35 language here to bring before the Commission as a whole, and at this point I  
36 think the Committee might want to address their concerns and discussions with  
37 Councilmember Giba and then the Commission as a whole can provide any  
38 guidance or suggestions on how they may want this modified or if you would like  
39 to go forward in the docket as is.  
40

41 **CHAIR LOWELL** – Thank you everybody. As the Staff mentioned, we prepared  
42 an Ad-hoc Committee between Jeff Barnes, Meli Van Natta, and myself. We met  
43 with Councilman Giba this past Tuesday, and we discussed a couple items. One  
44 of them that Councilman Giba was involved with was possible revision to  
45 Ordinance #890. I do not have the revised ordinance. Do you guys happen to  
46 have that? Remember how we were going to try and add a fourth item?

1 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah, we do not have the proposed  
2 revised ordinance yet.

3  
4 **CHAIR LOWELL** – The revised ordinance, we were very happy with the way it  
5 was written. We were going to add a 4<sup>th</sup> item. The ordinance reads: Alternate  
6 Members of the Planning Commission has an A, B and C. We relettered item C  
7 and inserted a new C. And, if I am not mistaken, that new C was referring to  
8 using an alternate to fill a permanent vacancy?  
9

10 **DEPUTY CITY ATTORNEY EARLY** – The additions that were proposed and  
11 supported by Councilmember Giba included language that cleared up that the  
12 Commission could continue to perform even if alternates were not available or  
13 vacant seats were up there, which was always the intent of both parties, but it  
14 was language just to clear that up. And, this additional provision that provided  
15 that if a seat became permanently vacant that the Council would select one of  
16 the two alternates to fill that until that seat became eligible for reappointment  
17 again, so a quicker way to semi-permanently fill that seat until the next turnover  
18 period came.  
19

20 **CHAIR LOWELL** – And that is just a formality we do not have the official revised  
21 ordinance yet because it has to go in front of City Council still, and we are still  
22 working on the language of that, I believe.  
23

24 **DEPUTY CITY ATTORNEY EARLY** – Correct, Councilmember Giba agreed to  
25 support it. He will need a 2<sup>nd</sup> Councilmember to put it on the Agenda, and we do  
26 not suspect that will be a problem. Then, assuming the entire account, I do not  
27 see any reason the Council would have any issues with those proposed  
28 changes. Sometime in mid June, we would expect those changes to come.  
29

30 **CHAIR LOWELL** – Then that moves us on to the Rules of Order. Our Planning  
31 Commission Rules of Procedure, I believe everybody has the revised items in  
32 front of you. It is pretty straight forward. In doing some due diligence, I did some  
33 research and spoke with the City of La Habra Heights. They have a Planning  
34 Commission that has, let me check my notes, I believe they utilize a 7-Member  
35 Planning Commission with two alternates. Negative. The City of La Habra  
36 Heights uses five permanent Planning Commissioners and one alternate. All six  
37 sit at the dais. All six get to participate in Commission discussions, hearing and  
38 answering public comments, but only five get to vote. The alternate just gets to  
39 sit up here, has a voice, but no vote. Similarly, the City of San Marcos uses  
40 seven Planning Commissioners like we do. They have two alternates, and the  
41 two alternates sit in the audience and only call up just like we did if the need  
42 arises. The City of San Marcos actually had some really good Rules of  
43 Procedures on how to address the alternates, which is what we have provided  
44 today. The Ad-hoc Committee discussed these in depth, and we have actually  
45 merged their Rules of Procedures, modified a few, and added our Rules of

1 Procedures. Does anybody have any questions or comments on the revolving  
2 alternates?

3  
4 **COMMISSIONER VAN NATTA** – Do other Commissioners get a copy of this  
5 ahead of time to look at it before the meeting?

6  
7 **DEPUTY CITY ATTORNEY EARLY** – Yeah, so if you have just gotten them,  
8 maybe I can review some of the highlights of some of those issues that we had  
9 discussed earlier and how we addressed them here. Would that be helpful?

10  
11 **CHAIR LOWELL** – I think we should just read through all the ones that we have  
12 changed to make sure that everybody is aware of what is going on.

13  
14 **DEPUTY CITY ATTORNEY EARLY** – So, on the 1<sup>st</sup> page, I just added that the  
15 organization consists of two alternates. But, then you'll see in Section C-1C a  
16 provision that was added that states that alternates cannot serve as Chair or  
17 Vice-Chair, so if the Chair position is vacant and an alternate comes to fill that  
18 seat, the Vice-Chair will run the meeting as the Chair. The alternate will fill the  
19 seat as a voting member but will not serve the duties in the capacity of a Chair or  
20 Vice-Chairman, so that is the first proposed change.

21  
22 **CHAIR LOWELL** – Similarly drilling down that line of thought, if both the Chair  
23 and Vice-Chair are absent, one of the regular-seated Commissioners would be  
24 Chair or run the meeting.

25  
26 **DEPUTY CITY ATTORNEY EARLY** – Correct, you would follow the procedure  
27 whereby the remaining members voted on who would be Chair for that meeting,  
28 and I suppose it is possible that an alternate could be selected by the body as a  
29 majority in that case, but it's not a case of....

30  
31 **CHAIR LOWELL** – This rule says you cannot do that.

32  
33 **COMMISSIONER VAN NATTA** – Would not be eligible to serve as Chair or Vice-  
34 Chair, so someone other than that alternate would have to be selected as Chair  
35 or Vice-Chair.

36  
37 **DEPUTY CITY ATTORNEY EARLY** – That would be the default, yes. You  
38 would have to change that by another vote, but that's the first substance of  
39 change there. So, alternates will come in as voting numbers, but they would not  
40 fill the seat they were filling in that capacity. Then, the rest of the changes  
41 appear in section 1G on Page 4. The first section, G1, I will read the whole thing.  
42 Alternate members of the Planning Commission should attempt to attend all  
43 meetings. In the event of an absence of a regular member, for all or any part of a  
44 meeting, an alternate member who is present shall be seated to serve as a full  
45 voting member of the Commission. If alternate members are not available to  
46 serve or are disqualified from serving for any reason, the Commission shall

1 continue with the remaining regular members as long as a forum is present. The  
2 Minutes shall reflect the attendance, seating, and voting record of any alternate  
3 member. This is mirroring the changes that were proposed to the ordinance to  
4 allow that they are only seated if they are present and that the regular  
5 Commission still can conduct business even in the absence of any voting  
6 member as long as there is a quorum present. Any other questions on that first  
7 section? Number 2: Alternate Members shall be called on a rotational basis if  
8 available. Each meeting will have a primary and secondary alternate, which  
9 assignment shall rotate every meeting. If there is more than one absence or  
10 vacancy, the secondary alternate may also be called to serve. The service or  
11 non-service of one or both alternate members at any meeting shall not affect the  
12 rotational order for any future meeting. For the first meeting after any  
13 appointment, the rotational order shall be established in alphabetical order by the  
14 last name of the alternate member. The intent here is that it switches who is the  
15 first name that is going to be called for every meeting, and that is regardless of  
16 who served at the last meeting. So, in this case if Ms. Nickel was the secondary  
17 today and she served, she'd be the primary at the next meeting and she would  
18 be the first name called again even though she served at this meeting. The  
19 rotation doesn't change. It is always the same. Any other questions on how that  
20 works?

21  
22 **CHAIR LOWELL** – I like the way it rotates. It advises both alternates fairly.

23  
24 **DEPUTY CITY ATTORNEY EARLY** – Yeah, whether they're absent or not, you  
25 can always count on who it is going to be. Section 3: If an alternate member is  
26 seated for any single item such alternate member shall continue to be seated for  
27 that item until the completion of the vote on that item without regard to the  
28 number of meeting dates the item is continued over. This is to resolve that  
29 multiple hearing Commissioner A, then Commissioner B, then Commissioner A  
30 problem. It will be A, B, B, B, B until the vote is taken.

31  
32 **CHAIR LOWELL** – Or A, B, B, nothing.

33  
34 **DEPUTY CITY ATTORNEY EARLY** – Correct.

35  
36 **COMMISSIONER VAN NATTA** – Are we grammatically correct in ending the  
37 sentence with O?

38  
39 **DEPUTY CITY ATTORNEY EARLY** – Probably not without regard to the number  
40 of meetings an item is continued. No, that would not be grammatically correct. It  
41 should just be period after continued. Thank you.

42  
43 **CHAIR LOWELL** – Or which the item is continued.

44  
45 **DEPUTY CITY ATTORNEY EARLY** – So, yes, even if the, oh, you got another  
46 one?

1 **COMMISSIONER VAN NATTA** – Right, it should be for which the item.

2  
3 **CHAIR LOWELL** – I think it should read, the very last line it says number of  
4 meeting dates for which the item is continued. It sounded a little more clear.

5  
6 **DEPUTY CITY ATTORNEY EARLY** – Okay, that change as well. So, as Chair  
7 Lowell noted, it could be if the alternate drops out after a period, so regular  
8 member, then an alternate member, and then it goes to a third and the alternate  
9 is not present for the third that seat just remains vacant. We don't revert back to  
10 the first member and we don't call a third alternate is the way I think we were  
11 intending that to be.

12  
13 **CHAIR LOWELL** – That's the clarified item, G5, where it says that if you are able  
14 to see or hear the transcripts you can sit.

15  
16 **DEPUTY CITY ATTORNEY EARLY** – Yeah G5 was the eligibility for that.

17  
18 **CHAIR LOWELL** – It seems like those two were kind of competing with one  
19 another. I'm trying to figure out how we should better clarify that.

20  
21 **DEPUTY CITY ATTORNEY EARLY** – Let's see, we skip to G5 and see?

22  
23 **CHAIR LOWELL** – Well let's just plow through number 4 first.

24  
25 **DEPUTY CITY ATTORNEY EARLY** – Okay, 4: Alternate member shall be  
26 deemed to be participating in meeting if they are seated for all or any part of a  
27 meeting. This is meant to clarify the language in the ordinance, which specifies  
28 that alternate member shall be paid if they are participating in a meeting, and  
29 we're just clarifying what participation means. Participation means that they are  
30 seated for, even if it is just for one item if they are seated on the days for an item  
31 or for an entire meeting, that that constitutes participation.

32  
33 **COMMISSIONER VAN NATTA** – Well, but that doesn't describe what being  
34 seated means.

35  
36 **CHAIR LOWELL** – We described it up in the beginning.

37  
38 **DEPUTY CITY ATTORNEY EARLY** – Seated as a voting Member?

39  
40 **COMMISSIONER VAN NATTA** – Seated as a voting Member, yeah, that would  
41 clarify that. They could just be seated?

42  
43 **CHAIR LOWELL** – Well, no, in G1 it says "in the event of the absence of a  
44 regular Member for all or any part of a meeting, an alternate Member who is  
45 present shall be seated to serve as a full voting Member of the Commission."  
46

1 **DEPUTY CITY ATTORNEY EARLY** – Yeah, I think adding as a voting Member  
2 is just further clarification, but yes it is identified with seated as in one.

3  
4 **CHAIR LOWELL** – Do you want to use the same language?

5  
6 **COMMISSIONER VAN NATTA** – No, it doesn't have to be that long.

7  
8 **CHAIR LOWELL** – To serve as a full voting Member of the Commission.

9  
10 **COMMISSIONER VAN NATTA** – Yeah.

11  
12 **CHAIR LOWELL** – Yeah.

13  
14 **DEPUTY CITY ATTORNEY EARLY** – So this purpose was just to clarify what  
15 the Council meant by participating. Section 5: If a hearing is continued and an  
16 alternate Commissioner is required for any subsequent hearing date, the  
17 alternate Commissioner shall make a statement on the record that they have  
18 attended all prior hearing dates, read all prior hearing transcript, or listened to the  
19 recording of all prior hearings on the item. If an alternate Commissioner has not  
20 met the aforementioned requirements, they shall be declared ineligible to be  
21 seated on the Commission for that item. If there are no eligible alternate  
22 Commissioners available, and I don't believe that should be apostrophe S, the  
23 hearing will continue as long as a quorum is present. So, in the case where  
24 somebody is absent for the first half of the meeting and they want to call an  
25 alternate for the second continued date on any given hearing, that alternate will  
26 have to have had the opportunity to either have attended the first meeting, read  
27 the transcripts, or listened to it. If it's continued to the next day and those  
28 transcripts aren't available or the video is not available and they could not do it,  
29 they would be ineligible to serve on that second day. And, procedurally what we  
30 will be asking to do to meet this is that when an alternate is seated midcourse on  
31 a hearing that they will make a statement to that effect on the record so that we  
32 have it in the record for any future.

33  
34 **PLANNING OFFICIAL SANDZIMIER** – If I may just add a clarification on item  
35 G3 and G5 since Ms. Nickel has taken a seat tonight. Under G3, if for some  
36 reason we were getting ready to do a public hearing this evening because she  
37 was seated as the alternate Member tonight and she would be the first  
38 Commissioner to hear the public hearing on the item that would come before  
39 you, if that public hearing was continued this evening even if Commissioner  
40 Barnes returned at the next meeting, the expectation would be for Ms. Nickel to  
41 take the seat when that item comes up on the next meeting or whenever that  
42 meeting was continued to, so that's because she is seated today where that first  
43 date was heard. Now, say we were in the midst of a public hearing that started  
44 at your last meeting and Commissioner Barnes was here and then now under G5  
45 Mr. Barnes is not here, so Ms. Nickel takes the seat. This is the point where she

1 would be declaring that she did go back listen to the tapes or read the minutes  
2 whatever before she took action on it.

3  
4 **COMMISSIONER VAN NATTA** – Or attended.

5  
6 **PLANNING OFFICIAL SANDZIMIER** – So that’s what we are talking about  
7 tonight so just using her as an example since she’s here tonight.

8  
9 **DEPUTY CITY ATTORNEY EARLY** – And with respect to the possible conflict  
10 that Chair Lowell mentioned, I would suggest adding the phrase to the very  
11 beginning of Section 5 that says: Notwithstanding the provisions of 1-G3, if a  
12 hearing is continued because the purpose here is what’s the more important  
13 one? The more important one is that the Commissioner is disqualified if they are  
14 not prepared, not that they continue serving until the vote. Is that the conflict that  
15 you were identifying?

16  
17 **CHAIR LOWELL** – I’m sorry, I was reading aimlessly.

18  
19 **DEPUTY CITY ATTORNEY EARLY** – Between G3 and G5 I thought that you  
20 had mentioned that you saw a conflict, and the one that I see is that G3 says that  
21 the person remains seated until there is a vote. G5 says, if they are not caught  
22 up, they are disqualified. And, they can’t be seated.

23  
24 **CHAIR LOWELL** – Well, no, what I was going for is that it says, if an alternate  
25 Member is seated they are going to stay seated for the rest of that hearing.

26  
27 **DEPUTY CITY ATTORNEY EARLY** – Right.

28  
29 **CHAIR LOWELL** – But, item Number 5 says, if there is a vacancy and an  
30 alternate says hey yeah I have heard everything, I have read all the meeting  
31 minutes, I have watched the video, and I am up to speed then that alternate can  
32 jump in, so...

33  
34 **DEPUTY CITY ATTORNEY EARLY** – I believe it is written the opposite, in the  
35 negative. It says that, if a hearing is continued and an alternate is required  
36 pursuant to G3, that alternate has to make a statement or they’ll be disqualified.

37  
38 **COMMISSIONER VAN NATTA** – Well I think that you’re reading something else  
39 in there.

40  
41 **CHAIR LOWELL** – What I was saying is that we had the scenario of  
42 Commissioner A, A, A throughout all the meetings or we had a Commissioner A  
43 with alternate B, B, or nothing. What if we had the situation where it went A, B,  
44 and we had a C scenario where say we had a third meeting and the alternate  
45 was unavailable but the second alternate became available and they were there  
46 for meeting one and meeting two, according to G5, that alternate #2 could jump



1 in on the third day because they technically were there at the meeting, or they  
2 saw the video, or they read the minutes, I am just trying to clarify that we are  
3 going with an A, B, and B only situation, or do we have the option of an A, B, and  
4 a C?

5  
6 **PLANNING OFFICIAL SANDZIMIER** – My understanding in the, of the,  
7 interpretation of G3 is that, once an alternate takes the seat and starts to hear an  
8 item as long as you are continuing that item whether it’s one more meeting, two  
9 more meetings, five more meetings, that alternate is the one who has to stay  
10 involved with that particular project until the vote.

11  
12 **CHAIR LOWELL** – Correct, but what if on the next meeting we had to continue  
13 it?

14  
15 **PLANNING OFFICIAL SANDZIMIER** – If the next meeting they are not there,  
16 the other alternate cannot step in to replace the other alternate who is not there  
17 anymore. You just, so long as you have a quorum, then that item can continue to  
18 be discussed.

19  
20 **CHAIR LOWELL** – But what I was trying to debate on is that it says.

21  
22 **DEPUTY CITY ATTORNEY EARLY** – Right, he thinks 5 might provide a conflict.

23  
24 **CHAIR LOWELL** – I think that 5 says that if there is availability.

25  
26 **DEPUTY CITY ATTORNEY EARLY** – Let’s clarify first before we tweak 5, I  
27 would want to clarify that that is in fact what the intent what everybody wants.

28  
29 **CHAIR LOWELL** – I like that. It adds continuity. It adds the option of one  
30 substitute and then you’re done, and I thought that would be the intent.

31  
32 **DEPUTY CITY ATTORNEY EARLY** – That was going to be my suggestion, is  
33 that we include language that specifically says that if that’s the direction then only  
34 one alternate can be seated for any given seat.

35  
36 **CHAIR LOWELL** – I think that would be the most fair for the applicant, for  
37 everybody involved, and there will be more continuity. Then, if we had to use a  
38 substitute, it would stop at that substitute. We wouldn’t add more fluctuation or  
39 variability to the scenario, so I think it goes A throughout or A, B and that’s it.

40  
41 **COMMISSIONER VAN NATTA** – Okay, I have a question. Okay, now I can see  
42 let’s just say you have a three night scenario, one item being held over three  
43 nights, and Commissioner is there for night one and for some unforeseen reason  
44 he is not there for night two so the alternate takes over. So ideally then the  
45 alternate would continue through night three and finish out. Now, let’s say

1 something happens and for some reason that alternate cannot come in on night  
2 three, so our options would be Commissioner replaces?

3  
4 **CHAIR LOWELL** – The first one, the original.

5  
6 **COMMISSIONER VAN NATTA** – The Commissioner who began replaces comes  
7 back in, or it is blank nobody is there.

8  
9 **CHAIR LOWELL** – Um-hum.

10  
11 **COMMISSIONER VAN NATTA** – Which hopefully does not create a quorum  
12 problem, or another alternate is placed.

13  
14 **CHAIR LOWELL** – Correct.

15  
16 **COMMISSIONER VAN NATTA** – And so of those three, if the alternate who was  
17 there on night two is not available on night three, it seems to me that the most  
18 practical thing to do if the Commissioner that the alternate replaced is now  
19 available and can also certify that he listened to the transcripts or the video or  
20 whatever then that Commissioner then could come back and finish out the  
21 hearing. And, I think that would give more continuity than bringing in a second  
22 alternate without leaving a blank space that might end up with possibility of a split  
23 vote or lack of quorum or something like that, so how would we handle the  
24 verbiage?

25  
26 **DEPUTY CITY ATTORNEY EARLY** – Well, that's where we need to kind of get  
27 consensus of which of those three options the Commission wants to go with. All  
28 three of them are viable options for you that's why I want to kind of address that  
29 before we tweak the following ones because one is kind of dependent on the  
30 other, so you may want to have some discussion to see which way you go. My  
31 opinion from a legal standpoint, the less change the better, if from a challenging  
32 standpoint. So from a perspective solely for protecting against challenge, my  
33 preference is not to have an alternate at all. If we have to have an alternate, my  
34 preference is that once an alternate is seated they stay there forever, and then if  
35 that alternate is gone that not another layer of change is coming whether it is an  
36 alternate or an original Commissioner. Those will be my preferences from  
37 protecting against a legal challenge point of view, but all of them are viable, all of  
38 them are legal, I believe. And, it is really being left to you. The Council has kind  
39 of left that decision to you.

40  
41 **CHAIR LOWELL** – But, let me interject a little bit more. In following down that  
42 line of less change is better, would it be better not to have the option of seating  
43 an alternate half way through a hearing so if they miss day one and then an  
44 alternate wanted to jump in on day two, it wouldn't happen? So, basically what  
45 I'm saying is that, if Lori is here today and we had an item that was continued to  
46 our next meeting, Lori would be here regardless and there would be no option for

1 somebody to fill in. So, if I was absent at the next meeting and we were in the  
2 middle of an item, my seat would just stay vacant.

3  
4 **DEPUTY CITY ATTORNEY EARLY** – Yes, but let me qualify that with we  
5 already have a practice, and it’s fairly normal not just here but everywhere,  
6 without alternates being in the picture at all if a Commissioner was absent for the  
7 first half of the hearing they could come in on the second half if they have  
8 certified that they caught themselves up. So putting somebody in half way in and  
9 of itself isn’t a problem for me. I just want to reduce the amount of times that that  
10 happens.

11  
12 **CHAIR LOWELL** – Well what I was kind of hinting towards was continuity, so  
13 whatever governing body appear and heard the opening of the item should be  
14 there for the closing of the item, but no substitutes half way through.

15  
16 **COMMISSIONER VAN NATTA** – In other words, if there is someone who is  
17 vacant when the item is called, if the position is vacant when the item is called,  
18 you would call up an alternate. If the position was not vacant when the item was  
19 called, even if it becomes vacant during the process of multiple hearings, an  
20 alternate would not be brought in in the middle of the hearing item.

21  
22 **DEPUTY CITY ATTORNEY EARLY** – Right, you’ve certainly identified a fourth  
23 option there. I am looking back at the ordinance to make sure how it’s written  
24 and what that would allow or disallow, and it just states if a regular Member of the  
25 Commission is absent for any reason at all or any part of a regular or special  
26 meeting so it does not identify it by hearing. I would think that that’s an  
27 interpretation that is being left to the Planning Commission pursuant to that  
28 ordinance, so I would feel comfortable saying that that’s a fourth option.

29  
30 **CHAIR LOWELL** – Well, we would still have the option that if a Commissioner  
31 was absent and both alternates were absent and we had a completely vacant  
32 seat at the beginning of the hearing that either the regular Commissioner or  
33 either of the alternates when they became available at the following meeting  
34 would still have the option of reading, watching, or catching up to speed with  
35 what happened at the previous meeting and still be able to fill that vacancy half  
36 way through. But, it would not be a change of seat. It would just be filling a  
37 vacancy that was already vacant.

38  
39 **PLANNING OFFICIAL SANDZIMIER** – Let me make a suggestion just for  
40 consideration. If a regular Commissioner is absent from a meeting there is still  
41 all the other business on an Agenda, and sometimes there are multiple items on  
42 an Agenda, so an alternate could be called up to fill the seat that is vacant to  
43 conduct their business on all the items on the Agenda. But if there is a continued  
44 item on the Agenda one option would be for the alternate, if there still is a  
45 quorum, to recuse themselves from that particular continued discussion on that  
46 particular public hearing. That would be one option so they could participate in

1 the meeting for, say you got five items on there. They participate for four and  
2 one is a continued item. Since they did not participate in the first one, they'd just  
3 recuse themselves and there is just six members involved in that particular item.

4  
5 **DEPUTY CITY ATTORNEY EARLY** – We could certainly draft language for  
6 public hearing purposes.

7  
8 **CHAIR LOWELL** – As a point of clarity, if that was the situation, I think that the  
9 person that is sitting up in the vacant seat should still be able to participate in  
10 discussion but just not have a vote.

11  
12 **PLANNING OFFICIAL SANDZIMIER** – Similar to the way they do it maybe in  
13 San Marcos or was it La Habra Heights? The one that sits there. I think it's the  
14 one in La Habra Heights you said sits up there.

15  
16 **CHAIR LOWELL** – I have it written down. City of La Habra Heights.

17  
18 **PLANNING OFFICIAL SANDZIMIER** – They do participate in the discussion, but  
19 they do not have a vote.

20  
21 **VICE CHAIR SIMS** – You know, I'm going to bite my comments on this. Just for  
22 rule making, just jump in and do it. Just for the rule making procedures here, I  
23 think there has to be part of the transparency of the process of a public hearing is  
24 the interaction of the Planning Commissioners through the process of the  
25 Applicant, the Staff, hearing the public comments and so forth and so on. I think  
26 it's inherently difficult for any kind of transparency and continuity of process to  
27 have alternates come up that say, oh I reviewed the video but not been part of  
28 the participative process. So in the scenario that a public hearing starts, regular  
29 Commissioners are all present, goes and gets continued, goes to second  
30 meeting and regular Commissioner is gone, alternates get seated. That  
31 Commissioner regardless if they said yeah I looked at the thing we not part of the  
32 participative process. It is inherently unfair to the rest of the Commissioners  
33 because during the participative part of the thing one of the Commissioners I  
34 value the input from all of my Commissioners. We all come from different  
35 backgrounds and they will see something at a different spot and through the  
36 going back and forth and discussing they ask a question, or we question one  
37 another, the mind moves forward in the decision-making process. In the  
38 absence of that, the alternate does not get that opportunity. They may have a  
39 question, but they cannot ask and get answered. Second of all, if the alternate  
40 comes up in the continued meeting, then all the participants that were in the  
41 meeting that made it, the public, the applicant, their consultants, whoever may  
42 not be there to ask a particular question that upon review of the video the  
43 alternate couldn't ask and so it stymies due process of a public hearing. It just  
44 inherently is bad. It should be the policy the procedure has for business to be  
45 conducted by a quorum of the regular Planning Commission, and in the absence  
46 of that you know, if you don't have a quorum you don't have a meeting so I

1 personally think the ordinance is not a well thought out ordinance. I could go on.  
2 I'll reserve my comments because I can feel myself getting worked up. I just  
3 think we have to come up with rules, and so I will participate in the rule-making  
4 process so we can have a point of order to go forward. If we have a seating  
5 person, I do believe if they're not there for all of the public hearing they should  
6 not be sat in because it stymies the process. If they're not in, they're out at the  
7 beginning. If they're like, for instance tonight if Commissioner Nickel is here and  
8 we were in a public hearing process, then that Commissioner should stay on for  
9 the entire meeting. It's clean, it's done. The regular Commissioner just would  
10 have to sit out. It's just that simple. They are fully vested in the participant  
11 transparent procedure. That's my two cents.

12  
13 **COMMISSIONER VAN NATTA** – I think the easier way to address that, and I  
14 agree with you. I think that's correct, and it makes it a lot simpler, but we have to  
15 differentiate between the meeting and the hearing. You know, the item and the  
16 meeting as in the date that they're here. And, if we were to put in there that in  
17 order for an alternate to participate in an item they have to be seated at the  
18 beginning of that item and then they are the Commissioner for that seat for that  
19 entire item.

20  
21 **CHAIR LOWELL** – That's what Number 3 says.

22  
23 **COMMISSIONER VAN NATTA** – Yeah, but then that would take 5 where it says  
24 that they could be seated if they said that they had heard all of the rest of the  
25 earlier testimony they could be seated. And, I agree with you. I think there is a  
26 lack of transparency, a lack of process, if the person who is voting on that item  
27 was not actually a participant in that entire hearing. And so if you're going  
28 through an item, and it's continued to another night and the Commissioner is not  
29 available on that second night, you would not seat an alternate in the middle of  
30 hearing that one item.

31  
32 **CHAIR LOWELL** – Yeah, I'm thinking Number 5 needs to be either stricken or  
33 rewritten.

34  
35 **COMMISSIONER VAN NATTA** – The last sentence is good.

36  
37 **DEPUTY CITY ATTORNEY EARLY** – Yeah, and I am starting to hear a  
38 consensus, but I don't quite know if I have four yet to say that that's the direction  
39 we want to go is to close it off to allowing an alternate to be seated in the middle  
40 of a continued public hearing, which I think is the debate that I'm hearing.

41  
42 **CHAIR LOWELL** – I think the alternate is being confused that is seated at the  
43 beginning of a hearing for a specific item should be the person responsible for  
44 the entire duration of that specific hearing item.

45  
46 **VICE CHAIR SIMS** – I agree.

1 **CHAIR LOWELL** – I think changing seats in the middle of a hearing is a bad  
2 idea, and the more and more I wrap my brain around it I kind of like the idea of  
3 consistency throughout that specific item.

4  
5 **DEPUTY CITY ATTORNEY EARLY** – Alright, I’m seeing at least four nods there,  
6 so we can certainly address that.

7  
8 **PLANNING OFFICIAL SANDZIMIER** – What I’m hearing in there is the absence  
9 of a Commissioner doesn’t mean the alternate can’t be seated for the purpose of  
10 the meeting.

11  
12 **DEPUTY CITY ATTORNEY EARLY** – Correct.

13  
14 **PLANNING OFFICIAL SANDZIMIER** – On that particular item on the Agenda,  
15 like if they had a conflict, you would recuse yourself.

16  
17 **DEPUTY CITY ATTORNEY EARLY** – Correct.

18  
19 **PLANNING OFFICIAL SANDZIMIER** – Same process.

20  
21 **COMMISSIONER VAN NATTA** – Step down.

22  
23 **PLANNING OFFICIAL SANDZIMIER** – So just for that item, but they still  
24 participate in the rest of the meeting.

25  
26 **COMMISSIONER VAN NATTA** – Yes.

27  
28 **PLANNING OFFICIAL SANDZIMIER** – So anything that is an original item on  
29 the Agenda basically.

30  
31 **DEPUTY CITY ATTORNEY EARLY** – Yeah.

32  
33 **CHAIR LOWELL** – So say we had a full body of all seven Commissioners up top  
34 and meeting one they’re all present, but a hearing item was continued to day two  
35 and for whatever reason on day two the Planning Commissioner was absent for  
36 the entire meeting, an alternate would be called up to sit for that entire meeting.  
37 But, on that specific hearing item, wouldn’t be allowed to vote. They could  
38 participate but just not vote.

39  
40 **COMMISSIONER VAN NATTA** – Well they wouldn’t even be participating. I  
41 would be like a recusal where they would step down for that item and not be a  
42 participant for that item and then come back for the rest of the meeting. I don’t  
43 think they’d need to physically leave like you do in a conflict of interest scenario.

44  
45 **CHAIR LOWELL** – I think participation would be okay, but I think for continuity, I  
46 think voting should be nulled. But I’ll defer to rest of this.

1 **VICE CHAIR SIMS** – I don't think they should be able to even participate in it. If  
2 they are not part of the original part of the public hearing that is being held, they  
3 should not be able to participate with the whole.

4  
5 **COMMISSIONER VAN NATTA** – Yeah, I agree.

6  
7 **VICE CHAIR SIMS** – Because it mucks it up for the process. I think from a legal  
8 standpoint it's just fraught with potential for challenge, and there are going to be  
9 procedural problems. It's all going to be the devil in the detail on any kind of  
10 challenge on a significant project that we're self-building challenges into our  
11 procedural process. I still don't understand why we're doing this because it's  
12 very clear we can continue with business as a city with a quorum of the regular  
13 Commissioners. But, anyhow, so be it. It's just the less that we have of  
14 fluctuation, and you have transparency in the participation, I think is less  
15 susceptible to challenge.

16  
17 **COMMISSIONER KORZEC** – Could I say something? I think if you have  
18 someone visually sitting up here not being allowed to vote, it sends a very  
19 conflicting message to the people in the audience. Everyone sitting there is  
20 going to think well why is that person sitting there? They can't vote. I think  
21 visually it sends a message of some sort of inconsistency. And, if they're not  
22 allowed to vote, I think the seat should be empty.

23  
24 **PLANNING OFFICIAL SANDZIMIER** – Okay, so what I think I am hearing there  
25 is they can leave the dais. They don't necessarily have to leave the room.

26  
27 **CHAIR LOWELL** – Correct.

28  
29 **PLANNING OFFICIAL SANDZIMIER** – They can sit in the audience. Like in a  
30 recusal when you have a conflict you actually have to leave the room, but in this  
31 particular situation what I think I'm hearing is the Commissioner would step down  
32 and sit in the audience. Now, one other thing that was brought up was if an  
33 original Commissioner is there and was absent at a second meeting, but it goes  
34 to a third, in this particular situation it sounds like to me that the original  
35 Commissioner would resume the seat at the third hearing if they're available for  
36 that meeting so long as they also brought themselves back up to speed on  
37 whatever took place at the second hearing, or whatever meeting they missed if  
38 there were multiple meetings. Is that something you were considering also, or  
39 once a Commissioner misses the second of possibly multiple meetings, are they  
40 out?

41  
42 **CHAIR LOWELL** – No. I think the rules would still apply where you could catch  
43 yourself up and be reseated for the rest of the items, which is the way we've  
44 been operating.

45

1 **PLANNING OFFICIAL SANDZIMIER** – And that will also apply to the alternate  
2 so the alternate started and the alternate wasn't available for the second  
3 meeting, but it went to a third meeting and the alternate brought themselves up to  
4 speed, they still continue with that item.

5  
6 **CHAIR LOWELL** – Correct. I believe that's what we were going for.

7  
8 **DEPUTY CITY ATTORNEY EARLY** – Yeah, you would have to treat it that way if  
9 you were going to go down this path.

10  
11 **COMMISSIONER VAN NATTA** – Well and that brings the question of does that  
12 constitute participation in that center portion. Let's say we have something that  
13 goes three nights. Someone is here for the first night. They are not here for the  
14 second night. They are back for the third night because I know we talked once  
15 before about attendance, you know, by telephone or by Skype or something like  
16 that.

17  
18 **CHAIR LOWELL** – They would have every option that all the rest of us do to  
19 attend via telephone at a remote location.

20  
21 **COMMISSIONER VAN NATTA** – Would that be the way that the attendance for  
22 that missing meeting would be satisfied, or would the option of listening to the  
23 tape or reading the transcript be an option for the missed portion of the meeting  
24 for either a Commissioner or an alternate?

25  
26 **CHAIR LOWELL** – I think the rules should apply globally.

27  
28 **COMMISSIONER VAN NATTA** – Yes.

29  
30 **CHAIR LOWELL** – If we have specific rules saying that if a Commissioner wants  
31 to attend the meeting remotely, an alternate Commissioner would have that  
32 same ability should the situation arise where it's a continued meeting and they're  
33 used. But, in order to be initially seated for an item, they have to be physically  
34 present. If they are not physically present, we cannot.

35  
36 **DEPUTY CITY ATTORNEY EARLY** – It doesn't matter because you can  
37 agendize the telecommunication, which has to be done in advance so that  
38 wouldn't be an issue. It would have to be physically present for an alternate to  
39 be served.

40  
41 **CHAIR LOWELL** – But, as far as using an alternate over multiple dates, if they  
42 miss one they can catch up to speed again as long as it is that same person for  
43 the entire hearing.

44  
45 **DEPUTY CITY ATTORNEY EARLY** – It would be treated the same as a regular  
46 Commission Member.



1 **COMMISSIONER VAN NATTA** – But, is that an option that regular  
2 Commissioner Members have now under our current Rules of Procedure?

3  
4 **DEPUTY CITY ATTORNEY EARLY** – Yes.

5  
6 **COMMISSIONER VAN NATTA** – To catch up?

7  
8 **DEPUTY CITY ATTORNEY EARLY** – Yes.

9  
10 **COMMISSIONER VAN NATTA** – Rather than to remotely attend?

11  
12 **DEPUTY CITY ATTORNEY EARLY** – Yes, and the rules as they are being  
13 suggested right now would be furtherance of that because if you were present at  
14 the first and absent for the second, and it went to the third, there wouldn't be an  
15 alternate that would be placed in their spot so it would still be the one-body rule  
16 or the one person per hearing. But, you could have two different people sitting in  
17 a seat over the course of a meeting.

18  
19 **COMMISSIONER VAN NATTA** – Yes.

20  
21 **DEPUTY CITY ATTORNEY EARLY** – Because of that you might have an  
22 alternate that comes up because she was the one who was at the first part of that  
23 public hearing portion of that meeting, so you could have some musical chairs  
24 that occur during any given meeting rarely. But that would certainly and, as  
25 some of the Commissioners have stated, would be legally cleaner.

26  
27 **VICE CHAIR SIMS** – So, while I'm hot, can I warm up? I think I'm warmed up,  
28 before I get hot.

29  
30 **COMMISSIONER VAN NATTA** – Did we get that pretty well covered to where  
31 you know?

32  
33 **DEPUTY CITY ATTORNEY EARLY** – I think I have a pretty good idea of what I  
34 need to do with respect to items G3 and G5 to meet those concerns. I'm going to  
35 go back and look at ordinance 890 as well since we already have that on the  
36 table with the Council. We may want to make sure that the language of that  
37 further supports this so that we don't have a situation where we are in conflict  
38 with what the Council's intent was. And, since we've already got a Council  
39 Member who is looking at supportive of those amendments, it's a good time to do  
40 that.

41  
42 **CHAIR LOWELL** – Just out of curiosity, item G5 where it's talking about being  
43 able to catch up to speed on an item, I don't see that in our regular Rules of  
44 Procedure for everybody else.

45  
46 **COMMISSIONER VAN NATTA** – I didn't either. That's why I asked.

1 **DEPUTY CITY ATTORNEY EARLY** – I was looking for it as well. It’s not there.  
2 It’s covered by case law, so it does exist. It does happen.

3  
4 **CHAIR LOWELL** – Specifically call that in our rules.

5  
6 **DEPUTY CITY ATTORNEY EARLY** – Right, but we can add that to our rules for  
7 all Commissioners as a blanket statement.

8  
9 **COMMISSIONER VAN NATTA** – I think quite likely when the rules were first  
10 written many years ago some of these options were not always available.

11  
12 **DEPUTY CITY ATTORNEY EARLY** – Right.

13  
14 **CHAIR LOWELL** – In digging out a rabbit hole a little bit further, item number G6  
15 where it says alternate Members may participate in discussion and debate of an  
16 Agenda item only if seated as a voting Commissioner, I forgot what I was going  
17 to say.

18  
19 **VICE CHAIR SIMS** – Oh, no.

20  
21 **CHAIR LOWELL** – Dang it.

22  
23 **VICE CHAIR SIMS** – Oh, no.

24  
25 **ALTERNATE COMMISSIONER NICKEL** – Can I make a...

26  
27 **CHAIR LOWELL** – Yeah, by all means.

28  
29 **DEPUTY CITY ATTORNEY EARLY** – Yes.

30  
31 **ALTERNATE COMMISSIONER NICKEL** – Okay. I just want to make sure that  
32 when an alternate is not seated and voting and not in the course of the debate  
33 with fellow Commissioners that they still have the right to public comment on a  
34 public hearing item.

35  
36 **DEPUTY CITY ATTORNEY EARLY** – Any Commissioner or alternate, same  
37 goes for a Council Member, always has the right to leave the dais and go make  
38 public comment. It is an absolute right as a citizen that you do not give up by  
39 becoming a Commissioner or a Council Member or anything else.

40  
41 **ALTERNATE COMMISSIONER NICKEL** – Alright.

42  
43 **DEPUTY CITY ATTORNEY EARLY** – However, as is always the case with us  
44 lawyers.

45  
46 **ALTERNATE COMMISSIONER NICKEL** – Yes.

1 **DEPUTY CITY ATTORNEY EARLY** – I advise strongly against it because, once  
2 you do that, you are creating an appearance of bias if not an actual bias for  
3 which you will not be able to adjudicate should you be called as an alternate at a  
4 future date.

5  
6 **ALTERNATE COMMISSIONER NICKEL** – Good point.

7  
8 **DEPUTY CITY ATTORNEY EARLY** – You’re somewhat disqualifying yourself by  
9 doing that in some cases, so it’s an opportunity that you have lawfully to do to get  
10 up at public comment on an item. But, by doing so, you may be foreclosing your  
11 opportunity to serve on an item that comes...

12  
13 **CHAIR LOWELL** – But what we just discussed is that, if that item is already up  
14 for public comments, the Commissioners that are seated up here would be the  
15 permanent body for that specific item. So, if an alternate is in the audience, they  
16 could still talk and they wouldn’t have any option to vote.

17  
18 **DEPUTY CITY ATTORNEY EARLY** – Yes, but as you know sometimes the  
19 same or similar item or similar developer or similar project will come before the  
20 Commissioner for which they may be called as an alternate and that comment  
21 from the past may be related.

22  
23 **CHAIR LOWELL** – The bias, gotcha.

24  
25 **DEPUTY CITY ATTORNEY EARLY** – So, again, you can do it. I just don’t  
26 suggest it.

27  
28 **ALTERNATE COMMISSIONER NICKEL** – I would defer to the Attorney and  
29 Staff.

30  
31 **PLANNING OFFICIAL SANDZIMIER** – Well one thing I would also throw out  
32 there is, if any Commissioner or Council Member chose to do what the attorney  
33 said here, they are going to be limited to public speaking once in an item. The  
34 same amount of time of anyone else from the public, so they wouldn’t be treated  
35 as you guys as Commissioners get to debate and go back and forth and might  
36 have multiple times to speak. I would hope that you guys are understanding that,  
37 whether you as a Commissioner or an alternate was to go down at the podium,  
38 they can’t come back and forth and participate multiple times.

39  
40 **DEPUTY CITY ATTORNEY EARLY** – And, I’m going to carry that one step  
41 further. Thinking in terms of conflict of interest, if you have a project that you’re  
42 within the radius of for conflict purposes even if you’re an alternate, I would  
43 suggest that you leave the room as a regular member would do. Even if you’re  
44 not being seated and you don’t speak on the item because even as an alternate  
45 you may be, and this is uncharted territory for me legally just because the  
46 alternate thing isn’t widely used so we don’t have the case law to tell us what

1 would happen, but my interpretation is that you would be treated the same as  
2 any other member of the body even as an alternate.

3  
4 **ALTERNATE COMMISSIONER NICKEL** – Yes, I would concur with that.

5  
6 **DEPUTY CITY ATTORNEY EARLY** – Mr. Sims.

7  
8 **VICE CHAIR SIMS** – A couple things. I think I had comments the last time about  
9 this when we were talking about this, but typically in a business or any kind of  
10 organization where you're establishing policy you're working towards a strategic  
11 rationale or business case why you would make policy or why are we going to do  
12 something. So I was remised for not raising my hand to be part of the Ad-hoc  
13 Committee, but primarily I would have asked the question of the Council what  
14 was the intent? Why? It's because there's nothing in the ordinance that leads  
15 you to understand the rationale for doing this. From a policy standpoint, I mean I  
16 think the attorney has clearly provided that there are issues with this. You know,  
17 it could be worked out. Apparently, there have been cities that have established  
18 rules, 30-year-old rules, with some kind of procedure for alternates. But, at the  
19 end of the day, I am going to repeat myself from what I said the last time. In the  
20 absence of knowing why we're doing this, you have to look at things in the  
21 extreme. If it was legally possible, how does the City Council conduct business  
22 when one of the regular Council people is not in attendance. If there is a quorum  
23 or the Council, they continue doing their business regardless if it's a public  
24 hearing, regardless if it's public comments, regardless if it's a consent item. It  
25 just goes forward. I don't understand what that is. If you could have an alternate  
26 Councilperson for each of the divisions maybe that, but look at it in the extreme.  
27 Second of all, the ordinance is strictly applicable only to the Planning  
28 Commission. There are many other Commissions that the city does business  
29 through that provide discretionary advice to the council to consider in making  
30 business with the city. No of the other Commissions are prescribed to have  
31 alternates. I think it is inherently discriminatory. It makes no commonsense.  
32 Third, if you take it to the extreme, if we had a public hearing tonight and this is a  
33 very good night for this, regular Commissioner Barnes is absent. Alternate  
34 Commissioner Nickel's is here. I forgot the other alternate Commissioner's  
35 name, but he's absent tonight. I get sick right now. I can't make it. What  
36 happens? Do we stop business if the intent was you're supposed to have a  
37 seated Commissioner in every one of these chairs? We've defeated the purpose  
38 of the alternates because now we have an empty seat. It just seems we're sitting  
39 here picking fly specks from pepper on rules that we don't have any  
40 understanding of the intent of what the purpose is for this. It just seems  
41 incredible to me. Anyhow, I'm done. I'm off my soapbox. I'll go back to sleep.

42  
43 **CHAIR LOWELL** – I think the ordinance should be removed, but...

44  
45 **VICE CHAIR SIMS** – Well it can be. It can be repealed, and I'm not so  
46 guaranteed that, if we repeal the ordinance they're superseded, we could do that.

1 We're talking about doing an amendment. They can amend this thing to  
2 supersede it and resend it.

3  
4 **CHAIR LOWELL** – Correct and currently we're trying to figure out how to deal  
5 with the cards we were dealt so.

6  
7 **COMMISSIONER BAKER** – Chairman, I want to make one comment. When this  
8 first came up, and excuse my voice here, the idea of this was like to have a  
9 couple ordinances ready to go when somebody either moved on to another  
10 venue or whatever, not this voting alternate deal. That wasn't the way I  
11 understood this. When we discussed this, it was to have one or two people in  
12 the wings that's already been vetted ready to come up here to take whether it  
13 would have been Jeff Giba's place or when the gal left, Amber Caruthers. That's  
14 the way I thought it was supposed to be, not to have an alternate to come in here  
15 to fill in the meeting but to fill in a vacancy. Am I wrong on this? That's the way I  
16 understood it.

17  
18 **COMMISSIONER VAN NATTA** – That was when we first talked about it.

19  
20 **COMMISSIONER BAKER** – Back when we first talked. Not this rotating deal in  
21 and out, and I'm not against that. But, I think this is really complicated. I mean,  
22 I'm sitting up here and I don't totally understand, and I don't know how the public  
23 would. That's just my opinion on it.

24  
25 **PLANNING OFFICIAL SANDZIMIER** – If I may just interject. I believe in the  
26 meeting we did have with Councilmember Giba that question was somewhat  
27 asked and I think the reply, though it wasn't real detailed, was that an opportunity  
28 for more participation from the city that there was an expressed interest that  
29 there's a lot of people I guess that want to be engaged in city business, and this  
30 was perceived as an opportunity for that. I think the Commissioners that might  
31 have been present may have heard it and interpreted it differently, but that's what  
32 I did hear. Just for the benefit of the Commission, I have asked the question.

33  
34 **CHAIR LOWELL** – That's, that's the way I interpreted it also. The original intent  
35 when we originally talked about this months and months, maybe even a year or  
36 so ago, was the idea to have an alternate sitting in the wings not to participate in  
37 the regular meetings but to be readily available to fill a seat should a permanent  
38 vacancy happen. And, in my tenure on the Commission, we've had two seats  
39 vacant for a grand total of, I think, 12 or 13 months so we've had one seat  
40 permanently open for the better part of a year. But, these alternates, it would be  
41 nice to pick one out of the wings and set them up here. But, that original intent  
42 has been extrapolated upon and now we have revolving alternates for random  
43 items. But, I'm not going to argue that point. But, I think what we're doing today  
44 trying to figure out how to accommodate the cards we are dealt, I think we've  
45 made good headway. The Ad-hoc Committee, I think we did a decent job talking  
46 to Councilmember Giba and yourself, and I think we've made good headway.

1 **ALTERNATE COMMISSIONER NICKEL** – Chairman Lowell, I believe there is  
2 an advisory committee that two alternates. Is that the Emerging Leader’s Staff  
3 now?

4  
5 **PLANNING OFFICIAL SANDZIMIER** – I’m not aware of the makeup of that  
6 particular body.

7  
8 **ALTERNATE COMMISSIONER NICKEL** – Yeah, okay.

9  
10 **VICE CHAIR SIMS** – It just seems if the council is going down a path to have  
11 alternate Commissioners, if it’s good for one Commission it should be good for all  
12 Commissions. If it’s good for the Commissions, why isn’t it good for the council?  
13 I think it just, when you, when you look at public policy and setting up  
14 governments, you have to look at the extremes. You have to look at the far ends  
15 of the bookshelf to see if you fit in between those bookends. This is very  
16 complicated, you know, and...

17  
18 **ALTERNATE COMMISSIONER NICKEL** – Commissioner Sims, I believe the  
19 reason you don’t have alternates for council members is the fact that the council  
20 members are voted in and elected to office.

21  
22 **VICE CHAIR SIMS** – I understand that but you could, perhaps the attorney will  
23 probably tell me I’m full of wet noodles, but you know it could be you do a city  
24 charter and create your own chart. I don’t know if that’s even possible in the  
25 Constitution of California, but anyhow I’m just using it for illustrative purposes, if  
26 it’s good for one Commission why isn’t it good for all the Commissions if the idea  
27 is you’re trying to conduct business? If it’s going to be for greater participation  
28 then we should have alternates for all the Commission. We should just have a  
29 procedure for all of it.

30  
31 **CHAIR LOWELL** – How about we propose that when a councilmember is absent  
32 the Planning Commission Chair gets to sit in.

33  
34 **VICE CHAIR SIMS** – Amen. I like that.

35  
36 **DEPUTY CITY ATTORNEY EARLY** – Be careful what you ask for.

37  
38 **COMMISSIONER VAN NATTA** – Actually in...

39  
40 **DEPUTY CITY ATTORNEY EARLY** – We have our alternates from the Planning  
41 Commissioners on an alphabetical basis.

42  
43 **COMMISSIONER VAN NATTA** – Actually when in speaking to having the more  
44 participation that we were talking about to have more participation in City  
45 Government and so forth, there was a point which we could of gone to more  
46 Council Districts when the vote was put out there for to have an elected Mayor. It

1 was like okay we have five Council Districts, are we going to four or are we going  
2 to go to six so that we still have an even number? That would have been a good  
3 opportunity to allow more participation by more people, but when it comes right  
4 down to it, I would have preferred that we not have to deal with this ordinance at  
5 all. I felt like if it ain't broke, don't fix it. We have not had a problem with not  
6 having enough members here for a quorum the entire time I've been sitting on  
7 this Commission, but as our Chair so aptly said, this is the hand we're dealt. We  
8 have to deal with it and work out the details and make it work as best we can.

9  
10 **PLANNING OFFICIAL SANDZIMIER** – If I could just jump in real quick. I  
11 checked real quick and...

12  
13 **COMMISSIONER VAN NATTA** – Thank you.

14  
15 **PLANNING OFFICIAL SANDZIMIER** – And there are two alternates identified  
16 for the Emerging Leaders Council, along with seven members so.

17  
18 **CHAIR LOWELL** – I had a comment on item G, Order of Meetings G1B. We  
19 were talking about, on the previous set of items.

20  
21 **PLANNING OFFICIAL SANDZIMIER** – Okay, yeah.

22  
23 **CHAIR LOWELL** – Where we have...

24  
25 **PLANNING OFFICIAL SANDZIMIER** – Okay, you're in Section 2 now?

26  
27 **CHAIR LOWELL** – Correct, Section 2-Meetings.

28  
29 **PLANNING OFFICIAL SANDZIMIER** – Moving on? Page 6?

30  
31 **CHAIR LOWELL** – Section 2B1B, page 6. The very last line of the item read, on  
32 part B, where it says members present and absent shall be recorded including  
33 any alternate members. Alternate members shall be seated on the Commission  
34 if necessary. If all regular Commissioners are present and no conflicts of interest  
35 have been announced or appear to be likely the alternate member may be  
36 excused and review the video or transcripts of the meeting in lieu of attendance.  
37 I think the last half of that last sentence where it says and review the video or  
38 transcripts of the meeting in lieu of attendance, is that going towards being able  
39 to substitute should you be called upon or is that just...

40  
41 **DEPUTY CITY ATTORNEY EARLY** – I believe that was Commissioner...

42  
43 **COMMISSIONER VAN NATTA** – That goes, that goes back to the paragraph  
44 that says they shall attend all meetings.

45  
46 **DEPUTY CITY ATTORNEY EARLY** – Okay.

1 **COMMISSIONER VAN NATTA** – That’s in the current...

2  
3 **CHAIR LOWELL** – So that’s a way of letting them go home and not having to sit  
4 here for the entire meeting?

5  
6 **DEPUTY CITY ATTORNEY EARLY** – That was my understanding. I believe that  
7 was...

8  
9 **CHAIR LOWELL** – Yes.

10  
11 **DEPUTY CITY ATTORNEY EARLY** – Commissioner Van Natta’s suggestion  
12 was that if we knew that they were that they were not going to be needed for an  
13 entire that they would be given the option to stay, or if they wanted to leave they  
14 could leave and watch it from home or later; do what they wanted to do.

15  
16 **COMMISSIONER VAN NATTA** – Of course it would be nice if the primary one  
17 stayed just in case something did come up and...

18  
19 **DEPUTY CITY ATTORNEY EARLY** – Everybody is comfortable with that one?

20  
21 **CHAIR LOWELL** – Thoroughly beaten this one.

22  
23 **DEPUTY CITY ATTORNEY EARLY** – We got one major issue left to discuss and  
24 that’s one page 9, 11 and this that alternate members shall not be used to count  
25 towards a quorum. The concern here was that if there were two regular  
26 members present and we sat two alternate members would that constitute a  
27 quorum able to conduct business, and the feeling of the subcommittee was that,  
28 no, they wanted to ensure that there were at least four regular members were  
29 present at any given hearing and that the alternates would be used to fill the  
30 remaining vacant chairs but not to constitute a quorum, so that is how this was  
31 proposed to you at this point. That’s the only other significant item I think that  
32 we’d like to get your feedback on.

33  
34 **CHAIR LOWELL** – I think that works.

35  
36 **PLANNING OFFICIAL SANDZIMIER** – I’m okay with it.

37  
38 **DEPUTY CITY ATTORNEY EARLY** – Okay, we will leave that as is. Alright so  
39 the only change that I have, and it is a significant one so we’ll want to redraft this  
40 and get it circulated and back out, but it was with respect to the use of alternates  
41 in the middle of a continued Public Hearing. And, it will modify the language of  
42 1G3 and 1G5 to how to handle those situations in such a way that whoever starts  
43 a Public Hearing whether it’s nobody, a regular member, or an alternate member  
44 will be the way the Public Hearing is finished.

45



1 **CHAIR LOWELL** – Do we have the option, if the hearing is continued and the  
2 original vacant one seat was vacant, do we have an option of filling that with the  
3 regular Commissioner?  
4

5 **DEPUTY CITY ATTORNEY EARLY** – That would be a decision, that’s not the  
6 direction I currently have, but if that’s the way we want to go, I’ll certainly draft it  
7 that way.  
8

9 **CHAIR LOWELL** – But if it was blank to begin with do we want to leave it a  
10 vacant seat, or do we want to have the option of filling it with the regular  
11 Commissioner?  
12

13 **COMMISSIONER KORZEC** – If you’re not there for the initial one, you shouldn’t  
14 be there. That was the whole discussion of that continuity.  
15

16 **DEPUTY CITY ATTORNEY EARLY** – That will make the entire thing very easy.  
17

18 **COMMISSIONER VAN NATTA** – I think that’s important because when it, when  
19 the item is opened is when we have the Staff Report, it’s when you have the, the  
20 applicant’s report. It’s when the, the meat of it is, if there is a continuance it’s  
21 usually so that you can hear public comment, which can be listened to on video  
22 or right on the transcript.  
23

24 **DEPUTY CITY ATTORNEY EARLY** – Well then what you’ll see is a much  
25 simpler approach because it will apply evenly whether you’re an alternate or a  
26 regular Commissioner, so it’ll just to be in the Public Hearing sections with that  
27 generalized statement.  
28

29 **COMMISSIONER VAN NATTA** – Now but that will still... You’ll still have  
30 something, we were talking about something that isn’t in here about if a portion of  
31 the meeting is missed after the initial, which you’re going to take care of, if a  
32 portion of the meeting on a continued meeting is missed, but the person was...  
33

34 **DEPUTY CITY ATTORNEY EARLY** – The A blank A situation?  
35

36 **COMMISSIONER VAN NATTA** – Yeah, the A blank A. Yeah, you know what I’m  
37 talking about.  
38

39 **DEPUTY CITY ATTORNEY EARLY** – Still allowing for that which...  
40

41 **COMMISSIONER VAN NATTA** – Still allowing for that either with an alternate or  
42 with the Commissioner...  
43

44 **DEPUTY CITY ATTORNEY EARLY** – Whoever starts it finishes it, but they can  
45 fill in for an absence.  
46

1 **COMMISSIONER VAN NATTA** – Yeah, as long as they have an opportunity to  
2 listen to the video or read the transcript.

3  
4 **DEPUTY CITY ATTORNEY EARLY** – Sounds good to me. I get nods all  
5 around, or at least four of them? I gotcha, okay.

6  
7 **CHAIR LOWELL** – Any other comments or discussion on this item?  
8

9 **PLANNING OFFICIAL SANDZIMIER** – Mr. Chairman, while you were talking  
10 about the Rules of Procedure at the last meeting, we had talked a little bit about  
11 large crowds and big meetings. Since we are talking about the Rules of  
12 Procedure, and we do have the alternates here and we do have the likelihood of  
13 a big item coming up, I just want to let you know that you are open to discuss  
14 some of these things for clarification like under Rules of Testimony. But I wanted  
15 to point out a question that had come up before about the amount of time  
16 allocated to a speaker. We did look through our ordinances and our Municipal  
17 Code. We did not find anything that specifies that Speakers are granted or  
18 guaranteed a certain amount of time, except that on our posted Agendas if you  
19 look on the bottom of the posted Agenda this evening under Public Comments  
20 Procedure as a rule, there is kind of a rule of thumb so to speak. We have  
21 always included in that little disclosure at the bottom that the members may be  
22 limited to three minutes. There is no requirement for the few minutes and we  
23 also on our Speaker Cards do have the same kind of disclosure. Under the  
24 Rules of Testimony, the Commission as a whole, does have some flexibility on  
25 how to control testimony or how to kind of manage the large volume so I just  
26 wanted to throw those out there tonight in case that is still in the interest of the  
27 Commission.  
28

29 **CHAIR LOWELL** – Correct that was my understanding also that as a body we  
30 have the option of seeing whose in the audience and can adjust the public  
31 speaking time accordingly. So, if we have ridiculousness, say we had a  
32 thousand people wanting to speak on a specific hearing item instead of having  
33 the time limit set to three minutes, we have the flexibility to adjust it to say two  
34 minutes or two-and-half minutes. Whatever we decide or we could even extend  
35 it to four or five minutes if we choose. It's depending on the way the audience  
36 feels and what our interpretation of how the meeting is going to progress.  
37 Similarly, if people wanted the exact same thing again and again and again, we  
38 could ask everybody to kind of group together and say these 25 people want to  
39 say that the sky is blue and fine. We understand 25 people say that, and it's a  
40 way of expediting that specific comment to us in seeing the amount of people  
41 that share the same voice. There's a couple other items in here, but yeah I  
42 agree that we have the flexibility of kind of harnessing that amount of time that is  
43 spent during public comments.  
44  
45

1 **PLANNING OFFICIAL SANDZIMIER** – So the only thing that I would throw out  
2 there is that if you look like you might need to establish some different rules to  
3 kind of maintain or keep the meeting going, you want to establish those rules up  
4 front if they're going to be somewhat modified. Like if you want groups of  
5 speakers to come up before you start considering the item or before you start  
6 hearing the public testimony. Say you hear the public testimony and it seems  
7 like it's going longer then all of a sudden you say let's revisit how we're going to  
8 do this. It may be too late at that point. So just, just keep that in mind because  
9 that's coming up. And, I just want to make sure that the alternates that may be  
10 coming and going have the same understanding. So since we have  
11 Commissioner Nickel here this evening any comments or, or thoughts that you  
12 guys want to bring up on that would be fair tonight.

13  
14 **VICE CHAIR SIMS** – Can I make a...

15  
16 **CHAIR LOWELL** – Go for it.

17  
18 **VICE CHAIR SIMS** – I just suggest that for consistency with process that the  
19 community is used to that we stick with the three minutes, and we strictly enforce  
20 that as best as we possibly can. Just because I think if you know there will, if for  
21 instance this large potential project that is coming to the Commission, I think if  
22 you did less than that you can't weigh in. Yeah, you just can't win, so I think you  
23 just stay with quorum with custom and we try to strictly adhere to it. What I would  
24 propose, you know, is that we put some kind of time limit that the meeting is not  
25 going to go beyond a certain amount of hours.

26  
27 **CHAIR LOWELL** – Three o'clock in the morning.

28  
29 **VICE CHAIR SIMS** – No, like 10:30, 11:00 at night and/or something like that. I  
30 mean it's not fair to people that want to participate to stay up to the wee hours of  
31 the morning. They get burned out. They fall asleep or they just doze off and  
32 they can't stay on point. Well we won't be able to stay on point, you know, we'll  
33 get fatigued listening to this and so Staff has to be able to respond. And I just,  
34 you know, if any of you go to any kind of trial as a juror or if you go to jury duty  
35 and you get sat as a juror it's slow time on a trial because they only actually work  
36 maybe an hour-and-a-half or two hours in the morning and then two hours in the  
37 afternoon. The rest of the time is this, that, and the other thing, breaks and stuff.  
38 You know, I think it's just the amount of attention span that us as a body can take  
39 and have meaningful participation in. I think it's just unfair to expect people that  
40 want to participate or watch the thing to have to stay up and watch it or  
41 participate here. So I would suggest that we put in our rules, if we do it in our  
42 Rules of Procedure that no meeting will go past a certain date at, you know, four  
43 hours or something like that.

44  
45

1 **DEPUTY CITY ATTORNEY EARLY** – You can also mirror what the Council does  
2 and limit the amount of public comment at the beginning of the meeting to a  
3 certain amount of time and then put that on the backend too. That seems to be  
4 very effective for the Council as a lot of people just tend to go home after they  
5 don't want to wait until 10:00, 11:00. If they don't get it in the first 45 minutes,  
6 which I think is the amount of time they allot. I also wanted to remind the  
7 Commission as a whole that these Rules of Procedure we're required to bring  
8 them back to you in July of every year, so if you do have other thoughts that you  
9 might want to send you can forward them to Rick and we can agendize them for  
10 that July meeting as well but go beyond the ones we're talking about right now.  
11 That's only two months away that we'll be revisiting these rules again to see what  
12 needs to be tweaked.

13  
14 **CHAIR LOWELL** – I think we've talked about these Rules of Procedure every  
15 meeting this year.

16  
17 **DEPUTY CITY ATTORNEY EARLY** – Well maybe that July one will be very  
18 quick and easy; yes, everything's fine.

19  
20 **VICE CHAIR SIMS** – Well I mean I personally, maybe it's because the latter we  
21 can't talk about doing changes beyond what we're talking about or I would  
22 assume that if it's an Agenda item for Rules of Procedure, this is Rules of  
23 Procedure for Alternate Planning, so if we're overstepping the Brown Act  
24 because it's not noticed for other rules within, then we can't. But, I would  
25 propose if we're making changes that we consider a time limit for the meeting  
26 and establish that so we don't get caught into a spot like, as the Planning  
27 Director was saying, it would be too late at the meeting to say time out we're you  
28 know...

29  
30 **CHAIR LOWELL** – We can adjourn any time we want to. I mean...

31  
32 **VICE CHAIR SIMS** – If there's a flow to a meeting that, you know, that is, I think  
33 if you give people Rules of Procedure that they have four hours people will  
34 understand that and then the Folks, Applicants or their Consultants, or Staff  
35 allocate their presentations to fit that.

36  
37 **CHAIR LOWELL** – Okay, but we've frequently gone until midnight. It happens.  
38 It's not fun, but it does happen. In that instance, if we closed it off at 11:00, we'd  
39 have to come back for another meeting just to hear that last hour so...

40  
41 **VICE CHAIR SIMS** – What happens if it goes until 3:00 in the morning?

42  
43 **PLANNING OFFICIAL SANDZIMIER** – If I may...

44  
45 **CHAIR LOWELL** – We can continue the meeting any time we want.

46

1 **PLANNING OFFICIAL SANDZIMIER** – If I may introduce a thought what I’ve  
2 seen in other jurisdictions is not necessary to set a limit on the overall meeting  
3 but to set a designated time for when the Chair would look at the time and look at  
4 the balance of the items on the Agenda and decide what to do. So, if you said at  
5 11:00 at every meeting we’re going to take a pause if it looks like the meeting is  
6 going to go longer, you as a Commission would have some Rules of Procedures  
7 that says we can stop and pause at 11:00 and say okay we’re going to go for  
8 another half an hour or we’re going to go one more hour and then we’re going to  
9 call it quits. Or, we still see that this item or five other items on the Agenda would  
10 go longer so just for anybody waiting around we’re going to end our meeting  
11 within a half an hour or an hour, and we’re going to continue all other items to the  
12 next meeting.

13  
14 **CHAIR LOWELL** – I like that idea.

15  
16 **PLANNING OFFICIAL SANDZIMIER** – That would give you some options to  
17 kind of control the meeting and it gives the public the benefit of not wondering  
18 how much longer am I going to stay here. Am I going to have to be here until  
19 3:00 in the morning?  
20

21 **CHAIR LOWELL** – Is that something that we should modify the rules and  
22 procedure for, our Rules of Procedure, or is that something that we can just say  
23 we’re doing?  
24

25 **DEPUTY CITY ATTORNEY EARLY** – If you wanted to make that a regular rule  
26 that at every meeting at that time, then that’s something you would do for the  
27 Rules of Procedure. For the upcoming meetings where you may run into these  
28 issues, my advice is along the lines of what Vice Chair Sims was saying. It’s not  
29 something you want to do in the middle of the meeting, but you could do it the  
30 very first action of the meeting. If you see that you’ve got a packed house and  
31 you see that it’s going to probably do that, somebody could make a motion to say  
32 we’re going to establish the following time periods for tonight, and you could  
33 handle it in the short-term that way. But as a Rule of Procedure for ongoing we  
34 can...  
35

36 **PLANNING OFFICIAL SANDZIMIER** – I would suggest that it would be under G,  
37 Order of Meetings. You know you would just insert a new letter in there in at the  
38 appropriate place we can look for it and we’ll just say at this particular time at the  
39 meeting, if the meeting is still going I guess the Commission would decide.  
40

41 **CHAIR LOWELL** – That would be page 6, I believe?  
42

43 **PLANNING OFFICIAL SANDZIMIER** – Yeah, page 6 and 7. I mean it’s pretty  
44 precise in terms of it’s telling you how to take your seat and how to start the  
45 meeting, and it just seems like that would be the right section to put something  
46 like that in.

1 **VICE CHAIR SIMS** – So why can't we just do that here? While we're making  
2 revisions, why can't we revise it so we're set to go for the next meeting?

3  
4 **DEPUTY CITY ATTORNEY EARLY** – We can put something into the draft for  
5 you to review at the very onset of the meeting.

6  
7 **CHAIR LOWELL** – But I still think we need to address it at the beginning of the  
8 meetings. Say, hey look, this is a rule change. We're going to be reevaluating  
9 this meeting come around 11:00 tonight. We're going to see how the meeting is  
10 progressing and we will use that as a timeframe to say yep we're going to  
11 continue it or no we'll just finish it up tonight.

12  
13 **VICE CHAIR SIMS** – I like it.

14  
15 **CHAIR LOWELL** – So I think we should make that rule change.

16  
17 **DEPUTY CITY ATTORNEY EARLY** – Do you have a time in mind?

18  
19 **CHAIR LOWELL** – I think 11:00 is fair enough because that only gives us an  
20 hour before midnight.

21  
22 **VICE CHAIR SIMS** – Yeah.

23  
24 **CHAIR LOWELL** – A little bit of a buffer before it goes to a 2:00 a.m. meeting.

25  
26 **VICE CHAIR SIMS** – Yeah, then...

27  
28 **COMMISSIONER VAN NATTA** – The bars are still open at that time.

29  
30 **VICE CHAIR SIMS** – I only work one day a week, or one day a day.

31  
32 **DEPUTY CITY ATTORNEY EARLY** – Alright, we'll incorporate that into the draft  
33 for the next meeting.

34  
35 **CHAIR LOWELL** – And we'll still address it at future meetings until we finalize it.

36  
37 **DEPUTY CITY ATTORNEY EARLY** – What I'm going to propose is that we do  
38 similarly that we did this time. I'll send out the rewrite to the Subcommittee and  
39 the Planning Official for comments so that hopefully we have a clean version  
40 ready to go on June 11<sup>th</sup> that you can act on first thing.

41  
42 **CHAIR LOWELL** – Excellent.

43  
44 **DEPUTY CITY ATTORNEY EARLY** – So that they will become effective  
45 immediately and be your rules for that meeting.

46

1 **CHAIR LOWELL** – Okay.

2  
3 **COMMISSIONER VAN NATTA** – Okay while we’re on the Order of Meetings, as  
4 far as the timing for the seat and the decision of which alternate is going to be  
5 seated and so forth, that needs to be done at the beginning of the meeting.  
6 Should that be part of our Order of Meeting Procedure or in some way  
7 designated there that after taking, for example, after taking the rollcall and we’re  
8 told who is available as an alternate that at that time if there is a vacancy on the  
9 day is that the Chair would call up the alternate to be

10  
11 **DEPUTY CITY ATTORNEY EARLY** – That is there.

12  
13 **COMMISSIONER VAN NATTA** – Officially seated?

14  
15 **DEPUTY CITY ATTORNEY EARLY** – That’s under Order of Meetings. That’s  
16 G1B.

17  
18 **PLANNING OFFICIAL SANDZIMIER** – The one scenario I’d like to throw out...

19  
20 **DEPUTY CITY ATTORNEY EARLY** – In the rollcall.

21  
22 **COMMISSIONER VAN NATTA** – Yeah, but it just says alternate meetings shall  
23 be seated on the Commission. But, like what happened tonight, the Clerk  
24 announced and asked the alternate to come up. Should that not be a function of  
25 the Commission and maybe the Chair because tonight it was obvious there was  
26 only one here and there was obviously a vacant seat, but there might be times  
27 where there’s other things involved.

28  
29 **CHAIR LOWELL** – We don’t know that that needs to go in the rules but during  
30 rollcall I can ask does anybody foresee a conflict of interest or the need to recuse  
31 themselves for any item. In that point, I will say yes we have one person  
32 recusing themselves. We’ll see if there is an absence, and then I’ll call up an  
33 alternate.

34  
35 **PLANNING OFFICIAL SANDZIMIER** – So, under that scenario, I just wanted to  
36 point out that at the beginning of the meeting you may have all seven  
37 Commissioners here seated. You may get to item four or five on the Agenda and  
38 one of your Commissioners has to recuse themselves, so you won’t want to have  
39 dismissed the alternates knowing that somebody at a later item has to recuse  
40 themselves so you want them to stay so they could fill that seat.

41  
42 **COMMISSIONER VAN NATTA** – Well that’s why we put in here if all  
43 Commissioners are present and no conflicts of interest have been announced or  
44 appear to be likely.

45  
46 **PLANNING OFFICIAL SANDZIMIER** – Okay.

1 **COMMISSIONER VAN NATTA** – And that would be if he could identify that at  
2 the beginning of the meeting

3  
4 **CHAIR LOWELL** – During rollcall I would ask and say is there any conflict of  
5 interest during this meeting.

6 **COMMISSIONER VAN NATTA** – Is anyone going to be recusing themselves.  
7

8 **CHAIR LOWELL** – Just come out and ask it and then could address whether or  
9 not the alternates would be required during that meeting.

10  
11 **DEPUTY CITY ATTORNEY EARLY** – They’re not required to leave. That’s  
12 simply at their discretion.

13  
14 **PLANNING OFFICIAL SANDZIMIER** – And under Commissioner Sims scenario  
15 you might want to ask them is everybody feeling well. No one is going to get sick  
16 this evening?

17  
18 **CHAIR LOWELL** – You look a little green there Mr. Sims.

19  
20 **VICE CHAIR SIMS** – I feel like you, ah.

21  
22 **CHAIR LOWELL** – Okay, moving on. Well, before we move on, do you need  
23 anything else from us or have we beaten this horse?

24  
25 **DEPUTY CITY ATTORNEY EARLY** – I think I have the direction from the  
26 Commission.

27  
28 **CHAIR LOWELL** – That was under Other Commissioner Business.  
29

30  
31 **STAFF COMMENTS**

32  
33 **CHAIR LOWELL** – Do we have any Staff comments?  
34

35 **PLANNING OFFICIAL SANDZIMIER** – I do have two comments. One is a  
36 question. I’ve got a potential applicant who is looking at meeting dates out in  
37 July, and they would like to see if they didn’t have to wait until the second  
38 meeting in July if the Commission would be available on July 9<sup>th</sup> to have a  
39 meeting so I’m just throwing it out there. It would be the second Thursday of the  
40 month. Considering this is the vacation month sometimes I just wanted to throw  
41 it out there that they might see that as a problem.

42  
43 **CHAIR LOWELL** – I don’t have anything scheduled just yet.

44  
45 **COMMISSIONER VAN NATTA** – I have nothing on my schedule for July.  
46



1 **PLANNING OFFICIAL SANDZIMIER** – Okay.

2  
3 **VICE CHAIR SIMS** – As long as it doesn't go past 11 o'clock. I've got to be in LA  
4 that night.

5  
6 **PLANNING OFFICIAL SANDZIMIER** – Okay.

7 **VICE CHAIR SIMS** – At some point.

8  
9 **PLANNING OFFICIAL SANDZIMIER** – Okay. The only other staff  
10 announcements I'd like is you guys all know Allen Brock, but Allen Brock is our  
11 newly appointed Community Development Director so I wanted to give him an  
12 opportunity if he wanted to address the Commission. I put you on the spot Allen,  
13 but...

14  
15 **ALLEN BROCK** – Well nothing to really address. I've already introduced  
16 myself to all of you. I do know Mr. Barnes so I'll certainly chat with him when he  
17 comes back, but I'm glad to be here and I look forward to working with all of you  
18 in the future. We have some big projects coming as you know so it's an exciting  
19 time.

20  
21  
22 **PLANNING COMMISSIONER COMMENTS**

23  
24 **CHAIR LOWELL** – Okay, so it looks like we have we're moving on to Planning  
25 Commissioner Comments now. It looks like we have just over two weeks, one,  
26 two weeks until the World Logistics Center comes in front of us. I hope  
27 everybody is doing all your homework and reading up and studying.

28  
29 **COMMISSIONER VAN NATTA** – Oh yeah.

30  
31 **CHAIR LOWELL** – Anybody else have any comments? I think that I should use  
32 the machine; technologically intense.

33  
34 **VICE CHAIR SIMS** – So there is a lot of reading. One of the things that I would  
35 like to have, if it is possible, I was thinking to request a meeting with staff to go  
36 over traffic impacts of the World Logistics EIR and then how the Development  
37 Agreement relates, as well as the mitigation. I don't know if we could have a  
38 workshop. I don't know if the other Commissioners understand, maybe I'm just  
39 the one that is the slow guy here, but I would like somebody to walk me through  
40 the traffic study so I can understand that and how it impacts the traffic, how  
41 they're mitigated with the conditions for the project and how that relates to the  
42 Development Agreement, when the timing on the improvements are, what the  
43 trigger dates are, the triggers for the different improvements. I would find that  
44 very helpful for me, and you know I'm sure there is staff that has spent a lot of  
45 time considering that kind of analysis maybe they could just come and meet. I  
46 don't know if any of the other Commissioners would like that, but maybe if more

1 than one would like to have that kind of information it would be nice, maybe we  
2 could do that as part of the Staff Report that we have for the June 11<sup>th</sup> meeting. I  
3 don't know how to handle that.

4  
5 **PLANNING OFFICIAL SANDZIMIER** – If I may Mr. Chairman, I'd like to break  
6 them down into two separate questions with regard to the traffic analysis, or if  
7 there is any particular other subject on the project we would be happy to meet  
8 with any individual Commissioner. But, the one thing we would want to be  
9 concerned about is creating a serial meeting so we would the propose for that  
10 sort of a meeting, an individual meeting, would be basically to help you  
11 understand the information that is before you but not to sway you in any way or?

12  
13 **VICE CHAIR SIMS** – Exactly.

14  
15 **PLANNING OFFICIAL SANDZIMIER** – Other than just the facts that are in there,  
16 how to read them, and how to interpret them. With regard to the Development  
17 Agreement portion please understand that that's still a work in progress and so  
18 it's kind of a moving target. In fact, we've got probably half a dozen members of  
19 our team still over working on that this evening, so it's an ongoing process and  
20 our expectation would be to include information about that in the Staff Report.  
21 And to have individual meetings on something that is a work in progress could be  
22 problematic because one day we might meet with you and it may change a little  
23 bit the next day, so I would just say leave it the Staff Report that comes out and  
24 the presentation at the meeting that evening. That's probably the best approach  
25 on that particular item of the project.

26  
27 **CHAIR LOWELL** – Is the Development Agreement going to be finalized before  
28 our June 11<sup>th</sup> meeting, or is that something that has the possibility of being  
29 finalized way down the line like July, August, September, next year some time.

30  
31 **PLANNING OFFICIAL SANDZIMIER** – Well the expectation in our Municipal  
32 Code is that the Planning Commission is an advisory body on Development  
33 Agreement, so the expectation is that you would have the opportunity to consider  
34 the Development Agreement, provide input on it, consider any staff  
35 recommendations, or any input from the public, or any input from the applicant  
36 themselves on it. So there will be something available to you in your packet.  
37 Does it have to be the final Development Agreement? No. Because it's a work  
38 in progress, so based on your input and the input from the public the information  
39 that is presented to the City Council could change the Development Agreement,  
40 so you will see a version of it but it doesn't necessarily have to be the final  
41 version. I hope that answered your question.

42  
43 **VICE CHAIR SIMS** – When will the Staff Report be generated and sent out?  
44  
45

1 **PLANNING OFFICIAL SANDZIMIER** – Right now we’re aiming for getting it out  
2 on the 4<sup>th</sup> of, June, which is one week ahead of time which is generally what we  
3 try to target. The absolute deadline is meeting the 72 hour posting of the Agenda  
4 and having everything available, but we hope to have it out the week in advance  
5 so the 4<sup>th</sup>, and if not the 4<sup>th</sup>, hopefully put it in the mail by the 5<sup>th</sup> so.

6  
7 **CHAIR LOWELL** – Would our fellow Commissioners like to say anything?

8  
9 **COMMISSIONER VAN NATTA** – Good night.

10  
11 **CHAIR LOWELL** – As a point of clarity, the June 11<sup>th</sup> meeting will be held, I  
12 believe, in the Crystal Ballroom across the street?

13  
14 **PLANNING OFFICIAL SANDZIMIER** – It’s in the Grand Valley Ballroom.  
15 However, I will be broadcasting it here from the Council Chamber so it’s  
16 technically, when I talk to the media folks, there will be an opportunity for people  
17 to come here. There will be a sign that directs them to the Grand Valley  
18 Ballroom depending on how large the crowd is. This room could actually maybe  
19 serve as an overflow, but the primary meeting would be conducted across the  
20 way.

21  
22 **CHAIR LOWELL** – And our next meeting, it will be the June 11<sup>th</sup> meeting?

23  
24 **PLANNING OFFICIAL SANDZIMIER** – That’s the next date, yes.

25  
26  
27 **ADJOURNMENT**

28  
29 **CHAIR LOWELL** – Without any further ado, if there are no other comments for  
30 either Staff or Commissioners, I’d like to conclude our meeting. The meeting is  
31 now adjourned until our next regular meeting, which is June 11, 2015 at 7:00 PM.  
32  
33  
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35  
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42  
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44  
45  
46

1 **NEXT MEETING**

2 *Planning Commission Regular Meeting, June 11<sup>th</sup>, 2015 at 7:00 PM, City of*  
3 *Moreno Valley, Conference and Recreation Center, Grand Valley Ballroom,*  
4 *14075 Frederick Street, across from City Hall parking lot, Moreno Valley, CA,*  
5 *92533.*  
6  
7  
8  
9

10  
11  
12  
13 \_\_\_\_\_  
14 Richard J. Sandzimier  
15 Planning Official  
16 Approved  
17  
18  
19  
20  
21  
22  
23

\_\_\_\_\_ Date

24 \_\_\_\_\_  
25 Brian R. Lowell  
26 Chair

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of May 28, 2015 7:00 PM (APPROVAL OF MINUTES)

1  
2                   **CITY OF MORENO VALLEY PLANNING COMMISSION**  
3                   **REGULAR MEETING**  
4                   **CONFERENCE & RECREATION CENTER, GRAND VALLEY BALLROOM**  
5                   **14075 FREDERICK STREET**  
6                   **Thursday, June 11<sup>th</sup>, 2015, 7:00 PM**

7  
8  
9  
10 **CALL TO ORDER**

11  
12 **CHAIR LOWELL** – Good evening ladies and gentleman. I would like to call the  
13 June 11<sup>th</sup>, 2015 Regular Meeting of the Planning Commission to order. The time  
14 is 7:08 PM. Grace, may we have roll call of both the seated Commissioners and  
15 the alternate Commissioners please?  
16

17  
18 **ROLL CALL**

19  
20 **Commissioners Present:**

21  
22 Commissioner Baker  
23 Commissioner Barnes  
24 Commissioner Ramirez  
25 Commissioner Korzec  
26 Commissioner Van Natta  
27 Vice Chair Sims  
28 Chair Lowell  
29 Alternate Planning Commissioner Gonzalez  
30 Alternate Planning Commissioner Nickel  
31

32 **CHAIR LOWELL** – Thank you very much. I would like to ask Vice Chair Sims to  
33 lead us in the Pledge of Allegiance.  
34

35  
36 **PLEDGE OF ALLEGIANCE**

37  
38  
39 **APPROVAL OF THE AGENDA**

40  
41 **CHAIR LOWELL** – Thank you Vice Chair Sims. We have a couple Speaker  
42 Slips that are a little bit out of the ordinary. We have a couple of people that  
43 would like to speak on the approval of our Agenda, so before we motion to  
44 approve the Agenda I'd like to ask Kathleen Dale to come up and talk to us.

1 **AUDIENCE** – We can't hear you.

2  
3 **CHAIR LOWELL** – Let me try that again. Is that any better?

4  
5 **AUDIENCE** – Yeah.

6  
7 **CHAIR LOWELL** – I'll try not to blare everyone's ears out. I said we have a little  
8 bit of an unusual circumstance where somebody would like to speak on our  
9 approval of the Agenda, so before we can motion to approve that Kathleen Dale  
10 is up here to talk to us about the approval of the Agenda.

11  
12 **KATHLEEN DALE** – Okay is this microphone working okay? Okay, I wanted to  
13 just address two items on the Agenda. The first is the hearing for the World  
14 Logistics Center item, and I have brought this to Staff's attention and have not  
15 received an acceptable response. But, basically the noticing requirements for  
16 this item have not been met. Your Municipal Code requires 10 days prior notice  
17 of the Development Agreement, and that Development Agreement that was  
18 released, it was posted sometime Thursday night on the City's website. There is  
19 no resemblance to the document that was posted when the original meeting  
20 notice was given in May or when the draft EIR was circulated two years ago, and  
21 so a document that is dated on June 3<sup>rd</sup> and released for public review on June  
22 4<sup>th</sup> or June 5<sup>th</sup> cannot possibly have been given 10 days prior notice. Second  
23 item is on the Consent Calendar item for the Planning Commission Rules. I  
24 mean this is the first time this matter has been disclosed to the public. You've  
25 had it on your Agenda twice before, but the first time it was just a blank Agenda  
26 item with no supporting materials. The second time you posted the existing rules  
27 with the Agenda, my understanding is Staff hand carried you some red lines to  
28 that meeting. But the public has never seen these revisions before, so I find it  
29 inappropriate for that to just be shoved on the Consent Calendar. And I think that  
30 it should be rescheduled for a time when there can be some advance public  
31 notice and some opportunity for public participation.

32  
33 **CHAIR LOWELL** – Thank you very much. With that said, there are no other  
34 Public Speaker Slips on this Agenda item. Would anyone like to motion to  
35 approve the Agenda for tonight's meeting?

36  
37 **COMMISSIONER VAN NATTA** – I move to approve the Agenda.

38  
39 **CHAIR LOWELL** – We have a motion. Do we have a second?

40  
41 **COMMISSIONER BAKER** – I second.

42  
43 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta and a  
44 second by Commissioner Baker. Grace, may we have a rollcall vote please?

45  
46 **COMMISSIONER BAKER** – Yes.

1 **COMMISSIONER BARNES** – Yes.

2  
3 **COMMISSIONER RAMIREZ** – Yes.

4  
5 **COMMISSIONER KORZEC** – Yes.

6  
7 **COMMISSIONER VAN NATTA** – Yes.

8  
9 **VICE CHAIR SIMS** – Yes.

10  
11 **CHAIR LOWELL** – Yes.

12  
13  
14 **PUBLIC HEARING ITEMS**

15  
16 *Upon request this Agenda will be made available in the appropriate alternative*  
17 *formats to persons with disabilities in compliance with the Americans with*  
18 *Disabilities Act of 1990. Any person with a disability who requires modification or*  
19 *accommodation in order to participate in a meeting should direct such request to*  
20 *Mark Sambito, the ADA Coordinator, at 951-413-3120 at least 48 hours before*  
21 *the meeting. The 48 hour notification will enable the City to make reasonable*  
22 *arrangements to ensure accessibility in the meeting.*

23  
24 **CHAIR LOWELL** – I’m going to read a couple of disclaimers up front. We  
25 normally put them a little bit further down, but I’d like to address everybody right  
26 now. The public is hereby advised of the procedures to be followed in the  
27 meeting, and they are on display outside in the main lobby. I’d also like to read  
28 the ADA disclaimer.

29  
30  
31 **PUBLIC COMMENTS**

32  
33 *Any person wishing to address the Commission on any matter either under the*  
34 *Public Comments section of the Agenda of scheduled items or public hearings,*  
35 *must fill out a “Request to Speak” form available at the door. The completed*  
36 *form must be submitted to the Secretary prior to the Agenda item being called by*  
37 *the Chairperson. In speaking to the Commission, Member of the public will be*  
38 *limited to three minutes per person except for the applicant for entitlement. The*  
39 *Commission may establish an overall time limit for comments on a particular*  
40 *Agenda item. Members of the public must direct their questions to the*  
41 *Chairperson of the Commission and not to other Members of the Commission,*  
42 *the applicant, the Staff or the audience.*

43  
44 **CHAIR LOWELL** – Secondly, we have Public Comment procedures. Pardon,  
45 that’s my timer. Additionally, because I guarantee this is going to be a fairly  
46 controversial item in front of us, please do your best to maintain your composure

1 so we can keep order in this meeting. We do have bailiffs present. If the  
2 meeting is disturbed or we cannot proceed for any reason, the bailiffs will  
3 address that person individually. I do notice that we have some banners and  
4 some signs out. Because this is a televised meeting, I would politely ask you not  
5 to hold the banners over your head because it could block the camera. Again, if  
6 the banners become disruptive, they will be taken away from you or you will be  
7 asked to leave. As specified in our Rules of Procedures, the Speaker Slips for  
8 any item will be accepted until the specific item is called so by all means if you  
9 haven't filled out one of these green slips and you wish to address the Planning  
10 Commission on any item tonight be it the Consent Calendar, the tire company  
11 that's coming up, World Logistics, anything, by all means please fill out one of  
12 these green slips. Once we call the item, we will not be accepting anymore slips  
13 even if the meeting is continued to another date. So this is your chance, if you  
14 want to speak, please fill out a slip. With that said, the first item on our Agenda is  
15 out Consent Calendar. Is there a Staff Report on this item?

16  
17 **PLANNING OFFICIAL RICK SANDZIMIER** – There is just a summary Staff  
18 Report. The item before you is a consideration of the Rules of Procedure for the  
19 Commission. This is an item that has been discussed with the Commission at  
20 the previous two meetings.

21  
22 **AUDIENCE** – We can't hear you.

23  
24 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm sorry. This item on the  
25 Agenda is in response to a new ordinance that was adopted by the City Council  
26 appointing two alternate Members to the Commission. In approving the two  
27 alternate Members and the ordinance the City Council directed that the Planning  
28 Commission served in the capacity to establish the Rules of Procedure for the  
29 alternates. So, in the previous two Commission meetings we have discussed  
30 this with you, and based on your input we have revised the Rules of Procedure in  
31 accordance with your direction. We have coordinated through our City Attorney's  
32 office. I do want to call to your attention to one thing within the rules itself, and it  
33 goes to the public speaker comment earlier about the Agenda item. On the last  
34 page of your Rules of Procedure, it does indicate that the Commission can adopt  
35 and amend the rules at any particular meeting as long as you have received the  
36 amended rules at least five days in advance of the meeting. Because your  
37 Agenda was posted last week, more than one week in advance, you have the  
38 right to consider that item tonight. I just wanted to make sure that was clear for  
39 the record. There is no other detailed Staff Report. It is simply a routine  
40 business item at this point to establish the rules.

41  
42 **CHAIR LOWELL** – Okay. Thank you very much. We do have two Public  
43 Speaker Slips, Kathleen Dale, which I believe you've already said your piece.  
44 Would you like to speak again?

45  
46 **KATHLEEN DALE** – I would like to speak on the Consent Calendar.



1 **CHAIR LOWELL** – You did mention the Consent Calendar in the previous one.  
2 That is why I was asking.

3  
4 **KATHLEEN DALE** – I just mentioned it...

5  
6 **CHAIR LOWELL** – Okay. You're more than welcome to come up followed by  
7 Tom Thornsley. And, just to keep the meeting moving along, there are two  
8 chairs up front so if you hear your name called and you're not the person  
9 speaking please make your way to the front to kind of expedite the process of  
10 public speaking. So Tom Thornsley, if you'd like to come up, you're more than  
11 welcome.

12  
13 **KATHLEEN DALE** – I did have another question because I thought I filled out a  
14 slip to speak on non-Agenda items.

15  
16 **CHAIR LOWELL** – You did.

17  
18 **KATHLEEN DALE** – Is that not to be called?

19  
20 **CHAIR LOWELL** – No. I have all of them.

21  
22 **KATHLEEN DALE** – Okay. When does that come up on the Agenda?

23  
24 **CHAIR LOWELL** – On a non-Agenda item. You asked to speak for the Consent  
25 Calendar...

26  
27 **KATHLEEN DALE** – I know, but when is non-Agenda? Because on the Council  
28 Meeting it's always at the beginning, and I don't see it.

29  
30 **CHAIR LOWELL** – It is at the beginning. We have our approval of our Agenda,  
31 our Consent Calendar. We have approval of Minutes, and then we have our  
32 nonpublic hearing items, so you're going to be up here quite often.

33  
34 **KATHLEEN DALE** – Okay. I didn't see that. Thank you, Sir. Anyway, I did say  
35 already I don't think it's appropriate for you to act on this when the public really  
36 hasn't had a chance to see these, you know, if they didn't look to the Consent  
37 Calendar. Quite frankly, your Agenda item description says it's a report of the  
38 Community Development Department. It doesn't say you're going to be taking  
39 any action, so your Agenda description is invalid to take any action tonight. I did  
40 have some questions about the redlines that were posted. There's an alternate  
41 Member declaration, and it just seemed like I don't know why you're singling out  
42 the alternates to make that declaration because it seemed like it might be a good  
43 thing for everybody to make. Also, item 4 on page 5, the last sentence talks  
44 about something about in no case shall two different Commissioners fill the same  
45 vacant seat on any single Public Hearing item. I don't quite understand what that  
46 means. It sounds almost like they're going to play musical chairs and whoever

1 gets to it can stay in it. Item 3, in the Rules of Testimony, this isn't something  
2 you're proposing to change. But it's one of your existing provisions. It says  
3 something to the effect of that, if people are expressing the same opinion, you  
4 don't want them to repeat it for purposes of time. And, I just take offense to the  
5 use of term opinion because people are here to tell you about things other than  
6 their bottom line position on the project. We're bringing up errors in your reports.  
7 We're bringing up errors in your procedures, and those are not opinions. Then  
8 also I would like to understand the intent of provision 1A under voting, which  
9 deals with what constitutes a quorum.

10  
11 **CHAIR LOWELL** – Tom Thornsley please.

12  
13 **TOM THORNSLEY** – Good evening Chairman and Commissioners. What  
14 Kathy mentioned about the repetitive comments that might come up, and you  
15 want to stop that from happening, that means you're going to have to grab that  
16 hook from stage right and pull the people up because until somebody starts  
17 talking you won't know that. So I hope at some point you can better justify or  
18 better explain how you're cutting somebody off. Because they've got three  
19 minutes, they may have more than what they start talking about because I expect  
20 some of the comments will be exactly the same spiel, but in the three minutes it  
21 might actually cover stuff you didn't hear so I caution you on how you're going to  
22 judge that. I'd also like you to, before we get to the big item on the Agenda  
23 tonight, tell us the ground work of how you're going to run the meeting until it  
24 goes into the wee hours of the night or whether or not, based on what I read on  
25 your procedures, come 11:00 you get to decide whether you're going to continue  
26 this to another day or you're going to finish the item you're on and then call it  
27 quits. If I look at the timeline, what's going to go on, I probably wouldn't get to  
28 public speaking until 9:30 or 10:00. By that time, most of these people would like  
29 to be heading for home and what will happen is you'll have a big pile of Speaker  
30 Slips, which my feeling is since you've got them and we can't add any after the  
31 meeting starts, you really need to save the ones who left so that if we have a  
32 meeting again another night they actually can get a chance because I for one  
33 rarely stay up past 9:30. I've been staying up lately so I can kind of condition  
34 myself for this, but I'm sure there's a lot of people here too who have the same  
35 thing. And I believe all of you have jobs still, so it's in everyone's best interest to  
36 continue this. It's not going to make a difference if it goes a little longer, and if  
37 you have to continue it, I'd love to see you continue it to a weekend so that you  
38 could really have gotten the public out. This is such an important matter and so I  
39 wish when there are projects like this you guys can decide, talk with the Staff and  
40 the City and see if you can't make special arrangements for how your meetings  
41 are run so that option is always available when we have big community-wide  
42 issues. Thank you.

Minutes Acceptance: Minutes of Jun 11, 2015 7:00 PM (APPROVAL OF MINUTES)

1 **CONSENT CALENDAR**

2  
3 *All matters listed under the Consent Calendar are considered to be routine and*  
4 *all will be enacted by one rollcall vote. There will be no discussion of these items*  
5 *unless Members of the Planning Commission request specific items be removed*  
6 *from the Consent Calendar for separate action.*

7  
8 **Planning Commission Rules of Procedures (Report of: Community**  
9 **Development)**

10  
11 **CHAIR LOWELL** – Thank you very much. Okay with that said we have our  
12 Consent Calendar in front of us. Would anyone like to comment on what you’ve  
13 heard yet? Any comments on the Consent Calendar? Okay, let me back up. I  
14 believe that is the end of our Public Speaker Slips on the Consent Calendar so  
15 the public hearing on that is now closed. We’re now going to Commissioner  
16 Debate. Any of our Commissioners like to make comments or should we just go  
17 ahead and vote on the Consent Calendar?

18  
19 **VICE CHAIR SIMS** – I can just, rest assured, this was a fully vetted item at the  
20 Planning Commission Meetings. I’m prepared to move forward, so that we can  
21 implement what the City Council directed the Planning Commission to do as far  
22 as to establish the rules in the event that an alternate Planning Commissioner is  
23 needed.

24  
25 **CHAIR LOWELL** – And just for clarification, I know the two Speaker Slips that  
26 said there was not enough public notice on the discussion of the rules and  
27 procedures, if my memory serves me correctly I believe with the exception of a  
28 handful of meetings this calendar year the Planning Commission has discussed  
29 our rules and procedures at virtually every single meeting. We compiled a  
30 special subcommittee to go and speak with the City Council about this item  
31 specifically. The last few meetings we’ve talked about the alternate Planning  
32 Commissioners. It has been very publicly vetted. The comments, the redlines,  
33 the revisions have been presented at every single meeting for the last two or  
34 three meetings. This has been a very publicly vetted item. This is nothing we’re  
35 trying to sneak around anybody or behind their back. This is something we’re  
36 taking very seriously. The alternate Planning Commissioners was something  
37 that the City Council made into law, and we had to deal the cards we were dealt.  
38 And, in order to not have any funny business, we tried to vet this out before  
39 tonight’s meeting. The timeline worked out that we are approving the final  
40 changes to the alternate Planning Commissioners tonight. That is how it worked  
41 out, so with that said would anyone like to motion to approve the Consent  
42 Calendar?

43  
44 **VICE CHAIR SIMS** – I’ll motion to approve the Consent Calendar.

45  
46 **CHAIR LOWELL** – We have a motion. Do we have a second?

1  
2 **COMMISSIONER BARNES** – Second.

3  
4 **CHAIR LOWELL** – So we have a motion by Vice Chair Sims and a second by  
5 Commissioner Barnes. Grace, may we have a roll call vote please?  
6

7 **COMMISSIONER VAN NATTA** – Yes.

8  
9 **COMMISSIONER KORZEC** – Yes.

10  
11 **COMMISSIONER RAMIREZ** – Yes.

12  
13 **COMMISSIONER BAKER** – Yes.

14  
15 **COMMISSIONER BARNES** – Yes.

16  
17 **VICE CHAIR SIMS** – Yes.

18  
19 **CHAIR LOWELL** – Yes. I believe that is 7-0, so the motion carries.

20  
21 Opposed – 0

22  
23 **Motion carries 7 – 0**

24  
25  
26 **APPROVAL OF MINUTES**

27  
28 None

29  
30  
31 **PUBLIC COMMENTS**

32  
33 *Any person wishing to address the Commission on any matter, either under the*  
34 *Public Comments section of the Agenda or scheduled items or public hearings,*  
35 *must fill out a “Request to Speak” form available at the door. The completed*  
36 *form must be submitted to the Secretary prior to the Agenda item being called by*  
37 *the Chairperson. In speaking to the Commission, Member of the public may be*  
38 *limited to three minutes per person, except for the applicant for entitlement. The*  
39 *Commission may establish an overall time limit for comments on a particular*  
40 *Agenda item. Members of the public must direct their questions to the*  
41 *Chairperson of the Commission and not to other Members of the Commission,*  
42 *the Applicant, the Staff, or the audience.*

43  
44 **CHAIR LOWELL** – The next item on our Agenda is approval of Minutes, but I do  
45 not believe we have any Minutes from past meetings so that item is skipped,  
46 which brings us to the Public Comment portions of our Agenda. As stated

1 earlier, this is the portion of the Commission meeting where any Member of the  
2 public can address the Commission on any matter, which is not listed on the  
3 Agenda and which is within the subject matter jurisdiction of the Commission. If  
4 you intend to use this portion of the meeting to speak on an Agenda item, you will  
5 be asked to hold your comments until the Public Hearing portion of that specific  
6 Agenda item is opened. And, we do have two Public Speak Slips for non-  
7 Agenda items. The first one again is Kathleen Dale followed by Tom Thornsley.

8  
9 **KATHLEEN DALE** – You can admonish me, but I have to say something about  
10 what you just did because I asked two questions, which you ignored and you  
11 have not publicly vetted this because you never released those redline changes  
12 to the public until last Thursday night. Okay, non-Agenda items, I want to talk  
13 about conflict of interest rules and again I’ve raised issues with City Staff about  
14 conflict of interest and particularly about one Commissioner who one, just  
15 shouldn’t be serving on this Commission at all, and two, certainly has a conflict of  
16 interest regarding the main item on the Agenda tonight so I’d like to know when  
17 conflicts of interest are going to be addressed?

18  
19 **CHAIR LOWELL** – Who are you referring to in particular?

20  
21 **KATHLEEN DALE** – Ms. Van Natta.

22  
23 **CHAIR LOWELL** – Okay. Well we will discuss that item when it comes up.

24  
25 **KATHLEEN DALE** – Alright. I hope it is discussed and I’m not ignored again. I  
26 also wanted to talk about the hearing procedures. You say on your Agenda it  
27 may be limited to three minutes per person. Well, again, on the main event on  
28 the Agenda tonight there are seven separate entitlement actions and to say we  
29 get three minutes to speak about seven items seems a bit ludicrous so when will  
30 we know how much time will be given to speak?

31  
32 **CHAIR LOWELL** – I announced it earlier in this meeting already that we are  
33 limiting this public speaking to three minutes per person.

34  
35 **KATHLEEN DALE** – Wow. Great.

36  
37 **CHAIR LOWELL** – Well if you look at it, we have well over 100 pink Speaker  
38 Slips. And, as Mr. Thornsley said, he does not want to stay up past 9:30 so this  
39 is five hours of public testimony. If you want to stay here until 5:00 in the  
40 morning...

41  
42 **KATHLEEN DALE** – Well...

43  
44 **CHAIR LOWELL** – By all means.

1 **KATHLEEN DALE** – You need to continue the meeting. You need to continue  
2 the meeting and you need to allow opportunities for the people who are attending  
3 graduations in this town tonight that can't be here to submit Speaker Slips later.

4  
5 **CHAIR LOWELL** – This is not an argument, so I'll wait until you finish for my  
6 comments.

7  
8 **KATHLEEN DALE** – Alright. I would like to know if in the past this Commission  
9 has allowed rebuttal time. Do you intend to do that because I don't believe you  
10 addressed that?

11  
12 **CHAIR LOWELL** – You have a minute left.

13  
14 **KATHLEEN DALE** – Okay and also, when we ask questions, will you please  
15 answer them? And I take extreme exception to your statement earlier that if the  
16 Public Hearing is continued that you will not accept additional Speaker Slips, and  
17 I have already explained why. There are a significant number of people in this  
18 community who couldn't be here tonight because two of our high schools are  
19 holding graduation ceremonies, and this was brought to the City's attention  
20 ahead of time. You just glibly decided to proceed with this item and it is...I don't  
21 even know what word is horrible enough to describe it.

22  
23 **CHAIR LOWELL** – Thank you.

24  
25 **TOM THORNSLEY** – Good evening again. I have watched a lot of meetings for  
26 the last several months go on. I've seen troops of people come in and speak on  
27 it. A lot of the younger people in the community have found an opportunity to be  
28 active. I've come to realize at my present time in life that it takes a lot of years to  
29 realize the vast nature of things that are in your life. When you're young, you  
30 tend to be foolish. You tend to be anxious to just do things. That's why a lot of  
31 people get married young and have babies. If they wait until later in life, they  
32 start to wonder geez do I really want to do all that? So younger people wanting  
33 to react quickly and get on board for certain things that later in their lives when  
34 they would look back on it they're going to say wow that was so foolish of me to  
35 be that engaged in that activity, or I really wish I hadn't done those things  
36 because it does take time to pass and experience to come into your life for you to  
37 gain the wisdom of the decisions you make. I have no problem with young  
38 people being involved, but I also want to make sure young people stay open  
39 minded and understand the ramifications of everything they think is so anxiously  
40 needing to be done in a community and that there is an understanding there is a  
41 very broad scope of information that always has to be dealt with on any kind of a  
42 project. Fortunately I see an older group up on the dais there so I know all of you  
43 have, but come on we're at least the same age. And I just hope that the public  
44 understands that and that the kinds of discussions that take place here come  
45 from a lot of people who have had a lot of years of experience and seen a lot of  
46 things happen in the community. Thank you.

1 **CHAIR LOWELL** – Thank you very much. I believe that closes the public  
2 comments on non-Agenda items.

3  
4 **PLANNING OFFICIAL RICK SANDZIMIER** – Sorry to interrupt, but I was given  
5 a note that there is a car parked outside near the sheriff office with the windows  
6 down.

7  
8  
9 **NON-PUBLIC HEARING ITEMS**

10  
11 None

12  
13 **CHAIR LOWELL** – I feel like I'm at Disneyland now. Would a person who owns  
14 a Nissan Altima license plate 7TLE070, California license plate, you're parked  
15 near the police department. Your windows are down. Could you please go take  
16 care of your car so it's not stolen? Granted you are in front of the police  
17 department so your radio will probably be there but just a heads up. So, with that  
18 said, that closes the Non-public Hearing items.

19  
20  
21 **PUBLIC HEARING ITEMS**

- 22  
23 1. Case: [PA14-0061 – Conditional Use Permit](#)  
24  
25 Applicant: Les Schwab Tires  
26  
27 Owner: SAS Development  
28  
29 Representative: Evergreen Development (Andy Call)  
30  
31 Location: Northeast corner of Perris Blvd and Fir Ave  
32  
33 Case Planner: Claudia Manrique  
34  
35 Council District: 1  
36

37 **STAFF RECOMMENDATION:**

38  
39 Recommend the Planning Commission **APPROVE** Resolution No. 2015-17.

- 40  
41 1. **CERTIFY** that the proposed Conditional Use Permit is exempt from the  
42 provisions of the California Environmental Quality Act (CEQA), as a  
43 Class 32 Categorical Exemption, CEQA Guidelines, Section 15332 (In-  
44 Fill Development); and  
45

1           2. **APPROVE** Conditional Use Permit PA14-0061 based on the findings  
2 contained in Planning Commission Resolution 2015-17, subject to  
3 conditions of approval included as Exhibit A of the Resolution.  
4  
5

6 **CHAIR LOWELL** – We are moving on to the Public Hearing items on our  
7 Agenda. The first Public Hearing item is the Conditional Use Permit for PA14-  
8 0061. The applicant is Les Schwab Tires. At this time, no more Speaker Slips  
9 for this Agenda item will be accepted. May we have the Staff Report on this item  
10 please?  
11

12 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman, I would like to just  
13 introduce this item. It is a Conditional Use Permit for Les Schwab Tires. Our  
14 case planner is Associate Planner, Claudia Manrique. It is a Conditional Use  
15 Permit and requires special action by the Commission this evening.  
16

17 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Good evening. I am Claudia  
18 Manrique, the Project Planner for PA14-0061. The applicant is Les Schwab  
19 Tires. They have submitted a CUP for a proposed 11,878 square foot retail store  
20 on 1.68 acres. Les Schwab was founded in 1952 and the nearest California  
21 location right now is in Bakersfield, so this would be moving the company more  
22 towards Southern California. In addition to tires, they perform minor automotive  
23 service and repair, including alignment, shocks, batteries, and brake repair.  
24 Their proposed location is off Perris Boulevard, one parcel north of the northeast  
25 corner of Perris Boulevard and Fir Avenue. It's on the aerial map on the screen.  
26 The parcel is currently vacant, and it is zoned neighborhood commercial, which  
27 allows this use. The parcels directly north and south are also zoned  
28 neighborhood commercial, and the properties to the south do include a single-  
29 family home and triplex multi-family residence, which are both legal  
30 nonconforming uses. To the east is our apartment complex, which is zoned R15.  
31 Across the street from Perris is the Sunnymead Park, which is part of the  
32 Sunnymead Village plans, Specific Plan 204 and is zoned park. The building  
33 design includes horizontal lines with a variation of finishes to provide interest and  
34 detail on the building. This next slide is the site plan itself, and at the north end  
35 of the parcel you'll see the proposed tire store. Next is the landscaping plan. At  
36 the south, you'll see part of the parcel is reserved for future development, and it  
37 will be landscaped with wildflower mix use until it's developed. This shows the  
38 elevation of the building. We've also included a conceptual drawing so you can  
39 see more of the dimensions of the building. The last one shows an actual  
40 building. This one is not quite what is approved tonight. It only has six service  
41 bays. The one tonight before you has eight service bays, but I've included this  
42 so you can get a better idea of what the building will look like. The project  
43 includes 35 parking spaces, which meets the parking requirements for the tire  
44 store use and again the southern parcel is reserved for future development. It  
45 will require a separate application and at that time will be reviewed to make sure  
46 it meets the parking requirements of whatever the proposed use is for the site.



1 The project is exempt under CEQA as In-Fill Development. The project was also  
2 noticed for tonight's meeting on May 29<sup>th</sup> as posted on site, mailed to owners  
3 within 300 feet of the project, and in the Press Enterprise newspaper. We have  
4 one amendment to the conditions, which is Special Districts #7, it's a minor  
5 clerical. Right now it says residential, and we will change it to commercial. Also  
6 in front of you, attached to the white, are the revised elevations. The only  
7 change from the elevations in the packet was the north elevation, and the one on  
8 this form matches what we are showing tonight right here with the eight service  
9 bays. I've also included an email that I received from Tom Thornsley. It's on the  
10 blue paper, and Staff recommends approval of Resolution 2015-17 certifying that  
11 their project is exempt under CEQA as an In-Fill Development and approve  
12 Conditional Use Permit PA14-0061 and subject to the conditions of approval as  
13 amended. Thank you.

14  
15 **CHAIR LOWELL** – Thank you very much. Are there any questions for Staff?  
16 Commissioner Ramirez?

17  
18 **COMMISSIONER RAMIREZ** – With regards to the landscaping, what measures  
19 are we taking to make sure that everything is drought tolerant?  
20

21 **CLAUDIA MANRIQUE** – Yes. Everything is required to be drought tolerant.  
22 Right now they are showing a small section of turf, and as it was a conceptual  
23 landscape we went ahead and had it for tonight. But they are aware that we will  
24 not be allowing turf and that all the landscaping will need to be drought tolerant  
25 on the site.  
26

27 **CHAIR LOWELL** – Anymore questions Commissioner Ramirez?  
28

29 **COMMISSIONER RAMIREZ** – No, thank you.  
30

31 **CHAIR LOWELL** – Okay, Vice Chair Sims?  
32

33 **VICE CHAIR SIMS** – Were there any concerns raised by any of the property  
34 owners that were noticed, or have we received any complaints or concerns going  
35 with the CUP for this?  
36

37 **CLAUDIA MANRIQUE** – Certainly. Besides the email that is provided on the  
38 blue paper that had some issues with the parking and future design for the  
39 southern half of the lot, I did have one call and she just wanted to know exactly  
40 what parcel it was. And, she didn't have any issues with the project itself.  
41

42 **CHAIR LOWELL** – Anymore comments Vice Chair Sims?  
43

44 **VICE CHAIR SIMS** – No.  
45

46 **CHAIR LOWELL** – Commissioner Van Natta?

1  
2 **COMMISSIONER VAN NATTA** – So all the traffic that goes in and out of here is  
3 going to go in and out off Perris Boulevard? Is that correct?

4  
5 **CLAUDIA MANRIQUE** – Yes.

6  
7 **COMMISSIONER VAN NATTA** – So the residential neighborhood to the south  
8 of it isn't going to have any direct traffic impact?

9  
10 **CLAUDIA MANRIQUE** – That is correct.

11  
12 **COMMISSIONER VAN NATTA** – Okay. Thank you.

13  
14 **CHAIR LOWELL** – Any other questions Commissioner Van Natta?

15  
16 **COMMISSIONER VAN NATTA** – No.

17  
18 **CHAIR LOWELL** – Any other questions for Staff by the Commissioners?

19  
20 **COMMISSIONER BARNES** – I do.

21 **CHAIR LOWELL** – Commissioner Barnes?

22  
23 **COMMISSIONER BARNES** – I noticed on the Site Plan that there is a 15-foot  
24 gap between the rear of the new projects property and the apartments to the  
25 east, and it looks like there is a quarter between the properties as you go  
26 north/south. How's that going to be secured?

27  
28 **CLAUDIA MANRIQUE** – That property actually belongs to the apartments. The  
29 existing businesses that are to the north, there is a Verizon. They have fencing  
30 that separates them from the apartments, as well as the commercial uses further  
31 north so with discussing with the Applicant we're hoping to have some open type  
32 fencing to also separate and then of course with the landscaping to help  
33 minimize the impact of the situation until we can perhaps work with the apartment  
34 complex owners on what their plans are for that barren area.

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay. Mr. Chairman and  
37 Commissioners, if I may, one of the important considerations would be that the  
38 fencing, if there is fencing put in the there, be open. We don't want to create a  
39 corridor condition where you have possible security inadvertent things that you  
40 don't want to happen back there so it would be important that we don't put a solid  
41 fence and so we'll be considerate of that.

42  
43 **COMMISSIONER BARNES** – Yeah, I was more concerned with access than  
44 view, wrought iron or something. I also had a question on LD46H. I happened to  
45 catch that. It says monuments will be installed. But we're not doing a map, so  
46 there are not going to be any monuments I wouldn't think.

1  
2 **LAND DEVELOPMENT DIVISION VINCENT GIRON** – Good evening Chair and  
3 fellow Commissioners. That’s correct. There is no map for this. That monument  
4 condition was for the prolongation of the property lines at top of curb.

5  
6 **COMMISSIONER BARNES** – Oh okay. Thank you, Vince.

7  
8 **LAND DEVELOPMENT DIVISION VINCE GIRON** – You’re welcome.

9  
10 **CHAIR LOWELL** – Are there any other comments for Staff? Commissioner  
11 Korzec or Commissioner Baker? Okay, with that I would like to invite the  
12 Applicant up to give us their presentation. I bet you didn’t know everybody was  
13 showing up just to talk about Les Schwab Tires.

14  
15 **ANDY CALL** – Everybody’s showing up to talk about Les Schwab. Chair,  
16 Commissioner’s: There’s really not much to expand on from the presentation  
17 that Staff presented. As she mentioned, Les Schwab has been around since  
18 1952, over 450 stores primarily in the Pacific Northwest obviously working their  
19 way down. They’re really client focused long-term. Their goal is, if you go in,  
20 they want you for life. They run out to the car, you know like I said, is full service  
21 as you can get as far as when it comes to tire stores so they try to make the  
22 experience as comfortable, quick, and easy as possible. So, like I said, beyond  
23 that for the most part the Site Plan is pretty straight forward, the elevation, so I’d  
24 be happy to answer any other questions you may have.

25  
26 **CHAIR LOWELL** – Are there any questions for the Applicant? Commissioner  
27 Ramirez?

28  
29 **COMMISSIONER RAMIREZ** – If approved, when do you plan on starting  
30 development?

31  
32 **ANDY CALL** – I’d have to verify. I think realistically we’d probably be in  
33 October/November. It’s really going to come down to permitting and what not,  
34 but we have every intention to have the store open as soon as possible.

35  
36 **COMMISSIONER RAMIREZ** – Very well and are you looking to hire local?

37  
38 **ANDY CALL** – Yeah. Everything they do is local. They do promote within so  
39 usually the store manager is going to come from another region just obviously  
40 because they have the experience of how the operations take place. But,  
41 outside of that, yeah, everything is done local. And again I mean they have  
42 people who have been there for 20, 30 and 40 years, and that is the goal. It’s to  
43 build internally and really it is family focused as far as the employees go.

44  
45 **COMMISSIONER RAMIREZ** – That’s good to hear. Thank you.

1 **CHAIR LOWELL** – Any other questions for the Applicant? Okay, I actually have  
2 a few questions. The project proposes to develop on a portion of the site, and  
3 there is another pad that is being reserved for future use. Do you have any idea  
4 what that future use might be?

5  
6 **ANDY CALL** – Chairman Lowell we are in the process of basically vetting  
7 through options. You know, obviously the main priority of Les Schwab when they  
8 go buy a piece of land is to maximize and really make sure that their operations  
9 are going to work well. Then from there, in this case, there’s some additional  
10 land so we’re currently vetting like, you know, who we can fit in there, what we  
11 can fit in there, and what really works best with the use so it’s not creating  
12 problems like traffic concerns internally. So I would anticipate in the next six  
13 months we’ll have something where hopefully by the time Les Schwab is open  
14 we have another user who is right behind them if not opening at the same time.

15  
16 **CHAIR LOWELL** – Thank you very much. Are there any other comments or  
17 questions for the applicant? No? Thank you very much.

18  
19 **ANDY CALL** – Thank you.

20  
21 **CHAIR LOWELL** – At this time, I have opened up the Public Hearing and we do  
22 have quite a few, or actually not quite a few, we have three Speaker Slips so if I  
23 could have you come up to the podium please. First up is Mr. Tom Thornsley,  
24 followed by Kathleen Dale, followed by Scott Heveran.

25  
26 **KATHLEEN DALE** – Really nasty people.

27  
28 **CHAIR LOWELL** – No. They have the ability to speak on anything they want  
29 just like you do.

30  
31 **KATHLEEN DALE** – No. They are talking about people in the audience. No.

32  
33 **CHAIR LOWELL** – Okay.

34  
35 **TOM THORNSLEY** – Commissioners I commented on this You have to forgive  
36 me. I’m a planner by trade and by trade I am very good at looking at site plans.  
37 When I looked at this Staff Report I instantly just had a cow. You’re developing a  
38 site that has 37 parking stalls. It needs 35. You’ve got a pad, Claudia could you  
39 put up...oh you can’t put up that sign. On your Site Plan, there is no way to  
40 utilize that vacant pad. The site has two extra parking stalls as it’s designed  
41 today. So, if they’re going to redesign the project site, they’re going to have to rip  
42 out everything they put in in order to find a place to add the extra parking so they  
43 haven’t done a very good job on that. First thing I saw that was really kind of not  
44 acceptable to me was the way they had the parking stalls in front of the bays. All  
45 the cars will have to park facing the bays with a planter all the way around their  
46 parking stalls. Persons getting out of their car wanting to go to the store front will

1 have to walk through that planter or walk down the drive aisle heading on out to  
2 the same drive aisle where the customers will be coming in and out of the site so  
3 it's a very poor design. They really should turn it around. I believe that the way  
4 they have it, it was like 30 or 35 feet between the parking stalls and their bay  
5 doors. If that's not sufficient, it's not sufficient. I very quickly, in about 10  
6 minutes, just took the clip of the PDF of the Site Plan. I reconfigured it. I came  
7 up with a design that comes up with 55 parking stalls. That's enough for a 4000  
8 square foot building, and you really should not be looking at a project that  
9 designs itself as an under-parked site. That makes it basically useless for the  
10 remaining portion because you're not maximizing the potential of a project for this  
11 city. I really think the developer needs to go back, sort out that stuff. I gave you  
12 a copy of the site layout that you should look at very carefully because you need  
13 to provide enough parking stalls adjacent to the business that it is utilizing as  
14 opposed to three-quarters of the parking stalls for this business are opposite side  
15 of the entry drive aisle as it's designed now. And that's just poor planning, and I  
16 have to read to you something that...this is the mindset of Staff because I had  
17 gotten this from two different people. It says that from discussions with  
18 applicants during review they wanted to avoid cars pulling out of the parking  
19 spaces near the service bays, which I can understand a certain amount of it. But  
20 you can't try to protect everything all the time and half the time the cars going into  
21 those parking stalls are going to be taken out by the employees parking them.  
22 The other one that is here is a note for future development would require a  
23 separate application and will address parking for the uses at that time. Potential  
24 uses mentioned for this lot include a small building approximately 2000 square  
25 feet. You can only put a 500 square foot building on that site now with the  
26 parking configuration that you've got. I really think you need to work on it a little  
27 bit, scoot that driveway entrance down, redo the parking, and it will be a much  
28 nicer site.

29  
30 **CHAIR LOWELL** – Thank you very much Tom.

31  
32 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman.

33  
34 **CHAIR LOWELL** – Yes Sir.

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – One of the glitches we have is  
37 that because of the timer that goes up on the screen we were not able to put Mr.  
38 Thornsley Site Plan up. If you'd like, our media folks can put it up there for a  
39 couple seconds if you want the entire audience to be able to see that.

40  
41 **CHAIR LOWELL** – Sure.

42  
43 **PLANNING OFFICIAL RICK SANDZIMIER** – It's up now.

44  
45 **CHAIR LOWELL** – Let's do it.

46

1 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay is there another one?

2  
3 **CHAIR LOWELL** – That’s the original.

4  
5 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay I guess we don’t have the  
6 other one. Sorry, never mind, my mistake.

7  
8 **CHAIR LOWELL** – Okay. Next up we have Kathleen Dale.

9  
10 **KATHLEEN DALE** – Thank you. Just by way of introduction as well, and I know  
11 some of you know, but I had a 34 or 35 year career as a planner and an  
12 environmental consultant so that’s what frames the way that I look at things and  
13 the comments that I bring to you as well. It would really be nice to see that  
14 you’re actually acknowledging comments that are made to you. A couple of  
15 things that are obvious to me, I don’t know if you can put the Site Plan up  
16 please? I’ll just talk about the CEQA findings first at least. The report just says  
17 that this qualifies for the Categorical Exemption for In-Fill uses, and that is a  
18 Categorical Exemption. So its use is restricted by any unusual circumstances  
19 that do in fact result in significant impacts and considering the residential uses to  
20 the east and the residential uses to the south, it would seem that there may be  
21 some potential for compatibility and noise impacts to those particularly. I don’t  
22 know why the Site Plan can’t be up, but the bays are directed towards...there’s  
23 like a few little old houses that front on Fir that back up to the south boundary of  
24 this property if my recollection of the aerial is correct and so those bays are  
25 basically pointed right at those houses. There’s not any plan for any kind of a  
26 wall there now, so until that future building is built you’ve just got all the sound  
27 coming straight out. And you know these places are busy and they have a level  
28 of noise that comes with them. They use pneumatic equipment, so I think the  
29 applicability of the Categorical Exemption needs a little more discussion and  
30 documentation. And the Site Plan maybe needs some consideration and some  
31 temporary measures to deal with the noise and compatibility. It was explained to  
32 me that the enclosure that’s on the east boundary is where they would store their  
33 tires, which it’s adjacent to this I guess gap area which is another issue, and the  
34 parking for the apartments so it may not be such a consideration. But it is going  
35 to be adjacent to a residential zone. Then, the other thing, one of the  
36 Commissioners commented did we get any response to our noticing. And one of  
37 the things that’s difficult about your noticing is you only notice the property owner.  
38 And I wouldn’t be surprised at all if those little houses that are on Fir...and we  
39 know the apartments they’re all renters, so the apartments unless something  
40 unusual was done got one notice to the owners of the apartments. And the  
41 notices for the properties on Fir probably went to the out-of-town owners, so you  
42 should consider modifying your notification procedures, and we used to do this  
43 when I worked in Riverside. If the list came in, and it was clear it was an  
44 absentee owner, we just added a resident or occupant slip and expanded the  
45 notification so that we made sure the property occupant got a notice as well.  
46 Thank you.

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**CHAIR LOWELL** – Thank you very much. The next speaker is Scott, forgive me, I cannot pronounce your last name. Is it Heveran?

**SCOTT HEVERAN** – Good evening Planning Commission. I want to voice my approval for this project. It seems like it’s zoned for it. As far as my understanding, Les Schwab didn’t spend millions trying to influence the Council. Personally, I use tires so I can see a use for it. It’ll create jobs, and it’s the right project in the right place. Thank you.

**CHAIR LOWELL** – Thank you very much. That is all the Speaker Slips that I have. Were there any other Speaker Slips turned in for this item? Anybody?

**PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman, I do want to bring to your attention that the Assistant City Manager who is over at City Hall has indicated that there are some folks that are watching this on television in the Council Chambers for the overflow. If you could call Speakers four or five at a time as some of them over there are concerned that they won’t be able to make it over here in time. So, if you mention their name, if you could give them an extra few minutes to walk across?

**CHAIR LOWELL** – Alright.

**PLANNING OFFICIAL RICK SANDZIMIER** – I don’t think there are any Speakers over there for this particular item, but when you come to the other ones, which is....

**CHAIR LOWELL** – I will do that. I will call a bunch of them at a time to give them a heads up.

**PLANNING OFFICIAL RICK SANDZIMIER** – Thanks.

**CHAIR LOWELL** – Well since there are no other Speaker Slips on this item, the Public Hearing portion is now closed. Would the Applicant like to respond to any of the comments they’ve heard?

**ANDY CALL** – Chair, Commission, I don’t know if I can follow him. I like the last one the best but basically to try to cover all the comments and concerns, as I mentioned, Les Schwab has been in business for over 60 years. They have over 450 stores currently operating. Not to mention the ones that are under way, working on, and like I said with the investment that Les Schwab puts into the site obviously they want to make sure the operation works for the longevity of the site. You know, 50 years down the road, they want to make sure...part of that has to do with how the site is configured so a lot of time and effort is put into the site layout, which also includes the delivery truck has to come in, circulate through the site, load and unload. So, like I said to address Mr. Thornsley’s concern about how the site is laid out, there is a lot that goes into it. A lot of input

1 that comes from their site planner, our planners, our architects/engineers, as well  
2 as their operations team to really make sure that what they do works well in  
3 order, like I said, so it doesn't impede the site and impede the store. In regards  
4 to parking, again we have 35 stalls currently shown, 37. But, as Staff mentioned,  
5 we will be coming back in. When we come in with that additional CUP and so we  
6 have every intention that our site is going to function as a sole user, as well as  
7 whomever we come in with on the other portion and they will all meet code as far  
8 as parking goes. The other ones that I guess were brought up is noise.  
9 Basically, what we found as far as we've had noise studies completed. The  
10 pneumatic wrenches and everything, they are intermittent. It is not something  
11 that is continuous, but directly out in front of the store or out in front of the bay is  
12 where the majority of the noise is going to go. Roughly at 200 feet it is basically  
13 comparable to a vacuum, so with the apartments to the east, the noise is going to  
14 come out and redirect and so it's not going to be as bad as some think. And, as  
15 was mentioned, when the additional expansion happens too that is also going to  
16 create an additional barrier. Then, I guess the other mention was the storage. I  
17 just wanted to bring it up. That is a storage kind of prompted my thought of it is  
18 for recycled tires and what they do is Les Schwab comes, they pick up those  
19 tires, they take them back and they recycle them internally. So, in addition to the  
20 way the operations work, they really try to obviously make sure they minimize  
21 their waste. So again it wasn't necessarily a question that was brought up, it was  
22 just something that kind of prompted my thought just to make sure I addressed  
23 that and kind of the use of that. But, if there is anything else, I'd be happy to  
24 answer any other questions.  
25

26 **CHAIR LOWELL** – Thank you very much. Do we have any Commissioner  
27 questions or comments? Well if nobody else has any comments, I have just two  
28 quick questions. It might not necessarily be the Applicant, it is more for Staff.  
29 This is a traffic (TE) Condition of Approval item. It says Perris Boulevard is  
30 classified as a six lane divided arterial road. It is a 110 foot right-of-way with 86  
31 feet curb-to-curb per City standards. Any improvements to the roadway shall be  
32 per City standards. My question on that is because Perris is a busy street and  
33 there are traffic signals to the north and south of this specific project, are we  
34 proposing to make this project a right in/right out or are we planning on using a  
35 turn median? Just because it's such a busy street, it's an arterial street, I can  
36 see some risk of making a left turn out of the project onto Perris Boulevard could  
37 be risky.  
38

39 **TRANSPORTATION ENGINEERING MICHAEL LLOYD** – Good evening Chair  
40 and Commissioners. We did take your concern into consideration during the site  
41 plan review and development. The driveway was spaced per current City  
42 standards so that we would have adequate site distance coming in and out of the  
43 site and felt that it would be appropriate for the driveway to operate as full access  
44 and that the raised median that is planned for Perris Boulevard would come at a  
45 later date.  
46



1 **CHAIR LOWELL** – Thank you very much. I do have one other comment. I think  
2 that this is a perfect description of a Categorical Exemption. We as the  
3 Commission have been asking for a long time to make sure that the Staff had  
4 supplied us with the exact definition of why it’s a categorical exemption instead of  
5 just saying categorical exemption. This reading says fact. It says this project is a  
6 Categorical Exemption under Section 15332, In-Fill development projects of the  
7 California Environmental Quality Act Guidelines. Section 15332 applies when  
8 the project meets the following conditions: It conforms to the General Plan and  
9 zoning land use designations, policies, and standards. It is within city limits. It is  
10 less than five acres. It is substantially surrounded by urban uses. It has no value  
11 as habitat for endangered, rare or threatened species. Approval of the project  
12 would not result in any significant effects relating to traffic, noise, air quality or  
13 water quality, and the site can be adequately served by all required utilities and  
14 public services. To me, that is the perfect definition and this fits perfectly to this  
15 site. With that, do we have anymore Commissioner discussion, or can I get a  
16 motion on this item? Thank you.

17  
18 **COMMISSIONER VAN NATTA** – I just wanted to comment that there are other  
19 businesses along the street there that are turning right and turning left and  
20 because there is a nearby light that stops traffic it doesn’t seem to be a problem.

21 **CHAIR LOWELL** – I agree. I was just trying to vet that situation. Anybody like  
22 to motion? Nobody?

23  
24 **VICE CHAIR SIMS** – I’ll make that motion. I recommend that the Planning  
25 Commission approve Resolution No. 2015-17 certifying the proposed Conditional  
26 Use Permit is exempt from the provisions of CEQA as a Class 32 Categorical  
27 Exemption of CEQA Guidelines, Section 15332 In-Fill Development. And,  
28 secondly, approve the Conditional Use Permit PA14-0061 based on the findings  
29 contained implying Conditional Resolution 2015-17 subject to the conditions of  
30 approval. Included is exhibit A of the Resolution.

31  
32 **CHAIR LOWELL** – We have a motion. Do we have a second?

33  
34 **COMMISSIONER BAKER** – I’ll second.

35  
36 **CHAIR LOWELL** – We have a motion by Vice Chair Sims and a second by  
37 Commissioner Baker. Grace, may we have a rollcall vote please?

38  
39 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman.

40  
41 **CHAIR LOWELL** – Yes Sir.

42  
43 **PLANNING OFFICIAL RICK SANDZIMIER** – Claudia wanted to introduce  
44 something.

45

1 **CLAUDIA MANRIQUE** – There was an amendment to the conditions. It was a  
2 Change of Special Districts #7.

3  
4 **VICE CHAIR SIMS** – As amended to include the change from residential to  
5 commercial.

6  
7 **CHAIR LOWELL** – Okay, so we have a motion to approve as amended. Do we  
8 have a re-second by Commissioner Baker?

9  
10 **COMMISSIONER BAKER** – I'll second that.

11  
12 **CHAIR LOWELL** – So we have a motion to approve the amended and we have  
13 a second by Commissioner Baker. Now may we have a rollcall vote please  
14 Grace?

15  
16 **COMMISSIONER KORZEC** – Yes.

17  
18 **COMMISSIONER BARNES** – Yes.

19  
20 **COMMISSIONER BAKER** – Yes.

21  
22 **COMMISSIONER RAMIREZ** – Yes.

23  
24 **COMMISSIONER VAN NATTA** – Yes.

25  
26 **VICE CHAIR SIMS** – Yes.

27  
28 **CHAIR LOWELL** – Yes. That is 7-0. The motion carries. Is there a Staff wrap-  
29 up on this item? Do we have Staff wrap-up?

30  
31 Opposed – 0

32  
33  
34 **Motion carries 7 – 0**

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes, this is a discretionary action  
37 of the Planning Commission, which is appealable. The public or any interested  
38 party that would like to appeal the decision has 15 days to appeal the decision  
39 and the appeal should be made through the Director of Community  
40 Development. And, if an appeal is made, it would be scheduled for a hearing  
41 before the City Council.

42  
43 **CHAIR LOWELL** – Thank you very much. That moves us to the second Public  
44 Hearing item. Before we get to this item, I have a couple of clarifications. We do  
45 have the ability to address...I was asked to address the timeline for the meeting.  
46 Per our Rules and Procedures, item G1G, we shall impose a three minute

1 restriction on time. That's what it says in our meetings is we shall; not should,  
2 not may. It says we shall. Similarly, item G1J, it says at 11:00 p.m. the  
3 Commission may take a motion to adjourn the meeting or continue the meeting  
4 so at 11:00 tonight depending on where we are in the meeting, we're going to  
5 stop, evaluate our situation, and continue the meeting later on in the evening or  
6 to another date. But we will discuss that at 11:00 just to see where we are. If  
7 we're in the middle of Public Hearings, that's a good place to kind of adjourn until  
8 the next meeting. If we're still in the middle of presentations by Staff or by the  
9 developer, we're going to let them finish. But my intent is to let at least some  
10 Public Comments tonight, and we will continue it if so be to another evening. We  
11 have, my last count was over 100. And we've received some more slips, so at  
12 100 speakers at three minutes a pop that's 300 minutes. That's five hours of  
13 testimony. I don't think anybody wants to stay until 8:00 tomorrow morning to  
14 wrap this up. So, with that said, this is the absolute last call. If anybody would  
15 like to speak and has not yet filled out a slip, please grab a slip and notify Staff.  
16 Do I have anybody raising their hands that they want to speak? This is the  
17 absolute last call. Going once, going twice. Is anybody in the Council Chambers  
18 raising their hand or making any motion? And to reduce concerns, these slips  
19 have been kept in order. If we have to continue the meeting tonight, they will be  
20 kept in order and everybody who filled out a slip will have the opportunity to  
21 speak. This meeting will continue as long as it takes, through as many meetings  
22 to let everybody have their piece. I have no intention of cutting anybody off. If  
23 the meeting gets out of order, we will deal with it then. But, everybody has the  
24 opportunity to speak. We're still checking on the Council Chambers, so just bear  
25 with us for a moment. This will be a good time to take a break. Right now you  
26 still have the opportunity to fill out green slips. We are going to take a five minute  
27 recess while we find out and let everybody take a potty break because this is  
28 going to be a fairly lengthy time.

29  
30

31 **BREAK IN MEETING**

32  
33

- 34 2. Case: PA12-0010 (General Plan Agreement)
- 35 PA12-0011 (Development Agreement)
- 36 PA12-0012 (Change of Zone)
- 37 PA12-0013 (Specific Plan)
- 38 PA12-0014 (Annexation)
- 39 PA12-0015 (Tentative Parcel Map No. 36457)
- 40 PA12-016 (Environmental Impact Report)

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Applicant: Highland Fairview Inc.

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Owner: Highland Fairview and various private property owners

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Representative: Iddo Benzeevi

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**Location:** The project area is in the eastern portion of the city and is more specifically located east of Redlands Boulevard, south of the SR-60 Freeway, west of Gilman Springs Road, and north of the San Jacinto Wildlife Area.

**Proposal:** The proposed World Logistics Center (WLC) project involves approximately 3818 acres of property and includes multiple applications. A General Plan Amendment changing the land use potential for the project area to a Business Park/Light Industrial (BP) and Open Space (OS), includes associated modifications to the Community Development Element, Parks, Recreation and Open Space Element, Circulation Element, Safety Element, and Conservation Element. A Specific Plan for 2610 acres of the project area is proposed to establish vision and development regulations for up to 40.6 million square feet of logistic development, and light logistics land uses, predominantly in the form of large high-cube industrial warehouse and distribution centers, and approximately 20,000 square feet of logistics support (e.g. fueling, associated retail). The proposed Change of Zone would result in changes to the zoning atlas to reflect the designated areas for Logistics Development (LD), Light Logistics (LL) and Open Space (OS) for the entire project area both within and outside the proposed Specific Plan boundary. Eighty-five (85) acres of land at the northwest corner of Alessandro Boulevard and Gilman Springs Road within the Specific Plan boundary would be pre-zoned for LD and is intended for a subsequent Annexation to the City. Tentative Parcel Map No. 36457 is proposed to divide property for finance and conveyance purposes only. A Development Agreement is proposed between the City and Highland Fairview for only that real estate within the Specific Plan boundary in which Highland Fairview has a legal or equitable interest (approximately 2263 acres). Approval of the various project applications will result in a repeal of the current Moreno Heights Specific Plan No. 212-1.

**Recommendation:** Certification of the Final Program Environmental Impact Report for the project, and approval of the

1 proposed General Plan Amendment, Specific Plan,  
2 Change of Zone, Pre-zoning for subsequent  
3 Annexation, Tentative Parcel Map No. 36457, and  
4 Development Agreement by the City Council are all  
5 recommended.  
6

7 Case Planner: Mark Gross

8  
9 Council District: 3

10  
11 Proposal: World Logistics Center project includes a General  
12 Plan Amendment, a Change of Zone, World Logistics  
13 Center Specific Plan, a Pre-zoning/Annexation,  
14 Tentative Parcel Map No. 36457, and a Development  
15 Agreement for a 3818 acre project area in the eastern  
16 portion of the City.  
17

18 **STAFF RECOMMENDATION:**

19  
20 That the Planning Commission:

21  
22 **APPROVE** Resolution Nos. 2015-12, 2015-13, 2015-14, 2015-15 and 2015-16  
23 thereby recommending that the City Council:  
24

- 25 1. **CERTIFY** the Environmental Impact Report (P12-016), including approval of  
26 the Mitigation Monitoring Program and adoption of a Statement of Overriding  
27 Considerations (Exhibits A and B of Resolution 2015-12) for PA12-0010  
28 (General Plan Amendment), PA12-0011 (Development Agreement), PA12-  
29 0012 (Change of Zone), PA12-0012 (Specific Plan), PA12-0014 (Pre-  
30 zoning/Annexation), PA12-0015 (Tentative Parcel Map), pursuant to the  
31 California Environmental Quality Act (CEQA) Guidelines.  
32
- 33 2. **APPROVE** General Plan Amendment PA12-0010, to change the land use  
34 designations for the project area to Business Park/Light Industrial (BP) and  
35 Open Space (OS), and to amend General Plan goals and objectives text and  
36 map in the respective Community Development, Circulation, Parks,  
37 Recreation and Open Space, Safety, and Conservation Elements identified in  
38 Exhibits A through M of Resolution 2015-13.  
39
- 40 3. **APPROVE** Change of Zone PA12-0012 and Specific Plan PA12-0013 and  
41 Annexation PA12-0014, which would repeal the current Moreno Highlands  
42 Specific Plan No. 212-1, would establish the World Logistics Center Specific  
43 Plan including Change of Zone on the City's Zoning Atlas to Logistics  
44 Development (LD), Light Logistics (LL) and Open Space (OS) for areas within  
45 the proposed WLC Specific Plan boundary, would establish Pre-  
46 zoning/Annexation for an 85 acre site at the northwest corner of Gilman

1 Springs and Alessandro Boulevard, and authorize Change of Zone on the  
2 City's Zoning Atlas to Open Space (OS) for those project areas outside and  
3 southerly of the new WLC Specific Plan boundary, Exhibits A, B and C of  
4 Resolution 2015-14.

5  
6 4. **APPROVE** Tentative Parcel Map No. 36457 PA12-0015 for a tentative parcel  
7 map that includes 26 parcels for financing and conveyance purposes, Exhibit  
8 A and B of Resolution 2015-15.

9  
10 5. **APPROVE** Development Agreement PA12-0011 covering properties  
11 controlled by Highland Fairview, Exhibit A of Resolution 2015-16.

12  
13 **CHAIR LOWELL** – Thank you everyone for your patience. I apologize. That  
14 was a very long five minutes, but we had some technical issues we were trying to  
15 address. I do see some signs starting to be flown around so please remember  
16 do not fly them over your head as it is a little bit of a disruption. So we are  
17 moving on. Again this is the final call for Speaker Slips on this item, and I am  
18 going to be closing acceptance the Comment Slips at this time. No more  
19 Comment Slips. Thank you very much. So the second Public Hearing item  
20 consists of PA12-0010, which is a General Plan Amendment; PA12-0011 a  
21 Development Agreement; PA12-0012 a Change of Zone; PA12-0013 a Specific  
22 Plan; PA12-0014 Annexation; PA 12-0015 a Tentative Parcel Map for tentative  
23 Parcel Map #36457; and last but not least is PA12-0016 the Environmental  
24 Impact Report. At this time, no more Speaker Slips for this Agenda item will be  
25 accepted. May we have the Staff Report for this item please?

26  
27 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes. As you've indicated, the  
28 next item on the Agenda is a significant project for the City. It has multiple parts.  
29 This has been a project that has been in the works for over three years. The  
30 project is referred to as the World Logistics Center and it involves nearly 4000  
31 acres of land in the eastern portion of the City. The project has multiple  
32 applications including a General Plan Amendment, a Change of Zone, a Specific  
33 Plan, Pre-zoning for a future annexation of an 85 acre parcel, a Tentative Parcel  
34 Map, and a Development Agreement. Due to the significant size and scope of  
35 the project, an Environmental Impact Report has been prepared for the project.  
36 This evening, we will be providing more detail on each of these elements of the  
37 project and we will be prepared to answer any questions that the Commission  
38 may have. At this time, I simply want to cover the actions that are being  
39 requested of the Planning Commission to make sure that the Commission knows  
40 and that the audience is also aware. Each of the applications before you is  
41 requiring a legislative decision that has to ultimately be made by the City Council,  
42 except for the Parcel Map. However, because the Parcel Map is dependent on  
43 the legislative actions, it is also going to be going to the City Council for a final  
44 action. What that means is the Planning Commission this evening is serving as  
45 an advisory body completely to the City Council on this matter. You're not being  
46 asked to approve any of the project but basically carrying a recommendation

1 forward. In your packet this evening you have received the Staff  
2 recommendation. The Planning Commission does not have to agree with the  
3 Staff recommendation. In the event that you have a different, or want to modify a  
4 recommendation, the Staff will be working with you to be sure that  
5 recommendation is carried forward to the City Council. Some questions that  
6 have come up from the public about whether the World Logistics Center is a real  
7 project or not, I just wanted to kind of put that to rest a little bit. The short answer  
8 to that question is yes. The World Logistics Center is a project. In any  
9 development project, there is an entitlement phase. The entitlement phase is a  
10 precursor to actually a permanent issuance phase, then the construction phase,  
11 inspection phase, and then the occupancy phase. But, right now, we are clearly  
12 in what is called the entitlement phase for each of the elements of this project.  
13 Without the entitlements, except for the Development Agreement, I wanted to  
14 make sure it is clear the Development Agreement does not have to be approved  
15 in order for the entitlements to move forward. The type of project that is being  
16 contemplated...without the entitlements the type of project, which is the  
17 development of 40+ million square feet of World Logistics warehouse-type  
18 facilities would not be possible, so it is a project and it does need to have an  
19 action. Another item that has come up from the public recently that I wanted to  
20 kind of address is the Development Agreement component of the project. The  
21 Development Agreement component of the project has been questioned in terms  
22 of the public noticing requirement associated with it. The public notice for the  
23 Public Hearing in accordance with section 9.02200 of our Municipal Code  
24 indicates that a Public Hearing, which we're conducting this evening, has to be  
25 advertised at least 10 days in advance of the meeting. That was done on May 1<sup>st</sup>  
26 so there was a posting on the project site. There was publication in the  
27 newspaper. There was another publication in the newspaper on May 4<sup>th</sup> on a  
28 regional level. Then, there was distribution of the public notice of this hearing to  
29 all interested parties that either resides within 300 feet of the project area or who  
30 had expressed interest and wanted to be notified of the project. That did take  
31 place. The 10-day notice that was questioned earlier this week at the City  
32 Council meeting that has been brought up this evening had to do with the  
33 Development Agreement only be made available to you last week. When the  
34 original public notice for the hearing went out, the description of the public notice  
35 identified each of the applications that the Chairman has indicated and all the  
36 applications that I have indicated already here. It also gave clear instructions  
37 that the information and place to contact, which was City Hall, was made  
38 available so that the public knew where they could go to get information. There  
39 was an early version of the Development Agreement that was put into the packet  
40 that was distributed on May 1<sup>st</sup>. That was the best available information of the  
41 Development Agreement at the time. There was also a subsequent public  
42 notification put up on the City's website that said that document was a  
43 negotiation of progress. Okay so the Development Agreement is a document  
44 that is being negotiated between both parties and what we identified is that the  
45 most current version of the Development Agreement would be made available in  
46 the Agenda packet for the Planning Commission. That was done. That was

1 done one week in advance on June 4<sup>th</sup>, so in accordance with the Rules of  
2 Procedure that were also talked about earlier tonight, there is a provision within  
3 the Rules of Procedure for the Planning Commission that says that all available  
4 information should be made available to the Planning Commission at least one  
5 week in advance if possible. Now there is other information that has been given  
6 to us just this week. In fact, we received some information just today. We have  
7 tried to make that information available to the Planning Commission as well so it  
8 is impossible in most projects that are of this nature to suggest that there would  
9 be no new information given to a hearing in any case. So I just want to make it  
10 real clear for the people in the audience. We have tried to make this a very, very  
11 transparent process. We have tried to give the community as much advance  
12 notice as possible. We know that it is an enormous amount of information, but  
13 please also understand that the project has been in the works for three years and  
14 so the draft Environmental Impact Report, the Scope of the Project, the Specific  
15 Plan document, and all the responses that are in the final EIR this evening have  
16 been a work in progress that have been available to the community to look at  
17 each step along the way. The responsibility of the Staff this evening, as always  
18 with any kind of a project, is to ensure that the Planning Commission and that the  
19 public through this hearing know that the City has considerably evaluated the  
20 project in accordance with our established Municipal Code, a General Plan, state  
21 regulations, and CEQA regulations in arriving at our recommended actions. You  
22 must also demonstrate that we the City have exercised independent judgment  
23 throughout the environmental process and that there is sufficient substantial  
24 evidence in the record for you and subsequently the City Council in this matter to  
25 consider before you take an action on the project. I can assure you this evening  
26 that those standards have been met. At this point, I am going to turn this  
27 presentation over to Mark Gross who is our Senior Planner who has been  
28 working on a day-to-day basis on the project. He does have available to him the  
29 technical expertise of our various Staff, departments and divisions. We also  
30 have our environmental consultant from LSA available, and we have the  
31 technical experts that were sub-consultants to the environmental document that  
32 will be here to provide additional information. At the end of this presentation, or  
33 towards the end of this presentation, I will be providing some additional  
34 comments on the Development Agreement component of the project. And I have  
35 assistance this evening from Kenneth Hira of Kosmont who helped us in  
36 negotiating the Agreement. I would like to make a few comments about the  
37 Development Agreement before we wrap up our presentation. I would like to  
38 give it over to Mark after you have your questions.

39  
40 **CHAIR LOWELL** – Let me interject real quick. Just for erring on the side of  
41 caution, we have two alternate Planning Commissioners here and the alternate  
42 Planning Commissioners would be utilized in the event of one of our  
43 Commissioners up here being absent, has to recuse themselves, or has a  
44 conflict of interest so I know it's kind of out of order, but at this time I would like to  
45 go through each and every one of our Commissioners and announce whether we  
46 have a conflict or no conflict. I have met with Highland Fairview. It was a



1 supervised meeting with the City Staff. We met with, I believe, it was three  
2 Planning Commissioners, so we did not have a quorum. The presentation you're  
3 about to receive tonight, or review tonight, was presented in front of us. It was a  
4 very lengthy meeting. I have met Mr. Iddo Benzeevi a couple times casually at a  
5 couple City events and at this point in time I declare that I do not have a conflict  
6 of interest, and I am eligible to sit and vote on this matter. I would like to go  
7 down the line. I have Commissioner Korzec.

8  
9 **COMMISSIONER KORZEC** – I also attended one of those briefings under the  
10 same rules and things that you did, and I have no conflict of interest on any of  
11 this.

12  
13 **CHAIR LOWELL** – Thank you. Commissioner Barnes.

14  
15 **COMMISSIONER BARNES** – I also attended a meeting with Commissioner  
16 Sims and have no conflict.

17  
18 **COMMISSION BAKER** – And I met on one of the informal meetings too, and I  
19 have no conflict with the project.

20  
21 **CHAIR LOWELL** – Thank you Commissioner Baker. Let's go down the other  
22 side. Let's go to Commissioner Ramirez.

23  
24 **COMMISSIONER RAMIREZ** – I also met with Mr. Benzeevi under a supervised  
25 meeting, and I do not have a conflict of interest.

26  
27 **CHAIR LOWELL** – Commissioner Van Natta.

28  
29 **COMMISSIONER VAN NATTA** – I also had the opportunity to see this project  
30 presented in the Highland Fairview offices, along with another one of the  
31 Commissioners, and I do not have a conflict of interest.

32  
33 **CHAIR LOWELL** – Vice Chair Sims.

34  
35 **VICE CHAIR SIMS** – Thank you. I also attended a briefing at Highland Fairview  
36 offices. I was with Commissioner Barnes and City Staff supervised the whole  
37 process. I have no conflict on this matter today.

38  
39 **CHAIR LOWELL** – Thank you very much. With that said, I do not believe we  
40 will be utilizing alternate Planning Commissioners. The seven seated  
41 Commissioners are the only Commissioners that will be hearing this item. As  
42 stated in our rules that we just recently adopted, if a Commissioner is absent on  
43 a subsequent meeting, they have every legal right to catch up either by reading  
44 the Minutes, watching the recordings, and they must testify that they are up to  
45 speed and have watched every minute or have gotten up to speed on every  
46 single minute of what has happened in their absence. In the event that a

1 Commissioner is absent during a portion of the meeting, which might happen and  
2 they show up late, if they are subject to vote that night they technically would not  
3 have the ability to catch up. Therefore that Commissioner would not be able to  
4 vote and one Commissioner is still being absent, but leave a quorum up here of  
5 six, we could still have a majority vote. So, with that said, if this meeting goes  
6 three meetings and a Commissioner is absent on meeting #2, they have every  
7 ability to catch up at home either by watching the meeting on DVR, going to the  
8 City’s website and watching the video, reading the Minutes. However, whatever  
9 approved method that we have that they can catch up to date, and they testify  
10 and swear that they are up to date and they are justified to sit and vote on that  
11 day, they have every legal authority and every legal ability to do so. With that  
12 said, we have seven Commissioners up here that have just testified that they do  
13 not have a conflict of interest. These seven seated Commissioners are the  
14 Commissioners that will hear this project regardless of the number of hearing  
15 dates. With that said, I would like to turn the meeting back over to Staff for their  
16 presentation. Thank you.

17  
18 **PLANNING OFFICIAL RICK SANDZIMIER** – Thank you. At this point, I would  
19 like to turn it over to Mark Gross, our Senior Planner.  
20

21 **SENIOR PLANNER MARK GROSS** – Thank you very much Planning Official  
22 Sandzimier and good evening Chair Lowell and Members of the Planning  
23 Commission. I want to try and go through a presentation this evening. This is  
24 the World Logistics Center project. It is a Power Point presentation. We’re going  
25 to kind of go through the slides as we go so we’re starting off with project site and  
26 location. The project is a 3818 acre project area, which is generally bounded by  
27 Redlands Boulevard to the east, State Road 60 Freeway on the north, Gilman  
28 Springs Road on the west, and San Jacinto Wildlife Area along the south.  
29 Approximately 2610 acres of the total project area is designated for the World  
30 Logistics Center Specific Plan. This is an area that includes the potential build  
31 out of 40,600,000 square feet of warehouse development. Now the project area  
32 is virtually undeveloped property and you can see by the slide up there, which is  
33 a larger slide, and then what we’re going to do is kind of go through a number of  
34 different individual slides that kind of go through the project area not only looking  
35 at the project area itself but some of the surrounding areas around the World  
36 Logistics Center. The seven existing large lot rural residential single-family  
37 homes are present east of Theodore and south of Eucalyptus Avenue. We’re  
38 just going to kind of go through some of these as we go. This is just a view from  
39 Theodore Street Bridge. We’ll just kind of go through some of these slides. This  
40 is actually one of the existing seven homes that are located in the project in the  
41 Specific Plan area. This happens to be on Dracaea and Theodore. Here are  
42 some other views surrounding. This happens to be the San Diego Gas and  
43 Electric facility. We have the San Jacinto Wildlife Area in the distance. This is a  
44 view north from Cactus Avenue. This is a view looking towards the Skechers  
45 building from Redlands Boulevard, and we have some other views here. This  
46 happens actually to be the existing homes, actually the newer development

1 residential neighborhoods located west of Redlands Boulevard and this is just  
2 west of the Specific Plan boundary. I want to talk a little bit about property  
3 ownership. Highland Fairview has provided evidence demonstrating that they  
4 have legal or equitable interest in approximately 2263 acres of this Specific Plan  
5 area. The remainder of the project area is owned by others, including the seven  
6 private residences, the Metropolitan Water District, San Diego Gas and Electric,  
7 Southern California Gas Company, and the California Department of Fish and  
8 Wildlife. Now on May 22, 2012, a public meeting was conducted with the City  
9 Council regarding all properties in this eastern portion of Moreno Valley and the  
10 proposed project, and as a result of the Council, directed that all including those  
11 owned and not owned by the applicant be included with the project. What I'd like  
12 to do now is just kind of go through some of the discretionary applications that  
13 are provided, and that will include some of the components for the World  
14 Logistics Center project, the proposed project. What we're looking at here, this is  
15 a General Plan Land Use Map. This is our existing map. One of the first  
16 components that I want to talk about is the General Plan Land Use Amendments.  
17 Now with the proposed World Logistics Center project application, land use  
18 designations in the Specific Plan boundary area would be proposed to be  
19 changed from business park, single-family/multiple-family residential, commercial  
20 retail, mixed use, open space, and public to business park. And that would be  
21 (BP) Business Park Light Industrial and (OS) Open Space and that's really what  
22 we would be changing to with this particular project. For the record, I did want to  
23 point out that the Land Use Map included in the Staff Report and General Plan  
24 Amendment Resolution incorrectly shows that the 74 acre site, which is that site  
25 right there where the arrow is pointing is what I'm talking about. That particular  
26 site there actually showed up as a business park in which it actually should be  
27 Open Space or (OS), so I just wanted to make that part of the record. Additional  
28 information on the project, I want to go through another component actually to  
29 the project, or part of what I should say is some of the General Plan text and map  
30 changes. Now the General Plan Amendment includes some modifications to  
31 address changes to General Plan goals and objectives for land use, street  
32 designation and road configuration, traffic level of service standards, bikeway  
33 plan, and multiuse trail configurations, as well as noise contours and a fire station  
34 location map. Now the changes are included in the various General Plan  
35 Amendments, including community development, circulation, parks, recreation  
36 and open space, and safety. Now this takes us over to another component of the  
37 Specific Plan. This is a Change of Zone, and what we have up there in front of  
38 everyone is actually a Change of Zone Map. Now actually this is our existing  
39 Zoning Map, I should say, that will lead to the discussion of the Change of Zone.  
40 Now an approval of the project is going to effectively repeal the existing Moreno  
41 Highlands Specific Plan; the Moreno Highlands Specific Plan from a historic  
42 standpoint that was approved back in 1992 and covers approximately 3000  
43 acres. Zoning designations for the project area would be changed from business  
44 park, single-family residential, multiple-family residential, commercial, retail,  
45 mixed use, open space and public use logistics, which you can see on this next  
46 slide which includes the zone change map. Now specifically within the 2610 acre

1 World Logistics Center specific plan area, the zoning designations would be  
2 zoned as (LD) or Logistics Development, also (LL) or Light Logistics, as well as  
3 (OS) Open Space which allows uses within the Open Space Area to be regulated  
4 consistent with Title 9 of the City Municipal Code. The proposed land uses in  
5 logistics development areas are proposed primarily as high-cube industrial  
6 warehouse uses with a minimum building size of 500,000 square feet. Now  
7 related ancillary office uses would be allowed along with logistics support uses,  
8 such as motor fuel sales and related retail uses that are related to the motor fuel  
9 sales. Now the light logistics zoning will allow for warehouse buildings and  
10 related ancillary uses of less than 500,000 square feet, and I want to point out  
11 with no minimum building size as well. Now areas of the overall project outside  
12 of the World Logistics Center Specific Plan would be zoned Open Space and  
13 that's the areas below the line, if I can maybe point to that which is right here. All  
14 of the green area here is what we would be talking about, and that's going to be  
15 zoned as open space and would be regulated in accordance again with Title #9  
16 of the City Municipal Code. It would allow for permitted uses, such as  
17 agricultural, animal raising, police stations, museums, wholesale and distribution  
18 plant nurseries and parks. Conditionally permitted uses would include also  
19 equestrian centers, day care centers, golf courses, open-air theaters, and public  
20 utility stations and yards; which are currently operating right now at the site. The  
21 next component of the project that I want to discuss is the Specific Plan. Now  
22 the Specific Plan is a regulatory implementation tool used to direct future  
23 development within the 2610 acre Specific Plan Boundary Area. The plan will  
24 provide guidelines and regulations for zoning, which we have discussed. It'll also  
25 include, as this slide shows, for project infrastructure. It is also going to provide  
26 for the fire station location and permitted uses development standards, both in  
27 the LD and the LL Categories. Also for elevations, and this would be criteria for  
28 building form and massing and elevations and facades for building architecture.  
29 It also will include street configurations, as well as roundabout and entry  
30 locations. On this particular slide, you can see there are three proposed  
31 roundabouts and five major entry points into the project. The Specific Plan will  
32 also include multi-use trails, which were recommended I should say by the Trails  
33 Board. The Trails Board had a chance to take a look at this and they did  
34 recommend this configuration of trails, both inside connecting to areas outside of  
35 the Specific Plan and a Phasing Plan as well. I want to talk just a little bit about  
36 the Phasing Plan. As you can see right there with this particular slide, the first  
37 phase of the project has been analyzed to include half of the development  
38 square footage in the western portion with the estimated completion date of  
39 2022. Phase 2, the final phase of the development, would occur through the  
40 eastern portion of the plan area with an estimated completion date of 2030. An  
41 additional component of the project is the pre-zoning and annexation. Now the  
42 annexation pre-zoning application includes two parcels as we show on this  
43 particular slide with a total of 85 acres west of Gilman Springs Road and north of  
44 Alessandro. Now this property is currently located in the county of Riverside but  
45 is within the City's sphere of influence. Now Highland Fairview has a legal or  
46 equitable interest in the property. Now if the pre-zoning is approved by the City,

1 the final approval for the annexation into the city is required by the Local Area  
2 Formation Commission or LAFCO. An additional component of this project is the  
3 Tentative Parcel Map, which includes the subdivision of 26 separate parcels for  
4 future finance and conveyance purposes with no development rights provided by  
5 the map. We also have a Development Agreement. The application and item  
6 was requested by the Applicant to secure a longer vesting term for entitlements.  
7 The agreement was negotiated with the City and only covers properties owned  
8 by the Applicant. The agreement is up to 25 years with a primary term of 15  
9 years and an additional 10 year extension. Now public benefits negotiated  
10 include but are not limited to a turnkey fire station, funding to advance design  
11 concepts for State Route 60 enhancements, a local hiring program, and funding  
12 for education and training programs. Our Planning Official, Rick Sandzimier will  
13 highlight additional aspects of the agreement a little bit later on in the Staff  
14 presentation. But what I want to do at this point is talk a little bit about the  
15 Environmental Impact Report first from more of a historical standpoint and then  
16 we'll kind of get more into the document itself. This particular slide, what I want  
17 to try to show here, is just some of what has happened to date. Notice of  
18 preparation of the project was sent out on 02/21/2012. A public scoping meeting  
19 for the EIR was held at City Hall on 03/12/2012. The draft EIR was subsequently  
20 prepared and a notice of completion and availability of the draft Environmental  
21 Impact Report for project review was distributed back on 02/05/2013. The 60-  
22 day public review period extended over to 04/08/2013. The 60 days is actually  
23 more than the minimum requirement of CEQA of 45 days for that particular  
24 review. Now there were 144 comment letters and approximately 10,000  
25 individual comments that were provided on the draft document. The final  
26 Environmental Impact Report prepared and before you this evening includes  
27 responses to those comments that were provided in the draft document. The  
28 FEIR was released to the public on 05/01/2015. This early public release of the  
29 Final Environmental Impact Report afforded the public a 41 day review period  
30 prior to tonight's hearing, and the 41 days is actually more than four times longer  
31 than the 10 days that is required under the California Environmental Quality Act.  
32 Now a little bit of information on the Environmental Impact Report and some of  
33 the impacts noted. Of the 16 environmental project areas evaluated, the  
34 environmental analysis concluded that the following five areas had impacts that  
35 would remain significant and unavoidable even with mitigation measures  
36 imposed to lessen those impacts and that includes esthetics, air quality, noise,  
37 traffic circulation, and land use planning. Now, as I mentioned, there are a  
38 number of mitigation measures that were in place. Even though it does not bring  
39 these levels down to a level that is below significance, it is still assisting in  
40 providing for mitigation. And what I'm going to do is just kind of go through some  
41 of the slides or some of the areas. For esthetics, we're looking at there is a 250  
42 foot special-edged treatment or setback area measured from the city zoning  
43 boundary line to any building or truck parking area. Also includes the visual  
44 plans that demonstrate screening of the project from the existing residences,  
45 view protection of Mount Russell and light and glare restriction analysis of  
46 proposed solar panels for any future development that comes in. For air quality,

1 some of those mitigation measures included tier 4 construction equipment,  
2 restriction of trucks that fall below 2010 engine emission standards from entering  
3 project areas, and the limitation of truck idling to three minutes. For noise, it  
4 included reduction of short-term construction noise levels to include the  
5 requirements of Noise Reduction Compliance Plan. There were restrictions on  
6 grading during nighttime hours that have been included, as well as potential  
7 sound barriers, and there are provisions as well for long-term traffic and  
8 operational noise to include requirements of building specific noise studies, the  
9 potential for sound walls, and the maintenance of buffer areas. For traffic and  
10 circulation, it included a Traffic Impact Analysis and dedication of right of way  
11 consistent with the Subdivision Map Act for Frontage Street improvements and  
12 also I do want to point out that the Specific Plan has also been designed to direct  
13 truck traffic away from the residential areas. Finally, with land use and planning,  
14 there were no feasible mitigation measures that were found available with that  
15 particular item to ensure compatibility between the proposed future warehouse  
16 logistics development and the seven existing rural residential single-family  
17 homes. And that takes us over to the Statement of Overriding Considerations.  
18 Now the California Environmental Quality Act allows the lead agency to consider  
19 a Statement of Overriding Considerations to review benefits of the project  
20 weighed against the potential significant environmental impacts. The  
21 Environmental Impact Report can be certified if the LEED agency determines  
22 that the benefits of the project outweigh the environmental consequences of the  
23 project. Now some of the benefits as provided for in the Statement of Overriding  
24 Considerations document included but are not limited to carrying out the current  
25 Economic Develop Action Plan to provide increased employment and revenue  
26 opportunities for the city, sustaining existing commercial retail development to the  
27 west of the site, and an improvement in the city's overall jobs to housing balance.  
28 And that takes us over to a little bit more information on the additional  
29 environmental considerations, and at this point I would like to introduce the  
30 consultant that prepared the Environmental Impact Report document who is Kent  
31 Norton of LSA Associates. He is going to provide additional information on the  
32 EIR highlighting some of the changes between both the draft and the final  
33 documents and providing an update of correspondence received in the last  
34 couple of weeks. In fact, we did receive quite a bit of these, predominantly here  
35 over the past few days. So, with that, I will turn it over to Kent Norton.

36  
37 **KENT NORTON, LSA ASSOCIATES** – Thank you, Mark. Good evening  
38 Commissioner's. It has been a very long time getting to this point. I would like to  
39 touch briefly on three specific topics. Mark mentioned them. Mark, can you bring  
40 up my slide? Thank you. Let me just say that I have been doing CEQA  
41 compliance work for 37 years in Southern California, and I am confident that this  
42 EIR contains a thorough and conservative analysis of the potential impacts of this  
43 project. I believe the EIR gives the decision makers in the City objective  
44 information that they're going to need to make an informed decision on this  
45 project. I just also want to remind the Commission that this is a programatic EIR  
46 and so more environmental information will come when there is more specific

1 information on development. First the changes from the draft EIR to the final EIR  
2 the project was reduced by 100 acres and 1 million square feet, and the phasing  
3 was extended from 10 to 15 years. The additional changes in the project  
4 resulted in reduction of three significant impacts from the draft to the final, those  
5 being agricultural, land, greenhouse gases, and cancer risks. The Traffic Study  
6 was revised to address the project reductions and changes in the traffic. An  
7 impact assessment determined that there were no new significant impacts with  
8 the additional analysis. The Noise Study also looked at changes in the project  
9 and changes from the Traffic Study and also determined there were no new  
10 significant impacts. As Mark mentioned, the Air Study, it was updated to the  
11 latest government guidance on such studies. It presented both a 70 year and a  
12 30 year exposure period for cancer risks. It used cars latest emission factors. It  
13 used age sensitivity factors, which was recommended by State OEHHA which is  
14 in charge of the methodology for health risk assessments. A cancer burden  
15 analysis was added in addition to estimating cancer risk and a risk assessment  
16 for onsite workers was added. A lot of these were done in response to  
17 comments on the draft EIR. In addition, results from the New Health Effects  
18 Institute or HEI study, which was an EPA sponsored scientific peer-reviewed  
19 multiyear study that looked at actual tailpipe emissions from diesel emissions.  
20 That study was called the Advanced Collaborative Emission Study or ACES.  
21 That study supported a conclusion that there were no significant cancer risks  
22 from new technology diesel engines. When I say new technology, I mean EPA  
23 tier 4 or better. That's year 2010 or later. Mark has already summarized some of  
24 the mitigation measures for the significant impacts. Let me just mention briefly  
25 that there were 99 total mitigation measures in the EIR. They're all listed in the  
26 Mitigation Monitoring Plan. Some were added and a number of them were  
27 revised based on response to comments on the draft EIR. Some of them are  
28 pages long, and they specify procedures for new development under the  
29 Specific Plan. For example, there are 10 measures just for cultural resources  
30 including coordination with Native American Tribal representatives and specific  
31 procedures if artifacts are found on site. Mark already mentioned the noise  
32 measures. There are 15 specific noise mitigation measures. There are 18  
33 biological resource mitigation measures including additional surveys when more  
34 specific information on building locations is known. The drainage on the eastern  
35 portion of the project is going to be designed for wildlife movement per comments  
36 by the County and conservation organizations, and there is a buffer with  
37 detention basins proposed in the southern portion of the project adjacent to the  
38 San Jacinto Wildlife Area. Mark also mentioned probably the most important air  
39 quality and health risk assessment mitigation measuring that is the use of only  
40 Tier 4 diesel engines for both construction and operation for this project, and to  
41 my knowledge that is the first time that requirement has been put on any  
42 industrial project not only in the City of Moreno Valley but I believe in Southern  
43 California as well. In terms of comments received on the draft and final EIR,  
44 Mark mentioned we received 144 letters. There were 24 comment letters from  
45 agencies, 19 from conservation groups, 107 from individuals, and he also  
46 mentioned that during the last two weeks we received a number of emails and

1 letters commenting on the final EIR. Nine of those were from agencies, and I  
2 believe you already have some of the response to comments in your packet. But  
3 we are be providing specific responses to all of the comments on the final EIR as  
4 well per the City standard procedure. Some of the agencies that commented, the  
5 Moreno Valley Unified School District raised questions about the HEI Study, the  
6 use of it. The Regional Water Quality Control Board asked for additional  
7 language regarding the best management practices for the detention basins.  
8 CARB raised a number of questions and comments about the health risk  
9 assessment and the use of the HEI Study. The Eastern Water Municipal District  
10 had some questions about the water supply. The City of Riverside, the Riverside  
11 County Transportation Commission, and the Riverside County Transportation  
12 Land Management Agency all had questions about how the mitigation for road  
13 improvements and traffic improvements would work on and off site. The Air  
14 Quality Management District also submitted a letter today questioning the use of  
15 the HEI Study and the Metropolitan Water District submitted a letter about  
16 participation in the Specific Plan. There were also eight letters submitted by  
17 conservation groups or other organizations. For example, the Inland Water  
18 Keeper had questions about water quality and the EIR Law Firm of Lozeau Drury  
19 representing worker’s union submitted a number of comments about potential  
20 hazards to workers. The Center for Biological Diversity and the Audubon Society  
21 submitted a letter today with questions about the biological resource assessment  
22 procedures, water use on the site, offsite drainage, greenhouse gas emissions,  
23 and recommending that the air be recirculated. The American Lung Association  
24 had questions about air quality and the health risk assessment. Friends of the  
25 North San Jacinto Valley had concerns about the biological procedures and the  
26 information in the EIR. And three organizations, Earth Justice, the Southern  
27 California Justice Alliance, and the Law Firm of Johnson and Sedlack raised a  
28 variety of questions about the EIR itself and all the analysis. So we’ve also  
29 received over one dozen letters and emails from individuals/members of the  
30 public, and as I said we will be responding to all of those as time permits. I would  
31 like to touch on one issue very quickly. It hasn’t been mentioned in much detail  
32 and that is recirculation. I believe actually Rick did mention something about it  
33 early in his presentation but the final EIR indentified that there were no new  
34 significant impacts or no increased significant impacts in the changes from the  
35 draft to the final EIR. In fact, a number of impacts actually decreased as a result  
36 of response to comments and the revised analysis. For more information, the  
37 Commission is referred to table 1C in response to comments. In volume 1 of the  
38 final EIR, it explains how the additional information that is provided in the final  
39 EIR does not meet the requirements for recirculation. In conclusion, I and a  
40 number of the technical staff that prepared the EIR and the technical studies are  
41 here tonight to answer your questions and to listen to comments of the  
42 Commission and the public. We have Don Hubbard with Parsons Brinckerhoff to  
43 address traffic issues, three representatives from First Carbon Solutions, Vince  
44 Mirabella to address air quality and health risk assessment, Cory Wilson to  
45 address greenhouse gas emissions, and Frank Coyle and I will discuss cultural  
46 biological resources if you have questions. David Taussig with David Taussig



1 and Associates is here if you have questions about the fiscal or employment  
2 information, and Matt Jones is available to talk about the Noise Study. Finally,  
3 we have Kathleen Higgins with CH2M Hill if there are questions about Hydrology  
4 Report, and Lynn Calvert-Hayes a principal with LSA is here with me as well  
5 tonight. Thank you very much for your indulgence, and we look forward to the  
6 input from the public and the Commission and answering any questions you  
7 might have.

8  
9 **CHAIR LOWELL** – Thank you very much.

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – We do have a little more.

12  
13 **CHAIR LOWELL** – Okay.

14  
15 **PLANNING OFFICIAL RICK SANDZIMIER** – If I may, as we indicated earlier,  
16 we were able to revisit the Development Agreement in a little bit more detail. The  
17 Development Agreement component of the project is regulated by our Municipal  
18 Code, Section 9.02.110. Just a couple of bullet points up on the screen for the  
19 benefit of the public because this Development Agreement has received quite a  
20 bit of attention over the last month since the posting of the Public Hearing Notice.  
21 Real quick, the Development Agreement is an entitlement tool that is used to lock  
22 in for an extended or specified period of time the underlying land use and other  
23 development regulations, fees, procedures, and policies, which in the absence of  
24 a Development Agreement would be subject to periodic changes outside the  
25 control of the parties. The authority and the approval of a Development  
26 Agreement per our Municipal Code rests with the City Council. However, the  
27 Planning Commission must provide a review and advice on the Development  
28 Agreement. That is why it is here before you tonight. It is noted very clearly here  
29 that the Development Agreement is not a required approval for the World  
30 Logistics Center project. The General Plan Amendment, the Zone Change, the  
31 Specific Plan, the Parcel Map, and the Pre-zoning for the 85 acre future  
32 annexation parcel can all be approved without any accompanying or subsequent  
33 Development Agreement. I think Mark Gross was very good in his presentation  
34 this evening. I hope everybody in the audience and the Commission could follow  
35 along, but I thought it was an excellent presentation that covered all the details  
36 on those projects. That is really the project. The Development Agreement itself  
37 is just a tool to carry that project for a longer period of time. In exchange for  
38 longer vested rights to a developer through a Development Agreement, the City  
39 seeks to provide additional public benefits that are above and beyond any  
40 required developer obligations. With me this evening is Ken Hira who is part of  
41 the negotiation team. The negotiation team for the City included myself; our  
42 economic development director; our finance manager or interstate services  
43 director, Ken Hira; and we had special council from Bill Curly this evening. We  
44 think we had a very solid negotiating team but the developer also had a very  
45 solid negotiating team so it was a long drawn out discussion. But I think at the  
46 end of the day the Development Agreement, as you will find, meets a happy

1 medium and Ken is going to go into a little bit more detail. We think it's a fair  
2 agreement. I'd be happy to go into some more of the terms on the negotiation  
3 and the deal points. However, just to draw your attention, there is an exhibit that  
4 was put into the Development Agreement. Specifically, that is exhibit A3, which  
5 outlines the 21 public key benefits and those are shown up on the screen above  
6 you or on the monitors. We'd be happy to go into any detail on those when we  
7 get into the discussion. We've referenced the section of the Development  
8 Agreement in which those are achieved. At this point, I'd just like to turn it over  
9 to Ken Hira to describe a little bit more about the negotiation process and a little  
10 bit more about the background research and market analysis that was done.

11  
12 **KEN HIRA** – Thank you. Planning Commission, Chair, and Members of the  
13 Planning Commission: My name is Ken Hira, Senior Vice President with  
14 Kosmont Companies. Kosmont is a firm that has been involved with city  
15 consulting and private sector consulting since 1986, and we were retained by the  
16 City of Moreno Valley to assist with some economic development strategies at  
17 the highest of levels, as well as assist with the negotiation of the Development  
18 Agreement for this project and one of the core competencies, if you will, of  
19 Kosmont Companies is negotiating public/private transactions. We've been on  
20 both sides of the equation, if you will, so there is a fair amount of experience. I  
21 was very involved from Kosmont. There were two of my colleagues at least also  
22 involved as Rick mentioned on the negotiation team, so I'm going to give a little  
23 bit of a high level overview on just sort of development agreements and get into  
24 some of the specifics here. But I think the exhibits that outline public benefit and  
25 even the Staff Report does a pretty good job of identifying key terms and  
26 conditions that go part in parcel with a development agreement that tends to be  
27 highly negotiated, and in this case it certainly was highly negotiated. So I'll start  
28 by saying no two Development Agreements are the same. We've negotiated a  
29 variety of those public/private transactions, and they never seem to be identical  
30 to each other because they each have a unique set of circumstances and there  
31 are always a unique set of priorities and motivations on each of the parties parts  
32 both private and public sector. Development Agreements serve a very key  
33 purpose. I think of them a little bit like a Prenuptial Agreement, so if a Prenuptial  
34 Agreement helps a marriage move along and last a little bit longer, if you will, and  
35 set some expectations and it tends to be this estate planning tool, a Development  
36 Agreement is very similar. It is a marriage or a partnership between a public and  
37 private sector, the developer and the municipality, and it serves a very key  
38 component for today, which is an economic development tool. The reason why  
39 that is so important is because, as California Redevelopment Law was eliminated  
40 by the State, cities tend to be on their own when it comes to economic  
41 development tools. We have used development agreements in several instances  
42 that really allow projects to move forward on a win/win basis, and that's the idea  
43 here. There needs to be a win/win basis for a project. In this case, this  
44 Development Agreement was vigorously negotiated. Suffice it to say that the  
45 team that negotiated it on this side of the equation, if you will which is the cities  
46 negotiation team and the developers negotiation team, both had very, very

1 important and critical criteria that we had to put on the table and it wasn't an easy  
2 process. The outcome wasn't perfect, but with any agreement like this one there  
3 were compromises. And what ends up happening at the highest of levels though  
4 is this developer gets a certain vesting right over a period of time, which is one of  
5 the key ingredients to the DA and one of the key criteria and requirements on the  
6 private sectors part in order to reduce investment and for the cities case. And, in  
7 this case, we get a significant amount of public benefit. And if those two match  
8 each other in terms of that win/win equation then we have a deal. And I think the  
9 way this deal got negotiated with all of the parties involved, all of the expertise  
10 involved, and all the background involved you have a deal that is a relatively  
11 win/win circumstance. I'm saying relative because some folks are going to  
12 disagree with that. But we came to the conclusion in our negotiations, which at  
13 times lasted until 1:00 in the morning and had bad pizza. Sorry. And it isn't that  
14 they don't come with, you know, emotion because they do. These are very, very  
15 important matters. The other key component to this project is at a 40 million  
16 square foot level it is difficult to make predictions, and I'll give one example. I  
17 negotiated a Development Agreement for a 500,000 or 600,000 square foot  
18 shopping center it was a 25 year Development Agreement. We have a 40 million  
19 square foot project here that is a 25 year Development Agreement give or take  
20 given its terms, so one could look at it and say wow it's pretty short. The other  
21 way to look at it is to say it's too long, but in its totality given all of the elements to  
22 it, we concluded and Staff supports that will be a project. And, in my opinion,  
23 what makes it a positive project is that it will have revenue generating and job  
24 generating net positive impacts for the community at the highest of levels. So I  
25 can give specific examples of deal terms that when we started the negotiation of  
26 this DA were not on the table and when we finished some of the items the  
27 developer pushed hard on came off the table. Some of the items that were very  
28 important to the City were left on the table and there was a lot of back and forth  
29 as I mentioned, and there are specific examples of those. I don't want to take all  
30 the time right now to go through each one of those negotiated points, but there  
31 were some key points. I think what I can do is be available to discuss or to  
32 answer questions on certain items whether it's term, whether it's public benefit,  
33 whether it's some of the other specifics as to fees and some of the other items  
34 I'm available to do that because I was part of the process.

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – Thank you, Ken and thank you for  
37 the comprehensive presentation. We are collectively here to answer any  
38 questions that the Commission may have, and we will now defer to you.

39  
40 **CHAIR LOWELL** – Thank you very much for your Staff Report. Unless any of  
41 my fellow Commissioners have a burning question for Staff, I'd like to defer our  
42 comments to Staff until our Commissioner debate towards the end of this  
43 hearing. Does anybody have any burning questions that they'd like to ask Staff  
44 right now or can we move along to the Applicant's presentation? Okay, we will  
45 defer our comments to Staff until the Commissioner discussion portion of this

1 meeting. At this time, I would like to ask the Applicant to come up and give us  
2 their presentation.

3  
4 **IDDO BENZEEVI** – First of all, it’s an honor to be here and I feel very, very  
5 appreciative of the opportunity to present the project in front of you. This project  
6 represents a tremendous amount of effort, a lot of resources, a lot of time, and a  
7 tremendous amount of money to get to this point. It clearly reflects the best  
8 judgment of some global experts with a tremendous amount of local experience  
9 to bring us the best that we can possibly have in a project that can really move  
10 our community forward. If I may, I need a simple instruction on how to operate  
11 this equipment here.

12  
13 **CHAIR LOWELL** – Do we have somebody from IT that can come up and help  
14 the Applicant?

15  
16 **APPLICANT** – While we’re waiting for that, I know between this speaker and my  
17 Texan accent it might not be very clear, so let me know if you can hear me. Is  
18 that pretty audible?

19  
20 **CHAIR LOWELL** – Yeah, it will be better once the slides are up.

21  
22 **IDDO BENZEEVI**– I also had the tremendous privilege in meeting a lot of people  
23 in our city, and through this process of three-and-a-half years of planning I’ve met  
24 literally thousands of people of the community I had the privilege of meeting them  
25 at presentations at our home and throughout the community. I have special  
26 appreciation to politicians as they go on campaigns because I’ve done some it.  
27 I’ve been in a lot of people’s homes explaining the project and answering  
28 questions, but the most important part of this process was really to listen to the  
29 community to understand what the issues are and to understand what they really  
30 desire. And, of course like in anything, you’re going to have a lot of opinions.  
31 But I found the prevailing need and the prevailing desire of the residents of our  
32 community here is for a better life, job opportunities, better environment, and a  
33 future mostly for the children. It’s not for themselves but for the children. And if  
34 we will have the privilege to bring something that can so much help this  
35 community move forward to become, what I really believe it could become, one  
36 of the best communities/best cities in the nation then there is no reason it  
37 shouldn’t. If we put all the ingredients together, we can become that. So, if I  
38 may, what I’d like to do is go through the presentation. Some of it is about the  
39 project and we’ll deal with some specific issues with Staff, and I want to thank  
40 Staff for a good presentation of setting forth the parameters of what is involved  
41 technically. But I’d like to really answer the question of why logistics. What is  
42 logistics? What does it mean to us? Why is it a historical opportunity I believe  
43 for our region and this City, not just a good business opportunity or a good  
44 business plan but a historical opportunity for our region and why it clearly can  
45 move us more forward. So, if I may, I’d like to begin with the presentation. I feel  
46 sort of awkward speaking with my back to most of the people. Would it be okay if

1 I stand on the side? Okay because I feel like I am standing with my back to most  
2 of the people. If I stand like this, is that good?

3  
4 **AUDIENCE** – However you want to do it.

5  
6 **IDDO BENZEEVI** – Okay. Alright, so first of all what is logistics and where does  
7 it all come from? What is it that we do? What is happening in the world to make  
8 this possible? We all heard about the global economy, and we all know now that  
9 international trade is the engine of the global economy. And the significance  
10 about it is that in the year 2000 there was less than \$4.7 trillion and by 2020, in  
11 about five years, it will have expanded to over \$35 trillion. That's a huge  
12 expansion, but what does it really mean? I won't spend time with this but some  
13 people think international trade means that we are all buying and selling from one  
14 another, and we go to Walmart and we see things from China. It is about 8% or  
15 9% of the global economy. What it really means is today it's literally...the reason  
16 a single company that masters all the resources and technology to make a single  
17 product and so this is your basic laptop. This is how many countries are involved  
18 in making a basic laptop, but if you go to the subcomponents you'll find the same  
19 three happens over and over again. It's literally impossible to make anything in  
20 one country, but this is what is called a Source Map for a laptop. This is how  
21 many basic things have to come to and from just to put together a laptop, so  
22 when people think something is made in China it's not quite how they think it  
23 might be. It really is made by the world, and we all know Apple. Apple today is  
24 the largest corporation in the world worth over three-quarters of a trillion dollars,  
25 and we all know their products. And Apple itself has to procure materials,  
26 technologies and so forth, from 776 global suppliers as you can see from almost  
27 every country in the world just to make your basic Apple product. And it isn't just  
28 high tech stuff. Your jeans, this is how many countries are involved in making a  
29 basic pair of jeans. So when we read a label that says something is made in  
30 China perhaps it's not what we think it's saying. And I won't go into a lot of it, but  
31 in reality it's really made by the global economy, by the world as a whole. And  
32 it's not just pants and high tech. This is, you know, all American pizza. You  
33 know, ingredients come from other worlds. The olives come from Greece. The  
34 olive oil from Spain and so forth. And big stuff, the all American aircraft company  
35 Boeing. This is how many countries are involved in making a Boeing aircraft.  
36 Well it really goes from there. They procure 783 million parts from literally, as  
37 you can see at the bottom of the globe, almost every country in the world just to  
38 make the airplane. In reality, it is impossible to make anything in one country.  
39 So, what is logistics? We all know companies like Nike. Nike sells  
40 approximately, I haven't checked lately, but about \$40 billion worth of athletic  
41 wear. So how many shoes does Nike make? Anybody know?

42  
43 **AUDIENCE** – Zero.

44  
45 **IDDO BENZEEVI** – Yeah, zero is the right word. They're basically, for the fine  
46 logistics of designing a product, getting procurement from the manufacturer and

1 getting to the customer. That's logistics. They're basically a very large logistics  
2 company. Nike is not in the business of making shoes. And we all know Apple,  
3 right? They sell hundreds of millions of devices, Apple iPhone's and so forth.  
4 How many iPhone's does Apple make? Anybody know?

5  
6 **AUDIENCE** – Zero.

7  
8 **IDDO BENZEEVI** – Zero is the right answer. Again designing it in California,  
9 procuring the manufacturing all over the world, and getting it to the customer is  
10 logistics. They are very, very large. They depend on logistics to make the  
11 products. In fact, if you look at any Apple product, it won't say on the back made  
12 by Apple, manufactured by Apple, assembled by Apple, anything by Apple. It will  
13 say designed by Apple. Design is almost a code word for logistics because  
14 nobody understands the word logistics and some people think it's a disease.  
15 They say I talk about logistics, you went to the doctor, what do you have to do for  
16 it? You got logistics. Be careful, don't shake my hands. So design is sort of a  
17 simpler word to talk about logistics. Logistics, in fact, is the new manufacturing.  
18 This is how we put things together. This is how we get products around the  
19 world. There are also several shifts that really effects what we will see here in  
20 the way of jobs. There are three fundamental shifts in the world. One is for  
21 manufacturing to logistics, another from manual to technology skills, and from  
22 subtractive to additive manufacturing. And what does that really mean manual  
23 skills to technology skills? We all know that skills today, you know, somebody  
24 learns to be a welder and they get a good job being a welder. Well today we're  
25 moving technology. The machines are doing the work. It's shifting. This is what,  
26 you know General Motors, if somebody had the job as a welder that was a well-  
27 paid job and sometimes as much as management because your product is  
28 dependent upon good welds. Well today this is what the welding now looks like  
29 at General Motors. We're moving technology, same thing as assembly. This is  
30 what the assembly line looks like at General Motors today. What does it all  
31 mean? We're actually moving technology. The machines are doing the work.  
32 The jobs are changing. It's the same in healthcare. There's a doctor sitting in his  
33 office and the nurse is having the status go to the patient while the doctor is out  
34 of the office. This is not science fiction. This is actually in Children's Hospital in  
35 Orange County. It's happening everywhere and not just, you know, at nursing  
36 levels but doctor levels. God forbid you need to have a major surgery like back  
37 surgery. You need six or seven surgeons around the table. They open you up  
38 and keep you going and all your organs going. Today we have robotic surgery  
39 as well, and this is an expensive machine. It costs about \$3 million. We bought  
40 one for two area hospitals, but it took place of about six surgeons. And the  
41 outcomes are much better because instead of opening you up and spending six  
42 months to a year recuperating from major surgery you make three small incisions  
43 and you're in the hospital two days further for observation and you go back  
44 home. And it's changing on all levels. How many people remember just a few  
45 years ago the only way to listen to music in America was to drive to some record  
46 store, stand and look around for the records, stand at cashier and pay for it, and

1 drive home put it in machine and listen to music. Well now we have iTunes. You  
2 select the music, pay for the music, and listen to the music instantly. Every town  
3 in America had record stores. Millions of people employed, stock clerks, store  
4 managers, and actually people had careers. They'd say I don't want to go to  
5 college. I don't want to get technical training. I'm a good guy and I work. I'm  
6 going to work at the record store and get promoted to a store assistant manager,  
7 and then a store manager, and then I'll be a regional manager, and at the end of  
8 the day even if you wanted to do this job today for nothing it doesn't exist. But, it  
9 does exist. People still sell music like iTunes but there is not somebody in front  
10 of you over the counter giving you the music, they are sitting behind some  
11 technology computers and selling you iTunes. The same thing in Japan,  
12 McDonalds has a problem with high wages getting fast food out, so they talked  
13 about an automation company that they are looking to automate McDonalds and  
14 it will probably come to the United States as well. Trucks too, this is in Germany.  
15 Mercedes there are autonomous trucks and the trucks drive themselves on the  
16 freeway, somebody is ordering his lunch. But what happens is the jobs are  
17 changing now that you don't really have to drive the truck. They are dealing with  
18 some sophisticated stuff. They are actually almost becoming managers. You  
19 have other functions than just driving the truck, and I thought well maybe it will  
20 come to America pretty soon. Then, on 05/05/2015 in the news, Freightliner  
21 which is one of the trucking companies in America, manufacturer...I don't know  
22 the trucking company, manufacturing company unveiled the first autonomous  
23 truck and the state of Nevada gave the first license for autonomous trucks driving  
24 in the United States. And you can see where it's going, the jobs again, but this is  
25 not a new phenomenon. The shift to technology is not a new phenomenon.  
26 People are usually concerned about where's the jobs going, but it's not a new  
27 phenomenon. It's happened over and over again throughout our history. One  
28 hundred years ago before technology on the farm to plow 100 acres you needed  
29 30 guys behind some plows spending a week to plow 100 acres. Then comes  
30 technology and one guy on a tractor plows 100 acres in a day; same thing here  
31 today. It's actually even plowing that is very sophisticated even to drive farm  
32 equipment today, but even to how we harvest wheat. In 1900, not that long ago,  
33 it took 20 people five days to harvest wheat from 10 acres. Today, current time,  
34 we harvest 10 acres in 6.7 minutes. Alright, so what happens to all of this?  
35 People think because of technology, technology coming, we end up with less  
36 jobs. But, in fact, technology actually creates more jobs. We had 25 people  
37 living on the farm before the tractors and combines came, and when the  
38 combines came it shrunk. We had 25 million people basically loose their job on  
39 the farm. But what happened? We created 80 million jobs, right? You had to  
40 move from maybe putting a hay bale in front of a horse to becoming a mechanic  
41 or if you went to college to become an engineer designing the tractors. And  
42 maybe you were a banker to finance them or maybe an advertising agency to  
43 advertise and then so on and so forth. We created a lot more jobs. In fact, we  
44 manufacture twice as much as we ever did in America, but this is what our  
45 factories look like. We have a lot more people that need to be trained with  
46 technology because this is where the world is going. It isn't because we want to

1 or don't want to have it in Moreno Valley. This is what's happening in the world.  
2 We either watch it happen or take advantage and harness the opportunity and  
3 move it to Moreno Valley as well because even in logistics, you know, it's  
4 becoming even more and more technology driven. And the skill sets that are  
5 required to work in any of these facilities is ever growing, and you can see even  
6 the basic meaning of work, which is picking up a box, is now done with robotics  
7 and automation other things. It doesn't mean less jobs. It means different kinds  
8 of jobs, and it's happening on all scales. This is even cars today. You can see  
9 this is a big robotic crane that's actually storing parts, and this is a very  
10 sophisticated piece of equipment that requires a lot of people whether to program  
11 it, to maintain it, or to deal with it and this is what the jobs are becoming because  
12 today the jobs are moving technology. We're not doing the work. We have to  
13 understand the whole shift. In fact, in the next decade 80% of all jobs will require  
14 technical skills. It's like being on a farm. If all we now how to do is put a hay  
15 bale in front of a horse, we'll be challenged to get a job. But, if we become a  
16 mechanic, there might be a lot of job opportunities for us. And, in fact, you can  
17 see STEM jobs are growing at a much faster pace than oil occupation, which are  
18 actually shrinking. In fact, you know STEM jobs, which are science, technology  
19 and so forth, are going at about 300% of the pace of any other jobs. And, you  
20 know, the issue for us all over America, not just here in Moreno Valley, is the fact  
21 that we've got to do more. And, I'll tell you why we're going to do more in  
22 Moreno Valley, but you would think out of the 15 largest industrial nations in the  
23 world that we would be number one in STEM. But actually we're number 14.  
24 The country you think would least have all these educated labor force would be  
25 China, but in fact, they're number one in the world. And it's pretty concerning  
26 that really in the United States we're 50% below the world average, so we have  
27 to do a lot and we have to start early teaching our kids training and getting the  
28 right jobs in line whether we're programming them, educating them, and we will  
29 have not just sport champions but champions in new technology because this is  
30 where the jobs are coming and this is what we need to be doing. What we will be  
31 doing has not been described in detail in the Development Agreement and to the  
32 credit of Staff, because usually you always ask about some parks and different  
33 things, and it is all nice to have. And we will have them as well in Moreno Valley,  
34 but they were very, very interested in educating the workforce to make sure that  
35 our people in Moreno Valley will have the training. We will spend...we have  
36 committed close to \$7 million to make sure we have training programs in Moreno  
37 Valley for all of us to be able to train and get those kinds of jobs, so \$7 million in  
38 the Development Agreement. We also want to make sure that Moreno Valley  
39 residents will have first dibs at those jobs, and I heard a lot of times people telling  
40 me we went and applied for some jobs and there were no jobs. There is so  
41 much demand for the jobs. So many people want jobs that, when people open  
42 up their doors that need 300 jobs, they get 10,000 applications. Within one hour  
43 they are done and then people think they are not open for jobs. What we will do  
44 in Moreno Valley is we will know when certain industry sectors are coming a long  
45 time in advance because you have to plan it, you have to build it and construct it,  
46 so we know who is coming. And what we'll be doing with the City is making sure



1 that we have a program that first of all ties to the training so we'll know what jobs  
2 are coming, the actual jobs that will be available in Moreno Valley. We'll know  
3 what they are so we're going to put training programs in place so people could  
4 train for those specific jobs. Above that, as permitted by law to the extent we  
5 can, we are going to make those jobs be known to Moreno Valley residents. We  
6 will pilot this program a week or longer in advance before the doors are open for  
7 applicants, so if there's 10,000 applications and there's only 300 jobs, instead of  
8 Moreno Valley residents being 2071 it could be one of the first 300 at those jobs.  
9 So if we train the people, we get trained, we get educated, we'll have the first  
10 chance at those jobs right here in Moreno Valley, and we have committed \$7  
11 million towards that end in addition to the \$22 million a year that we will pay for  
12 public education out of the taxes paid by the World Logistics Center, so that's in  
13 addition to that. That's directly to provide an advantage to Moreno Valley  
14 residents. And what are the jobs? There are going to be a lot of technical jobs,  
15 right? Whether you're installing automation, fixing it or maintaining it,  
16 programming it, there's a lot of different kind of jobs like that. Now I'd like to talk  
17 a little bit about the World Logistics Center itself, and what it might look like and  
18 function, and why it is a historic opportunity for our region. First of all, we're now  
19 on the right side of the world. Right? It used to be the Atlantic Century. Most of  
20 the trade was with Europe and therefore the East Coast was the gateway to  
21 America. Now it is the Pacific Century. Most of the expanding economies are in  
22 Asia and the gateway to America is on the West Coast. In fact, the only good  
23 thing the California legislature has ever done is put us on the right course. Other  
24 than that, I think they've messed up a lot of things. But they put on the right  
25 course at the right time at a historical moment in the world. We're on the right  
26 side of the world. And, in fact, there is tremendous growth. The containers, and  
27 remember the slides about how many places things have to come to and from to  
28 make any product, the expansion of that industry is tremendous. By 2030, which  
29 is 15 years from now, we're going to grow literally by about 30 million TU's or  
30 what they call containers. Containers really are reflective of the amount of  
31 products we are making or exporting, or dealing with, or putting together so that's  
32 a tremendous opportunity. We're also part of one of the largest economies in the  
33 world, right? Southern California, if you take Los Angeles to San Diego, they  
34 form the Inland Empire. If you isolate it and make it an independent nation, it  
35 would be one of the largest economies in the world; the top 10 economies in the  
36 world. So, Moreno Valley, we are located within an hours drive to every major  
37 market in Southern California, which is one of the largest economies in the world.  
38 We are also the number one logistics markets in the United States and one of the  
39 largest in the world and because logistics is the new manufacturing Southern  
40 California, this golden triangle, is also the number one manufacturing hub in the  
41 United States. So we are located within this hub and yet we have some of the  
42 lowest job-to-housing ratio and the lowest number of jobs anywhere. If we were  
43 in the middle outskirts of Nebraska, I would think it would be challenging. But, to  
44 be right here and not to have jobs for everybody living here, that's sad. But,  
45 beyond being sad, we're going to do something about it to change that for most  
46 of the people in Moreno Valley. In addition to being within an hour's drive of

1 every major market in Southern California, which is again one of the largest  
2 economies, we're also within the overnight trucking to deliver in the Western  
3 states. We literally can service over 200 million customers with this location right  
4 here in Moreno Valley, so it's a tremendous asset. Why is it important? Because  
5 any economy, any place throughout times that builds an economy, relied on the  
6 geographical advantage. You know, if you're in Napa Valley and you can grow  
7 good grapes, you can build an economy, a good quality of life, create jobs  
8 around wine. But, if you say, we don't like wine let's grow potatoes, you'll grow  
9 bad potatoes. Nobody wants your potatoes and you won't grow an economy and  
10 you won't create jobs. Nobody wants them. You know, if you're in New York and  
11 you can capitalize on the trades that used to come from New York and build  
12 financial centers to finance trade, you can build a financial center, build an  
13 economy, build jobs, quality of life and opportunities. But, if you say we don't  
14 want finance, let's grow potatoes. Well you'll grow bad potatoes. There will not  
15 be banks. There won't financing, and there won't be an economy. Same thing is  
16 in Houston. If you don't build on oil and you want to grow potatoes, you won't  
17 build an economy. You can't. If you're in Idaho, you can grow an economy  
18 around potatoes, create jobs, economic opportunity, and a better quality of life.  
19 But, if you're in Idaho and you say we don't want potatoes we want grapes, you'll  
20 grow bad grapes. You won't have good wine. You won't grow an economy. You  
21 won't create jobs and so forth. We're located in the historical geographical  
22 opportunity as we're on the right side of the world in the right place at the right  
23 time. And it's also moving our way. Most of that, and I won't spend too much  
24 time on this because there's a lot of information here, but the Inland Empire  
25 where we're centered is one of the largest and most desirable places for the new  
26 manufacturing, which is really logistics. But when did this plan start? Was this  
27 some idea that we just had and we came about it? It actually started back in  
28 2011. The city was in tremendous difficulty, you know, remember it was the  
29 height of the economic recession. There were over 5000 foreclosures in Moreno  
30 Valley, 40% unemployment in the construction trades. Twenty some percent  
31 unemployment in Moreno Valley. That's actually, if you remember when we built  
32 the building everybody referred to as Skechers, Skechers is in that building and  
33 we built it. We actually felt that this is a great community despite everybody  
34 running for the hills keeping their money, what they had left, in their pocket.  
35 Homes were being foreclosed. Nobody wanted to invest anything. We heard  
36 about shovel-ready projects, right, stimulus money. The only thing that was  
37 ready at the time was shovels. There was nothing being built, and we said we  
38 believe in this community. This community will succeed. We can build a world  
39 class project, and we invested a tremendous amount of money employing 1100  
40 construction workers during the process. Today there are 600 to 700 people  
41 working at Skechers, and when they to full occupancy in terms of their  
42 production, they're expected to get to 900 to 1000 jobs there. And that's from  
43 nothing and during the worst of economic times so our commitment to Moreno  
44 Valley didn't start today or yesterday. But, in 2011 the City management  
45 understood that we had a challenge. How do we creat jobs in the community?  
46 So they started to develop an Economic Development Plan that they spent some

1 time doing and eventually culminated in a Staff Report that essentially  
2 recognized that out in the Rancho Belago area in Eastern Moreno Valley that  
3 there was a tremendous opportunity to develop a logistics industry and they  
4 talked to us about cooperating and trying to build together a center for that. But  
5 they didn't just do it because they liked to or wanted to, they actually hired two  
6 independent consultants/big economic groups, to evaluate the opportunity. They  
7 also recognized through the survey that the cities land area allocated to job  
8 producing land uses was very small. It was less than 9%. Most cities have at  
9 least 15% to 25% of the area allocated to job producing land uses. Moreno  
10 Valley had in total 9%, which is very low and makes it unsustainable. The only  
11 way you can proceed is raise more and more taxes to cover your budget  
12 because you don't have the tax base. They recognized this and wanted to  
13 expand that, so they hired one group. It's a very well-known group in the  
14 country, actually in California, Beacon Economics and they evaluated it. I took  
15 some excerpts of it. They looked at the logistics industry and realized it's  
16 technologically advanced and it's moving to more and more and more  
17 technology. And there is also the traditional logistics, which is what most people  
18 are familiar with. They call it warehousing and those kinds of things and so they  
19 looked at two things. They said, if we have a high tech sort of center with  
20 logistics or technology jobs, it would create about 16,000 jobs. If we have the  
21 traditional menial types of jobs in traditional logistics, it would be about 25,000  
22 jobs, so the number that has come out in our EIR and the city's fiscal impact  
23 analysis and so forth was around 20,000 as sort of an average. Maybe not  
24 everything would be super high tech but not everything is going to be menial, so  
25 between 25,000 and the 16,000 is where the 20,000 jobs estimate is coming  
26 from. But that's without the multiplying without the original jobs. As you can see,  
27 there are more jobs if you look at the total and the difference between those and  
28 the total jobs is then multiplied. If you have 20,000 people having lunch in the  
29 city, we won't have a Bobs Big Boy's close because the people there they need  
30 lunch, they need breakfast and other things and we don't have a daytime  
31 population of jobs to keep any. In the Stoneridge Center, we had Office Max  
32 close. Best Buy closed. Bobs Big Boy closed and even a Starbucks used to be  
33 there and closed. I've never seen a Starbucks close anywhere, not even at a  
34 graveyard. It closed in that center. We don't have the data and population, so if  
35 you have 20,000 people I don't care if you're a baker in town. Twenty thousand  
36 people there's only 365 days in a year, right? We have birthdays, hundreds of  
37 birthdays every year. If you're a baker, you're going to make more baking.  
38 Twenty thousand people buying lunches, sandwiches, I don't care what you're  
39 eating, that's 20,000 people that need to eat something. And they're going to  
40 buy it in our restaurants, right, creating more opportunities for us. I don't care if  
41 they buy gas, if they buy a sandwich, or buy McDonald's, whatever they do they  
42 create opportunities right here. I don't care if it's your anniversary, 20,000 people  
43 having anniversaries. If you have a flower store, you're going to sell thousands  
44 of flowers every day because somebody is going to have an anniversary. So it  
45 creates what is called the multiply effect. And, when you review it, these are  
46 some of the summaries that said it would be a significant economic impact on the

1 City of Moreno Valley, a positive impact. And the key was jobs, right, and the  
2 annual revenues for our city to be able to provide a better quality of life. Then  
3 they hired another consultant, John Husing, who is one of the foremost  
4 authorities in the region on our economy and he came up independently. I didn't  
5 know that he had provided those reports. He also came up, you can see on the  
6 top, with 20,000 jobs, so two different independent consultants evaluating the  
7 technologically advanced project that we we're developing that's generally the  
8 number of jobs. And many people ask me how do you know the jobs, so we  
9 talked about how we're going to provide an advantage to Moreno Valley  
10 residents both the training and advantage to get the jobs. But somebody talked  
11 to me about promising jobs. Nobody can promise jobs. If you're equal  
12 opportunity in America, if you're qualified to get a job, you should be able to get  
13 into anywhere you want in America. But I can tell you one thing, if there are  
14 20,000 jobs, I might not get a job there, you might not get a job there, but 20,000  
15 of somebody will get a job there. And all those jobs are going to be in Moreno  
16 Valley for the benefit of our community. And part of the other ideas why they  
17 thought it was a good place to be is because they realize it is away from homes.  
18 There are no schools around there. There are no shopping centers that it  
19 interferes with, and it has direct freeway access, which was unique in literally  
20 most of Southern California. And what do we have in Moreno Valley? The  
21 challenge is that today we have the lowest job-to-housing than any other  
22 community. In fact, we are 0.47. You can see on the graph that most of the  
23 communities around us have multiples what we have, and that's partly because  
24 we have the least amount of land allocated to job producing land uses. We have  
25 9%. Most cities have at least 15% or more to be sustainable, and with the World  
26 Logistics Center we are going to greatly improve it. Not enough, we're still going  
27 to have to do a lot more for jobs as big as this project is. And we need a big  
28 project that creates a lot of jobs because this is not a time for small projects or a  
29 time for small or little amount of jobs. We need massive project to catch up from  
30 where we are because we are so far behind. But, even with this big massive  
31 project, it will still barely get us to one job per household and we need to do  
32 more, so we will be working with other projects in the city to even create more  
33 employment opportunities. And some people tell me, oh we have too much. I  
34 see all these buildings. Really? We're the second largest city in Riverside  
35 County, the second largest city in the county. Yet this is the industrial market in  
36 the Inland Empire. We're the second largest city in Riverside County and  
37 Moreno Valley represents 2.7% of the market. We're not even rounding up.  
38 With everything's that built, everything that you see around us, we're 2.7%. Now  
39 it will probably go up a little bit because I think Prologis is a new project in town  
40 that will add a little bit to it, but not enough to make a significant change in the  
41 percentages. In fact, our neighbor's uptown sometimes really are concerned  
42 about our welfare in Moreno Valley, you know, they have three times as much as  
43 we do yet they are complaining sometimes about we shouldn't have any. They  
44 have 9%. Cucamonga three times as much, Fontana three times as much,  
45 Riverside three times as much, Chino three times as much, Corona twice as  
46 much. Even Redlands, which is a much smaller city, has 50% more than we do

1 and they keep on building more over there. And what does it really look like?  
2 This is the City of Moreno Valley. What's grayed out is basically everything that  
3 is zoned for residential and after everything you see is built, being built, is built  
4 and processed for the city. Now everything that you see is out and under  
5 construction gets built and done, we only have 94 acres left for industrial job-  
6 producing land uses in the city. That's it. All the jobs available are seen here. It  
7 might be a little bit more because I think Prologis again was approved so it will  
8 add a few more acres to one or two more buildings or whatever it is. But literally  
9 all the jobs you will ever see are here because...and it's not even one 94 acre  
10 parcel, it's a few smaller ones, and those smaller buildings are not what the  
11 market demands and are not even responsive to the economy today. And so it  
12 may be that everything we see up now is what's up and what's processed in the  
13 city. That's all we'll have. And we'll have another 100,000 people for our city  
14 with the same number of jobs. We'll never have job opportunities. We'll be  
15 committed to commuting for the rest of our lives, which is obviously not  
16 sustainable. In fact, the most underestimated risk for Moreno Valley is the lack of  
17 available land for industrial job-producing land uses. We're all sailing along  
18 because we see another building being built and we're now going to create  
19 another business. Then we see a few more jobs, but pretty soon we say what's  
20 happening to all this? Why is nobody coming to Moreno Valley? We don't have  
21 the land to do it. We must allocate more land if we're going to have more jobs.  
22 And what does that all mean? Kosmont, I think your firm did a study and  
23 basically indicated there are 57,000 households in Moreno Valley and it turns out  
24 that 51,000 have to commute out of town for jobs. That's literally 88% to 90% of  
25 everybody in Moreno Valley has to commute out for an average of 76 minutes to  
26 their job they perform. And how do we know it's 76 minutes? Actually the US  
27 Census Bureau knows it because only the government knows where you live and  
28 where you get your paycheck, so they don't tell us what name and who the  
29 person is. But they all know where you live and where you get your paycheck,  
30 76 minutes away from the family, away from the kids in traffic just to support a  
31 family for a better quality of life. And what is the true cost of commuting? People  
32 don't realize why we have low property values. It's really not magic or any  
33 secret, but we all know in the housing business that typically every minute of  
34 commute time is worth about \$5000 in your home value, so every minute, right?  
35 If you look at Moreno Valley to Riverside, it is about 10 minutes. You have about  
36 10 minutes times \$5000 about a \$50,000 difference in the median average. If  
37 you go from Moreno Valley to Irvine in rush hour, you know in the morning time  
38 it's about 90 minutes. That's why we have a \$500,000 home value differential,  
39 and you can go to any community in between and it will average approximately  
40 that. That's approximate obviously. It's not an exact number on everything, but  
41 it's approximately. Because we don't have jobs, we have the lowest property  
42 values in our region for beautiful homes. But we don't have the jobs to create the  
43 value. In fact, it isn't just the home value that suffers. According to the IRS, the  
44 cost of commuting is about \$0.51 per mile. And in a dual-commuting household  
45 for 10 years, husband and wife for 10 years not for the entire 30-year career but  
46 for 10 years, they spend about \$260,000 in commuting. That's money that could

1 be spent in our community helping our kids, educating our kids, staying with our  
2 kids and making our community better. So that commute, lack of jobs, is costing  
3 us a lot more than that. In fact, some people talk about the General Plan. This is  
4 not a very encouraging thing. But at least we have to live with how the world  
5 perceives us and Forbes comes up with an analysis to rate the top 150 largest  
6 cities in the United States, and in overall ranking Moreno Valley came in at 149<sup>th</sup>.  
7 And in the job market, we were 150<sup>th</sup> from 150 large cities. So whatever plan we  
8 had, whatever general plan...if you had a financial plan and every year you lose  
9 money and you lose more and more and more money maybe it's time to change  
10 the plan and get wiser about the plan. This plan did not yield. Let's say we  
11 sacrificed jobs in the industry because we have a better quality of life, but as it  
12 turns out we are 149<sup>th</sup> even in quality of life. In jobs were 150<sup>th</sup>, so that plan  
13 hasn't actually really worked for us. And smart people if we keep on doing the  
14 same thing over and over again and expecting a different outcome really that's  
15 not a tangible way to run anything, especially not our communities here. And so  
16 the World Logistics Center some people ask, you know, how did it come about  
17 and how is it that it's a larger area than what we in Highlands Fairview actually  
18 own. Back on 02/08/2012, we received a letter from the City, which basically  
19 said as you are also aware over the past year the City has developed and is now  
20 implementing an aggressive economic development strategy which identifies  
21 logistics as the prime area of focus and opportunity for development in the  
22 eastern portion of the city generally regarded as Rancho Belago area. The area  
23 identified by the City for logistic warehouse distribution uses is located east of  
24 Redlands Boulevard, south of 60, and stretching to the eastern portion of the  
25 City. And this was, by the way, through public hearings. I attended most of  
26 them, and it was vetted and voted by not the previous Council or the Council  
27 before that, three Councils ago. In fact, they gave us instructions that said it will  
28 be impossible for the City to undertake a planning process that does not consider  
29 the entire Moreno Highlands area, including land currently not owned or  
30 controlled by Highland Fairview. And at the end it said, for this reason, City  
31 management is requesting and Staff has directed the Highland Fairview  
32 Entitlement Team and City Planning Staff to analyze the entire Moreno Highlands  
33 area and not just land currently controlled by Highland Fairview. In the  
34 beginning, we weren't so happy about it because it cost a lot of money. All these  
35 documents you see over there, the EIR, just the studies the cities fees and  
36 everything else, probably totaled more than \$10 million. And, if you add all the  
37 costs together, it's closer to \$23 million. I wasn't happy to go plan everybody  
38 else's land. EIR's and all these things cost a tremendous amount of money, a  
39 tremendous amount of fees, but they thought it's the only right thing to do. And  
40 they were not in the financial condition to take this kind of undertaking and plan  
41 the whole area, but they knew jobs and doing something about it was important  
42 and so this is the area that was asked to be planned. This is the area of the  
43 World Logistics Center Specific Plan. This is the land that is actually owned by  
44 Highland Fairview, so we own a smaller portion than the entire plan that the City  
45 has although we have analyzed the entirety of the area. This is the area to the  
46 south. The green area is owned by the State Fish and Game and San Diego

1 Gas and Electric. This is pretty much the traffic circulation plan that will be at the  
2 project site, and as you can see, there is a little dot that is moving. But most of  
3 the circulation is designed to work for Theodore. You get access to other parcel  
4 and exit Theodore pretty much preventing anything from having to go to the  
5 surrounding community. And the buildings themselves are a new paradigm  
6 because we used to say, you know, the big offices/the nice corporate facilities  
7 were in San Diego, in Newport Beach, and in Los Angeles and extend out the  
8 secondary function of the Inland Empire. Now we're seeing corporate functions,  
9 right, high-paying jobs mainly in those facilities. We saw that first. The first of its  
10 kind was Skechers and now we saw how they came into the community and they  
11 have a large office component with management there as well. This is the  
12 paradigm shift that is happening. And the building is a large office building and it  
13 is well done. It's not just logistics. They have office components because they  
14 are requiring a lot of people to operate and direct what happens in those  
15 buildings, but that can also be done very sustainably. The Skecher building, as  
16 we refer to it in this community, is the world's largest LEED Gold certified building  
17 of its kind. And we should be proud of it because Moreno Valley is globally in  
18 advanced stable technologies. Nobody else is. We've already had 1800  
19 corporate CEO's from all over the world come visit the building. We actually  
20 didn't have even all of our Councilmen come see the building. But we had 1800  
21 corporate CEO's and almost every Councilman, every mayor from every major  
22 city and smaller city in Southern California come to see this building, so it's  
23 actually more famous outside of Moreno Valley than it is in Moreno Valley. And  
24 the entire project will also be very sustainable implementing a lot of different  
25 things and it's a long, long list. There are thousands of pages, so I won't take the  
26 time with it. But suffice to say that we use our complete philosophical approach  
27 to develop and to basically...as you remember the Skecher construction, we  
28 have zero dust policy. The sustainability doesn't stop once you finish the building  
29 but through the construction cycle and everything else. And, as City official said,  
30 our project is probably the only project of this size in the country that is  
31 committed, even during construction, to all tier 4 equipment. You may not know  
32 what tier 4 is, but it's the highest standards in heavy equipment. You can't get  
33 any cleaner equipment than tier 4. Very few people use them. Everything we  
34 will use will be tier 4. But a few years back before the drought was such a thing  
35 in front us, we started developing water technologies to make sure we are water  
36 efficient. So I'm happy to say that, through this EIR that is reviewed by the  
37 agencies, we're going to be able to save as compared to the General Plan 1.5  
38 billion gallons of water. Now what does 1.5 billion gallons of water mean? It  
39 literally is enough water to support 27,000 households a year or enough drinking  
40 water for every home in Moreno Valley for 50 years every year, so the times sort  
41 of match our forward thinking by creating the water technologies that will enable  
42 us to save a tremendous amount of water within the project compared to the  
43 General Plan. Also, in air quality, our project is entirely committed to near 0/0  
44 emission vehicles. There is no other project like this in the country that's  
45 committed at this scale to use this technology, which is the cleanest technology  
46 available today. And, as we saw by the reports, has no cancer risk associated

1 with it. In fact, it might be hard to see from where you are, but what's circled over  
2 there you see in 2010, it's just a number to represent the technology that arrived  
3 at that point. You could see that by 2010, if you utilized the 2010 which most  
4 people don't but we are, it's near zero emissions. You can see the zero number.  
5 In fact, this was something that was at the University of California at Riverside,  
6 UC Riverside, it's says that the emissions from new highway trucks is so clean  
7 that an 18-wheeler driving from Chicago to Baltimore emits no more air pollution  
8 than grilling hamburgers for a family of four. So, on the fourth of July, be careful  
9 you're killing your neighbors. You might as well drive a truck around the  
10 neighborhood. That's a better thing to do. And the HEI Institute, which is an  
11 independent nonprofit major institute that is funded by the Federal Environmental  
12 Protection Agency, the California Air Resource Board and others have come up  
13 with a report that basically indicated that zero cancer risk, precancer no risk  
14 associated with new diesel 2010 technology, which is tremendous news. And  
15 some people always want to argue about it and they can, but they can go argue  
16 with the Federal EPA or all the other agencies. This is a multiuse study. It is  
17 peer reviewed by all the top agencies. These are all the agencies that were  
18 involved in developing the HEI Institute Analysis. The EPA, Department of  
19 Energy, even large environmental group like the NRDC are part of that same  
20 report. So now I want to show you a little bit about what the project looks like as  
21 we drive by it on the 60 Freeway, and so before we do that we want to make  
22 Moreno Valley be noticed on the global map. You know, how do we become a  
23 global city? You can drive through Moreno Valley...the first time I drove through  
24 it years ago, I drove forward and said when are we coming to Moreno Valley. He  
25 says we just passed it. There was no way of knowing that we had went through  
26 Moreno Valley, so a simple shape can put us on the global map. And what does  
27 that mean? Let's play a little game here. Does anybody know what city this is?  
28 Anybody guess?

29  
30 **AUDIENCE MEMBER** – Tel Aviv.

31  
32 **IDDO BENZEEVI** – Not Tel Aviv. Okay, can you tell now?

33  
34 **AUDIENCE MEMBER** – Greece.

35  
36 **IDDO BENZEEVI** – And can you tell what city this is? Can you tell now?

37  
38 **AUDIENCE MEMBER** – San Francisco.

39  
40 **IDDO BENZEEVI** – Yeah, San Francisco. Can you tell what this is?

41  
42 **AUDIENCE MEMBER** – Sydney.

43  
44 **IDDO BENZEEVI** – Yeah, Sydney is right. Can you tell now? Yeah. So, in fact,  
45 whoever can tell me where this is wins a prize, so where is this water in the  
46 world? Well somebody said it...well can you tell where it is now?



1  
2 **AUDIENCE MEMBER** – Sydney.

3  
4 **IDDO BENZEEVI** – Right, so a simple shape can literally put you on the global  
5 map. So, as you watch the...we have animation of driving on the freeway and it  
6 is calibrated by GPS to the real views and the real speed on the freeway. It's not  
7 depicting of traffic just the views, and you'll notice something on Theodore. This  
8 is something that in our Development Agreement hasn't been articulated yet.  
9 We're going to provide up to \$500,000 to the City to work the design on the  
10 freeway landscaping and the structure to create some iconic structure for Moreno  
11 Valley as we build a new Theodore interchange. So a simple shape can put us  
12 on the global map. So this is now heading east. This is Redlands Boulevard.  
13 The project is everything to the right south of the freeway, so again everything is  
14 to the right. I think if we did have something like that in Moreno Valley everybody  
15 would know they went through Moreno Valley. But this will be up to the City and  
16 the community to decide, but this is just an example of what could be. Anyway  
17 the project goes all the way up to Gilman Springs Highway and everything to the  
18 south is the project, so this is the project area. This is again the Circulation Plan,  
19 and I want to also talk about the adjacent city to Redlands Boulevard where the  
20 residents are, so the way we're doing that is through a berm. And I also want to  
21 talk about the berm, the buffer to the south, which is the State Fish and Game  
22 property below San Diego Gas and Electric. This is the old Moreno Highlands  
23 Specific Plan. And the State a few years ago, people don't realize it, used to be  
24 our land. So, when they bought it, guess who they bought it from? So we kind of  
25 know what happened and why they bought it, and so this is the portion they  
26 bought. And why did they buy it? This is the state document that's back in May  
27 of 2001. The are in red, I'll blow it up, is what it says in the document as the  
28 taxpayer went to the state and said we want money to buy this land. So what did  
29 they get the money for? So it said the Department of Fish and Game was  
30 identified as subject properties as being within the significant natural area and  
31 has recommended the purchase of the property as an addition to the existing  
32 wildlife area. Right, an addition to the wildlife area, but why? The acquisition of  
33 the subject properties is important to the wildlife area as they will serve as a  
34 buffer from development of the wildlife area. As they will serve as a buffer. This  
35 is what the State gave us. The taxpayers spent all of our money, including my  
36 own, to buy it because they thought they were buying a buffer. Now people want  
37 to rewrite history and tell us it's something else but this is the State document. If  
38 they want to use it for something else, please give us back the money and tell us  
39 why and maybe we want to give it to you again. But don't spend our taxpayer  
40 money for a different purpose that you told us. So they bought it as a buffer  
41 because, as you saw, it was part of the Moreno Highlands Specific Plan  
42 governed by a Development Agreement, which could not have been changed  
43 unless the City decided to do it. So it is going to give us an extra protection for  
44 the project and a buffer basically means an area that is not going to be built. And  
45 we now in case will have some retention ponds between the buildings and the  
46 wildlife areas further setting building out by about 400 feet from the buffer of the

1 wildlife preserve. So it's buffering the buffer. Only in Moreno Valley do we have  
2 a buffer of a buffer but that's also unique. So this is again, like we said, the  
3 Circulation Plan. Some people ask why is there not more land uses within the  
4 World Logistics Center Specific Plan. Of course, as a developer you wanted to  
5 have the shopping centers, everything in there. You've got 20,000 people. You  
6 could do a lot, but the City had a different idea. They said, you know, we want to  
7 use this center to show up the rest of the community and that's because most of  
8 our retail...in fact I think a large percentage, the City can correct me, but 70% to  
9 80% of all our sales tax revenue come from the East End Retail. The reason that  
10 Bobs Big Boy closed and others is because there wasn't a daytime population,  
11 so they said we don't want you to have more other uses, or commercial uses, or  
12 retail uses to basically cannibalize what we have. We want all these people thru  
13 Eucalyptus to come and go directly into our existing shopping areas showing  
14 them up making them more and more successful. They still have a lot of land  
15 available there too add more stores. And the stores that are there are becoming  
16 more successful, so we have more opportunities. And, of course with 20,000  
17 people on site without visitors with just the people working there, there is going to  
18 have to be more restaurants and more amenities and more things developed in  
19 our existing shopping areas that are all throughout the East End. But within the  
20 project, which starts east of Redlands, you can see with two commercial corners  
21 at Redlands and Theodore, as well as one in the center of the project so people  
22 don't have to go out to some shopping centers and have extra trips for  
23 convenient things that they need close by. So we have the best of both possible  
24 worlds. Filling our big retail areas they will be more successful while making it  
25 convenient for people at the site without cannibalizing it. This is the connection.  
26 The City at one time had sort of a Corridor Study because they wanted to see  
27 how do we do this connection, but sometimes in the noise of Moreno Valley you  
28 cannot even hear what the plan was so I am not sure what they did. But there  
29 was a Corridor Study to connect all these things together to make a lot of sense  
30 of it. And what would that buffer look like? What the transition would look like  
31 from Redlands Boulevard to the project? So this is Redlands Boulevard looking  
32 south from the freeway and you can see what we're building is a berm along the  
33 east side of Redlands Boulevard that eventually creates a berm. We have now  
34 an animation that sort of depicts what it would look like. Now I call it the avatar  
35 because it's real video embedded with computerized rendering of what the  
36 project would look like. And, by the way, that buffer keep it in mind. This is the  
37 Proctor & Gamble. This is a new project in the city. You see where the  
38 residential areas are. You see the buffer as it's okay for every other area in the  
39 city, and I want to show you the buffer to the World Logistics Center. So we're  
40 going to take a drive. This is where the buffer will be, and we're going to take a  
41 drive along Redlands Boulevard going south all the way down to Campbell,  
42 which is a street down in the Moreno area and back up. So this is now going  
43 south on Redlands Boulevard from the freeway. Everything to the left is the  
44 World Logistics Center, and you see there won't be even a physical access.  
45 There are no trucks, no cars; nothing can come through or into the residential  
46 areas or Redlands Boulevard because it's all going to be berm and, as you can

1 see, you can hardly see anything past it. For some reason a lot of things need to  
2 be hidden in Moreno Valley. But we thought you'd be proud of the buildings, but  
3 there's going to be a buffer. And you can see it's a physical barrier. It's actually  
4 a berm, and we listened to the community. I actually walked to most of the doors  
5 out there and people said we wanted to be more rural even though everything is  
6 rural now because it's not built. But there's nothing rural left in Moreno Valley.  
7 About the only farmer left in Moreno Valley is you're looking at him. I'm the only  
8 guy that's still farming in Moreno Valley, so I'm the only rural guy. I should've  
9 brought in my overalls instead of a suit. Again, this is Redlands Boulevard.  
10 Across from the residential tracks there you can see that's the berm along  
11 Redlands Boulevard, so that's the transition. It's the most extensive, the most  
12 elaborate buffer ever in any project, not here, not in Orange County, not  
13 anywhere else. And there will be trails also, horse trails, multiuse trails. Over on  
14 the other side, you can see some of the trail system. They were actually  
15 approved and worked with the Trails Committee who made recommendations.  
16 We adapted all of them. Now we're headed to Alessandro Boulevard. I was  
17 showing this in some conference and some people said are you buffering the  
18 project from the area? I said no. The area from the buffer, they thought the  
19 landscaping was actually nicer than what we had out there. This is Alessandro  
20 Boulevard now. So we'll go down to Campbell and that's one street over before  
21 the end over there in Moreno. There's nothing built at Campbell, but at the end  
22 of Campbell people think it's the World Logistics Center. It's actually a big  
23 residential track as, I won't call it a buffer, but that's what's next to it. Now that  
24 we're turning left onto to Campbell and we're going straight towards Merwin.  
25 Anybody here know where Merwin is? A few people, okay. I don't want to bore  
26 everybody else with this long drive, so at the end you will see that there is really  
27 no World Logistics Center because there will be a residential track, which I  
28 believe is currently process in the City, so there will be some housing track next  
29 door. So the World Logistics Center will actually start where those trees are.  
30 Now we're going up Merwin towards Bay Street. People don't like to see those  
31 things in Moreno. If you notice the Skecher Building, we lowered it below the  
32 freeway. We moved 4 million yards of dirt because they wanted to hide. Other  
33 cities, they want to be proud it. But here we have to hide it, so this is the  
34 community wishes. Now we're just headed to Bay Avenue. Anybody interested  
35 in seeing that because I can move along? So this is the trail we'll be installing at  
36 that landscape over by Moreno, which is again another buffer, so there is no  
37 physical connection between the World Logistics Center and the residential  
38 communities in Moreno Valley. There is no physical way to access from the  
39 project. Now we're going up to Bay Avenue, and we're turning left heading West  
40 on Bay. Now we're headed towards Redlands Boulevard. Again, that is the trail  
41 system that we worked with the Trails Committee to locate and so it will give  
42 easy access from the street and will work as a buffer for the World Logistics  
43 Center. Now we're turning right and going north on Redlands Boulevard so you  
44 can see it from a different perspective. This is now the project on the right side.  
45 The buildings are set way beyond that berm as well. So they're about from the  
46 center line here, they will be about 250 feet past that. So they aren't just on the

1 other side of the berm. They're actually set back from that as well. So we won't  
2 keep on driving. We could spend the rest of the evening driving around, so we'll  
3 just move on. The other area that is adjacent is up by Cactus and Cactus  
4 Avenue kind of looks over the project. But what people don't realize is there is a  
5 residential track that will be there. It's not the World Logistics Center. And I  
6 heard people say I bought my house in Moreno Valley, and when I bought it I  
7 read the General Plan and it wasn't the World Logistics Center. It's not fair my  
8 house will be across from the World Logistics Center. When I bought my home, I  
9 read the General Plan. Well we know two things about these people. One is  
10 they didn't read the General Plan because it's housing and well never mind what  
11 else. Think about it. But you can see the zoning across the street is actually  
12 residential. As you see it, and when it gets built, this is essentially what you will  
13 see. This is close depicting to the plan. The track map is there now. It's kind of  
14 a computerized version of it. There is a shopping center site in the corner as  
15 well, so this is what it looks like today at Cactus. And when you look at it, I can  
16 see why people would think that they might be seeing the World Logistics Center  
17 because it's all open fields now. But, when it gets built, it will be a shopping  
18 center and housing. So again the World Logistics Center doesn't start until  
19 Alessandro Boulevard way to the south. So it's different from there. So this is a  
20 view from the State Fish and Game towards the World Logistics Center and the  
21 buildings are behind those trees. Believe it or not, some of those trees...most of  
22 those trees are there today. People don't really realize it because nobody ever  
23 goes down there, but you know there are a lot of trees there. This is an actual  
24 depiction of what it might look like. You know there is another thing that people  
25 talk about, the East End and the West End of the city and the General Plan in our  
26 location. Somebody showed me this and I thought it was almost cute, but there  
27 was a lot of truth to it how we allocated as a city. So, on the West End of town,  
28 we have the sewage plant. On the East End, we have the regional hospital. On  
29 the West End, we have the warehousing. On the East End, we have the college.  
30 On the West End, we have the industrial. On the East End, we have an  
31 equestrian center. We have all kinds of traffic at the outer mall on the East End.  
32 We have the big-box retailers on the West End, and we have all the trails.  
33 Ninety-five percent of the trails in the City are on the East End. You know, we  
34 have the garbage management. We have a parole office on the West End and a  
35 golf course on the East End. We have older low-income apartments mostly on  
36 the West End and the luxury apartments on the East End. Right, we have the  
37 majority of the apartments all in the West End and all the low-density housing in  
38 the East End. I thought it was cute but somebody in the community made that  
39 up, and I said it's quite true. That's kind of the allocation we have. So again  
40 going back to what really it's all about, it's about jobs and job opportunities in our  
41 community. So there are a lot of job categories. People think there is one  
42 category in logistics, but this is the 2015 Salary Guide for supply chain and  
43 logistics. And you can see there are a tremendous amount of jobs that pay for all  
44 kinds of ranges. The median, as analyzed by the Fiscal Impact Analysis, is  
45 about \$40,000 per person in the Inland Empire for logistics. You can see some  
46 even earn up to \$235,000 for some professions and so forth depending on how

1 much you invest in yourself. In fact, you can go to college for logistics. You can  
2 have a career in logistics. You can even get a Ph.D. in logistics at UC Riverside,  
3 so depending on how much you want to apply yourself there are all kinds of job  
4 categories in logistics today. In addition to that, we will create about 13,000  
5 construction jobs. We will invest about \$3 billion building the project, and that is  
6 a lot of construction jobs in one location. People literally can move to our  
7 community in the construction trade and spend many years working close to  
8 home just building the World Logistics Center and then maintaining, proper  
9 maintenance and everything else. And \$22 million for education just from taxes  
10 alone. That's without producing a single student. That's a big surplus of  
11 allocation of funds. If we use wisely, we can build everything in the community,  
12 and of course, \$2.5 million of annual economic benefit. That's everything that  
13 comes as a result of so much activity in our city. We've never had that in Moreno  
14 Valley. It's literally transformative for our community. We couldn't even keep a  
15 Bob's Big Boy open. This will be transformative in our community. For the city,  
16 we will pay about \$11 million or \$12 million a year in taxes. But there are costs  
17 associated with servicing providing the services for the World Logistics Center so  
18 then that surplus will be about \$5.7 million. Plus from the fire taxes, there is  
19 another \$1.8 million or \$2 million. There might be close to \$7 million or \$7.5  
20 million of surplus extra money coming to the general fund to be used for a lot of  
21 different positive things we can do in the community. People talk about  
22 infrastructure, and I hear all kinds. For some, the truth is just a more elaborate  
23 form of fiction. I've heard from people that we're asking the City for millions of  
24 dollars. I can tell you this is not true. Here is the truth. We'll be spending about  
25 \$500 million for public improvements. That's in the Development Agreement.  
26 That's \$152 million in city streets. That's \$68 million in water and sewer facilities  
27 and \$100 million in public drainage. We all know the town of Moreno keeps on  
28 flooding every year. For the last 70 or 80 years, they keep on flooding. I've been  
29 personally helping residents there every time it would flood with pumps pumping  
30 out their swimming pools and homes. And one time most of the homes were  
31 destroyed along Bay Avenue, and the people didn't have the resources to deal  
32 with it. We actually fixed all those homes for those folks. Yes I did. Okay so it  
33 doesn't matter. We have receipts for it. And, if we didn't, I leave town. But, if I  
34 did, then you leave town. How about that? So \$68 million for electric  
35 infrastructure; the reason that's important is because it is projected that the  
36 electric utility as a result of the project will earn about \$11 million of profit a year.  
37 That's \$11 million of profit that can come to our electric utility as a result for  
38 plugging into this project providing power to the facility. So that's a lot of money  
39 to the city as well. Caltrans outside the city is \$72 million, other money, all  
40 totaling about \$500 million of public improvements, not private improvements. If  
41 you build a private road, they usually have a toll booth on it. This is public  
42 improvements for the benefit of the community that will last you forever in the  
43 community. But why is it important here? Right? The reason it is important is  
44 because we all know Bay Street. How many people show up on the west side of  
45 Bay Street? Okay I think most people know if we shop on the west side of Bay  
46 Street, that's Riverside. All the tax benefit goes to Riverside. And so we might

1 say that area is convenient to Moreno Valley. It's adjacent to Moreno Valley. It's  
2 close by to Moreno Valley. But it's not in Moreno Valley for the benefit of Moreno  
3 Valley, so the same thing with all these jobs around Moreno Valley on the west  
4 side of the 215, in Riverside, in the JPA, in Perris. You might say all these jobs  
5 are close to Moreno Valley, they're adjacent to Moreno Valley. They're  
6 convenient to Moreno Valley, but they are not in Moreno Valley for the benefit of  
7 Moreno Valley. They get richer, we get poorer. They get all the benefits, and we  
8 don't get any and you can see the difference. So we need jobs in Moreno Valley  
9 for the benefit of Moreno Valley. In fact, we get most of the impact. Most of the  
10 United States is to the right of us, but we get most of the impact. They get all of  
11 the benefits. They get richer, we get poorer. All the truck traffic...okay you stand  
12 on Bay Street Bridge. You stand there and you look underneath every truck that  
13 goes underneath under Bay Street. No truck is getting off at Frederick. No truck  
14 is getting off at Heacock. No truck is getting off at Perris. No truck is getting off  
15 at Mason. No truck is getting...you know what they're doing. They're going  
16 through our city. We get all the traffic. They get all the jobs and all the benefits.  
17 The same thing is there on Moreno Beach Drive. Look underneath you. Every  
18 truck going by, nothing is getting off at Moreno Beach Drive. No truck is getting  
19 off at Mason. No truck is getting off at Perris. No truck is getting off at Heacock.  
20 No truck is getting off at Frederick. They are going down 215 to Riverside,  
21 Perris, JPA, everybody else. We need jobs in Moreno Valley for the benefit of  
22 Moreno Valley. Otherwise, they can switch with us. Give us the worst side of  
23 Bay Street back to Moreno Valley and give us those industrial and that'd be fine.  
24 Right? We can solve all the problems. We need the jobs in Moreno Valley but  
25 yet we need to support everybody's effort, the JPA, Perris and Riverside because  
26 it's like a league. When the league does better, all the teams do better so we  
27 want to support the league. But, at the end of the day, we want our team to win  
28 the Superbowl. We want Moreno Valley to win too. We need jobs in Moreno  
29 Valley for the benefit of Moreno Valley not everybody else all the time. Besides,  
30 people don't realize it, it's not only Bay Street on the West side of Moreno Valley,  
31 but Moreno Valley has no frontage on the 215 freeway. People don't realize it  
32 because they see open land across the street. But the freeway got pregnant as  
33 you can see. It got a belly. Both sides of the 215 are in Riverside. We have no  
34 frontage. Moreno Valley has no frontage on the 215. The only place we can  
35 show we have business industry business park is on the 60. We have no  
36 frontage on the 215 freeway. So what is the truth about outsourcing because a  
37 lot of people talk about jobs and jobs in China, everything else. The reality is it is  
38 very different. The reason, and it's part of the reason why we're doing a big  
39 project, it's not just to bring a lot of jobs because we are so far behind but to give  
40 us a competitive advantage. The number one reason people go overseas or go  
41 offshore is because of speed to market. What is speed to market? Let's assume  
42 we came up all together here with an iPhone, and we were so patriotic we  
43 wanted to do it in America and even more patriotic we wanted to do it in Moreno  
44 Valley. We need a factory, a big building like Skechers, a 2 million square foot  
45 building. So we go to the City and Staff was very good. We started negotiating  
46 an NOP and we spent a month or two or three negotiating that. Then we started

1 the EIR. And if it's a big project like the World Logistics Center, we spent two to  
2 three years doing the EIR. So now it's three-and-a-half years later, and we finally  
3 get in front of the Council. And depending who screams the loudest, we may get  
4 approval or not. But let's say we got approval now and so now of course we'll be  
5 sued. This is California. You know, they haven't met a lawsuit they don't like.  
6 You know every project gets sued. Skechers got sued. Aldi's got sued. Prologis  
7 got sued. You know Metrolink got sued. You know Lakeview got sued. So  
8 everybody gets sued, so we spent another two or three years in mitigation and so  
9 now seven years later most of them prevail. You know, most projects get built in  
10 the end. Once we prevail, after the delay, and now seven years later we pulled a  
11 permit and we'll start building it quickly. In about a year-and-a-half, we will have  
12 our factory to make iPhone's. So seven-and-a-half to eight years later, we have  
13 our building open. You know what's going to happen in seven years? Some say  
14 we would have sold one billion of those, and we have no business. The reason  
15 people go there is because in the US here it could take years. Over there, you  
16 can do it in 50 days. That's why you saw with Apple, they can take 776 global  
17 suppliers and move the stuff to China, assemble it, bring it back here to the Apple  
18 store seven years faster than if they wanted to do it right here in Moreno Valley.  
19 That's what happens in the world. So most people think it's because of cheap  
20 labor. But the truth is \$2.00 to \$3.00 is now small the retail cost would be if  
21 iPhone manufacturers moved back to the US. It's not for cheap labor. It's not  
22 because it's cheap over there. It's because they can get it done. And the reason  
23 we're doing 41 million square feet with the city is because we will not only have  
24 to wait building by building and be sued over and over and over again slowing  
25 our community back, slowing our projects back. Instead Moreno Valley would  
26 have the advantage, or if a big company like Apple wants to come out they'll go  
27 where it's ready. They're not waiting for Moreno Valley. If we're not ready,  
28 Riverside will have to take them. But, if we're ready, we'll have a chance at  
29 those jobs and those opportunities as well. In fact, just as a side, China doesn't  
30 get all the money for an iPhone. They only spend \$7.00 in China to assemble an  
31 iPhone. The reason we think we have a big trade deficit is because we count  
32 trade deficit by we take a product and we take the value of it as it departed the  
33 last country and enters the United States and assign that value to that country.  
34 So if we only spend \$7.00 assembling it in China and are bringing it back as a  
35 \$600.00 iPhone we say we have a trade deficit with China of \$600.00. But, if you  
36 subtract that out, we have a trade surplus. That's why you hear a lot of people  
37 doing something but nothing if it's done because we're fighting over \$7.00 and  
38 there's nothing to bring back. In fact, this is what it looks like in the factory. It is  
39 highly advanced. There are not a bunch of people there for \$1.00 per day  
40 making iPhone's. Now a little bit about traffic. I hear a lot of numbers; 14,000  
41 trucks. The end of the world is coming. There will be convoys from here all the  
42 way to Honolulu. We'll all be dead. We won't be moving around, so I want to  
43 explain a little bit about traffic. Traffic is more about pattern than numbers, and  
44 what do I mean by that? Every type of use has a different pattern. For example,  
45 we all have the same priority in life. We all get up in the morning. Right? We go  
46 to work. We come back 9:00 to 5:00, so we have rush hour basically. But a

1 shopping mall also has traffic, a lot of traffic. But they have a different pattern.  
2 Right? Nobody goes to the mall at 8:00 in the morning and has to come back to  
3 the mall at 5:00 in the afternoon so they are busy after hours or they're busy on  
4 the weekends. But not at the same time you're on the freeway in rush hour, so  
5 you can have a project with lots of traffic like a mall but it doesn't really interact  
6 with your rush hour peak traffic hours. They don't operate on the same times. In  
7 fact, really if you think about it, Moreno Valley has no traffic. You can go on any  
8 street in Moreno Valley at any time you want, because I do that, and there's no  
9 traffic. The only traffic we experience in Moreno Valley is when we all have to  
10 get on the freeway to leave town, to get out of town. That's where the traffic is.  
11 It's not in town. It's when we try to go out of town for jobs and we have traffic.  
12 The traffic is not in town. It's when you leave town. When you have 88% to 90%  
13 of the population that has to live other places for jobs, that's why we have traffic.  
14 So now logistics, right? What is the perk of being in Moreno Valley? Everybody  
15 gets up in the morning, gets on the 60 Freeway and heads west for jobs by and  
16 large. Right? Ninety five percent of the time. But by creating 20,000 jobs in the  
17 eastern part of the valley at the World Logistics Center, we'd actually be reducing  
18 traffic. Now it's counter intuitive. You say how can you have a big project and  
19 reduce traffic? That's because 20,000 people that would've gone on the freeway  
20 and headed west for jobs are now either going to be in town at these jobs or  
21 even if they commute to these jobs from Riverside to the center, they'll be  
22 commuting eastbound, which is counter traffic, right? It's counter traffic. It's the  
23 wide open direction. It's like if you go to LA in the morning you have to leave  
24 here at 5:00 or 4:30. But to come from downtown LA to here you can make it in  
25 one hour and 15 minutes. The opposite is three hours. The eastbound lanes are  
26 wide open, so we can creat jobs/economic opportunity in Moreno Valley while  
27 reducing traffic and utilizing the underuse capacity of the freeway to bring  
28 economic opportunity and jobs to the city. It's going eastbound, so the only time  
29 we feel now compare it to Moreno Highlands. Let's say we did Moreno  
30 Highlands. Moreno Highlands in the General Plan has 210,000 trips a day.  
31 That's 210,000 trips that live like all of us getting on the freeway going west for  
32 jobs. There are no jobs east, so we have 210,000 trips. The World Logistics  
33 Center as a whole is 70,000 trips, which is 63% less than what the General Plan  
34 has now. So, if anybody cares about less traffic, the World Logistics Center  
35 creates less traffic. Now it's even less than that. Why? Because of the pattern.  
36 How may people here tell me I never see any trucks from Skechers. They're all  
37 there, but they work at night. They work off peak. The logistics industry works in  
38 a different pattern. I'll explain it. I won't go through this because the EIR also  
39 highly exaggerates the traffic numbers, but that's a different story for another  
40 day. But here is the pattern for the World Logistics Center. The blue line is the  
41 trucks and the red lines are the overall passenger traffic. This is the normal rush  
42 hour. What was grayed out is the normal rush hour period. As you can see, the  
43 trucks are evenly distributed throughout the day meaning they don't all go out like  
44 rush hour. We all go to work at the same time and come home at the same time  
45 approximately. They go on a 24-hour cycle, which means only the hour-and-a-  
46 half of critical rush hour is when we'll ever see trucks so when there is about



1 8000 heavy-duty trucks, or the big trucks we talked about, the 14,000 trucks  
2 includes the smaller trucks; you know, the delivery guys. But, you know, the  
3 8000 big trucks over 24 hours that means there's about 300 or 400 trucks an  
4 hour going in both directions mostly in the morning probably coming eastbound.  
5 So there's going to be very little interaction between their traffic and the traffic in  
6 the community. We actually won't feel much of it. The perception and the reality  
7 are very much different, right? It's very different and you can see that the peak of  
8 the logistics industry is off the peak when it starts so they basically stop work  
9 before everybody gets up in the morning to go to work, and they start after  
10 everybody comes back home. That's why mostly at night you can go to even the  
11 JPA. You can go to Meridian. We can go out any time of day and drive around  
12 and you say, where's the trucks? They work on a different pattern just like the  
13 models of the traffic at 8:00 in the morning. The logistics industry works in a  
14 different pattern. So not only is it 63% less traffic than the General Plan, but that  
15 traffic mostly won't be seen because it's happening off peak not when we are all  
16 on the freeway. Just like Skechers, nobody sees trucks. They are there, but  
17 they don't go on the freeway because no truck has to be in LA at 8:00 in the  
18 morning and come back to the building at 5:00. It doesn't work in rush hours. So  
19 people can make up any stories they want. Right, but thank god we have an EIR  
20 and a \$4 million Traffic Analysis to prove it out. So now Architectural Guidelines,  
21 I know Staff has reviewed it briefly but if you follow the Guidelines of the City in  
22 all those documents these are the types of buildings that you will see there.  
23 They are large volume buildings. They employ a lot of people. They look, if you  
24 follow the guidelines, this is the kind of buildings you'll end up with. Some may  
25 like them or not but this is the kind of style of architecture we call it international  
26 style because it's pretty basic shapes that are to some degree timeless. In other  
27 words, they don't depict a particular time. They are the most modern looking.  
28 It's called international style and the landscape program that we have is all  
29 drought tolerant utilizing our systems, which save a tremendous amount of water.  
30 But this is the type of landscaping that we'll have. These are the kind of buildings  
31 that, as a result of the architectural guidelines, will end up. Most of you know us.  
32 You go to Skechers you see water. We like a lot of water features, and you'll see  
33 water features around the buildings. We think it has a calming effect and also  
34 produces nice landscaping, and the buildings are all kinds of sizes. Even the  
35 small sizes all have the same type of guidelines. Some of the buildings get large  
36 and they have larger office components to them and to do that. Now I want to  
37 talk just generally in summarizing. The only way we'll ever solve traffic, if you  
38 keep on having jobs in one county and build more homes, you'll never solve the  
39 traffic problems because the more jobs you build and the more housing you build  
40 you have to build more freeway, more lanes, and you build more jobs over there  
41 and more housing here, more lanes. You never finish building lanes. The only  
42 way you reduce traffic is by building jobs where people live, right? If you have a  
43 job in Moreno Valley, how many people have a job in Moreno Valley? Okay, do  
44 you care what traffic is like on the 91 going to Orange County every morning?  
45 No because you're in Moreno Valley. It wouldn't matter anyways. So, if we have  
46 jobs in Moreno Valley, it won't really matter what the freeway traffic is like. But

1 truth be known, Caltrans did a good job with our freeways. They built all the  
2 freeways we needed. What trips them up is that every city provides a General  
3 Plan that says job-to-housing ratio. So they figure when everybody works in the  
4 city we have all the freeways we need. But what trips them up is we have a lot of  
5 houses in one city and all the jobs in another place. So what happens if you  
6 want to see what the freeways would look like in California if everybody had a  
7 job-to-housing balance, it would look like what it looks like after rush hour where  
8 you can get on anywhere you want because everybody's where they're  
9 supposed to be, so there are plenty of freeways to go around. It when there's  
10 dislocation, so the only way to solve and reduce traffic is provide jobs where  
11 people live. They don't have to get on the freeway. They don't have to  
12 commute. The second part is some people say we've got to have the freeway  
13 infrastructure before we bring jobs. It's actually backwards, right? If any city in  
14 Southern California waited until Caltrans built all the freeways before they  
15 brought jobs and economic opportunity to the city, no city would have jobs. Not  
16 even Irvine or Orange County. Have you seen the freeways there? If Irvine  
17 waited for the 55 and all those freeways to be fixed before they brought jobs to  
18 Orange County they wouldn't have jobs. They wouldn't even have the jobs that  
19 all of us commute to. So the reality is we need to start building jobs in our  
20 community, and as we build more jobs, less people have to get on the freeway.  
21 Like we said, there are about 20,000 people who won't have to get on the  
22 freeway with us trying to leave town every morning for their jobs, so actually it will  
23 reduce traffic. So, in the end if we want to secure the best jobs in the future, we  
24 must make Moreno Valley the best place in the world to do business. There is  
25 no magic trick. And if people will have to continue to spend years and millions of  
26 dollars in this community to try to bring high-quality projects and nobody ever  
27 knows where it ends up years later nobody is going to do it. I know some people  
28 are happy because they don't want to do it. But the reality is, if we are serious  
29 about creating jobs to the people who care about jobs; if not, then for the kids.  
30 And if not for their kids then for their grandkids, we must make Moreno Valley the  
31 best place in the world to do business. We will secure the best jobs in the world,  
32 so it's very competitive. Just because we do it doesn't mean other cities are not  
33 going to compete with us. They're going to try to grab every company, every job  
34 they can like they have been doing from Moreno Valley and so we must win the  
35 job race in Moreno Valley. Right? We don't need to win the Superbowl every  
36 season. But we've got to win some of the time, and so far we haven't won in 30  
37 years. So I think it's our season. Let's do it. Let's do it right with the highest  
38 environmental standard, the highest sustainability standard and do something on  
39 a large scale that brings lots of jobs, brings our quality of life up, show up our  
40 retail, improve our families because when you're away from home there is no  
41 quality of life even if you live in palace. What good is it to live in a palace in  
42 Moreno Valley if you're away from your kids and your family. It's worth less than  
43 a shack. So, in summarization, I want to thank you for the opportunity to present  
44 the project and for you to evaluate it. I can tell you too this represents a  
45 tremendous amount of dedication from us, a tremendous amount of effort. The  
46 reason this EIR is thousands of pages is because we hold ourselves to higher

1 standards. Like Staff said sometimes we have standards that exceed even the  
2 state standards, local standards, and City standards but they become our new  
3 standards. By establishing this Specific Plan and the standards that the City has  
4 implemented here, it will achieve the highest standard than any such project I  
5 think in California and probably the Unites States. I'm not aware of any, so I  
6 want to thank you for the opportunity. And, if I may, I want to spend one more  
7 minute to tell you why it's so important. There's one thing that causes really all  
8 our problems here. The one thing that causes the traffic, the congestion, the  
9 pollution, the greenhouse gases, the environmental impacts...the challenges of  
10 failed education and high crime is one thing. If you solve that, all the rest of it  
11 goes away. One thing that's really the cause of all of these things, and that one  
12 thing is the disparity of job-to-housing. If people had jobs where they live, they  
13 wouldn't be commuting. If they are not commuting, there is no traffic. If they are  
14 not commuting, they are not polluting creating greenhouse gases and  
15 environmental impacts. But how does that relate to failure in education,  
16 challenges in education, and crime? I learned that from law enforcement. The  
17 sheriff came to make a presentation about all the jail buildings we need in the  
18 county. And when he presented it, he said how many jails we need 5 years from  
19 now, 10 years from now, and it finally dawned on me to ask how do you how  
20 many criminals you're going to have to project how many jails we need built 10  
21 years from now because if you know who these people are why are you going to  
22 wait 10 years? Do it now. He says well, we peg it to second or third grade  
23 literacy rate. I said how does that have anything to do with crime rate? What  
24 you'll check the kid to see if he's stealing pencils in class? I mean what does that  
25 have to do with crime rate? He said it was actually a simple formula. He says if  
26 you come to my jails the majority of the people in my jail are high school  
27 dropouts. And in today's environment, today's world, if you don't even have a  
28 high school degree what kind of living you are going to make that will pay for your  
29 house, your rent, for car, for insurance, or anything else so you end up making  
30 money the way that will get you in jail. And so if the majority of the people are  
31 high school dropouts, I have to see what determines high school dropout rate. It  
32 turns out that second and third grade literacy rates determines high school  
33 dropout rates. If the child has a good handle on arithmetic and language at a  
34 second or third grade level, they can progress with the classes, they graduate.  
35 Not everybody goes to college, but they can if they apply themselves. But, if they  
36 fall behind and do not have a good handle on arithmetic and language in second  
37 grade, third grade is difficult, fourth grade they are lost, fifth grade they can't do  
38 homework, sixth grade they're trouble makers, eighth grade they're on a  
39 trajectory to dropout or maybe even on a trajectory to go to jail. And so I said to  
40 myself, wait a minute, all these good families are coming to Moreno Valley. If  
41 you're not even a college graduate parent but you came here, you saved your  
42 money and you put a down payment, you're paying your mortgage, you're driving  
43 your car and you have a driver's license, even if you're not a college graduate  
44 parent, you know how to help do arithmetic in second grade or two plus two or  
45 three plus three. Why are the kids failing? Again disparity of job-to-housing.  
46 These parents leave their home at 4:30 or 5:00 in the morning. They come home

1 at 7:00 or 8:00 at night. Those kids fall behind, and they are on a trajectory to  
2 maybe fail or maybe even go to jail. The irony is that, if they had rented a small  
3 apartment closer to where they work, the outcome of the kids may have been  
4 better. We're losing a whole generation of kids in Moreno Valley because we  
5 don't have jobs for the parents. This is way more important than a few trucks on  
6 the road or a few cars on the road. And perhaps there is no more important thing  
7 than to do that, to creat jobs, because if parents are where their kids are...and if  
8 you don't think those early ages are important, somebody told me that Chinese is  
9 complicated and I said how complicated can Chinese be? If you're a 3-year-old  
10 Chinese kid, you can speak Chinese. Well the reality is that, at a young age, we  
11 absorb very differently. If you have a kid in America and you go to China for a  
12 year they will come back from kindergarten speaking Chinese. If you move to  
13 Mexico for a year, he will come back speaking Spanish. If you come back home,  
14 you will speak English, Spanish, and Chinese without opening a book. You try to  
15 learn a language after the age of 10 and you see how difficult it gets. So those  
16 early years, the early age with those young kids who don't have their parents at  
17 home has huge social ramification. We're talking about building a better  
18 community. It isn't just roads. It isn't just traffic. It isn't just schools. It's also  
19 building jobs in our community so we can have a better community here for  
20 everybody, grandparents to grandkids. Thank you very much. I appreciate the  
21 opportunity. I'm available for any questions.

22  
23 **CHAIR LOWELL** – Thank you very much.

24  
25 **IDDO BENZEEVI** – Thank you.

26  
27 **CHAIR LOWELL** – Thank you very much for that presentation. This is normally  
28 the time where we'd ask the Commissioners if they had any questions for the  
29 Applicant, but I would recommend deferring until our Commissioner discussion  
30 so we can move forward to the Public Comment portion. However, in the  
31 meantime I know me for one, I have to use the little Commissioner's Room so if  
32 we could take a little break, maybe 10 minutes, and then come back and pick up  
33 again. Thank you very much.

34  
35  
36 **MEETING BREAK**

37  
38 **CHAIR LOWELL** – Good evening everybody. I hope you enjoyed your long 10  
39 minute break. That was quite an informative presentation we had by Staff and by  
40 the Applicant. It's been brought to my attention that we have to allow the  
41 Commission the chance to reply to the Applicant and ask them questions before  
42 we open the Public Speaking portion of this item. My intent is to allow a certain  
43 amount of people to speak tonight just to quell some fears that you won't have  
44 the option to speak. It is 11:00, and as we discussed earlier that we were going  
45 to be evaluating the meeting, my intent is to try to aim for about a midnight

1 closure of tonight's meeting and continue it to another date, which we'll discuss in  
2 a little bit, so I'm going to try to keep some of our comments here fairly brief.

3  
4 **COMMISSIONER VAN NATTA** – Is that timing open to discussion?

5  
6 **CHAIR LOWELL** – It is open to discussion.

7  
8 **COMMISSIONER VAN NATTA** – I don't know about everybody else here but  
9 11:00 is pretty late for me, and we have had the Applicant's presentation. I think  
10 it would be best to defer all of the questions and comments from the public to be  
11 heard at one time, rather than to take a few now and the rest later.

12  
13 **CHAIR LOWELL** – Well then if that's the case then we can take it organically  
14 and see how the time works, but again I'm trying to aim for about a midnight  
15 closure for tonight's meeting and continue it to another date. But we do have  
16 well over 100 Speaker Slips, and I know that quite a few people had to go home.  
17 As you look around, the seat next to you is probably empty. If we do get to the  
18 Public Speaking portion of this item tonight, and I do call your name and you're  
19 not here, you will have every opportunity at the continued meeting to come back  
20 because you did fill out a Speaker Slip. I will guarantee you everybody that filled  
21 out a Speaker Slip will have a chance to speak. Go ahead.

22  
23 **VICE CHAIR SIMS** – So I guess just for continuity, though, I think once we get  
24 started in asking questions and whatnot, it would seem like if we're trying to pack  
25 in questions of the Commissioners and then try to get Public Comment we're  
26 probably not going to give the questions the due it should. I would suggest that  
27 we perhaps consider wrapping this up tonight and getting a meeting set so we  
28 can start fresh and start with questions. We've heard from Staff and the  
29 Applicant and then we can get right into it and everybody can hear.

30  
31 **AUDIENCE MEMBER** – Here, here.

32  
33 **COMMISSIONER VAN NATTA** – One other comment on that please, if I may.

34  
35 **CHAIR LOWELL** – Go ahead.

36  
37 **COMMISSIONER VAN NATTA** – There was a lot of material that was handed to  
38 us just as we came in and even some additional letters, and I think it would be  
39 good if we had an opportunity to look at that additional information before we  
40 even do our questions.

41  
42  
43 **PLANNING COMMISSIONER COMMENTS**

44  
45 **CHAIR LOWELL** – To be specific, this is the amount of paperwork that we  
46 received within this last week, so with that said I think we should open up the

1 meeting to Commissioner comments and questions to the Applicant. Do any of  
2 our fellow Commissioners have questions on the presentation that was just given  
3 to us? Not the nit and gritty debate stuff that we do later in the meeting but  
4 specific questions about the presentation that was given to us? Commissioner  
5 Van Natta, by all means.

6  
7 **COMMISSIONER VAN NATTA**– I was wondering a little bit. You had made  
8 some comments about the energy efficiency and solar use and the LEED  
9 certification and everything of these buildings. Then at another time in the  
10 presentation you were talking about how the electrical service was going to being  
11 money into the City’s electrical utility. Can you explain how that works? If it’s  
12 going to be self-sustaining electrically, how’s that going to be bringing in money  
13 to the electrical utility for the City?

14  
15 **IDDO BENZEEVI** – So the question is about the electric utility, how do they  
16 make revenue if it’s all solar? But, it’s not all solar. We work with the electric  
17 utility. Just like Skechers, the Skecher building that people refer to, there’s  
18 extensive solar for the City to loan it. But they still acquire electricity from  
19 Moreno Valley Utility, so it will be both.

20  
21 **VICE CHAIR SIMS** – I would, just as a comment, not to get into it tonight but in  
22 one of the Staff presentations for questions is maybe help us with some of the  
23 improvements that we saw in the presentation when those will be phased in so  
24 we can kind of get a sense as how the project as it absorbed, if it’s approved,  
25 how improvements would be coming along. So the conditions and mitigation  
26 measures are in there, but it might be helpful to have some kind of like a slide or  
27 something like that so that it could be presented so that it’s easier to understand.

28  
29 **COMMISSIONER KORZEC** – I had some questions about the job forecasting.  
30 It’s a 15-year project, and it’s a phase 1 and phase 2. So that 20,000 jobs is at  
31 the end of the two phases, at the end of 15 years or is it broken up that after  
32 phase one in seven years probably 10,000 jobs? I’m just trying to get a handle  
33 on that and where those figures come from, and are they realistic?

34  
35 **IDDO BENZEEVI** – Yeah so two things. First of all, these numbers are at  
36 project completion whenever that occurs. Of course, if the economy gets better  
37 and better, it might get faster and faster. If we go into another recession, it may  
38 be slower. But it’s based on the market. The numbers are attributed to the  
39 project at completion, so every year we’re adding jobs as buildings are being  
40 built. Some years will be faster paced. Some years will be maybe slower paced.  
41 We don’t know what the economy will do. Where do the job numbers come  
42 from? I can give you a lot of details. We have actually the fiscal analysis that  
43 was done for the City. The consultant is here and can probably give you a lot of  
44 details on how those numbers are generated but generally they are based on  
45 government agencies, US Census Bureau. The only people at the end of the  
46 day that know where we live and where we make our paycheck and how much

1 we make is the government. You can get the data on who it is and name but you  
2 know what it is in an industry and the categories and what happens and all these  
3 are based on the same methodologies that the cities use, the county uses, the  
4 state uses, the government uses, so it is the same process that everybody uses  
5 to estimate. In fact, if you remember in the presentation, there were two  
6 independent studies with the City Commission before they even approached us  
7 about this and one was Beacon Economics and the other was John Husing and  
8 they both came to a very similar close number. One was in the range of 17,000  
9 to 22,000 and rounded out at about 20,000. They are all within the same sort of  
10 range of numbers. Now, if you remember, that was applying for facilities with  
11 technology. There was also another number if you build conventional facilities,  
12 which are much larger. There was almost 35,000 or 37,000 jobs. But we feel the  
13 industry is moving to be more and more technologically driven and the jobs are  
14 more and more technology based. So it's not going to likely be 35,000 jobs like  
15 conventional buildings. It'll be closer to the 20,000 number.

16  
17 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman.

18  
19 **CHAIR LOWELL** – Yes, Sir.

20  
21 **PLANNING OFFICIAL RICK SANDZIMIER** – If I could direct your attention to a  
22 couple of the questions that were asked in terms of the solar program. Within the  
23 Specific Plan, specifically, it does identify the solar commitment to the project.  
24 And the solar commitment to the project is to essentially offset the office  
25 components or the ancillary office uses that are part of the large warehouses.  
26 But it's not to provide solar for the entire building, so from Moreno Valley Utility  
27 there is a revenue stream that comes in from the remainder of the building so  
28 that the amount of solar that is put on the rooftops of the building is actually  
29 specified in the Specific Plan. I wanted to identify that. The phasing of the  
30 infrastructure improvements is identified in the Specific Plan document itself. It is  
31 also identified in the whole list of mitigation measures that are tied to the  
32 environmental document in terms of the environmental document has done a  
33 program-level analysis, so at the project level whenever an individual project  
34 comes in there will be a subsequent environmental analysis including a Traffic  
35 Study. So that Traffic Study, at that time, will internal identify the phasing and the  
36 need for when improvements will be done. And, in the Development Agreement,  
37 we've also belted the suspenders into that which assures that the infrastructure  
38 has oversight by our City Engineer, which is specifically written into the  
39 Development Agreement. An infrastructure such as the fire station is given to the  
40 authority of the Fire Chief, so the Fire Chief would have some say in terms of the  
41 timing and need for that particular infrastructure. So those are the various  
42 mechanisms that address the infrastructure component. Under the jobs and  
43 phasing, in the Development Agreement itself, we did do analysis of our research  
44 on the economic studies that were done that were mentioned by the developer.  
45 We'd be happy, if you wanted to go into more details on that, on what we found.  
46 But, in terms of job production, the term of the Development Agreement itself

1 was specifically negotiated to ensure that the first term of the Development  
2 Agreement is based on some development occurring 8 million square feet of  
3 production or 12 million square feet of production occupied space. The interest  
4 there we have is this is a great plan. But it does need to be followed up with  
5 some development activity because that's what generates the economic engine  
6 for the City on the things that we're interested in, so we believe that the job  
7 production and job phasing is simply put into that commitment on both parties to  
8 negotiate that term in the Development Agreement. Thank you.

9  
10 **CHAIR LOWELL** – I had a question. In the Master Plan of the World Logistics  
11 Center, we are anticipating a large number of trucks. They will be in, around, on  
12 our streets, on our freeways. We will have people coming in from long distances,  
13 short distances. We'll have drivers that drive 10 miles. We'll have drivers that  
14 drive from South Carolina theoretically. Do we have any idea or any plans of  
15 putting a truck stop, like maybe a pilot station, where you have access to refill  
16 large trucks or have a truck stop area or rest area on the side of the freeway  
17 where drivers that show up early or late or past their 8-hour driving shift have the  
18 opportunity to take a nap? Is that something that we have within our Master Plan  
19 of this project and maybe even in the City's Master Plan? I know we have a Ride  
20 Share Area over by Home Depot off Pigeon Pass, but that's not really easily  
21 accessible for large trucks because there are too many ins and outs on the  
22 streets. Basically, do we have a truck rest stop area, maybe like a large truck  
23 refueling station or something to that affect?

24  
25 **PLANNING OFFICIAL RICK SANDZIMIER** – I'll try and address that. Then I'll  
26 defer to our technical staff and then also the developer if they have anything else  
27 to offer. There is a component within the Specific Plan. It's called Logistics  
28 Support. The Logistics Support Category is an area for fueling and retail-related  
29 uses that would support the logistics development. The logistics development,  
30 as you remember in Mark's presentation, is the larger warehouse high-cube  
31 area. The fueling station and the logistics support component evaluated in the  
32 traffic analysis assumed about a 20,000 square foot area. About 3000 of that  
33 would be retail related. The specific location in the Specific Plan is at the  
34 intersection of Theodore and I want to say it's B Street. The main street when  
35 you come off Theodore. The first intersection you get to on the northeast corner.  
36 It's my understanding that we're not looking for a truck stop as you may have  
37 kind of described it or maybe the way I interpreted it. It's intended to be a fueling  
38 station with retail but not necessarily a layover for people to sleep at. There are  
39 some provisions in the infrastructure that shows where there would be pull-up  
40 areas for trucks to pull over and stop. Now could they rest there? That's  
41 possible, but it hasn't been fully vetted so I can't talk to the specific terms. But it  
42 is a consideration in the infrastructure design. I'll defer to our Traffic Staff if you  
43 have anything else to offer. Mark do you have anything else to offer about....

44  
45 **MARK GROSS** – No. I think you have it pretty much covered.  
46



1 **PLANNING OFFICIAL RICK SANDZIMIER** – What Mark is saying is he  
2 believes I got that right, but I would like to defer to the developer to see what their  
3 vision is in terms of there is something else we're not fully aware of. Remember  
4 again these are program-level documents so some of the specific details of the  
5 development would come in during what we call the plot plan reviews, and so we  
6 would know more of those specifics as we get down the road.

7  
8 **CHAIR LOWELL** – Alright, I had a...by all means.

9  
10 **IDDO BENZEEVI** – I think Mr. Sandzimier described it accurately with one  
11 addition that we are committed to energy CNG facilities as well, so there will be  
12 availability of energy and CNG at those refueling stations.

13  
14 **CHAIR LOWELL** – Alright, while you're still standing up there, I have another  
15 question for you. On the presentation you had a Phasing Map, and the Phasing  
16 Map looked like it went from west to east. Is there any benefit from going to  
17 Redlands Boulevard towards Gilman Springs in the phasing plan, or my thought  
18 would be going from the freeway south where you'd build from the freeway out.  
19 Is there any specific reason for why it went west to east?

20  
21 **IDDO BENZEEVI** – It's sort of like from the freeway south and from Redlands  
22 east. That's where most of the infrastructure activities come from. Of course,  
23 you've got Skechers there as you pointed out that the infrastructure is there. But  
24 there are also an infrastructure is coming from the south, and so the best place to  
25 start to make the most efficient use of infrastructure is essentially what you  
26 described as south of the freeway and east of the Redlands and progressing in  
27 that direction.

28  
29 **CHAIR LOWELL** – Alright, thank you. Do we have any other questions?

30  
31 **COMMISSIONER BARNES** – I also have a question on phasing. Is that a part  
32 of this review and approval? I think that's for Staff.

33  
34 **MARK GROSS** – Yes. I mean the Specific Plan actually does provide for the  
35 phasing so it is part. Again the Specific Plan is an implementation tool for the  
36 project, so it will include the two phases. It'll have the phase one and the phase  
37 two. Now phase one, I believe, goes until 2022. The phase two would be built  
38 out all the way up to 2030.

39  
40 **COMMISSIONER BARNES** – Well and you're splitting 2600 acres into two  
41 phases. Those are incredibly large phases, so I would see the need for a lot  
42 more detail in the phasing if I were looking to approve this. It seems critical to  
43 me.

44  
45

1 **PLANNING OFFICIAL RICK SANDZIMIER** – Part of the phasing analysis, and  
2 the reason it was done in large blocks is to do an environmental assessment of if  
3 you had a aggressive Development Plan that you could actually achieve in phase  
4 one, it assumes that 50% of the entire development is already achieved. And I  
5 believe in the environmental analysis that was 21.4 million square feet. There  
6 was 1 million square feet of development taken out since the draft EIR was  
7 circulated, but it’s still a considerable amount. It’s over 20 million square feet of  
8 development. So, from the environmental perspective, the phasing actually looks  
9 at a worse case. If we develop out slower and we look at more increments in the  
10 phasing, it doesn’t preclude us from doing that down the road. I would defer to  
11 Kent Norton if you have anything else you might want to add on that.

12  
13 **KENT NORTON, LSA ASSOCIATES** – The analysis of the phasing is  
14 essentially as Rick indicated that it was done to try to see what the impacts would  
15 be at some reasonable interim time and 50% seemed to be appropriate.  
16 Obviously, a lot of the actual development is going to be market driven and  
17 based on infrastructure availability and the needs of actual uses that come in. So  
18 the general precepts of developing from north to south and west to east are  
19 simply that. They’re simply general, and they will depend on the actual future  
20 development. But all of that future development will be analyzed when it comes  
21 in and is proposed to the City.

22  
23 **COMMISSIONER BARNES** – I also have another question, and this relates to  
24 traffic. I don’t want to get too technical here, but is the traffic flow as presented  
25 by the Applicant is that basically accurate without getting too detailed and into the  
26 weeds too much? Are the peak times and the flow of logistics traffic, is that  
27 accurate as it was represented?

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** – I’ll ask Michael Lloyd to answer  
30 that question. We also have Don Hubbard, the traffic consultant that can answer  
31 it. And I’d be happy to try and interject my say in it as well from what I  
32 understand of the project. But let’s start with Michael.

33  
34 **MICHAEL LLOYD** – Thank you. Good evening. The information as presented  
35 tonight is the exact same information that is presented within the Traffic Study, so  
36 does that answer your question or do I need to elaborate?

37  
38 **COMMISSIONER BARNES** – No, I think that answers it.

39  
40 **MICHAEL LLOYD** – Okay.

41  
42 **CHAIR LOWELL** – The traffic analysis looked at 31 comparable-sized  
43 warehouses in and around the Inland Empire and they analyzed it for a 24-hour  
44 period in peak season right before Christmas. Then they extrapolated that data  
45 over several years, I think it was 10 or 11 years to come up with a baseline of  
46 traffic per day, and it seemed pretty thorough to me. Piggybacking on the

1 development phase one from south-ish to north-ish or to east-ish to west-ish or  
2 whatever, can we dictate the phasing development, i.e., I want to be able to  
3 prevent piece mailing this project. So say they build the project on the opposite  
4 corner away from Skechers, and there's one right next to Skechers and get the  
5 four corners but the center is left blank. Then heaven forbid something  
6 happened but Highland Fairview declares bankruptcy and disappears and have  
7 to sell off the property and all of a sudden becomes residential and mixed with  
8 industrial and commercial, is there any way we can prevent that by saying you're  
9 going to have to build side-by-side-by-side and connect it so it's one  
10 homogenous development? And, to expand upon that further, what happens if  
11 Highland Fairview decides to sell off some of the property? Are the owners of  
12 that property still going to be tied to the Development Agreement? Is Highland  
13 Fairview still going to be tied to that Development Agreement even though the  
14 property is under a new owner? I don't want to be dependent on Highland  
15 Fairview should something happen and a new owner comes in or the project  
16 goes belly up or I just want to make sure that we vet this a little bit.

17  
18 **PLANNING OFFICIAL RICK SANDZIMIER** – Sure. Another premise on  
19 development phasing, the reason it goes from a west-to-east direction is to tap  
20 into the existing infrastructures that already exist on that side of the development  
21 and that makes it possibly more feasible. It also is the gravity to where the  
22 interest is or where the development market might be, would be closer to the  
23 infrastructure that already existed, Eucalyptus and Theodore, and it starts to  
24 move down. Could we reevaluate the phasing? From an economic development  
25 standpoint from the City, I don't think that we would want to strap ourselves to a  
26 phasing plan that is so tight that it actually precludes development from occurring  
27 where the market wants it to. So I would think that we would want to be a little bit  
28 flexible in that nature when we can evaluate that. With regard to the assignment  
29 responsibility or the sale of land by Highland Fairview, in the Development  
30 Agreement there are provisions about what the requirements become of the  
31 successor or the assigns of property, and I would defer to Paul Early to possibly  
32 answer that from a legal point of view.

33  
34 **CHAIR LOWELL** – But the Development Agreement is tied to the land owner,  
35 not necessarily the person who originally entered into the Development  
36 Agreement?

37  
38 **WILLIAM (BILL) CURLY** – Yes. The way a Development Agreement works, it  
39 is a contract that flows to all successors of interest. There is a specific protocol  
40 of assumption of delegation of rights, duties, and obligations. That is why it was  
41 noted we checked ownership and made sure that the legal and equitable  
42 interests were there, so we could ensure the flow. So, yes, that  
43 contract...Development Agreements, as Mr. Heron noted, they're sort of an  
44 unusual land use tool in that instead of your regular due process based approval,  
45 this is a negotiated contract. You the city have the right to enforce it as does the

1 developer, so you lock in the continuation of those duties and obligations  
2 regardless of whose the successor in interest, so yes.

3  
4 **CHAIR LOWELL** – Thank you. Vice Chair Sims.

5  
6 **VICE CHAIR SIMS** – Okay, so some of these questions are more....so like on  
7 the buffering berms that were along Redlands Boulevard, I guess the question  
8 would be are those berms going to go in as projects are developed individually,  
9 or is there a comprehensive once the first project is built the whole berm along  
10 Redlands Boulevard to a certain point will be built? How does that work? The  
11 second part of the question would be is what part of that berm is going to be  
12 within city public right-of-way. And, if it is within public right-of-way, how does the  
13 maintenance of those...I mean they look great on pictures. But I've seen a lot of  
14 stuff that's not maintained in the City as far as streetscape, so that is a big  
15 commitment of land towards berms and whatnot. So when do they go in? Who  
16 is going to be responsible for maintaining it? And, if it's a city paid responsibility  
17 to maintain, what's the financing mechanism to collect the money for this  
18 additional cost? My other set of questions is in mitigation measure 4.3.6.3b and,  
19 in general, it's kind of a general question on this air quality business where there  
20 is reference to tier 4 consistency with holding to the California 2010 emission  
21 controls, so that's good because California will probably always be a leader in  
22 trying to have the strictest air qualities. You know the South Coast Air Quality  
23 Basin is probably one of the most regulated, and so there is probably a move  
24 afoot if you just relied on California to control emissions as time goes there will  
25 be greater control on polluters or big truck traffic and so forth. Long story short,  
26 in these there are statements in these mitigation measures that each of the  
27 facility operators, which won't be Highland Fairview, it'll be somebody else. And  
28 it could be Apple, or whoever it's going to be in one of these buildings. Let's say  
29 they're going to keep logs, but so what if somebody doesn't come in. They idle  
30 for 20 minutes instead of 3 minutes, so we got a log of it. You know, what  
31 happens if everybody from a state that doesn't have as strict of emission  
32 controls, they are going to want to be coming in and wanting to do business in  
33 there. So I don't expect a full vetted answer because we'll have more time to get  
34 into this, but at the end of the day I'll dig in more into the documents. But that's  
35 the kind of stuff that concerns me is there is an administrative effort that we'll  
36 have to come upon to enforce mitigations that are requiring to make the project  
37 appear as good as it is from an air quality standpoint. So I can say from like, on  
38 a water business, we require backflow devices. And we keep a log, and we send  
39 out a thing. We have a certified operator go and do that and they send it back  
40 into us. You know, we're reliant on a license for somebody to do that. Anyhow,  
41 long story short, there is an administrative effort that has to be well thought  
42 through and vetted.

Minutes Acceptance: Minutes of Jun 11, 2015 7:00 PM (APPROVAL OF MINUTES)

1 **CHAIR LOWELL** – I know we all have a lot of questions, but I think they should  
2 be directed more towards the Commissioner discussion towards the end of this  
3 hearing. Does anybody else have any specific questions about the presentations  
4 for our other Staff or the Applicant?

5  
6 **VICE CHAIR SIMS** – Well we’re going to be at this for a couple of nights. I’ll get  
7 my answers when I get....

8  
9 **COMMISSIONER KORZEC** – I do have one question.

10  
11 **CHAIR LOWELL** – Commissioner Korzec.

12  
13 **COMMISSIONER KORZEC** – I just have a real brief question. On page 101,  
14 this is about cultural resources. It’s talking about this area has a farm building  
15 that was built around 1900 and may be one of the oldest historic surviving  
16 buildings in Moreno Valley. I don’t see in here if there is any plan for this or  
17 some of these other structures that might be valuable to our history. I know  
18 we’re a new community. But, if we have something like this in that location, is  
19 there any plan to take a look at this, move it, or do something with it? And also to  
20 identify, it says there are also others that you haven’t been able to identify. So  
21 are there more historic older structures existing in this area? Oh, I’m sorry, it’s  
22 pack page 205. It’s 101 at the bottom (4.5.62c).

23  
24 **COMMISSIONER BAKER** – It’s a part of the Statement of Overriding  
25 Considerations of artifacts findings.

26  
27 **SENIOR PLANNER MARK GROSS** – I can do that. There is mitigation. And  
28 remember this is a programatic document so it sets forth procedures for future  
29 development to follow. And those buildings the entire site was surveyed for  
30 archeological and historical resources. Potential resources were identified. Any  
31 of those resources that would be affected by specific development of a parcel  
32 would have to have additional documentation and the mitigation measure  
33 outlines specifically what would happen depending on if those structures were  
34 determined to be significant. A number of structures could not be surveyed in  
35 detail because those properties were not owned by Highland Fairview or under  
36 their control at that time.

37  
38 **COMMISSIONER KORZEC** – So I’m still curious, you’re referring to one of  
39 these that you know is historic, so what is the process?

40  
41 **SENIOR PLANNER MARK GROSS** – The process would be if that property on  
42 which that potential resource is located is proposed for development then it  
43 would be surveyed in greater detail. And depending on what was specifically  
44 found, if it was a significant resource that met criteria say for the state historic list,  
45 then certain mitigation would have to be applied. It’s possible some structures  
46 might have to be preserved in place. Probably not likely the assessment that

1 was done indicated that most of the structures are in pretty bad repair, but some  
2 of the residential structures were not able to be surveyed. So it depends on  
3 what's found. But the measured outlines, what is supposed to happen in terms  
4 of survey and depending on what's found, what mitigation would be applied.

5  
6 **CHAIR LOWELL** – Commissioner Barnes.

7  
8 **COMMISSIONER BARNES** – I know we're looking to get to Public Comment, so  
9 I'm not going to ask a question. I'm probably not going to ask anymore questions  
10 tonight. But I am going to have in the future some questions on the Development  
11 Agreement, particularly article 1, Item 1.5 talks about development fees. And, as  
12 I said, I'm not looking for an answer tonight. But the end of the paragraph says  
13 the term development fees does not include those fees imposed by Moreno  
14 Valley Municipal Code sections relating to arterial streets, traffic signals,  
15 interchange improvements, and fire facilities so I'm going to want some  
16 background just how that was negotiated.

17  
18 **WILLIAM (BILL) CURLY** – Well just the very short, the Baskin and Robbins  
19 taster for the future.

20  
21 **COMMISSIONER BARNES** – Okay?

22  
23 **WILLIAM (BILL) CURLY** – That's because those items are obligated to be paid  
24 by the Developer by the Applicant. And to use a wrong term but a definitive one,  
25 we didn't want to double-dip; make them pay the fee and also install the  
26 improvements, so they're not escaping any of it. They're either going to pay or  
27 they're going to install.

28  
29 **COMMISSIONER BARNES** – Yeah, it's just an offset either construction or fee.

30  
31 **WILLIAM (BILL) CURLY** – Yeah.

32  
33 **COMMISSIONER BARNES** – Okay I just wanted clarification. And then the  
34 other observation is I'm going to probably want to talk about phasing more as we  
35 go forward, but I'm not asking for an answer tonight. So I'm done with questions  
36 I think.

37  
38 **CHAIR LOWELL** – Anybody else have anymore specific questions for the  
39 Applicant or Staff?

40  
41 **COMMISSIONER VAN NATTA** – Yes.

42  
43 **CHAIR LOWELL** – Commissioner.

44  
45 **COMMISSIONER VAN NATTA** – And I don't know if this is something that can  
46 be answered right now or if it is going to require a little bit more information, but

1 we have received some communication from people who are the owners of the  
2 property that is affected by this and properties that are not owned by Highland  
3 Fairview. For example, one letter from someone who owns a residential property  
4 there asked to what specifically is going to happen with their property, what their  
5 options are, and I'd like something more definitive than just a simple answer that  
6 says well they can just continue living in there as a house. If it means that there  
7 are warehouses built right up to their property line and they're surrounded by  
8 large buildings that may not be a viable option for them. So I would like to see  
9 some report on what actually is being worked out or what compromises can be  
10 brought to those landowners.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – If I can give the Chair a quick  
13 answer on that as that was one of the areas that was identified as an area that  
14 could not be mitigated to a level of less than significant. It has to do with the  
15 compatibility of those residential units and the warehouse buildings. The  
16 technical terms they become a legal nonconforming use and a legal  
17 nonconforming structure, and if they wanted to do any sort of improvements to  
18 the property and continue the residential use, they would be governed by the  
19 restrictions in our Municipal Code. And it talked about legal nonconforming  
20 structures, if they wanted to change the use or expand the use, they would have  
21 to be consistent with what the new uses they're allowed and the Specific Plan  
22 called for. We wouldn't be allowing them to change the use to some other  
23 nonconforming use, so they would have to comply with that. If we were to make  
24 any other strong statements here tonight I think about what we could do to their  
25 property, what we would think about doing to their property, I would be afraid that  
26 we would constitute some sort of a taking because they would be saying  
27 something that we haven't researched completely other than what I've just  
28 described for you. And so I would defer to our legal council if there is something  
29 else missing that I can't answer.

30  
31 **CHAIR LOWELL** – Commissioner Ramirez, did you have a comment?  
32

33 **COMMISSIONER RAMIREZ** – Yes. This question is for the Applicant. I know  
34 that there was a lot of controversy with the Skechers, as far as bringing in new  
35 jobs. Most of those jobs were already filled. Are we planning on bringing in  
36 businesses that are actually going to bring jobs, new jobs? Because I think that's  
37 one thing that the community is concerned with is bringing in businesses that  
38 already has these jobs filled.

39  
40 **IDDO BENZEEVI** – Okay so two things. First of all, we went through the whole  
41 program creating 20,000 opportunities in Moreno Valley. If we have no jobs, we  
42 have zero opportunities. If we have 20,000 jobs, we have 20,000 opportunities  
43 for jobs. Now, by definition, any company that comes here is going to come from  
44 some place unless they grow in Moreno Valley, and so to open large facilities of  
45 course they need to have people with them that already know their job. But, just  
46 like Skechers, they expand. And what happens over time to all companies is the

1 people who can migrate closer to their jobs can. We have a unique opportunity  
2 in Moreno Valley where it doesn't happen in reverse many times is if somebody  
3 finds a job in Orange County, right or in LA, it's very difficult to sell their home  
4 here and buy a home on a lake. It's sort of price differential. But the reverse is  
5 not true like what happened to a lot of executives. I met one fellow who  
6 introduced himself and told me he has the shortest commute in the world at  
7 Skechers over there. I said, what do you mean? He introduced himself as the  
8 Executive Vice President of Industrial Engineering. He said he bought a house  
9 on the West side of Redlands in Cottonwood right across from Skechers, so now  
10 we have people who actually literally can sell your home in Irvine for  
11 \$700,000/\$800,000 and buy a beautiful home here that is much better than your  
12 home in Irvine and still probably put 500,000 dollars in your pocket, so it's very  
13 attractive for executives. What happens over time, over I would say a 5-year  
14 period, usually people will move to the job and they will commute there. After a  
15 while, if they are apartment renters, why commute when you can rent an  
16 apartment closer to the job. They become a Moreno Valley resident. People  
17 have families, let's say, with their kids in school. They wait until somebody  
18 finishes some school year, and then over time they move closer to their jobs. It's  
19 the same thing that happened in Orange County. It started as a bedroom  
20 community to LA. Then they created enough jobs and people migrated and  
21 ended up staying in Orange County and so forth. It's the natural pattern. This  
22 will just prime the pump for that to occur. But, most employers, prefer local hire.  
23 For example, if we open a restaurant here in Moreno Valley and we have two  
24 chefs that are qualified, one is from Moreno Valley and one is from Thousand  
25 Oaks and has a 4-hour commute to the job every day. They are both qualified.  
26 Who will we hire? We know the guy we are hiring from four hours away is going  
27 to be late for work. He is going to be tired. He is going to quit as soon as he  
28 finds a job closer to his home, right? So, by nature, most employers would prefer  
29 to hire as many local, or as close to local, as possible. So I think what we'll be  
30 seeing in Moreno Valley over time is that more and more of the employees that  
31 even came from somewhere will become our residents for all the 100,000  
32 additional residents we think we will have in Moreno Valley as we develop more  
33 homes. Plus people in Moreno Valley who already live here will get those jobs.  
34 But I would say that, in the beginning, it will be a smaller number. But, over time,  
35 it will be an ever increasing number.

36  
37

**PUBLIC COMMENTS**

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40 **CHAIR LOWELL** – I don't see anymore hands going up, so if anybody has any  
41 objections I'd like to move onto the Public Comment portion of the hearing  
42 tonight. I don't see anybody saying no, so I would like to officially open the  
43 Public Hearing Item tonight. The first speaker up is Mr. Chris Laka followed by  
44 Joann Stephan, but I believe she wanted to postpone her comments until later on  
45 in the hearing. Did you still want to do that or do you want to go now? Oh sorry.  
46 Okay, so we have Joann Stephan, and we have Scott Heveran. Those are the



1 next three. And, just to remind everybody, we're going to try to wrap this up  
2 close to midnight. So we've got enough time for a few speakers just to kind of  
3 get everybody in the mood.

4  
5 **CHRIS LAKA** – Good evening.

6  
7 **CHAIR LOWELL** – Let me interject real quick.

8  
9 **CHRIS LAKA** – Okay.

10  
11 **CHAIR LOWELL** – Since we will be cutting this off in a few minutes, maybe 20  
12 minutes/30 minutes, do you want to speak tonight? Or would you like to speak  
13 with everybody else?

14  
15 **CHRIS LAKA** – I want to speak.

16  
17 **CHAIR LOWELL** – Okay.

18  
19 **CHRIS LAKA** – I won't even take my full three minutes. All I want to say is I  
20 was overwhelmed by the presentation. I actually have never seen this  
21 presentation. I think it's a great opportunity for the city, and I hope you  
22 Commissioners...by the way, good evening and thank you for serving our great  
23 city. I think we should really consider having such a positive thing in our city, and  
24 you should really look into what your job is and what this is bringing and approve  
25 this project. I agree with Mr. Thornsley and Ms. Dale. Mr. Thornsley stated that  
26 you should maybe open the Public Comments to a Saturday. That goes in  
27 conjunction with what Ms. Dale said as far as there are many people that do not  
28 have the opportunity to be here to voice their opinions. And the reason I'm  
29 saying that is because I did some volunteer work. And basically, what we did, we  
30 went out by the intersection to talk to a lot of the commuters at 6:00 in the  
31 morning. It was overwhelming how many people are in favor or bringing such a  
32 thing. I'm talking about hundreds and hundreds, maybe thousands of commuters  
33 that are getting on the freeway and commuting out of the city that would like to be  
34 working in our community. So, with that, I'm not going to take up much time. I  
35 think it's a great project, and I'm overwhelmed. Thank you.

36  
37 **CHAIR LOWELL** – Thank you. Next speaker is Joann Stephan and Scott  
38 Heveran followed by Gary Potts.

39  
40 **JOANN STEPHAN** – I've lived in this city 30+ years, and this is the best thing  
41 that I've ever seen that wants to come in here. I've got kids that I've raised here,  
42 I brought here, and I've got grandchildren. In fact, there's one that's going to be  
43 going to the logistics program there in Norco because these are not just jobs that  
44 are just, you know, back and hands. They are technical jobs. They're jobs that  
45 are going to be able to support a family, and I think it's the best thing. I honestly  
46 don't even know...I mean it's amazing to me that presentation. I hadn't seen it

1 either. And I'm sure that just seeing it...Irvine honestly comes to my mind.  
2 When I see something like that, why Moreno Valley, I don't know. I really don't.  
3 But it's the best thing that this city could ever have. If you go down Perris and  
4 you see all those warehouses there, I mean that there is an eyesore. This here  
5 Skechers, I've gone in there and shopped. A lot of people that didn't want it go  
6 shopping there. You know, it's true. I've seen them with my own eyes, so  
7 bottom line is I know you guys are more than capable and knowledgeable and  
8 you're going to ask the right questions. But if you do not approve this, and I hope  
9 the City Council Members are looking, because I don't know how anybody can  
10 vote no on this. Even if there are people there that are on that East End that  
11 don't want it, I lived for many years around a commercial zone because my  
12 family members had come to this country. They were on the outskirts of town.  
13 Well building got to the outskirts of town, and a lot of that land became  
14 commercial. It was worth a lot more money than it was when we were out there.  
15 So bottom line is I have a lot of people that I know, because I've been here for 30  
16 years and I've activated for a lot of different things in this city whether it was  
17 council people or whether it was for a project that comes in here, and I haven't  
18 seen anybody on the west side of town don't want it to come in. You know, they  
19 bought where they bought. They had a lot of open land, and they knew it had to  
20 be developed. And I talked to Tom Thornsley. He talks, like my dad would say,  
21 about small potatoes. You don't need small potatoes in this town. We've had  
22 too much of that, so you guys, I know you're going to do a good job. And, if we  
23 don't get it, just like Santa Ana councilmen voted Disneyland out, they didn't get  
24 it. Anaheim got it. I live in Anaheim. I've got a house worth \$500,000, and it's a  
25 65 year old home, so we're going to miss the boat if we don't get this.

26  
27 **CHAIR LOWELL** – Scott Heveran followed by Gary Potts followed by Edward  
28 Gomez. Okay, so what I'm going to do when we come across people that  
29 wanted to speak but are not here, we'll hang onto them for the next hearing. So  
30 the next is Gary Potts followed by Edward Gomez.

31  
32 **GARY POTTS** – This one over here?

33  
34 **CHAIR LOWELL** – Yes please. Either one works if you want to sit down.

35  
36 **GARY POTTS** – Either way. It's almost good morning folks. But I thank you  
37 Planning Commission for being here and the opportunity to speak. Now I'm  
38 going to go about this from a slightly different point of view. But I do have one  
39 question though on the thing. If the people that are going to work out there have  
40 an average salary of \$45,000 a year, they aren't going to be buying a home in  
41 Moreno Valley because if you don't make \$100,000 you can't buy a home in  
42 Moreno Valley. The second thing is...Ma'am if you don't make \$100,000, you're  
43 not going to buy in most of these places.

44  
45 **CHAIR LOWELL** – Please don't pipe up when someone's at the podium. It's  
46 not fair. Please refrain from your comments until it's your turn.

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**GARY POTTS** – I’m sorry.

**CHAIR LOWELL** – No you’re fine Gary.

**GARY POTTS** – Okay thanks. I come from a trucking background. My father had a trucking company for 25 years. I wasn’t a driver, but I was involved. We’re going to make the 60 into a major trucking route. It’s not a major trucking route. It’s a state highway. I prefer that a lot of these warehouses were putting in logistically would be better off if they were on the 215 corridor if we had space to put them in. Now another thing is to get this to work, which includes not just this facility here, you’ve also got to do the one where Skechers is at and you’ve also got to do the one where Prologis is at. You have three highway overpasses that have to be updated, Moreno Beach, Redlands, and Theodore. Has anybody talked...the state has to do that. Cities cannot pay, the way I understand, to have a freeway overpass put in. The State has to do that, and I’m not all sure that does include tertiary roads. Has anybody here talked to the State and asked the State when the State’s going to fix those overpasses because to be more efficient about it you’re going to have to have those overpasses set up for truck traffic. Has anybody here talked to the State? Do we know what the State’s going to do with 60? Okay, my next question is it comes back to infrastructure. Who’s going to pay for it? Is the developer going to pay for it or is me as a citizen going to pay for it? Are they going to qualify and say they’re absolutely going to pay for it and they will never come back and ask us for money? Is anybody going to answer that or has that even been asked? Who’s going to pay for all this other infrastructure because, if you have a corporation and you pay for their infrastructure, they don’t pay for it. That’s corporate welfare. Okay. If they’re paying for it, they’re paying for it. That’s fine. The other thing is you’re going to build all these side streets and other things. They have to be up to a truck standard. A truck is 78,000 pounds, which is about 20 cars. It’s also 65 feet long, which is about 4 car lengths give or take a Prius. You’re going to have to build those side streets and those things to a trucks standard. The truck freeway, a lane of the freeway, costs four times as much as the other things. If you build all these other tertiary roads a trucks going to use and you don’t build them to a trucks standard those trucks are going to eat those up. Okay. My time is over. Thank you.

**CHAIR LOWELL** – Thank you very much. Edward Gomez followed by Alicia Espinoza. I can’t quite read the cursive.

**EDWARD GOMEZ** – Good evening Members of the Planning Commission. I’m very pleased that we finally can see, you know, the World Logistics even after all the opposition. But I’m very thankful for you guys. The presentation was great. I want to thank the people that are still here because by being here that shows that you really care about your community. I’m a community activist. I speak to a lot of people in the community. One of the biggest things that we have in the City of

1 Moreno Valley is a lack of employment. Okay? And the people that really are  
2 not here right now, they're commuting. They have to get up at 2:00 in the  
3 morning to go away from the house so they won't be able to spend time with their  
4 families, and my biggest concern is the community. Okay so when I heard about  
5 someone was going to bring jobs into this city I was just interested and I went to  
6 see if there was anything we could do about it. So that's why I got involved. So  
7 when I see someone that really wants to bring this big project in Moreno Valley, I  
8 say well he must be crazy or he may have a vision. Okay and so anyways so I  
9 got to know Iddo and I got to know the presentation and I saw the presentation.  
10 And every time I went to every presentation I learned something new. Okay and  
11 I know for a lot of people who are against this project they don't like the change  
12 because, you know, to them it seems impossible. In history, we've always had  
13 people that are always complaining. They're never happy. They are not happy  
14 with the color of their hair. They're not happy for whatever. But, in reality, you  
15 know what you have to deny yourself and you've got to go and do something for  
16 the people, for the little children, to build a future for them. So when I heard that  
17 he's concerned about the welfare of the kids, and that's what I'm talking about.  
18 Okay we live such a short time but what really matters is what you do when  
19 you're here. It's not how much wealth, how much property. In reality, at the very  
20 end, what did you do for you fellow man? That's what I'm here for. So you guys  
21 have a responsibility to do what's right. We're going to listen to the nay sayers  
22 and complainers, or are you going to do something about it? I believe and I  
23 expect that you guys are going to do the right thing. I want to thank you in  
24 advance because I believe that you will do the right thing. Thank you very much.  
25

26 **CHAIR LOWELL** – Just for clarity, Edward you did not check if you are for or  
27 against. I'm assuming you're for? On your slip you didn't check if you're for or  
28 against, but I'm assuming you're for? I just want to double check. I was going to  
29 mark it for you. It's fast approaching midnight, and I'd like to take two more  
30 Speaker Slips and then discuss about the date and time that we'd like to continue  
31 the meeting to. I have a real hard time reading this cursive. I think it's Alicia  
32 Espinoza, Alicia? Okay, I will keep her slip for the next endeavor. Debra Craig, I  
33 know she went home sick so I'm going to hang onto hers. We have Lindsay  
34 Robinson and Tom Chelbana. Are either of those two here tonight? Okay, I'll  
35 grab two more, and if these two want to defer then we'll just go to it until next  
36 meeting. We have Paul Granillo and we have Rafael \_\_\_\_\_.  
37

38 **PAUL GRANILLO** – Good evening Mr. Chair and Members of the Commission,  
39 I'm Paul Granillo. I'm the President and CEO of the Inland Empire Economic  
40 Partnership. I'm here to share my view in support of job creation as I often do  
41 when appropriate major advancements to our region are possible. The Inland  
42 Empire Economic Partnership Business Council supports logistics for our region,  
43 especially when it is done properly like with projects such as the World Logistics  
44 Center proposal before you. Logistics is an industry that supports our growth as  
45 a region. The way people purchase goods has changed. The supply chain is  
46 now the new mall. Using intuitive technologies, logistics is creating jobs and is,

1 in fact, the number one job creator in the Inland Empire. Through taking  
2 advantage of our regions competitive advantage bolstering this industry,  
3 leadership here in Moreno Valley can provide jobs and add to your tax base.  
4 Moreno Valley has already been leading in technology and environmentally  
5 sound development is home to the Skechers facility, the largest LEED Gold  
6 certified building in our region. Master plan projects like the World Logistics  
7 Center provides you the opportunity to take place of leadership by creating a  
8 technological environmentally cutting-edge project that moves the standard to an  
9 even higher level by requiring mobility technology advancement in fuels on all  
10 trucks entering the facility. The city can set the standard and change the way we  
11 look at goods movement. Goods movement has become and will continue to be  
12 part of the new economy increasing jobs and household incomes. Moreno Valley  
13 can take leadership in creating jobs; master planning, an important and needed  
14 resource to the international supply chain; and leading the way in technological  
15 advancement in the industry. I urge you to keep job creation and the benefit that  
16 that brings to both the city and those who will be employed in the city. I urge you  
17 to take advantage of this opportunity. Thank you.

18  
19 **CHAIR LOWELL** – Thank you very much. Rafael, you’ll be the last speaker for  
20 tonight.

21  
22 **RAFAEL BRUGUERAS** – Thank you. I want to thank each one of you for  
23 staying up with us because you are the gate keepers of Moreno Valley. You are  
24 the eyes and the ears of our city, so while we’re asleep you’re thinking of us and  
25 our future. I don’t want to see another Baltimore in Moreno Valley because we  
26 don’t have jobs. That’s a great responsibility that you seven have to ensure us  
27 that we have jobs in our city. Okay, that’s important. But I’m here to talk about  
28 transportation because transportation is the heart of the State of California, the  
29 County of Riverside, and the City of Moreno Valley. If we don’t have  
30 transportation, we don’t have perishable and nonperishable things coming into  
31 our city. Right now, while we’re here, there are trucks that are coming into our  
32 city delivering stuff while others are sleeping. And that’s a good thing because  
33 we have laws and rules that govern truck drivers/big companies to work around  
34 our schedule. While we’re sleeping, they are coming and delivering. And, while  
35 we’re getting up, they are leaving our city. So what I want to read, because I only  
36 got a minute, is something about the EPA about our environment, what the EPA  
37 has done for us. What they have done for us is give the emission reduction  
38 associated with the programs that are established to result in over \$7 billion in  
39 public health welfare benefits to reduce hospitalization and loss of jobs. We have  
40 a great system in the State of California. We know that today’s emission is not  
41 the same as 1990. Today our State enforces the EPA laws, so I know that when  
42 we go home tonight our air is cleaner than it has ever been. So we know that the  
43 logistics center has promised us that they will do their very best. But I promise  
44 you, if they don’t keep their word, I will be with them to protect my city. So, for  
45 today, I have a better promise with them. They continue to hear nos. No’s do  
46 not get us nothing, okay? They don’t give us all the answers. And I know that

1 one day when we look back at this project and we remember you men and  
2 women that decided to do great for our city we'll never forget you. Thank you.

3  
4 **CHAIR LOWELL** – Thank you very much. With that being the last speaker for  
5 tonight, I'd like to continue the Public Hearing until our next meeting. My  
6 personal preference would be the next Regular Meeting, which is Thursday the  
7 25<sup>th</sup>. Our normal meeting is 7:00 p.m. but I'd like to start earlier to try to get  
8 through all of these comment slips. Do any of my fellow Commissioners have  
9 any objection with that date and time?

10  
11 **COMMISSIONER VAN NATTA** – I don't have an objection to that date and time,  
12 but I do know we have one Commissioner who said that she might not be back  
13 by that time.

14  
15 **CHAIR LOWELL** – Correct, and that's why I was announcing earlier that she is  
16 flying in from LAX from an international trip. Her plane lands at 5:00, which  
17 means she could make it to this meeting late. She could hear most of the  
18 meeting. But, given the stack of this stuff, she's going to be jetlagged so she  
19 might not show up. We might not even get through all these comments in our  
20 next meeting even if it goes until midnight, so if it's okay with Commissioner  
21 Korzec, would you still be okay with that if you were able to catch up at the  
22 meeting either showing up late or watching it or reading the Minutes?

23  
24 **COMMISSIONER KORZEC** – Absolutely.

25  
26 **CHAIR LOWELL** – Okay. The reason why I was saying Thursday the 25<sup>th</sup> is  
27 because that's our next regular scheduled meeting, so it's on everybody's  
28 Agenda already. I think unless anybody else has any other comments or  
29 concerns, I think that would be best. It would give us enough time to read over  
30 all the new letters that were received this week. It would give us a little more...

31  
32 **COMMISSIONER VAN NATTA** – I do have one other question.

33  
34 **CHAIR LOWELL** – Yes Ma'am.

35  
36 **COMMISSIONER VAN NATTA** – What is the possibility of continuing this to a  
37 Saturday meeting?

38  
39 **CHAIR LOWELL** – I have no problem with that. I am out of town until the 20<sup>th</sup>.  
40 I'll be back in town on the 21<sup>st</sup>, so if we want to continue it to the Saturday after  
41 the 25<sup>th</sup> I have no problem with that. It's up to Staff.

42  
43 **COMMISSIONER VAN NATTA** – If we did it for the Saturday after the next  
44 meeting we could still handle whatever we had scheduled for the next meeting.  
45

1 **CHAIR LOWELL** – And we could even start that meeting earlier at like  
2 lunchtime.

3  
4 **COMMISSIONER VAN NATTA** – And then we could go...or even Saturday  
5 morning, start at 10:00 in the morning.

6  
7 **CHAIR LOWELL** – It’s completely up to us as far as the date and time. The  
8 only question I have of Staff is would a Saturday meeting be possible given  
9 overtime and off-hour employment? Would that be an issue?

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – You’re talking about continuing to  
12 the....

13  
14 **CHAIR LOWELL** – It would be the Saturday after the 25<sup>th</sup>.

15  
16 **PLANNING OFFICIAL RICK SANDZIMIER** – Three Saturday’s, okay.

17  
18 **CHAIR LOWELL** – So it’d be the 27<sup>th</sup>, I think.

19  
20 **PLANNING OFFICIAL RICK SANDZIMIER** – So first off, as your Staff, one of  
21 the concerns and this with all do respect to the Commission one of the concerns  
22 with continuing an open public meeting to a longtime out is the continuity of the  
23 discussion and so if there’s an opportunity to consider dates next week that’s  
24 what we would be encouraging. If the Commission is not inclined to do that, it  
25 seems to me that we would want to continue it to the next Regular Meeting  
26 because we can continue the dialogue and as you just indicated you may not be  
27 able to get through all the comments at that point and then if you needed to go  
28 another date, then I would suggest that we could go to the Saturday right  
29 afterwards and we would try and work with you to make those accommodations.  
30 It is giving us enough time to try and evaluate the Staff ability. We also have to  
31 look at the logistics in terms of a room. Just getting here tonight in this room was  
32 an enormous effort, but I think it’s worked out very well. Right now when we look  
33 at future dates, we’re looking right now at going back to the City Council  
34 Chambers. And so if we can chip away at those Speaker Cards, and if it’s going  
35 to take more than two meetings, I would rather you go to the 25<sup>th</sup> and then  
36 consider the Saturday meeting. That would be my suggestion.

37  
38 **CHAIR LOWELL** – I think that’s a fair...

39  
40 **COMMISSIONER VAN NATTA** – That sounds like a good compromise.

41  
42 **CHAIR LOWELL** – Okay unless there are any objections.

43  
44 **COMMISSIONER BAKER** – I agree.

45  
46 **DEPUTY CITY ATTORNEY PAUL EARLY** – Chair.

1 **CHAIR LOWELL** – Yes, Sir.

2  
3 **DEPUTY CITY ATTORNEY PAUL EARLY** – I just wanted to address that if  
4 you're going to continue this meeting that you'd want to make a motion and  
5 second it and make sure that the date and time are included in that motion.

6  
7 **CHAIR LOWELL** – Okay, can I make the motion since we have no specific  
8 motion?

9  
10 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yes.

11  
12 **CHAIR LOWELL** – I'd like to make a motion to continue the meeting to June  
13 25<sup>th</sup>. Is 5:00 p.m. okay by everybody? Is 5:00 p.m. too early or should we stay at  
14 the 7:00 time?

15  
16 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay, at that point your adjourned  
17 to a Special Meeting because the Special Meeting time is 5:00, so we're  
18 adjourning for a Special Meeting at 5:00 on the 25<sup>th</sup>. You're also still going to  
19 have a Regular Meeting that will be scheduled at 7:00.

20  
21 **CHAIR LOWELL** – The reason why I say that is because if we have 100  
22 Speaker Slips here that's 300 minutes, which is five hours. If we start at 7:00  
23 and don't miss any minutes or seconds between speakers, we will cut off at  
24 midnight. If we can start earlier, like 6:00 or 5:00, we'll still probably cut off at  
25 midnight, but we can more than likely hear everybody speak in one day.

26  
27 **PLANNING OFFICIAL RICK SANDZIMIER** – The only reason I'm  
28 asking...adjourning to a Special Meeting at 5:00, I just want to know, we can't  
29 insert any additional items on that Agenda. So I'm just curious if another item  
30 comes up on a regular Thursday date when we have to have the Regular  
31 Meeting after this.

32  
33 **WILLIAM (BILL) CURLY** – Well yeah. If you went to a Special Meeting from  
34 5:00 to 7:00 you would then add from 7:00 on, you could add, so you'll have in  
35 essence two meetings in one night, so you're covered.

36  
37 **PLANNING OFFICIAL RICK SANDZIMIER** – Possibly, but if we have no items  
38 then we don't have...

39  
40 **WILLIAM (BILL) CURLY** – Then we would just keep rolling with the first...

41  
42 **PLANNING OFFICIAL RICK SANDZIMIER** – They would just continue with the  
43 Special Meeting. There is no limitation on time. Okay so I just wanted to make  
44 sure that you have the adequate amount of time to get through all the speakers,  
45 so from what I'm hearing it's the desire of the Commission to adjourn to a Special  
46 Meeting of the 25<sup>th</sup> starting at 5:00. We will work with that. It's my understanding



1 right now that we know that this room would not be available on June 27<sup>th</sup>. I  
2 don't know if it will be available on the 25<sup>th</sup>, so at this point I would just be asking  
3 you to...do we know?  
4

5 **COMMUNITY DEVELOPMENT DIRECTOR ALLEN BROCK** – She's not sure.  
6

7 **PLANNING OFFICIAL RICK SANDZIMIER** – She's not sure, okay so we would  
8 be adjourning to the location that would be the City Council Chambers at this  
9 point.  
10

11 **COMMISSIONER VAN NATTA** – Before you complete your motion, if we didn't  
12 start the meeting until 7:00, there would be a greater likelihood that  
13 Commissioner Korzec would be able to be here.  
14

15 **COMMISSIONER KORZEC** – I wouldn't worry about that because I have to go  
16 through customs and it could take longer. I would hate for the meeting to be  
17 delayed just because of me because it sounds like we have a lot of people to  
18 hear from. And it probably will go to a third meeting, which if it does, I can  
19 certainly review the tapes and be ready for the third meeting.  
20

21 **COMMISSIONER VAN NATTA** – Okay. I'm okay with that.  
22

23 **CHAIR LOWELL** – With that said, I would like to continue the meeting to a  
24 Special Meeting on June 25<sup>th</sup>, which is a Thursday, 2015 at 5:00 p.m. The  
25 meeting will be held in the Council Chambers. That's my motion. Would  
26 anybody like to second that?  
27

28 **COMMISSIONER VAN NATTA** – I second it.  
29

30 **CHAIR LOWELL** – Okay, we have a motion by myself and a second by  
31 Commissioner Van Natta. May we have a rollcall vote please, or do we just do a  
32 hand vote? Well we'll keep Grace involved.  
33

34 **PLANNING OFFICIAL RICK SANDZIMIER** – Can I ask one question? If we  
35 determine that this venue is open on the 25<sup>th</sup>, we'll let you know. It just makes  
36 more sense if we're going to have a large crowd, so I just want to keep that open.  
37 Right now, I'm going to go with your motion to be at the Council Chambers. But,  
38 just for the audiences knowledge, we'll look into this room to see if it's available  
39 as well. Thanks.  
40

41 **COMMISSIONER BAKER** – Yes.  
42

43 **COMMISSIONER BARNES** – Yes.  
44

45 **COMMISSIONER RAMIREZ** – Yes.  
46

1 **COMMISSIONER KORZEC** – Yes.

2

3 **COMMISSIONER VAN NATTA** – Yes.

4

5 **VICE CHAIR SIMS** – Yes.

6

7 **CHAIR LOWELL** – Yes. With that, the meeting is continued. Thank you  
8 everybody and have a great night.

9

10

11 **NEXT MEETING**

12 *Planning Commission Special Meeting, June 25<sup>th</sup>, 2015 at 5:00 PM, Moreno*  
13 *Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA,*  
14 *92533.*

15

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26 \_\_\_\_\_  
27 Richard J. Sandzimier  
28 Planning Official  
29 Approved

\_\_\_\_\_ Date

30

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39

40 \_\_\_\_\_  
41 Brian R. Lowell  
42 Chair

\_\_\_\_\_ Date

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 SPECIAL MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Thursday, June 25<sup>th</sup>, 2015, 5:00PM

6  
7 **CALL TO ORDER**

8  
9 **CHAIR LOWELL** - Good evening ladies and gentleman. I would like to call the  
10 June 25<sup>th</sup> Special Meeting of the Planning Commission to order. The time is 5:11  
11 PM. Grace, may we have a rollcall please?  
12

13  
14 **ROLL CALL**

15  
16 **Commissioners Present:**

17 Chair Lowell  
18 Vice Chair Sims  
19 Commissioner Ramirez  
20 Commissioner Barnes  
21 Commissioner Van Natta  
22 Commissioner Baker  
23

24 **Staff Present:**

25 Rick Sandzimier, Planning Official  
26 Paul Early, City Attorney  
27

28  
29 **PLEDGE OF ALLEGIANCE**

30  
31 **CHAIR LOWELL** - Now we have a special opportunity. A gentleman by the  
32 name of Mr. Frank Wright would like to lead us in the Pledge of Allegiance.  
33 Could you please come forward to the microphone?  
34

35 **GRACE ESPINO-SALCEDO** - Chair Lowell I do want to announce that  
36 Commissioner Korzec will not be here today. She is excused absent, and we do  
37 have present alternate Commissioner Lori Nickel. And absent also we have  
38 Erlan Gonzalez.  
39

40 **CHAIR LOWELL** - Thank you very much. Mr. Wright. Thank you, Sir. Since  
41 this is a Special Meeting, I do not believe...do we have to approve the Agenda  
42 for tonight since this is a continuation of a Special Meeting?  
43

44 **PLANNING OFFICIAL RICK SANDZIMIER** - No.

1  
2  
3 **PUBLIC COMMENTS**  
4

5 *Any person wishing to address the Commission on any matter, either under*  
6 *Public Comments section of the Agenda or scheduled items or public hearings,*  
7 *must fill out a “Request to Speak” form available at the door. The completed*  
8 *form must be submitted to the Secretary prior to the Agenda item being called by*  
9 *the Chairperson. In speaking to the Commission, member of the public may be*  
10 *limited to three minutes per person, except for the applicant for entitlement. The*  
11 *Commission may establish an overall time limit for comments on a particular*  
12 *Agenda item. Members of the public must direct their questions to the*  
13 *Chairperson of the Commission and not to other members of the Commission,*  
14 *the applicant, the Staff, or the audience.*  
15

16  
17 **CHAIR LOWELL** - Okay, so we don't have the approval of the Agenda, no  
18 Consent Calendar, and no approval of Minutes so it looks like we're going  
19 straight into the Public Comments portion of the meeting. But, before I do so, I  
20 have a couple disclaimers I'd like to read. The public is hereby advised of the  
21 procedures to be followed in the meeting and they are displayed on the side of  
22 the room and in the rear of the room. We also have the ADA Disclaimer. It says:  
23 Upon request this Agenda will be made available in appropriate alternate formats  
24 for persons with disabilities in compliance with the Americans with Disabilities Act  
25 of 1990. Any person with a disability who requires a modification or  
26 accommodation in order to participate in the meeting should direct their request  
27 to Mark Sambito, our ADA Coordinator. His phone number is 951-413-3120.  
28 Please make your request at least 48 hours in advance of the meeting. The 48  
29 hour notification will enable the City to make reasonable arrangements to ensure  
30 accessibility to this meeting. Additionally, the Public Comments procedures for  
31 Speaker Slips, we are currently reopening the ability to submit new Speaker  
32 Slips. There was a little bit of concern at the end of last meeting that people had  
33 to attend graduations and some other events, so until 6:00 tonight I'm going to be  
34 accepting more Speaker Slips. At 6:00, that is the absolute drop-dead no more  
35 Speaker Slips. They will not be reopened in the third meeting should it continue.  
36 Just make sure, if you want to speak, now is the time to fill out your Speaker Slip.  
37 This is the absolute dead last chance. Also please turn your cellphones to silent  
38 or vibrate to be kind of respectful in that manner. Also, if you have any signs or  
39 banners, please don't hold them up over your head and waving them and that is  
40 that. With that said, I do believe we should just move on to our Public Hearing  
41 Items. I believe our first speaker is Scott Heveran, and the second speaker  
42 would be Alicia Espinoza followed by Debra Craig and Lindsay Robinson. Also,  
43 before you get started, we have a couple of TV screens setup throughout the  
44 room outside and I believe across the way in the gymnasium that shows the lists  
45 of speakers numerically. The numerical order was based on the order that these  
46 Speaker Slips were received at the last meeting. We kept them in order and you

1 can kind of get an idea of where we are and who is up next, so please pay  
2 attention to that. Please, Sir.

3  
4 **SPEAKER SCOTT HEVERAN** - Good evening. I appreciate the Planning  
5 Commission and the Chairman's willingness to answer questions posed by the  
6 public, and I appreciate that this is a different kind of meeting in that the rules are  
7 kind of fluid. But I do appreciate you opening it up and allowing all people who  
8 want to speak the chance to speak, and I don't think it should be closed until the  
9 meeting is over. Okay the thing about it is the presentation by the Applicant, that  
10 was a lot to digest and I'm grateful I had the week to do so. Some of it was  
11 extremely difficult to swallow, and some of it I just don't swallow. My  
12 understanding and my reason for opposing this project are many but my top  
13 three, and they haven't changed, are traffic, pollution, and this forced vision. You  
14 know, the Applicant he...there's a lot of people out here that have the signs and  
15 he's very good at drumming up support. You know, it's almost like a cult-like  
16 thing. Everybody is going to this ranch and becoming indoctrinated. You know,  
17 if it was only for good instead of evil. The mitigations that are being offered are  
18 lacking. The traffic associated with logistics does not break for peak traffic. If  
19 that were true everybody that commutes wouldn't see a truck. Pollution: The  
20 HEI Study's own author refutes the conclusion by Highland Fairview. I came  
21 here in the 80's and the air was not clear. It wasn't good, but over time that  
22 actually improved. We've made great strides and I'm hopeful one day that the  
23 end of fossil fuel use is near and trucks that are as harmful as a Bob's Big Boy  
24 are all over the road. I'm pretty hopeful for that. But the reason why our air is  
25 clear isn't because of the industry or the trucking industry it's because of all the  
26 organizations that are against this project; the Sierra Club, the AQMD, you know,  
27 all the other people that are looking out for the air. This developer admires China  
28 so much and their speed to market. Perhaps he should've bought land in China  
29 and built his warehouses there. In the US, air is very important to us.

30  
31 **CHAIR LOWELL** - Thank you. Your time is over. Alicia Espinoza please. Is  
32 Alicia Espinoza in the room today?

33  
34 **AUDIENCE MEMBER** - No she is not here.

35  
36 **CHAIR LOWELL** - Okay then we will hold her spot until the end just to make  
37 sure that she has the opportunity to speak. Debra Craig please. I must  
38 apologize, Ms. Craig. At the last meeting, Deanna Reeder came up and told me  
39 that she wasn't feeling good and was going home, and for some reason your  
40 name and her face got crossed in my brain. It was just a total snafu on my part.  
41 I apologize.

42  
43 **SPEAKER DEBRA CRAIG** - No, you're not the first person who has confused  
44 us, so you know no offense to Deanna but...

1 **CHAIR LOWELL** - It's just one of those things that it was late in the night and  
2 my apologies.

3  
4 **SPEAKER DEBRA CRAIG** - That's fine. I didn't want to speak that night  
5 anyways, so this worked out great.

6  
7 **CHAIR LOWELL** - Perfect, thank you. The floor is yours.

8  
9 **SPEAKER DEBRA CRAIG** - Okay well good afternoon. My name is Debra  
10 Craig, and I've lived in Moreno Valley for 25 years. I'm having a sense of déjà vu  
11 right now and have a copy of a newspaper article that explains why. It's a story  
12 about a project that could generate over 2200 truck trips a day. It talks about  
13 how the diesel trucks will create all of this traffic and air pollution. It tells how this  
14 project will create significant and unavoidable effects on the environment. As I  
15 read the quotes, it sounded like they were predicting the sky would fall and this  
16 project would end Moreno Valley as we all know it. The date of this article is  
17 January 9<sup>th</sup>, 2009. It's an article about the Planning Commission Public Hearing  
18 on the Skechers Distribution Center. I don't think any of you were there, but I  
19 was there that night in support of the Sketchers project. Did any of their  
20 predictions come true? No. And, in fact in the three years it's been open, I've  
21 never heard any complaints about Skechers and their trucks. And, if there is a  
22 truck traffic apocalypse that naysayers predicted is happening, it isn't because of  
23 Skechers. There was one thing that did come true, which was mentioned in this  
24 article. It was how Highland Fairview pledged to make the corporate park as  
25 environmentally friendly as possible, and they did. The Skechers Distribution  
26 Center is the largest LEED Gold Certified Project in the United States. Now, six  
27 years later, I am here in support of the World Logistics Center. Of course, the  
28 chicken little's are also here with the same rants, the same dire warnings, it's just  
29 a different day. I am for the World Logistics Center because it is the right project  
30 at the right location with the right developer and at the right time. In fact, so  
31 many neighboring cities around us are starting to build large facilities like what  
32 the WLC will cater to I feel there is a sense of urgency in approving this project  
33 and getting it off the ground. I feel so strongly that our City must act as quickly  
34 as possible, I'm hoping this is the last Planning Commission Meeting we'll need  
35 and it will go to City Council in 10 days. Please approve this project. In six  
36 years, I hope no one will look back and read a newspaper article how this project  
37 didn't happen because people were so fearful. Instead, I hope we will be reading  
38 about how approving the World Logistics Center was a defining moment in  
39 helping our City become a more prosperous community. Thank you.

40  
41 **CHAIR LOWELL** - Thank you very much. Lindsay Robinson followed by Tom  
42 Chelbana followed by Maxine Davidson.

43  
44 **SPEAKER LINDSAY ROBINSON** - Thank you very much for being here.  
45 Lindsay Robinson. I am opposed to it. Debra is a hard act to follow. At the last  
46 meeting, you all said you met in small groups with Staff members and Mr.

1 Benzeevi to hear all about the positives of this project. I would like to request  
2 that you meet in the same groups the same amount of time with the residents  
3 that are opposed to it because three minutes isn't enough time. Moreno Valley's  
4 website polled the top two reasons for living in Moreno Valley is affordable  
5 housing and proximity to work, so commuting some people commute. I  
6 commute. That's a choice. Air, okay, red flag. They say there's no health  
7 issues. Why are three homes getting air filtration? That shows that they do  
8 know there's a health issue. Every home in Rancho Belago should get air  
9 filtration, the schools, and the Renaissance Village. And also the developer  
10 should be made to pay for indoor stadiums for the athletes and the playgrounds if  
11 they know there is a health issue. You've heard a lot about that. Jobs, jobs,  
12 jobs. The current zoning for Moreno Highlands has 21,000 jobs. That's 1000  
13 more than what this has projected. There also are supposed to be homes put in  
14 there. Businesses opened on the East End and have since closed because  
15 those promised homes were not built. Noise: You can't mitigate the noise.  
16 There are so many unhealthy things here. We moved out there to be away from  
17 noise and congestion. Sound walls aren't going to work for everyone out there.  
18 Those that do get sound walls are going to lose their views. That's wrong. You  
19 know, it's important the health well being, quality of life that we all deserve, and  
20 this project is going to destroy all that for too many. Moreno Valley's motto is  
21 "Where Dreams Soar." Well a lot of our dreams are going to be crushed if this  
22 happens because it's the wrong location, wrong project, wrong time, and I can't  
23 remember what else I was going to say. Thank you very much.  
24

25 **CHAIR LOWELL** - Thank you very much. I had a quick question for you before  
26 you go Lindsay. Okay, never mind. I don't have a question for her. We have  
27 Tom Chelbana followed by Maxine Davidson. Are either of those two here  
28 today? We have Carl Prude, Deanna Reeder, and Elie Chouinard. I see Ms.  
29 Reeder is back there. What about Eunice Kang, Owen Christian? I'm just calling  
30 to get everyone's attention, so the next one up is Carl Prude followed by Deanna  
31 Reeder. I don't see Carl making any motions, so let's go to Deanna Reeder.  
32

33 **SPEAKER DEANNA REEDER** - Deanna Reeder. First things first, some of the  
34 Planning Commissioners during your Planning Commission interviews with the  
35 City Council were asked if you supported the World Logistics Center project and  
36 several of you answered that question affirmatively. So, those of you that were  
37 asked during that interview if you supported the project, you need to disclose that  
38 to the public when you get to deliberations and before you actually vote on the  
39 project because that is very important that the public know how you previously  
40 answered this question. You're free to explain that yes you were for it and then  
41 you became, you know, unbiased and whatever your vote is now but you need to  
42 disclose that to the public before you actually vote on the project. There's a lot of  
43 reading with the project, and I'll admit I have not read everything. Now I have  
44 read through the Conditions of Approval, the Development Agreement, the  
45 Specific Plan, and different parts of each of the appendices depending on what it  
46 was and what it meant to me. Now the most interesting thing I think about this

1 project is the reason for it is jobs, jobs, jobs. But, if you go through the appendix  
2 and you look at the Traffic Study, what it says is that there's an assumption that  
3 the people that are going to be working at the World Logistics Center would have  
4 been working someplace else already, so the assumption is these are not any  
5 new jobs. The assumption in that particular appendix is that nobody unemployed  
6 is going to get a job that people that were already employed and driving  
7 somewhere else are going to be at the World Logistics Center. Now I'm sure that  
8 assumption is so that he doesn't have to account for traffic that's still going to be  
9 on the road if people that are unemployed do get a job there. Now, if you look at  
10 other parts of the...well there's just a lot of pieces to it. Most of you haven't read  
11 it but there's probably about 30 different things, so each of them has a different  
12 name and a different appendix number, but each of them tells a different story.  
13 The Development Agreement and the Specific Plan, pretty much the Specific  
14 Plan says maybe we'll do all this stuff if it's feasible. I can't tell you how many  
15 times if came up. And then when you're talking about jobs numbers; jobs, jobs,  
16 jobs. Well you can't tell a story one way in one part of it and tell a story a  
17 different way in a different part, and that's exactly what this does. It pretty much  
18 says that they know they've inflated the numbers, but oh well they can do that if  
19 they want to.

20  
21 **CHAIR LOWELL** - Thank you very much.

22  
23 **SPEAKER DEANNA REEDER** - Thank you.

24  
25 **CHAIR LOWELL** - We have Elie Chouinard. We have Eunice Kang, Owen  
26 Christian. Are either of those people here? Perfect and what was your name,  
27 Sir?

28  
29 **SPEAKER ELIE CHOUINARD** - Elie Chouinard.

30  
31 **CHAIR LOWELL** - Elie Chouinard, you're up.

32  
33 **SPEAKER ELIE CHOUINARD** - Well thank you for listening. Again, my name is  
34 Elie Chouinard. I'm a resident of Moreno Valley, and I have been a homeowner  
35 since 1986. I want the record to show that I support the World Logistics Center.  
36 I feel it's a viable solution to our present and future economic, environmental, and  
37 social issues. That's where I stand. It seems to me that the City Staff has  
38 thoroughly studied this project and, as far as I know, they don't have a  
39 reasonable issue against the project so I feel that you folks should go along with  
40 your Staff. Thank you.

41  
42 **CHAIR LOWELL** - Thank you very much. Eunice Kang. Okay we will move  
43 along. We have Owen Christian followed by Robert Harris and John Peikert.

44  
45



1 **SPEAKER OWEN CHRISTIAN** - Hello. I'm Owen Christian and I pulled into  
2 Moreno Valley in mid December of 1985. Some of you maybe can relate, but I  
3 remember there were no curbs or gutters or anything like that. I had two traffic  
4 lights in the City and the names of the streets were on those 4x4 posts, and I'd  
5 carry a flashlight with me at night when I would go and visit around in the City,  
6 stop at times, get out, and shine that flashlight on that post to see the name of  
7 the street. That's where we came from, but there's been a lot of good changes  
8 taking place in the years. We have a beautiful city, a lot of good things going for  
9 Moreno Valley, and I want to see that continue. Now change is coming. You can  
10 see the difference between from when I came to the city and where it is now.  
11 Listen change is still coming, and it's going to keep on coming. We can ignore  
12 that and get run over by it or else we can embrace the change that's coming and  
13 mold it, direct it and use it as a positive thing for our community. I believe that  
14 the World Logistics Center is one of those changes that's really great. It's going  
15 to be a positive thing all the way around for us here. Now, years ago, I was  
16 reading from a very prosperous businessman and he made a statement that  
17 stuck with me all these years. He said whatever a man can conceive and  
18 believe, he can achieve. And I believe people have visions what can happen  
19 here and also Highland Fairview believes it. They've invested millions of dollars  
20 already, and I want you as the Planning Commission to just open the door so that  
21 they can move in and achieve something that is great, something that will be a  
22 really positive thing for Moreno Valley for many, many years to come. Thank  
23 you.

24  
25 **CHAIR LOWELL** - Thank you, Sir. We have Robert Harris up next followed by  
26 John Peikert and Ruthie Goldkorn.

27  
28 **SPEAKER ROBERT HARRIS** - Good evening Chairman Lowell and Planning  
29 Commissioners. My name is Robert Harris and I've lived in Moreno Valley for  
30 approximately 32 years. And, before I get any further, I just wanted to mention  
31 did you guys neglect to ask the alternates if they had conflicts of interest because  
32 you all declared that you had no conflicts of interest but I never heard that from  
33 the alternates. Shouldn't they also declare that they have no conflicts of interest?  
34

35 **CHAIR LOWELL** - I can address that after your three minutes.

36  
37 **SPEAKER ROBERT HARRIS** - Okay I'm here to support the World Logistics  
38 Center and I first came to Moreno Valley because of the affordable homes and I  
39 was a commuter. I commuted to Paramount for 18 years, and in the early years  
40 it would take maybe an hour/hour and 15 minutes. And then, as years went by,  
41 two/two-and-a-half hours. If there were accidents, maybe three. This is a  
42 common thing. Ninety percent of all of working adults in Moreno Valley  
43 commute, so they all have a similar experience. We are a bedroom community.  
44 Moreno Valley now has the opportunity to bring 20,000 jobs with the World  
45 Logistics Center and that will improve our tax base. It'll improve our quality of  
46 life, and it may even improve our high school graduation rates. Currently, the

1 City of Moreno Valley has 0.47 jobs per household. Anyway the people on the  
2 East side that are opposing this project, they are mostly retired people with a few  
3 exceptions and they don't want the project. They don't have to work, you know,  
4 so I think they're being selfish by not wanting this to go forward. There have  
5 been other times in Moreno Valley where we had the opportunities for large  
6 projects to go in. At one point, our City had the opportunity for Boeing,  
7 McDonnell Douglas, Lockheed Martin, Northrop, and even a Western Chevrolet  
8 plant and the project was killed because the people living on the East side didn't  
9 want it. Am I over?

10  
11 **CHAIR LOWELL** - No. You have a few seconds left.

12  
13 **SPEAKER ROBERT HARRIS** - Okay. Anyway the project was killed, and I  
14 would like to see that this project not be killed. Also I have some comments that I  
15 would like to submit to the public record. Is that possible?

16  
17 **CHAIR LOWELL** - I'll pass it off to Staff and they'll take care of it for you.

18  
19 **PLANNING OFFICIAL RICK SANDZIMIER** - Here we'll take those.

20  
21 **CHAIR LOWELL** - And just to clarify with the declaring of no conflict of interest,  
22 we were trying to determine if we needed to use an alternate Planning  
23 Commissioner. That was the first meeting where we had alternates that may or  
24 may not have been used; actually, no it's not the first meeting. We had an  
25 alternate we used but by going down the line saying that we did not have a  
26 conflict of interest just validated our ability to sit on this specific item, and I didn't  
27 go to ask the alternates because they weren't going to be seated for this item. It  
28 seemed kind of a mute point, but if you'd like to we could ask. I don't think it's  
29 necessary though.

30  
31 **SPEAKER ROBERT HARRIS** - No I'm good.

32  
33 **CHAIR LOWELL** - Well one of our alternates is missing and when we get to that  
34 point I'll ask. Next in line is John Peikert followed by Ruthie Goldkorn.

35  
36 **SPEAKER JOHN PEIKERT** - Good evening. I have resided in this town since  
37 1973. I've seen a lot of changes in the 42 years I've been living here. Mainly the  
38 tremendous housing boom and the tremendous influx of people; the population  
39 growth. I support the World Logistics Center. Please approve the Plan.  
40 Somewhere on a logo I've seen during the City's duration people, pride, and  
41 progress. This is definitely progress, and I believe it's in the right direction. Do  
42 not let this opportunity slip away. Moreno Valley residents need local jobs.  
43 Thank you for your time.

1 **CHAIR LOWELL** - Alright Ruthie Goldkorn followed by Jim Maxwell and Tom  
2 Jerele, Sr. We see Tom in the back. Are Ruth or Jim available? Are they in the  
3 room? Okay, so we'll go onto Tom. Next following Tom is Wayne Horner  
4 followed by Juan Malfavon.

5  
6 **SPEAKER TOM JERELE, SR.** - Tom Jerele, Sr. speaking on behalf of myself  
7 and also on behalf of the Sundance Center where I spent a little bit of time.  
8 Chairman, Vice Chair, Commissioners, Staff and the public: Thank you for  
9 continuing this Hearing. Before I go any further, allow me to please thank all of  
10 you, especially the Staff. The consultant came and explained the Development  
11 Agreement last time after the Developers presentation. I learned more in that  
12 five hours we had the first meeting about this project than I had since I had first  
13 heard about it, so it was a very informative meeting. It was conducted very well.  
14 I liked that whole temperament of the project here and the way you have been  
15 approaching it, so thank you. I have not spoken about the WLC to this date with  
16 the exception to say that we should go forward with the Public Hearings and feel  
17 putting into a referendum this late in the game is fair not only to the Developer  
18 but to the entire city. It's time we put this behind us here. One of the things I did  
19 to learn more about the project was to self educate. In doing that, I wanted to get  
20 as much information as I could on both sides. I think there were five meetings  
21 that were against the project. I went to four of them. And at one of the early  
22 meetings I asked the question that didn't get looked at at that time, it came up  
23 during a later one, does anybody have a viable alternative for land use on this  
24 project and nothing came forward. A lot of people talk big and so oh we could  
25 have a Disneyland, we could have this. We could have a water park, you know,  
26 no chance of doing that today. But, long story short, we got a stadium. But Mr.  
27 Benzeevi is a very accessible man. I'm sure if anybody had a viable alternative,  
28 he's not hard to talk to. I mean I've talked to him about possible uses for this  
29 project, and he always has an open door. He is probably one of the most  
30 accessible people in the City, so I have not seen to this date a viable alternative.  
31 The other thing is that this move to logistics didn't come yesterday. This goes  
32 back about four City Councils. This started a good seven to eight years ago.  
33 The best example I can give you, Prologis as I've said many times, I'm sure  
34 wasn't driving up the 60 Freeway and said hey lets stop here and spend a couple  
35 million dollars. I think they were encouraged to come in. The welcome mat was  
36 out for logistics, so I think this City as a City has been encouraging logistical  
37 development. So there is a proven marketing need. I am going to endorse the  
38 project tonight and speak in favor of it, encourage your approval. One of the  
39 issues, the big issue is air pollution. Trucks are not only getting cleaner, but I  
40 firmly believe only two hours commute from the ports there I think they'll be all  
41 electric within 20 years, so we'll have zero emissions coming out of those trucks.  
42 So I think that'd be a big shift and then finally I do have one constructive criticism.  
43 Somebody hollered out from the crowd don't we want to see the project? I want  
44 to see it. That berm on the West side, you know, my mind is calculating the cost  
45 and I can think of a lot better uses for the millions of dollars it's going to cost for  
46 that money. Thank you.

1  
2 **CHAIR LOWELL** - Wayne Horner followed by Juan Malfavon, Ivan Martinez,  
3 and Gerardo Malfavon. Hope I'm not massacring that name. I have no idea how  
4 to pronounce it. Would you introduce yourself please.

5  
6 **SPEAKER JUAN MALFAVON** - My name is Juan Malfavon. You just did  
7 butcher my name but that's okay.

8  
9 **CHAIR LOWELL** - Sorry about that one.

10  
11 **SPEAKER JUAN MALFAVON** - I'd like to start off with saying that I'm a retired  
12 Marine Corps Officer. I did 20 years in the Marine Corps. Of those 20 years, 18  
13 of those were in the logistics field. I planned all the preposition/disposition  
14 transfer of equipment from the United States to Iraq and back. It was a lot of  
15 work. It takes a lot of people and with that I found that numbers, which was my  
16 job, numbers were facts and facts were absolute. What we haven't talked about  
17 are the absolute facts of the job. We hear we're getting 20,000 jobs, but what we  
18 don't hear is how many children we have in our community who are going to be  
19 looking for jobs. Well I pulled up a little bit of information on the Moreno Valley  
20 website. I found just about 150,000 students between the ages of 15 and 21, 27  
21 schools in the district, and we have a total of 111,000 students. Well where are  
22 those kids going to go for jobs if not here? They're going to go to Disneyland.  
23 They're going to go to Perris to distribution centers. Are they going to go to  
24 March Air Base who hires 8500 people? Well I don't think anybody going to  
25 March to get a job because you have to be retired just like me to get a job at  
26 March as a civilian. There's 8600 people at March, and they're all active duty  
27 reservists meaning they go to work there but they're paid military pay. They're  
28 not the civilians who are in our communities. There are people who come here  
29 temporarily, live here for a few years, and then leave. But some of those people  
30 don't leave. I happen to be one of them. I came from Escondido, California. I  
31 bought a home here, and I love it here. I had commuted to Camp Pendleton for  
32 almost 16 years prior to retiring. I'm not working right now. I'm actively  
33 unemployed because what I do is I'm assistant coach. I coach kids in Lake  
34 Elsinore at the U12 level and I coach kids here in Moreno Valley at the U17 level,  
35 and this is what I mean by our children. All these numbers don't include our kids.  
36 Half of these kids their parents never come to practice because they're always at  
37 work. Their parents never show up at the games because they're working on  
38 Saturdays. I pick kids up every single day and take them to practice and take  
39 them home and then take them to practice and take them home. And I know the  
40 parents appreciate it because I appreciate it because I grew up without a father  
41 so I know what it's like to have somebody be a father figure, and I always tell  
42 those kids do your best. Do right, stay strong, stay safe, and try to become a  
43 better citizen. Well how can we expect our children to be better citizens if when  
44 they graduate from high school they have to leave looking for work somewhere?  
45 What happens when you don't have a job? And I'll tell you, the local sheriff has  
46 anticipated 14,000 more beds in jail by the year 2020. That's what they're

1 looking at. They want to build more jail beds instead of more jobs. Thank you  
2 very much.

3  
4 **CHAIR LOWELL** - Thank you very much. Ivan Martinez. No Ivan Martinez?  
5 We have Gerardo Malfavon.

6  
7 **SPEAKER JUAN MALFAVON** - That's my brother, and he has conceded his  
8 time to me. Can I speak longer?

9  
10 **CHAIR LOWELL** - Unfortunately you cannot.

11  
12 **SPEAKER JUAN MALFAVON** - He's in traffic, just one of those guys who can't  
13 come home.

14  
15 **CHAIR LOWELL** - Okay, I'll keep him on the list in case he makes it. We have  
16 Stan King followed by Susan Bellinger and Keith Howerton. I don't see anybody  
17 moving. So we'll just keep going down the line. We have James Fields. We  
18 have Susan Nash, Tom Paulek.

19  
20 **SPEAKER SUSAN BELLINGER** - Good evening Planning Commission. I am  
21 Susan Bellinger and our family has lived in Moreno Valley since 1984. I wanted  
22 to express my opposition to this project. It is nothing personal to any particular  
23 developer, but I feel that this is not the best thing for Moreno Valley. I think it's  
24 going to open a Pandora's Box of lawsuits and problems that are going to go on  
25 for many, many years. One of the things that occurred to me is we're in a severe  
26 drought in California right now. It seems to be getting worse almost by the  
27 moment and so here we are looking at using a huge amount of water for  
28 construction activities when we need to be saving that water for drinking or  
29 sanitation for people. Now one thing I don't know it just occurred to me like  
30 maybe we should look into having like a reservoir like a lake sort of development  
31 that the people on the East Side would like because I think California is going to  
32 start looking for reservoirs very soon. Anyway I feel like this was a unilateral  
33 decision to rezone it from residential to industrial. The East Side residents were  
34 not sincerely included. It was kind of a City decision with Henry Garcia and Barry  
35 Foster and those people decided to make the East Side industrial without  
36 consulting the residents. The surrounding cities, as I said, don't want this. They  
37 don't feel that there is the infrastructure to support it outside of the development.  
38 I feel like the City of Moreno Valley residents will have to pay taxes to support  
39 this development, which many of them don't want and then the people outside in  
40 Riverside, Redlands, so forth are very opposed to it and have said they don't  
41 have the money to pay for the infrastructure outside of this development and they  
42 will not. Also the jobs. Now I've seen jobs estimated from zero to 24,000. To  
43 me, that's a very unreliable job estimate. In 15 to 25 years who knows what kind  
44 of housing there will be in Moreno Valley. Who knows what robotics will do to the  
45 jobs, so the jobs-to-housing ratio is not even part of the discussion. It's just too  
46 far....this project is too much in advance to even guess. I just want to say one

1 thing about the roundabout where the trucks stage and go onto Theodore  
2 Freeway. I don't think it's going to be possible for all the trucks to stay on a  
3 roundabout to go on the Theodore Freeway. It's just impossible and I also  
4 wonder why it says that a City Truck Map is posted at the exits of the World  
5 Logistics Center if all the trucks are just going to stay on the roundabout. I don't  
6 think there's enough deadlines for the mitigation. I think you should have dates  
7 for all of the mitigation and who is going to enforce the truck idling to three  
8 minutes and so forth. Thank you.

9  
10 **CHAIR LOWELL** - Thank you very much. So that was Susan. Let's go back,  
11 was Stan King in the room today? Is Ivan, Ivan Martinez? We called you, but I'll  
12 let you go for it. Just in time.

13  
14 **SPEAKER IVAN MARTINEZ** - Thank you. I just got off work. So my name is  
15 Ivan Martinez. I'm 28 and a resident of Moreno Valley, life long. There are many  
16 points I could make against the World Logistics Center tonight. I would like to  
17 comment on just one though and that is the tone of recent public meetings. I've  
18 noticed a correlation between Public Hearings that involve Highland Fairview  
19 proposals. About 10 years ago I worked with then Councilmember Charles  
20 White gathering signatures to put the Rancho Belago name designation, which  
21 Highland Fairview proposed on the ballot to hopefully get rid of it. We held  
22 community forums where supporters of the name would show up. They were  
23 very often loud, disruptive, and aggressive. One resident who came to see the  
24 forum later told me she felt intimidated and would not show up to public meetings  
25 like this again. In recent meetings, I've noticed some of the same thing going on.  
26 I've even noticed some of the same people. I just wanted to say that I hope  
27 people are not intimidated by this behavior and that they understand that this is  
28 behavior that's probably meant to keep people from participating. Furthermore,  
29 the support for this project seems orchestrated as if they have been instructed to  
30 clap and shout out loudly when one of them speaks and boo people who speak  
31 against it. There is nothing wrong with organization, but when it seems  
32 orchestrated the image support for this project should be taken with a grain of  
33 salt. Thank you very much.

34  
35 **CHAIR LOWELL** - Thanks. Okay, just to clarify, Stan King I didn't see him in  
36 the audience. How about Keith Howerton, James Fields, Susan Nash? That's a  
37 negative, negative, negative. What about Tom Paulek, Rudy Krantz, Maribel  
38 Sandoval? No, no, no. Okay, we'll just keep moving down the list. We have  
39 Ken and Bethany Clark. Although there are two names, you only get one  
40 Speaker Slip. What about Matthew Pineda, Marvin Niles? Wow, we're just  
41 striking out. We have Darline Bailey, Kenny Bailey. What was your name? I  
42 saw a hand go up. No? I saw a hand go up third row back, no? Okay, we'll just  
43 keep going down the list. Darline Bailey, Kenny Bailey, Frank Wright. I know  
44 Frank Wright was here. He led us in the Pledge of Allegiance. Thank you for  
45 leading us in the Pledge of Allegiance. That was really nice. Thank you.

1 **SPEAKER FRANK WRIGHT** - Yes, Sir. My pleasure. Chairman and  
2 Commissioners: Frank Wright resident of Moreno Valley for 35 years. It is  
3 imperative that we make a proper decision in favor of accepting the logistics  
4 center project. Financial conditions are now approaching a state of perplexity  
5 whereby Food Stamps, welfare, and unemployment will not support the livelihood  
6 of many people and now Congress is debating in cutting Social Security that will  
7 curb the income of many of the seniors. If we raise taxes, then by possibility  
8 many may have to move, homes could be lost with the result of many  
9 foreclosures, businesses would shut down, and the City would lose as much  
10 revenue as it would expect to gain. And the fact that Moreno Valley is under the  
11 suppression of the City of Riverside. The logistics project is designed specifically  
12 to bring in the revenue severely needed to our City and to support the families of  
13 vast homeowners by supplying technical jobs, professional positions, as well as  
14 many other levels of work. This is our last chance in making Moreno Valley its  
15 own empire within Inland Empire. Do you see that picture? By being self  
16 sufficient and self sustaining an opportunity that we cannot pass up where this is  
17 a timely occasion for attaining a goal so desired that it will change the history of  
18 Moreno Valley. Because of that you, the Members of the Commission, have the  
19 necessity to support the people for the best benefit of the City the identity of  
20 responsibility and good leadership, which you all have, and the maturity of  
21 making the most proper decisions in making a substantial life for all. Therefore,  
22 we encourage you in presenting to the City Council this very feasible and  
23 prosperous project for their acceptance to vote upon. If we lose this grand  
24 opportunity then surely we stand the chance to fall in the same positions as the  
25 City of Bell and San Bernardino. Chairman and Councilmember's please choose  
26 wisely for your decision for the benefit of Moreno Valley and its people. Thank  
27 you and may God bless you all.

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** - Mr. Chairman, if I may.

30  
31 **CHAIR LOWELL** - Yes, Sir.

32  
33 **PLANNING OFFICIAL RICK SANDZIMIER** - I just wanted to point out that it is  
34 about 10 minutes to 6:00, and based on your direction to restrict comments, I just  
35 wanted to at least give you an opportunity to make that announcement again  
36 before the 6:00 hour.

37  
38 **CHAIR LOWELL** - In case anybody didn't hear, we are fast approaching 6:00.  
39 Six o'clock is the cut off if anybody would like to fill out a Speaker Slip that has  
40 not done so already. We will take a break just before right around 6:00 just to  
41 give people the chance to stretch their legs and fill out the slips, very last-ditch  
42 effort, and we will take a couple more speakers in the meantime. We have Don  
43 Markham. We have Richard Harry and Kathleen Dale. I saw a couple hands. I  
44 see Kathleen is up here. In the back, what was your name?

45  
46 **SPEAKER RICHARD HARRY** - Richard.

1  
2 **CHAIR LOWELL** - Come on down please. You said your name is Richard  
3 Harry?

4  
5 **SPEAKER RICHARD HARRY** - Yes.

6  
7 **CHAIR LOWELL** - Thank you.

8  
9 **SPEAKER RICHARD HARRY** - Ladies and gentleman of the Planning  
10 Commission: My name is Richard Harry. I've lived in Moreno Valley for 23 years  
11 commuting most of that time to work in other cities such as LA, Pomona, and  
12 San Bernardino. I won't go into the effect because many of us have spoke about  
13 that, but I think that it is about time Moreno Valley step into the future by planning  
14 to accept the opportunity offered by the World Logistics Center project to bring  
15 jobs to Moreno Valley and, one of my favorites, the \$22 million for schools and  
16 community colleges annually. Take note that, in addition to this, \$7 million will be  
17 contributed for education and training in logistics and robotics in local schools for  
18 the jobs the WLC will be bringing along with this project will give notice to Moreno  
19 Valley residents of jobs that are coming before they are announced to the  
20 general public and will train residents for these jobs. That means that many of  
21 our children and grandchildren will not have to leave Moreno Valley to find a job  
22 and also our neighbors. The developer is also giving millions to the City  
23 infrastructure improvement for things such as libraries, etc., which is important to  
24 the City. The Skechers Building has proved that the fears of pollution from the  
25 facility and the trucks was unfounded; proven to be unfounded. We have the  
26 zero emissions. The trucks going to the ports, according to the law, have almost  
27 zero emissions; less than a backyard barbecue grill. Besides that, I have never  
28 seen a Skechers truck in Moreno Valley on the streets or on the road.

29  
30 **CHAIR LOWELL** - Please keep your comments to yourself.

31  
32 **SPEAKER RICHARD HARRY** - But most of them travel during the evening from  
33 say 8:00 at night to 6:00 in the morning, and I have not heard of any backup on  
34 the traffic or anything because of any Skechers trucks. Thank you.

35  
36 **CHAIR LOWELL** - Thank you, Sir.

37  
38 **SPEAKER RICHARD HARRY** - Vote for this project.

39  
40 **CHAIR LOWELL** - Was Don Markham in the audience today? Okay, Kathleen  
41 Dale, you are next.

42  
43 **SPEAKER KATHLEEN DALE** - Good evening Commissioners. My name is  
44 Kathleen Dale. I've lived in Moreno Valley for all but two short periods of my  
45 childhood while my dad was stationed away from March. My family lived on  
46 Gifford Avenue east of Redlands Boulevard at ground zero for more than 30



1 years, and I currently live along Cactus Avenue near Perris Boulevard in an area  
2 that will be significantly impacted by the project proposal to make Cactus Avenue  
3 into a new crosstown highway. I have submitted two sets of written comments to  
4 you. The first one dated June 11<sup>th</sup> raises numerous procedural errors and points  
5 out errors, omissions, and inconsistencies in the record before you that basically  
6 render you unable to make an informed decision regarding the development  
7 applications and certification of the EIR. The second letter that was submitted  
8 today provides excerpts from the Moreno Highland Specific Plan regarding  
9 proposed land uses, job projections, and project surplus revenue to the City. In  
10 case there is any doubt, I'm opposed to this project, and I agree with the very  
11 knowledgeable attorneys, environmental organizations, and public agencies who  
12 have provided extensive evidence that the record before you requires substantial  
13 additional work and recirculation of a revised draft EIR before you take any  
14 affirmative action. The minimization of the consequences of the Cactus Avenue  
15 extension change in the project subsequent to circulation of the 2012 draft EIR is  
16 just simply appalling. In adjusting the proposed circulation system to address the  
17 modified Specific Plan Boundary and to address impacts to the old Moreno  
18 neighborhoods east of Redlands Boulevard, the Circulation Plan has been  
19 modified to shift about 20,000 vehicles per day originating from the proposed  
20 development to Cactus Avenue east of Redlands Boulevard on a road segment  
21 that currently carries about 470 vehicles per day. I'm told your Staff disagrees  
22 with this assessment but it's in your documents and you've each been provided  
23 excerpts from the EIR that give you that information ready at hand. This change  
24 alone clearly triggers the recirculation requirement by impacting new sensitive  
25 receptors, both residents and wildlife because this road cuts across the open  
26 space area. And I think it's Planning Area 30 and presents the potential for new  
27 or more severe impacts regarding esthetics, air quality, biological resources,  
28 cultural resources, hazards hydrology, land use noise, public services traffic, and  
29 utilities that aren't addressed in the final EIR. The Development Agreement  
30 requires significant amendment to clearly disclose the infrastructure and services  
31 each party is responsible for and the corresponding costs. The Development  
32 Agreement provisions regarding the DIF fees are in direct conflict with the EIR  
33 analysis and the mitigation program, and these conflicts must be resolved by  
34 amending either the Development Agreement or the EIR before a decision is  
35 rendered. I also have some additional detail...

36  
37 **CHAIR LOWELL** - Thank you very much.

38  
39 **AUDIENCE MEMBER** - Order, we want order.

40  
41 **SPEAKER KATHLEEN DALE** - And recommendations in my June 11<sup>th</sup> letter  
42 regarding the Development Agreement.

43  
44 **CHAIR LOWELL** - Thank you. That's enough. I can get the bailiff involved if  
45 you wouldn't mind knocking it off. Okay, with that said, it is past 6:00. Can Staff  
46 verify that there's nobody in the audience, nobody in the hallway, nobody in the

1 gymnasium across the street that is still trying to fill out a Public Speaker Slip?  
2 Perfect. That's fine. I'm just trying to make sure that you were able to submit the  
3 green piece of paper. Because, if you submitted it, you're on the list. I'm just  
4 trying to make sure that you've had the opportunity to. What was your name  
5 again, Sir? Yeah we did call you, and I can call you up right now. Let's just  
6 double check. Is there anybody else still trying to fill out a green slip? I see a  
7 couple hands. Okay that's fine. I'm just trying to make sure you did fill one out.  
8 Okay, at this time, I'm going to close the period where we're accepting new  
9 Speaker Slips for this meeting. Okay I don't see anybody else wanting to fill out  
10 one, so no more Speaker Slips. We are done receiving new Speaker Slips.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** - Mr. Chairman, if I may.

13  
14 **CHAIR LOWELL** - Yes, Sir.

15  
16 **PLANNING OFFICIAL RICK SANDZIMIER** - I was just talking with our Staff.  
17 Our Staff is working with the City Clerk who has collected some additional  
18 Speaker Cards. We'd like to bring those forward and we'll integrate those.  
19 Some of the speakers that are filling out Speaker Cards are over in the  
20 gymnasium, so they may take a little bit of time to get over here.

21  
22 **CHAIR LOWELL** - That's fine.

23  
24 **PLANNING OFFICIAL RICK SANDZIMIER** - But we will update the list, so I just  
25 wanted to let you know that there are some additional names to add.

26  
27 **CHAIR LOWELL** - Okay. Thank you very much. I did hear that we had a  
28 couple people that we called that were not physically present at that moment in  
29 time, and it was Ken and Bethany Clark. And what was your name? You had  
30 your hand up. Sandoval. Maribel Sandoval, okay, you can go up after Mr. Clark  
31 over here.

32  
33 **SPEAKER KEN CLARK** - Good evening ladies and gentleman. My name is  
34 Kenneth Clark. I'm speaking on behalf of myself and my wife. I've been here in  
35 Moreno Valley since 1988. We've raised our kids, foster kids. I've heard issues  
36 on both sides and what we're looking at is what outweighs the other. I've been  
37 here. I've watched Moreno Valley change since I've been here five times from  
38 drugs to prostitution to low riders; the whole thing. My personal opinion on this  
39 view, roughly from mid 30s up, it don't concern us. This logistics project is for the  
40 future. As the gentleman got up and said, the change has changed and it's going  
41 to change. Whether you like it or not, it's going to change. So now, in view of  
42 that, we're looking at our children or our children's children. Even my children  
43 are all moved, grown, and have their own. But we're looking at the little small  
44 children. To me, this project belongs to them. With the kind of information that I  
45 thought I understood is we're in this...it won't be anymore of the old style hands-  
46 on thing. You're going to have to go to school to learn computer, so all this is

1 what they're teaching now at school to the kids. I can't keep up with my  
2 grandkids. I don't know the computer that well. But, to me, I'm for it. We have to  
3 look out for the future, which are our children or our children's children, who like  
4 myself I'm over 60 and some people in Moreno Valley are way over 60. No  
5 offense to...I heard a lady say that they came here for peace and quiet. That  
6 changes. That changes everywhere, so I'm looking for that too. But we're retired  
7 and I'm no longer working. My wife is retired. My kids are grown and their gone,  
8 but we have to look back on the kids that are coming up. From what I'm  
9 understanding from these other people who are against this project, I don't care.  
10 Forget them. They can die as far as I'm concerned. That's the way I'm seeing it,  
11 but the kids are the future. They need to have something to work towards. I'm  
12 for this project. If you don't have to ride an hour, hour-and-a-half, two hours to go  
13 to where you have to and it will just take me 10 minutes to get to work, even walk  
14 to work, I think it's profitable for Moreno Valley. We need to change. I hope I'm  
15 here to watch it happen. I'm 63, at least I hope I'm here by.....

16  
17 **CHAIR LOWELL** - Thank you very much.

18  
19 **SPEAKER KEN CLARK** - Thank you very much.

20  
21 **CHAIR LOWELL** - Maribel Sandoval followed by Imelda Santana. We have  
22 Louise Palomarez and Bob Palomarez. Maribel, please.

23  
24 **SPEAKER MARIBEL SANDOVAL** - I'm Maribel Sandoval and I'm a Moreno  
25 Valley resident and I'm....

26  
27 **CHAIR LOWELL** - Can you approach the microphone a little bit better?

28  
29 **SPEAKER MARIBEL SANDOVAL** - And I'm in favor for the World Logistics  
30 Center because, if you want a job, you should just get a job and we all live in  
31 Moreno Valley so that's it.

32  
33 **CHAIR LOWELL** - Thank you very much.

34  
35 **SPEAKER LOUISE PALOMAREZ** - Louise Palomarez activist here in the  
36 community for over 26 years. Okay, I agree with all the speakers here because if  
37 we don't jump on this bandwagon, we lost it. And some of the speakers said well  
38 let's put a reservoir. Wait a minute, don't we not have no water? Don't we not  
39 have no water? Also another speaker said Redlands. You know, all the  
40 surrounding cities don't want it; Redlands, Perris. Well that's why they don't want  
41 it. They're going to build it in their backyard. Redlands wants it. Redlands that's  
42 a small community. It's already going into the logistics. They already have it  
43 built up. Everybody wants it in their backyard. That's why. Again, as far as the  
44 surrounding cities, we got some of the supervisors out at Riverside they own land  
45 off the 10. They own land off the 15 and the 215. They want it in their backyard.  
46 They don't want it in our backyard. How long are we going to be the toilet bowl of

1 Riverside County? That's what I want to know. How long are we going to be in  
2 the desert? I've said this before, another 40 years? We have two opportunities  
3 to bring good companies here. Boeing and all that, we missed that boat. We  
4 missed the second boat. Now we're going to miss the third boat? This is the  
5 wave of the future. We need this in our City. We need this for our kids. A lot of  
6 people don't, you know, go to college and all that. They can go to college and  
7 learn this in six months to one year. You know, not everyone wants to go to  
8 college for four years so we need this. We need these jobs in our City. We need  
9 the revenue. What could it do? You know, I was here the other day at the  
10 Council meeting. They were going back and forth with the budget. Come on! All  
11 this money to the City, all the revenue. It will take 15 years to build up but we got  
12 to start somewhere. We got to be a City on a hill now. We're tired of just being  
13 on the backburner forever. How long do we got to wait? How long do we got to  
14 stay in the desert? Like I said, another 40 years? It's our turn. It's our time. We  
15 need this project. If we don't get this project, we are going to be like San  
16 Bernardino. We're number 49 right now. San Bernardino is number 50 about  
17 jobs per household. Come on! Our kids, they're coming out of these high  
18 schools. They got to commute to every surrounding county. I got kids that live  
19 on the East End, four kids. They're not complaining about this. They want it to  
20 come. They bought their houses here. All my kids commute to every  
21 surrounding county but this county; every surrounding county. They don't even  
22 work here. They got to drive out of here. My generation, we had to drive out of  
23 here. My kids, they're driving out of here. My grandkids they're going to college.  
24 They don't even want to live here no more. They didn't buy houses, so they're  
25 up and ready to go after they get out of college. We need this. If we don't have  
26 this, forget it. We're the lowest performing schools in the district, Riverside  
27 County. We got the lowest performing schools, so we need this for our kids. The  
28 parents aren't here. They're commuting on freeways all the time. They can't put  
29 into their kids like this other man was talking about. He's involved with kids with  
30 sports and all that. He knows what it is. We need our parents here. It's not  
31 going to supply jobs for everybody....

32  
33 **CHAIR LOWELL** - Thank you very much.

34  
35 **SPEAKER MARIBEL SANDOVAL** - But it will supply a lot of jobs plus all the  
36 money it's going to give our schools. Thank you.

37  
38 **CHAIR LOWELL** - We have Imelda Santana and we also have Bob Palomarez.

39  
40 **SPEAKER BOB PALOMAREZ** - Good evening Commissioners, Chair. All the  
41 speakers before me have said a lot that are for this project, and it's true. You  
42 know, I live up in Sunnymead Ranch and when I opened my front door before I  
43 could see all the hills to the west and all the flatlands. Now all I see are logistics  
44 west of the 215 from one end to the other, and that's fine with me because I  
45 know that's progress. Jobs are coming, business is coming, and every  
46 surrounding community is benefitting by it and that's what the people of Moreno

1 Valley want. They want their piece of the pie. You know, they've been waiting  
2 and the project speaks for itself. I'm sure you've gone over it. All the negativity  
3 that people come out is because that's the echo of what they did with Skechers.  
4 Like Louise was saying about, you know, Redlands they're going....Redlands,  
5 Colton, Rancho you all know it. Everybody's building while we're just looking  
6 around and seeing them build and reading about what they're doing. The future  
7 is now. We can't wait anymore. If we don't pass this thing, gradually we're going  
8 to see the streets, and they're already getting that way, they're turning into slums  
9 a little bit. You know, I'm not talking about way on the East End, I'm talking about  
10 central Moreno Valley. I see it because I go through there everyday. Another  
11 thing, when I go on the freeway in the morning going west, man all that traffic that  
12 is leaving Moreno Valley well even the hybrids now. you know, the State of  
13 California wants to impose....what they want to do is eliminate the gas tax  
14 altogether and charge you by the miles you drive. So all the people that are  
15 driving back and forth, it's going to cost them. Even the people that have  
16 hybrids, fuel-efficient vehicles, because the State is losing too much money.  
17 They can't fix the roads. And another thing I just want to say, this is kind of a  
18 little thing about the naysayers here, this little thing that we can easily forgive a  
19 child who is afraid of the dark the real tragedy is when man is afraid of the light.  
20

21 **CHAIR LOWELL** - Thank you, Sir. We have Alice Bradley. We have Gideon  
22 Kracov. We have Tom Hines and Karen Jakpor. I don't know. What was your  
23 name?  
24

25 **SPEAKER ALICE BRADLEY** - Alice Bradley.  
26

27 **CHAIR LOWELL** - Yeah, by all means. You're up next, yes.  
28

29 **SPEAKER ALICE BRADLEY** - Good evening Chairman Lowell and Planning  
30 Commissioners. My name is Alice Bradley. I'm a lifetime resident of Moreno  
31 Valley, so I've been here a little longer than a lot of you. I'm no youngster. But  
32 I'm here on behalf of the Moreno Valley Historical Society, and it's a little bit  
33 different issue. But it's regarding the World Logistics Center proposed closure of  
34 a portion of Alessandro Boulevard. I'd like to read the letter that I submitted to  
35 you. The Moreno Valley Historical Society works to preserve and celebrate the  
36 proud history of our region. We recognize that our history is not just in the  
37 amazing photos of our founders, the historic buildings that we seek to save, or  
38 the relics of the past. Our history is also contained in the ways that people lived,  
39 the way they traveled, the paths they used to settle our valley, and trade with  
40 their neighbors. Because we seek to preserve and celebrate all of our history,  
41 we strongly oppose any attempt to close a portion of Alessandro Boulevard, a  
42 vital link to our valley's history. Not so long ago, Highway 60 simply did not exist.  
43 Instead, travelers used what we now think of as historic roads to get to Riverside,  
44 Redlands, Beaumont, Hemet, and other surrounding towns. From there, they  
45 could travel east, west, north, and south. Few roads were more important to  
46 what is now Moreno Valley than Alessandro Boulevard. The centrality of

1 Alessandro Boulevard to Moreno Valley’s history is explained in Viola Hamner’s  
2 book titled Moreno Valley, California *In the Beginning*. In it she states historic  
3 Alessandro Boulevard, our best-known highway, has been extended over the  
4 years and now stretches 17 miles from Gilman Springs Road westerly into the  
5 City of Riverside. On November 11, 1988, it was designated a City of Moreno  
6 Valley Landmark Resolution CPAB88-2. It has been, over the years, a San  
7 Bernardino County Road, a Riverside County Road, a California State Highway,  
8 part of the Transcontinental US 60, part of Old Jackrabbit Trail, and lastly a  
9 Moreno Valley City Boulevard. The desire to close a portion of Alessandro  
10 Boulevard for new development violates our history and robs future generations  
11 of the ability to better understand our history and how our founders lived and  
12 worked. A Development Plan can be changed or altered. Streets can be easily  
13 moved a bit in one direction or another. Truck traffic can be restricted with  
14 signage and enforcement. We ask that you not attempt to change or alter our  
15 history by erasing a vital part of the valley.

16  
17 **CHAIR LOWELL** - Thank you very much.

18  
19 **SPEAKER ALICE BRADLEY** - Thank you for your consideration.

20  
21 **CHAIR LOWELL** - We have Gideon Kracov followed by Tom Hines, Karen  
22 Jakpor, and Melody Lardner.

23  
24 **SPEAKER GIDEON KRACOV** - I’m learning a lot tonight. Chair and  
25 Commissioners, my name is Gideon Kracov. I’m a lawyer here for the Laborers  
26 Union Local 1184 and has thousands of members who work and live in Riverside  
27 County, hundreds here in your City. We’ve previously submitted many comment  
28 letters for the record, most recently letters of June 10<sup>th</sup> and June 24<sup>th</sup>. I think you  
29 have these. The laborers want good healthy jobs, but they’re concerned about  
30 this project and whether it will meet the standard good/healthy jobs. Our written  
31 comments focused on deficiencies in traffic, air quality, biological, agricultural,  
32 and urban decay impacts but tonight I’ll talk of just two of those. Air quality: Your  
33 final EIR is so patently deficient in the area of air quality that the California Air  
34 Resources Board has taken the highly unusual step of filing a formal comment  
35 letter criticizing your document. It points out that the EIR dismisses health  
36 impacts of diesel particulates from trucks based on a single recent study. CARB  
37 states the use of only one study as the basis for this analysis is not sufficient for  
38 the purpose of providing a comprehensive analysis of health risk. The study is  
39 only one of many scientific studies related to health risks. In fact, there are many  
40 other studies that conclude that diesel particulate matter is a health hazard. Now  
41 your EIR cannot simply ignore the legal conclusion of CARB, the California  
42 Agency with regulatory authority over this issue yet that’s what your  
43 environmental document does. CARB concludes that feasible, feasible  
44 mitigation should include a requirement of zero emission, a requirement of zero  
45 emission, a near-zero emission vehicles and trucks. Local 1184 members  
46 breathe this polluted diesel air. This project can and should do better. Next is

1 urban decay. We submitted expert comments that, given the scale of the project,  
2 the likelihood of significant urban decay impacts in the primary and secondary  
3 market areas including other cities is high including the potential for existing  
4 similar industrial uses, warehouse uses, to be rendered no longer viable and  
5 forced to close or stagnate. We understand and we want local good jobs, but  
6 without an adequate analysis it's not clear what the local and regional costs of  
7 this project are. The project could shift the location of warehouse development  
8 without accounting for potentially offsetting impacts to existing businesses,  
9 existing neighborhoods. This will hurt good jobs. Jobs that Local 1184 seeks  
10 and the quality of life in this region as a whole. In summary, Local 1184 believes  
11 there are too many unanswered questions and unmitigated impacts to approve  
12 this project tonight. Thank you for your consideration and thoughtful attention to  
13 all these comments.

14  
15 **CHAIR LOWELL** - Thank you very much. We have Tom Hines.

16  
17 **SPEAKER TOM HINES** - I wonder if 1184 objected to anything along the 215 or  
18 if they objected to anything along the 10?

19  
20 **CHAIR LOWELL** - Keep the applause down to a minimum. Please, please  
21 continue.

22  
23 **SPEAKER TOM HINES** - Will do. What is a job worth? My first job was at  
24 Sears warehouse and with that money that I made there I put myself through  
25 college. What is a job worth? Every job is a good job for somebody. When  
26 March closed and we lost 6000 jobs, our property values went down 35%, so if  
27 we bring in 6000 jobs or 12,000 jobs or 18,000 jobs would our property values go  
28 up 35%, 70 or 105%? I don't know about you, but I would like to be able to  
29 someday retire and sell my house. But it is also going to be important that there  
30 are jobs for our children and that the robotics industry that is developing we don't  
31 need buggy whips or kerosene lanterns anymore. Those jobs have gone away.  
32 And if in the next 10, 20 or 30 years 50% of the jobs people have today are no  
33 longer existing that means we have to retool as America, as Moreno Valley.  
34 Each individual needs to be thinking about what type of a job will they have in the  
35 next 10 years because some of our jobs won't be needed. The Riverside  
36 Robotics Society is going to be starting a robotic college, the first in the world.  
37 They are going to locate somewhere, probably in Riverside. Why doesn't our  
38 City and our economic development people offer them a location here in Moreno  
39 Valley. We have just landed Fisk and Fisk is going to be a great corporate tenant  
40 for our City. Moreno Valley has the doctor of LEED Certified Gold Buildings.  
41 The best ecological builder in the whole world is right here in our own City. The  
42 Moreno Valley Business Journal supports jobs because either a City is dying or  
43 growing.

44  
45

1 **CHAIR LOWELL** - Thank you very much. Karen Jakpor followed by Melody  
2 Lardner and Yvonne Redmon. Okay, so Karen is not here. Yvonne is not here.  
3 What about Melody Lardner? No? Okay, so we're going to go to Donovan  
4 Saadik.

5  
6 **SPEAKER DONOVAN SAADIK** - Alright. Good evening, Commission. My  
7 name is Donovan Saadik. I've been a resident here since 1977. I was actually  
8 pre Moreno Valley, and I've been hearing a lot of people talk about the kids. Well  
9 and I'm really happy we're having this discussion and there's not a lot of  
10 animosity going on right now, but you got to reach out and understand each  
11 others sides. So this isn't about winning or losing. It's about this is my position,  
12 that's their position. Now a lot of the people that are talking about the kids.  
13 When you talk to them, you say well where are you from? Their not from here.  
14 So, if you're talking about the future for our kids, most kids as we know when we  
15 grow up we don't want to live our parents lives. We want to go and do something  
16 else and make our own way in the world, so there is no guarantee that the kids  
17 are going to be here. The kids that are from Moreno Valley are going to be here  
18 later on. Now maybe down the line some other kids that's good and great. But  
19 some of the things that I had a problem with the presentation. I've never seen a  
20 presentation where it is so good that there is no bad. How do you make a  
21 presentation where oh it's going to be awesome; this, this, this, this. Now I'm a  
22 military guy and just like my fellow marine was over there saying, he had some  
23 good points, but at the same time he is a logistics man and he knows as well as  
24 anybody else to logistics there's some bad sides of logistics. And you've got to  
25 take that into consideration. The Panama Canal is going to be complete in three  
26 months. The Nicaragua Canal is opening up. That's going to have a significant  
27 impact on warehousing in the West Coast, a 30% to 40% reduction. These are  
28 facts. Now you might not like the facts but you can't sit there and say that it won't  
29 have a potential of what's going to happen here. Now, infrastructure costs, fair  
30 share. He keeps saying that in the thing, fair share. Now, if we look at what  
31 happened in the Skechers debacle, we paid a lot of our fair share in that so \$150  
32 million I don't think I want to go through that again in infrastructure costs. His  
33 land, he wants to develop it, you incur the costs. And not everybody wants jobs  
34 in the warehouse. I was raised here, so I'm going to tell you right now back in my  
35 day when I was coming up and I graduated high school the only option I had if I  
36 wanted to stay in this area was to join the military. That was it. You didn't go  
37 somewhere and then come back or whatever you're going to do so not  
38 everybody wants to be working in a warehouse. If you take all the kids that are  
39 here, all the people that...the thing's not going to be complete until 2030. I'll be  
40 in my 60s by then, so it's not going to do me any good. So for people that need  
41 jobs, people are under the impression that this thing is going to be built in a  
42 couple years. It's a 15 to 20 year build-out, so you've got to start telling the truth  
43 on that.

44  
45 **CHAIR LOWELL** - Thank you very much. Paul Granillo, Maricela Ramirez,  
46 Wendy Clay, and David Lara-Tellez.



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**SPEAKER MARICELA RAMIREZ** - Hello and good afternoon.

**CHAIR LOWELL** - Would you introduce yourself?

**SPEAKER MARICELA RAMIREZ** - Yes, Maricela Ramirez.

**CHAIR LOWELL** - Thank you.

**SPEAKER MARICELA RAMIREZ** - I'm in favor of the World Logistics Center. It has been a long time for this project to finally come to the big day to decide. I know the challenges and obstacles you've had to building the road but with patience and perseverance I know it will be one day completed. I have been a resident for 35 years as mentioned the first time I spoke and I have definitely seen the City grow tremendously. I have been a student and can relate with those who commute. Sometimes there will be sacrifices to gain profits, so working as a team will be the only way things will turn out safe and progress. Let's not talk the talk but walk the walk. Thank you.

**SPEAKER WENDY CLARK** - My name is Wendy Clark, not Wendy Clan.

**CHAIR LOWELL** - Oh, Wendy Clark. Thank you.

**SPEAKER WENDY CLARK** - I support the World Logistics Center myself. I have family that were retired from Aerospace, and they suffered from the long distance drives back and forth day in and day out and I have a brother that does have stents in his heart so I do kind up speak up with my family. Basically, my family has been split. I have kids that have moved out of here. They were trying to find work. They didn't find work, so they had to move away and I do support it with the future for our children or our children's children. We do need jobs. We do need the tax revenue here to support the colleges and stuff, so we can get trained for this project. That's about it. Thank you.

**CHAIR LOWELL** - Thank you very much. David Lara-Tellez followed by Chef Basil and Joe Celentano.

**SPEAKER DAVID LARA-TELLEZ**- Commissioners, Staff and public: My name is David Lara-Tellez. I'm a resident of Moreno Valley and I'm in favor of the World Logistics Center. What I wanted to talk to you today about is #1 I wanted to compliment you on the last meeting you held with the circus being in town. I think you did a wonderful job of dealing with this without having the chaos that could have occurred. I appreciate that. We do have an atmosphere right now where we have four or five council people who are under recall. We've had a two year relentless attack by the Press Enterprise to depict our City as being corrupt. And even after there was no corruption found after two years, they're not now trying to promote Moreno Valley. They are continuing to bash us. I think it's time

1 for our City to move forward. I think that this Commission has a wonderful  
2 opportunity to help us do that. We are here with a project that the opponents  
3 have...I mean Staff actually has to say it is a real project because one of their  
4 claims was that it wasn't a real project. I hear the opponents talk about higher  
5 paying jobs. That's the project that's not real. Where is that project on your  
6 calendar? Do you have that project, the higher paying jobs that are going to  
7 come to Moreno Valley? No you don't. You have this project in front of you.  
8 And, yes, it's probably going to be a 10 year build-out. What did our City leaders  
9 do 10 years ago that have brought jobs now? Nothing. That's why we are where  
10 we are now. We did not become the second worst major populated city for jobs  
11 in the nation by accident. Well we did by accident kind of. We didn't plan to get  
12 here. I don't think that previous Councils and previous Commissions intended to  
13 have us be the second worst city in the nation for jobs. I think that they never  
14 failed to miss an opportunity to miss an opportunity. There is an opportunity in  
15 front of you now and 10 years from now people are going to look back. The  
16 children who are in second, third, and fourth grade right now are going to look at  
17 you and say there were jobs available for me because you did the right thing  
18 because you did not let this circus atmosphere and these people who make  
19 these ridiculous claims that this is not a real project they can't argue this project  
20 on a real basis. They have to claim that it doesn't even exist. I thank Staff for  
21 having clarified that and I want our City to move forward. I want Moreno Valley to  
22 be what it should be. We are the second most populated city in the county. We  
23 are not a colony of Riverside. We are Moreno Valley. We need jobs and we  
24 need opportunities. Thank you.

25  
26 **CHAIR LOWELL** - We have Chef Basil. We have Joe Celentano, Elsa Reyes  
27 Coulter.

28  
29 **SPEAKER JOE CELENTANO** - Good evening. My name is Joe Celentano.  
30 I've been a resident in the area since 1976. I'm a retired chief master sergeant. I  
31 have an aircrafts and engine maintenance background and then I moved into  
32 aerospace and got into the logistics and statistics business. I am not against  
33 jobs, and I don't think anybody here is against jobs. I think what we're trying to  
34 do it trying to make sure that the types of jobs that we have are going to bring  
35 success to Moreno Valley. Logistics is a good step forward, but it's not the only  
36 thing. I'd like to see the medical corridor become a reality instead of just a lot of  
37 talk. We've gone around and lost a lot of the minor and small manufacturing  
38 communities that we did have in Moreno Valley. They left for parts unknown for  
39 obvious reasons. They just weren't able to make the money here. I think what  
40 we're trying to do it trying to be good. I would like to say that I enjoyed the  
41 presentation by Highland Fairview and one of the things that I think really came  
42 to point was the fact that we only heard him say that this is good. To me, that  
43 sounded like when I went down to buy a new car. When you buy a new car, all  
44 you hear are the good things. You don't hear about the airbag problem and you  
45 don't hear about the key problem or you don't hear about the brake problems.  
46 There are things that the EIR brought out that I think need to be given more

1 consideration and more thought and I am a proud member of Moreno Valley. I  
2 intend to stay that way and my family does too. Thank you for the opportunity to  
3 speak. I'd like to bring this into the Minutes if I may.  
4

5 **CHAIR LOWELL** - I will take it for you. Thank you. So we have Chef Basil. We  
6 have Elsa Reyes Coulter. We have Walter Guinea. Please introduce yourself.  
7

8 **SPEAKER ELSA REYES COULTER** - Elsa Coulter. Yes my name is Elsa  
9 Reyes Coulter. I am here to support the project of the World Logistics Center  
10 and not because anybody obligating me. No. I say this because later on when  
11 I do held this and held that and it's coming to our area and well if he, one person  
12 like him, now can help the groups of children who do so poor, our children in this  
13 city, who can do? This project is for the future of Moreno Valley. We have to  
14 think for our children, not for us; the older retired people like me. The people are  
15 opposed say there will be more traffic and more people with this project. Well,  
16 without this, that is going to happen. In South Perris, we have growing  
17 warehouses. To the west, all the economy is growing with traffic and people  
18 from Moreno Valley. In Moreno Valley, what? Sit down looking for that. We all  
19 know our City, in a very short time, will have no money to pay including salaries.  
20 We need money from the taxes that this project is going to give to the City.  
21 When this project is finished, at the construction is going to be forever and the  
22 young people will be here and will have opportunities. I support this project at  
23 least for our heritage, for the young and children. This opposition group here,  
24 well last year was opposition for me, for women who do good, and no expensive  
25 music program for children. What I'm trying to say is sometimes the people are  
26 in a position for everything in our community. It's true. You have to start the  
27 project and do something wonderful for the community. That we understand but  
28 we trust you are ready to prepared to pass this. If we lose a big project like this  
29 in the middle of the city, Los Angeles Airport in the middle of the city, Las Vegas  
30 in the middle of the desert so this is nothing for one city this project. Who  
31 approved that project was a person like you. Nothing more is more and they're  
32 only looking for projects for the city. So please today approve this project for the  
33 future of our young people. Thank you.  
34

35 **CHAIR LOWELL** - Thank you. Water Guinea followed by David Murray and  
36 Tom Thornsley. Are any of those three people present? We have Walter  
37 Guinea, David Murray, and Tom Thornsley. I don't see anybody making any  
38 hand motions, so we'll keep moving down the line. We have Betty Master,  
39 Morgan Keith, and Felipe Leos. Please introduce yourself.  
40

41 **SPEAKER BETTY MASTERS** - I'm Betty Masters. It does have an S.  
42

43 **CHAIR LOWELL** - Masters.  
44

45 **SPEAKER BETTY MASTERS** - I saw that presentation by Mr. Benzeevi and oh  
46 how I wish that my math calculations of jobs were what he anticipated. I love

1 math. Therefore, I went home and I thought 20,000 doesn't seem to jive with the  
2 previous jobs to square footage so I started looking at the local warehouses here.  
3 Thank heavens I can give you some numbers. If you have your calculators, you  
4 can do the same thing I did. I applied Skechers jobs to square feet and then I  
5 looked at several others around here. The best I can do for you is say that  
6 20,000 jobs is simply not calculable. It won't work. I got 13,467. I knew one  
7 ratio, not the 20,000 that have been estimated and constantly touted by both  
8 Benzeevi and the paid economist John Husing. So I looked at four other local  
9 warehouses because I think anybody that wants a job ought to have a job, so I  
10 wanted to find out if this wonderful presentation and anticipation of so many jobs  
11 could possibly be true. It was not, but what I can tell you is what's reasonable.  
12 By applying that ratio to the World Logistics Center at the full build-out and  
13 somebody said maybe 10 years, actually if you look at it, it could go up to 25  
14 years before my numbers would be in play. Nine thousand five hundred and six  
15 of my five ratios would be the lowest. Fourteen thousand six hundred and sixty  
16 eight is as many as you're going to get and that's using the local data. You can't  
17 get 20,000. If you can't get 20,000, you also have to anticipate the economic  
18 benefits or the multiplier effect is not going to happen. Now this is so immense  
19 it's hard you know over the three years to think about it but 700 football fields, if  
20 the numbers if the economic benefits are not what Mr. Benzeevi is predicting,  
21 how can you say with any degree of assurance that the benefits outweigh these  
22 terrible, terrible significant effects on the whole community in the region? I live  
23 across from Box Springs and I would definitely be impacted.

24  
25 **CHAIR LOWELL** - Thank you very much. Morgan Keith followed by Felipe  
26 Leos, Paul Martin, and Dawn Newkirk. If you heard your name, please make  
27 your way to the microphone. I'll read those one more time. We have Morgan  
28 Keith, Felipe Leos, Paul Martin, and Dawn Newkirk. Moving on we have Antonio  
29 Reza, Sean Fortine, Aruna Prabhala, Daniel Peeden, Darrell Peeden. If you  
30 heard your name, please make your way to the microphone. You can just go out  
31 of order. Whoever is up first can go. You can use the other microphone if you  
32 don't want to bend over.

33  
34 **SPEAKER SEAN FORTINE** - No business plans were presented with Highland  
35 Fairview's project for their presentation. There were no plans for actually  
36 businesses that were going to be part of the development. Like there was the  
37 tire project and the last time they presented a great presentation, but there were  
38 no actual businesses and no water usage or pollution controls....I'm sorry I'm  
39 being scatter brained now. Nobody actually knows what's going on. It's basically  
40 is a blank check. My trade is computer repair and I've even worked on concrete  
41 plants. I sound like I support the project but my experience is that I was only  
42 needed on a per-job basis. With a good network and hardware configuration,  
43 you really don't need much hands-on labor for that and most of the work that is  
44 done by administrators and can be done anywhere on the planet or even on the  
45 moon if you don't mind the lag because of all the software. Well my credibility  
46 might not be great. Yesterday on CBS local morning news, they had a segment

1 on there was a survey that 36% of people that are unemployed are displaced by  
2 technology. And other jobs like janitors and gardeners can be outsourced by  
3 contractors and brought in as needed to clean the place a few times a week.  
4 Then small businesses with small profit margins in places like Seattle they are  
5 already having a softening market because of the high minimum wage and low  
6 demand. McDonald's is also automating and then without some sort of legally  
7 binding and enforceable civil or if applicable criminal penalties for failing to bring  
8 in the promised jobs there's a really good chance that Mr. Benzeevi and  
9 Highlands Fairview can walk away with a pile of cash while the Moreno Valley  
10 citizens and the City pays the expense of the health problems from it, so thanks.

11  
12 **CHAIR LOWELL** - Thank you Mr. Fortine. Can you please introduce yourself?

13  
14 **SPEAKER DAWN NEWKIRK** - Good evening Planning Commissioners. My  
15 name is Dawn Newkirk and my husband Ed and I have lived in Moreno Valley for  
16 44 years. We reside in one of the seven rural residences that could become a  
17 part of the WLC if approved. We built our current home located on Dracaea  
18 Avenue just east of Redlands Boulevard in 1978, raised two children, and were  
19 looking forward to spending our remaining years in the same home. Now at the  
20 completion of the FEIR and recommendation by City Staff that this project be  
21 approved, I want you to know how its impact will affect our quality of life.  
22 Changing the zoning from residential to industrial will render our property useless  
23 as residents. As we have under three acres of land, our land would not qualify to  
24 build a warehouse. Our zoning would be changed to Light Logistics, which  
25 restricts owners to few options such as storage units. If we were to explore  
26 industrial development, would we be afforded the same rights and benefits as a  
27 developer of the WLC? Secondly, we would have a 60 foot high warehouse  
28 about 75 feet from our living room window and another 60 foot high warehouse  
29 would be 500 feet from the back of our home. However, the most important  
30 adverse effects to the residents within the WLC project, and I say within the  
31 project, our health risks. In the FEIR's significant impacts, it states that logistics  
32 operations within the project could cause air pollutant, noise, lighting and health  
33 risk impacts to residents if they are adjacent to operating warehouses.  
34 Incredibly, the FEIR does nothing to mitigate these issues. It just states that  
35 there is no effective means to medicate these onsite residents from the planned  
36 logistics warehouses and the land use is significant and unavoidable. Please  
37 note, California has recommended funding of our medical services to those  
38 impacts by air pollution. These services are very important to mitigate the  
39 impacts. If the WLC is built, the only larger diesel magnet sources in the region  
40 are those of Long Beach and LA. They have ongoing programs to provide health  
41 services to those impacted by air pollution and the residents of Moreno Valley  
42 deserve the same consideration at the expense of the main developer who is  
43 causing these impacts. By recommending this project as is, you put our health in  
44 harms way. The WLC FEIR needs to be revised, recirculated, and include  
45 qualified health services paid by the developer for not only us within the WLC  
46 Specific Plan but those living within the 1000 feet of the WLC and along the main

1 truck roads leading to the project as a condition of approval. It is your job, as  
2 well as the job of the City Council, to protect all citizens from decisions that could  
3 be detrimental to health and welfare. Thank you for your time. I appreciate it.

4  
5 **CHAIR LOWELL** - What was your name again? Was it Dawn?

6  
7 **SPEAKER DAWN NEWKIRK** - Dawn Newkirk.

8  
9 **CHAIR LOWELL** - Be sure to stick around for the Commissioner Discussion  
10 because I do have some questions that might pertain to you.

11  
12 **SPEAKER DAWN NEWKIRK** - Okay, thank you.

13  
14 **CHAIR LOWELL** - Thank you. I don't know who is next just please make your  
15 way and introduce yourself.

16  
17 **SPEAKER ANTONIO REZA** - Good evening my name is Antonio Reza. I speak  
18 Spanish. For 10 years, I've been living in Moreno Valley. This evening I just  
19 wanted to say that the WLC is a great project. It has nothing to do with us, and it  
20 has to do with reality with what's needed. Our community is growing. I mean  
21 five years ago it was a small town. Now it's a city. When this project is  
22 approved, it would be an amazing city. It would shine. You will go and be known  
23 in history as protagonists because what you're doing is your blessing so many  
24 families. You're providing jobs as every job is dignified. We're very appreciative  
25 for Iddo, someone that we admire and appreciate. His greatness is not found in  
26 his money. It's found in his character, his nobility, his hospitality, and we give  
27 him thanks for being here. My children were raised here. With so much love, we  
28 serve the community with all the happiness and I believe that this will impact in  
29 such as brilliant way. Here in Moreno Valley we will shine in the city, the country,  
30 and even the world with this great investment. Remember you as leaders, you  
31 must take the most precise decisions and the most brightest of men and make  
32 those decisions that require much wisdom. And I want to invite you all that this  
33 decision that is motivate our Councilmember's to be courageous and to do the  
34 best of the best for our community, for our families, and for our City. Thank you.

35  
36 **CHAIR LOWELL** - Thank you very much. Okay thank you, thank you. Pipe  
37 down. Thank you, thank you, thank you. Please introduce yourself.

38  
39 **SPEAKER DANIEL PEEDEN** - Hello my name is Daniel Peeden a resident in  
40 Moreno Valley for eight years, and I could probably go on and go on but I think  
41 the definition of insanity is that you keep doing what you're doing and you keep  
42 getting what you're getting. If you look at the region as a whole, we have the  
43 largest concentration of warehousing and logistics in the United States. We also  
44 have the worst pollution in the world; one of the worst pollution counties in the  
45 world. So when you look at developments like this, you have to take into the  
46 consideration the opportunity to cause. Do we want to continue down the road of

1 being like everyone else and being average like every other city in San  
2 Bernardino and Riverside County or do we want to do something better and do  
3 something different? I believe that's a decision that you guys have to make. You  
4 look at the American dream and you guys sit there and you listen to Dawn and  
5 her husband Ken talk about what this development is going to do to their lives.  
6 The American dream is buying a home and retiring in that home but then you  
7 have a developer that comes in and creates a plan to take that all away from  
8 them. That is not American way and that is not Moreno Valley. I believe the  
9 Specific Plan right now says that, if we develop what is already supposed to be in  
10 the Plan, we would create 21,000 jobs so why do we want to go back and do  
11 what everybody else is doing and look at their cities. Look at San Bernardino.  
12 Harvard actually came out with a research study just recently a couple months  
13 ago that stated that Riverside County and San Bernardino County have some of  
14 the worst economic upward mobility for children in the United States. This is  
15 simply something you can Google. And it's a sad day when you look at our  
16 region as a whole and you have speculative developers saying let's put all of our  
17 money, all of our dollars and do whatever we can to get a project passed; take  
18 away the votes from the American people, take away our democracy, highjack  
19 our democracy so that you can get a project passed. If Iddo Benzeevi/Highland  
20 Fairview did not invest over \$600,000 to our elections in November we would not  
21 be sitting here today discussing this poorly-planned project and that is a fact. So  
22 I urge you all to take a look at how San Bernardino....LA Times just came out  
23 with an article about San Bernardino. Why is San Bernardino the way it is?  
24 Speculative developers, corruption, money and/or politics making bets on an  
25 industry that is volatile and makes no sense whatsoever. We can do better.  
26 thank you.

27  
28 **CHAIR LOWELL** - Thank you very much. We have Aruna Prabhala. We have  
29 Darrell Peeden. We have Russell Williams and Leo Gonzalez.

30  
31 **SPEAKER DARRELL PEEDEN** - Darrell Peeden. I actually own a home in  
32 District 2 and I have been there for eight years, so this whole talk about Rialto is  
33 absolutely nonsense. It's again nonsense. In the 1970s this region was the  
34 American region, a place where the middle class was thriving. The City of San  
35 Bernardino was named the All American City. Today because of warehouses  
36 and distribution, this region is a place of poverty, low wages, and cheap land.  
37 We ignore the solutions in order to support those that buy our politicians and  
38 incentivize the public in order to build a support base for a project that will do  
39 nothing for the people but everything for the developer. You want progress, build  
40 a library. You want a job, educate the population. You want revenue, work for  
41 the people and not the wealthy. We need to solve the problems that we face  
42 today and tomorrow. This project is not our progress. It will be our downfall.  
43 This project does not solve our job problems. This project will be taking jobs  
44 from this city. This project that offers a guesstimated 20,000 jobs but everyone  
45 knows that is not going to be produced. The current plan produces 21,000 jobs.  
46 Why are we discussing a project that produces 20,000 jobs and we all know

1 that's not going to happen. If this project was so great, why does the developer  
2 have to infuse over half a million dollars into our elections to ensure the project  
3 gets passed? If it is so great then let it be on its own merits. That is obviously  
4 not the case. Benzeevi said the environmental study process under the  
5 California Environmental Quality Act measures worse case scenarios instead of  
6 reasonable foreseeable impacts. Mr. Benzeevi stated that there is CEQA and  
7 then there is the real world. If Mr. Benzeevi is claiming that CEQA is measuring  
8 the worse case scenarios instead of reasonable foreseeable impacts then why  
9 doesn't he apply the same claim to his projected job numbers and the cost it  
10 takes taxpayers will incur for the development of this project? He won't even tell  
11 us what the project is going to cost the taxpayers. Since Mr. Benzeevi claims to  
12 be an expert in warehousing, I am sure he knows everything has a cost so what  
13 are the costs? We do know that RCTC has stated that our freeways will not  
14 handle the increased traffic. We know there will be a significant increase in  
15 pollution. We know that temporary employment will increase. We know that low-  
16 paying jobs will increase. We know that City opportunity costs will be significant  
17 based on the land that is already planned for. We know the city taxpayers will be  
18 paying for infrastructure costs. We know that, so I challenge you to do the right  
19 thing....  
20

21 **CHAIR LOWELL** - Thank you very much.

22  
23 **SPEAKER DARRELL PEEDEN** - And have him mitigate and tell the truth.

24  
25 **CHAIR LOWELL** - Thank you very much. Hi. What was your name, Sir?  
26

27 **SPEAKER LEO GONZALEZ** - Leo Gonzalez.  
28

29 **CHAIR LOWELL** - Leo Gonzalez. We have a Russell Williams. We have Linde  
30 K. We have Adolfo Kruger and Darric Williams.  
31

32 **SPEAKER LEO GONZALEZ** - I believe that message was just brought to you  
33 by Cory Jackson for District 2 for next election. My name is Leo Gonzalez and  
34 I've been sitting here hearing everybody talk back and forth and apparently, if it's  
35 not obvious enough, there's two sides opposing WLC and people that are for the  
36 WLC. I'm not here to talk about that because I'm here to talk about Moreno  
37 Valley and I'm here to talk about what's important to the City, not what's  
38 important in Riverside. So I want to ask you guys a question because  
39 everybody's been doing the talking. I want to see where you guys are at. What  
40 is your vision for the City? Does it include crime? Does it include commute?  
41 Does it include people talking bad about Moreno Valley because everywhere I go  
42 I tell people, and I'm proud I live in Moreno Valley, and they say why would you  
43 move there? Why do you live there? Because I believe this City's got the  
44 biggest growing potential out of any other city in the Inland Empire.  
45 Unfortunately, you know somebody up here just said insanity is doing the same  
46 thing over and over again and expecting different results. Well guess what guys,



1 if the people 10 years ago didn't have a vision for today...if you guys don't have a  
2 vision for it, then insanity is doing the same thing over and over again and we'll  
3 be in the same exact spot we were 10 years from now where we are today guys.  
4 So we can argue specifics about pollution and this, this, and that. Quite honestly,  
5 I think a lot of that comes, like I said, I'm not going to mention any names but  
6 their initials are PE and I think a lot of these people are just drinking the Kool-Aid,  
7 they're swimming in it because the way that they paint logistics in every other  
8 region besides Moreno Valley is very bias. They even post links to Amazon so  
9 people can go apply for jobs that pay \$12.00 an hour, so people want to talk  
10 about high-paying jobs; really \$12.00 an hour guys? Guys, what is your vision  
11 for the City because somebody here has a vision for the City and somebody else  
12 is trying to do the same thing they've been doing over and over again and trying  
13 to undo what he's trying to do guys. That's insanity. Commutes are insanity. My  
14 wife and I this is our second time living in Moreno Valley. We spent over \$900  
15 commuting to Corona for work. I said screw this, this is ridiculous. Let's me back  
16 to Corona. Then I said screw it let's go back to Moreno Valley. Let's just build a  
17 business here. Guys I don't want to feel like I made a mistake moving out here.  
18 I want to raise my kids here. I have a vision for the City that it can compete with  
19 Irvine and Ontario if we just follow the same exact steps that they did. That's  
20 success. You deal with successful cities then you will become a successful city  
21 and they all started in manufacturing and logistics. Guys the facts are in front of  
22 you. Pollution, traffic you live in Southern California. You don't want pollution or  
23 traffic, go live in Idaho. Approve this project guys, come on. Send this message  
24 to City Council.  
25

26 **CHAIR LOWELL** - Your name was Leo Gonzalez? We have a couple more  
27 speakers that are standing in the wings and after these next few speakers we're  
28 going to take a quick five minute recess to stretch your legs a little bit. Could you  
29 introduce yourself before you start?  
30

31 **SPEAKER LOUIS VASQUEZ** - My name is Louis Vasquez. I'm with the Emergi  
32 Ready Company here in Moreno Valley and I belong to the chamber.  
33

34 **CHAIR LOWELL** - I don't have you on the list, Sir. What was your name again?  
35

36 **SPEAKER LOUIS VASQUEZ** - Louis Vasquez. I am on the list and I raised my  
37 hand earlier.  
38

39 **CHAIR LOWELL** - Yeah, I was calling people up in order from the people that  
40 were here last meeting.  
41

42 **SPEAKER LOUIS VASQUEZ** - Well could I finish then?  
43

44 **CHAIR LOWELL** - Well....  
45

46 **SPEAKER LOUIS VASQUEZ** - Or do want to let somebody else?

1  
2 **CHAIR LOWELL** - I'd like to let the people that were here last time to say their  
3 piece in order to be fair to everybody else.

4  
5 **SPEAKER LOUIS VASQUEZ** - Okay, no problem.

6  
7 **COMMISSIONER VAN NATTA** - He said he raised his hand.

8  
9 **CHAIR LOWELL** - Yeah but he's not on the...you'll get your chance just not  
10 right at this moment. What was your name, Sir?

11  
12 **SPEAKER RUSSELL WILLIAMS** - Russell Williams.

13  
14 **CHAIR LOWELL** - Thank you.

15  
16 **SPEAKER RUSSELL WILLIAMS** - Thank you Mr. Chairman and fellow  
17 Commissioners. My name is Russell Williams. I'm the Development Review  
18 Manager for the Riverside County Transportation Department. I'm here to stress  
19 the importance of the June 8<sup>th</sup> comment letter we submitted for the project, and I  
20 do have copies of that for you if you're not familiar with the letter. We did receive  
21 a response to the letter. The information we received really was cut and pasted  
22 from the EIR and it didn't address our concerns. Our primary concern is Gilman  
23 Springs Road. We've been making substantial investments to improve the safety  
24 and operations of Gilman Springs Road and it's currently a two-lane road.  
25 Adding 6000 cars and 400 trucks on Gilman is going to create traffic issues, and I  
26 think that's acknowledged in the EIR. But the EIR calls for improvements to  
27 Gilman within the city portion and a payment of fees for the remainder. Having  
28 only a portion of the road improved for any duration of time is going to create  
29 safety and operational issues. We really need Gilman improved to a four-lane  
30 facility from State Route 60 to Sanderson Avenue or SR-79 as part of this  
31 project. In the County letter, there were five measures we were requesting be  
32 addressed as conditions of approval for the project and we urge you to revisit  
33 these prior to making a decision. The County is available to assist in their  
34 implementation. We're here to help the process. The County Transportation is  
35 not in support or opposed to this project, but a project of this magnitude can and  
36 should do more to ensure the safety and mobility of the traveling public. Thank  
37 you for your time and consideration.

38  
39 **CHAIR LOWELL** - What agency did you say you were representing?

40  
41 **SPEAKER RUSSELL WILLIAMS** - Riverside County Transportation  
42 Department.

43  
44 **CHAIR LOWELL** - Thank you. Okay did I call your name already, Sir? Yes by  
45 all means. After you're done speaking, we're going to take a five minute break.  
46

1 **SPEAKER ADOLFO KRUGER** - Okay I've heard all these pros and cons and  
2 everybody says oh how great everything is, alright. In Long Beach and San  
3 Pedro, okay they're ports, their kids are just about dying from health problems  
4 because of pollution there. Okay Moreno Valley, Brown Valley, is surrounded by  
5 mountains. Those places are on the ocean with lots of air movement. Here,  
6 you're sitting between mountains in the valley. Mountains surrounding all those  
7 trucks is going to kill a lot of people. It's not clean trucks and hey diesel uses  
8 oxygen. People wake up. No oxygen and you're going to die. Okay? Hey, I've  
9 had experience. I've worked at Kaiser. I've been forced to go to Kaiser to work  
10 when they're open. The first time it took half an hour for my nose to bleed. The  
11 second time it took 20 minutes. The third time 15 minutes, and I quit my job  
12 because of it. I know what pollution is. I've lived here in Moreno Valley since  
13 March 43 years. I've seen the changes, okay? And all those trucks are clean  
14 trucks but hey they still use oxygen. They're internal combustion engines.  
15 Oxygen is getting less and less on the planet. Okay? People are dying now  
16 because of the pollution. I can hear myself oh yeah jobs, job. It sounds like, hey,  
17 I heard both on back and forth, back and forth create jobs, but are there really  
18 going to be jobs? Are they really going to be jobs, okay? Just like Skechers the  
19 most automated warehouse in America. What's automated? No manual jobs  
20 period, okay? People wake up. Automation means no jobs and I just keep going  
21 on. And I just listened to that presentation for just about two hours. Two hours  
22 but everybody else has three minutes and probably that's going to go out. Hey  
23 we already got on the South Side and the West Side. Now we're going to build  
24 on the East side, so Moreno Valley is going to be surrounded by warehouses.  
25 The property value is going to go down. They aren't going to go up. I lost it all, a  
26 business, compared us...oh Newport Beach \$700,000 or more. Hey....

27  
28 **CHAIR LOWELL** - Thank you very much. I would like to take a quick five  
29 minute recess. We will reconvene at 7:15.

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31  
32 **MEETING BREAK**

33  
34 **CHAIR LOWELL** - Thank you for coming back and joining us. We are still  
35 continuing our Public Comments portion of this hearing. Next up, we have Darric  
36 Williams, Rivelba Cordio, and Megan Brousseau. And just as everybody is  
37 migrating up to the microphone, I wanted to let everybody know who is watching  
38 in the hallway or over in the gymnasium that we have quite a few empty seats  
39 here in the City Council Chambers. If you'd like to make your way over here, we  
40 can probably squeeze everybody in and watch it in person without having to  
41 watch the live feed. You're more than welcome to come over. Have I called  
42 anybody's name that's heard their name and hasn't made it up to the microphone  
43 yet? We have a Linde K. We have a Darric Williams. We have Rivelba Cordio  
44 and Megan Brousseau. Okay nobody is making any motions, so we're moving  
45 on. If you heard your name, please come on up. Please and introduce yourself  
46 too.

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**SPEAKER EMILIO RAMIREZ** - Good evening Members of the Planning Commission. I didn't just hear my name. David Murray was speaker number 56.

**CHAIR LOWELL** - Sure why not. Go for it.

**SPEAKER EMILIO RAMIREZ** - Okay thank you, Sir. My name is Emilio Ramirez. I'm speaking on Dave's behalf.

**CHAIR LOWELL** - I don't think we can do that. Did you fill out a green slip this afternoon or did you fill one out earlier?

**SPEAKER EMILIO RAMIREZ** - He filled it out earlier. He cannot attend. He is on my Staff. I'm the director. He sent me...I have a statement on his behalf.

**CHAIR LOWELL** - You can pass the statement off to Staff, but we cannot let you speak for somebody else. It would just turn it into a giant maze of people.

**SPEAKER EMILIO RAMIREZ** - Alright, thank you.

**CHAIR LOWELL** - I appreciate it. Thank you.

**VICE CHAIR SIMS** - I'd be interested in knowing who you represent though.

**SPEAKER EMILIO RAMIREZ** - I'm the Director of the Community Development Department for the City of Riverside.

**PLANNING OFFICIAL RICK SANDZIMIER** - Mr. Chairman, if I may, if I may, if I may....

**CHAIR LOWELL** - Hang on, we'll work this out.

**PLANNING OFFICIAL RICK SANDZIMIER** - We actually had one circumstance where a gentleman had called us in advance and wrote a letter and asked for a speaker to speak on his behalf.

**CHAIR LOWELL** - Okay.

**PLANNING OFFICIAL RICK SANDZIMIER** - We don't have a problem with that. This gentleman has submitted a letter. I assume that he is going to be reading directly from the letter, so he in fact is speaking on behalf of that particular person. He's given us the letter. Unless my attorneys here are advising differently, I think open communication will be fine.

**CHAIR LOWELL** - Okay. I'll defer to Staff. Then I'll let you go by all means. Thank you.

1  
2 **PLANNING OFFICIAL RICK SANDZIMIER** - Do you need this to read from,  
3 Sir?

4  
5 **SPEAKER EMILIO RAMIREZ** - I have one, thank you. Thank you very much.  
6 As I mentioned, my name is Emilio Ramirez. I currently serve as interim Director  
7 for the City of Riverside’s Community and Economic Development Department,  
8 and I appreciate the opportunity to speak in front of the Commission today. As  
9 you may know, Riverside has carefully reviewed the project, including the draft  
10 and the final EIR. We would have submitted our written comments to the final  
11 EIR sooner, but there were too many changes that we needed to review.  
12 Riverside did the best they could to review the final EIR in time available and the  
13 changes that have been made to the project description and objective and the  
14 technical studies and the analysis of the drafted EIR. In fact, there are so many  
15 changes to the EIR that it needs to be recirculated in our opinion. The impacts  
16 from this project are very important to the people of Riverside and Moreno Valley.  
17 The project will bring 14,000 truck trips per day on average. That is about one  
18 truck every six seconds. More than 11,000 of those trucks will have to travel  
19 through the beleaguered 6215 Interchange, which is already regularly jammed to  
20 a standstill. Drivers, including trucks, will divert from the gridlocked freeway to  
21 new service streets jamming those too in Moreno Valley and in Riverside. There  
22 will be so many vehicle trips that, even if they are moved off peak, they will  
23 create their own peak periods like a fire can create its own weather. There will  
24 no time of the day when people on the 6215 Interchange people from Riverside  
25 and Moreno Valley will not suffer the heavy burden of the project traffic. Along  
26 with the trucks and the cars and other vehicle trips come noise and air impacts.  
27 The EIR claims no further mitigation is feasible, so Moreno Valley and Riverside  
28 will be stuck with a paralyzing truck and traffic burden. The project applicant has  
29 not volunteered to fix his impacts to the 6215, so approving this project is  
30 condemning Moreno Valley and Riverside to gridlock, heavy trucks, cut-through  
31 traffic, noise, air pollution and more based on an incomplete and flawed analysis.  
32 Because the final EIR is inadequate and needs to be recirculated and because of  
33 the overwhelming adverse impacts of the project, it should be denied. Thank  
34 you.

35  
36 **CHAIR LOWELL** - Please be nice and hold your applause and boos. That’s  
37 really kind of childish. Please stop. Okay moving on down the line. We have  
38 Darric Williams. We have Rivelba Cordio and Megan Brousseau. What was  
39 your name, Ma’am?

40  
41 **SPEAKER MEGAN BROUSSEAU** - Megan Brousseau.

42  
43 **CHAIR LOWELL** - Brousseau. Sorry so close.  
44  
45

1 **SPEAKER MEGAN BROUSSEAU** - It's okay. Megan Brousseau for Inland  
2 Empire Waterkeeper. We're here today just to speak mostly on our comment  
3 letters to the final EIR. The World Logistics Center's current plan unfortunately  
4 will drown the San Jacinto Wildlife Area in oily and greasy water. Waterkeepers  
5 letter detailed how the World Logistics Center refusal to install adequate runoff  
6 treatment system will allow polluted water to runoff and drain directly into the San  
7 Jacinto Wildlife Area and Wetlands. This polluted water will include oil and  
8 grease accumulated from thousands of trucks. The runoff from this project will  
9 directly impact the critical habitat and wildlife downstream. We do not want, nor  
10 will we allow, a miniature version of the Salton Sea in Moreno Valley. The WLC  
11 responded to our concerns with a letter that appears to be mostly copied and  
12 pasted from their previous response letter to the original EIR to which  
13 Waterkeeper has already refuted those claims. So it is, in essence, a  
14 nonresponse. The WLC unfortunately refuses to adequately clean their polluted  
15 runoff. Specifically our letter explained to them how the proposed retention  
16 basins are clearly inadequate to clean the polluted water that will be leaving their  
17 site. Detention basins are used to slowdown water before it leaves a facility in  
18 order to stop flooding and sometimes reduce some pollutant loads. However,  
19 they are not adequate for treating the storm water that is draining to the sensitive  
20 wildlife habitat in the already impaired San Jacinto River. The WLC ignores the  
21 inevitability of polluted runoff. Even if the WLC builds the infiltration basins  
22 required to adequately control runoff, it is inevitable that there will be a mount of  
23 polluted water that will still flow into the San Jacinto Wildlife Area directly  
24 downstream. Their claims that their current plan will result in no net increase in  
25 water or polluted water are therefore false and are evidence that they have not  
26 take these very serious and legally binding water pollution issues seriously. The  
27 WLC's plan as is cannot handle a 100 year storm. It can't. It asserts that its  
28 facility will be able to mimic the natural conditions for a 100 year storm with no  
29 backup and the reason they would like to assert that we can only assume would  
30 be that being able to establish that would allow them to evade compliance with  
31 the general industrial permit. So just, in conclusion, we are a governing agency  
32 as far as enforcement goes. We are an NGO, but we are an enforcement  
33 agency on the Clean Water Act and as is their in violation of not only the Clean  
34 Water Act but of CEQA and so there's just got to be some changes. It's not a  
35 matter of opinion. It's just the law. Thank you.

36  
37 **CHAIR LOWELL** - Thank you. Jim Rush followed by Gabe Colangelo, Vivian  
38 Moreno, and Hadaway Hadaway.

39  
40 **SPEAKER JIM RUSH** - Good evening. Jim Rush with the IBW, which  
41 represents over 2000 logical workers throughout Riverside County. Listening to  
42 Mr. Benzeevi's presentation on the World Logistics Center, I'm quite impressed  
43 at his level of commitment to the residents. He and his team have committed a  
44 lot of time and energy to address and accommodate issues that have been  
45 brought up over the years. The World Logistics Center is going to bring a lot of  
46 good to the community. Twenty thousand jobs which will be offered to residents

1 throughout the Moreno Valley Local Hire Program, \$2 million for schools and  
2 community colleges, \$5.7 million for the City's funds, but I would like to address  
3 the construction aspect. This project is estimated to bring \$3 billion in  
4 construction spending and over 13,000 construction jobs for Moreno Valley.  
5 What are we going to do to ensure that these jobs go to local-area construction  
6 workers and not workers from out of the county or out of the state for that matter?  
7 I know there is a Local Hire Program, which I support the idea of, but is there any  
8 accountability or recourse if these numbers are not met? Is there a Veteran's  
9 Program like Helmets to Hardhats that will ensure a certain percentage of  
10 Veteran's be employed on these projects? The answer is no. What the  
11 Resolution states is that it will encourage businesses to give a good faith effort.  
12 Let me offer a solution to my questions. As a Planning Commission, City  
13 Council, City Staff, and the community, we can set the standards as to how  
14 projects are built in our community. We can do so by developing prequalification  
15 language or a Community Benefits Agreement that will ensure the project be built  
16 to set standards and there will be accountability built in to ensure these  
17 thresholds are met. Many cities and municipalities are going to these type of  
18 agreements to ensure residents and their perspective communities are taken  
19 care of. Mr. Benzeevi in his presentation stated, and I quote, we need jobs in  
20 Moreno Valley for the benefit of Moreno Valley. This also applies to the  
21 construction jobs. In the construction industry, workers tend to travel to where  
22 their work is to take care of their families and sometimes that means spending  
23 weeks or months at a time away from their families. As of right now, we have 23  
24 electricians from Moreno Valley and 108 electricians from surrounding  
25 communities that are not able to come home at night because they are working  
26 out of town. As a community, we need to guarantee we have local construction  
27 jobs for local workers so they are able to be at home at night with their families.  
28 We need to ensure and guarantee the vision Mr. Benzeevi has for the residents  
29 of Moreno Valley, and I quote, what good is it to live in a palace in Moreno Valley  
30 if you're away from your kids and your family. It's worth less than a shack. We  
31 would be in support of this project if, and only if, we can ensure the work goes to  
32 local-area construction workers.

33  
34 **CHAIR LOWELL** - Thank you. Gabe Colangelo. We have Vivian Moreno,  
35 Peggy Hadaway, Roy Bleckert, and Joseph Jones.

36  
37 **SPEAKER VIVIAN MORENO** - Good evening Chair and Board, my name is  
38 Vivian Moreno. I too am also a citizen from Riverside, and I consider myself a  
39 regional citizen. Today I'm going to use only fact-based comments. Today I  
40 heard some concerns about traffic, pollution, and forced vision and that this is not  
41 the best for the City of Moreno Valley. I want to read from this document that I  
42 actually found, and it talks about this project. It talks about this project that's 16  
43 million square feet of development. It will provide 12,000 to 15,000 jobs. It will  
44 be phased over 20 years. It has 153 lots ranging from one acre to 100 acres and  
45 traffic mitigated by (TUMP) measure a street widening. I also want to read a  
46 statement from this particular document here that says, although the building is

1 intended to be used as a warehouse distribution facility, an end-user has not  
2 been identified. Specific details regarding future operations of this facility are not  
3 currently available. This is what I found, and I have been coming here and I have  
4 been saying that a project is going to go somewhere. This project right here that  
5 I have read from sounds very similar to Mr. Benzeevi’s plan, and I just want  
6 people to look at the project site right here which happens to be in the City of  
7 Riverside. So I want everybody to see this. This actual initial study was created  
8 March 2015. It is on the March Joint Powers website. You can find it there, but  
9 my problem is that warehousing is coming. It’s in Perris. It’s here. It’s in  
10 Riverside. It’s going to go somewhere. Whether these citizens approve it or not,  
11 I do believe it’s going somewhere and I want to see all these people at the next  
12 March Joint Powers. You can get this off the internet, and I want them  
13 screaming there for the same reasons, for the same purpose. This is absolutely  
14 ridiculous that people are coming down just here and screaming about this  
15 project. They should be across the region and everywhere. I was at a local City  
16 Community Meeting last night, and I can tell you our new City Manager actually  
17 mentioned this project. I have it on my phone. I recorded his meeting. He also  
18 talked that we have to come together as a region, and they talked about the City  
19 of Riverside being like the capital of this region. Hello! Okay I live in the City of  
20 Riverside. I like the tax dollars. But I know what’s going on in the City of  
21 Riverside, and so I think people need to be more aware. Thank you very much.

22

23 **CHAIR LOWELL** - Thank you.

24

25 **GRACE ESPINO-SALCEDO** - Chair Lowell. I’d like to make a correction to  
26 Hadaway Hadaway. In fact, it is Peggy Hadaway.

27

28 **CHAIR LOWELL** - Roger. I was just reading it the way it was shown. Is Peggy  
29 Hadaway in the audience today? I don’t see anybody raising hands. So that  
30 was Vivian Moreno. We have Gabe Colangelo. We have Peggy Hadaway, Roy  
31 Bleckert. Is Roy Bleckert here? How about Joseph Jones? Marisa Gonzalez?  
32 Irma Flores? We also have Christina Torres, Evan Morgan, and David Horspool.  
33 Please introduce yourself. I called out a whole bunch of names.

34

35 **SPEAKER IRMA FLORES** - My name is Irma Flores. I’m the Executive Director  
36 of So-Cal Environmental Logistics Alliance, which is based here in Moreno  
37 Valley. We promote green jobs and clean communities. I want to thank you for  
38 the opportunity to speak this evening on the World Logistics Center. On June  
39 11<sup>th</sup>, and again today, we submitted our comments to the City Council and the  
40 Planning Commission. For those here today, I just want to say that we’re neither  
41 for or against the proposed World Logistics Center. We are, however, paying  
42 close attention that those involved in the decisions of this project do the right  
43 thing. We will hold you accountable to do what is right for the citizens of Moreno  
44 Valley and for the City of Moreno Valley. We will hold the World Logistics Center  
45 to do the same. Cities have an important role to play in ensuring environmental  
46 justice for all of California’s residents under state law. Environmental justice



1 means the fair treatment of people of all races, culture, and income with respect  
2 to the development, adoption, implementation and enforcement of environmental  
3 laws, regulations and policies. Government Code 65040.12 Subdivision E  
4 fairness in this context means the benefits of a healthy environment should be  
5 available to everyone and the burdens of pollution should not be focused on  
6 sensitive populations or in communities that are already experiencing its adverse  
7 effects. Moreno Valley must begin to recognize its obligations to consider  
8 environmental justice in the CEQA process and the advantages of environmental  
9 justice. These include healthier children, fewer school days lost to illness and  
10 asthma, a more productive workforce, and a cleaner and more sustainable  
11 environment. Environmental justice cannot be achieved, however, simply by  
12 adopting generalized policies and goals. Instead environmental justice requires  
13 an ongoing commitment to identifying existing and potential problems and to  
14 finding and applying solutions both in improving specific projects and planning for  
15 future development. Moreno Valley has two environmental justice related  
16 responsibilities, which are contained in the government code and in the California  
17 Environmental Quality Act CEQA. First Government Code Section 1135  
18 Subdivision A, Provide a Relevant Part: No person in the State of California shall  
19 on the basis of race, national origin, ethnic group identification, religion, age, sex,  
20 sexual orientation, color, or disability be unlawfully denied full and equal access  
21 to the benefits of or be unlawfully subjected to discrimination under any program  
22 or activity that is conducted, operated, or administered by the state or by any  
23 state agency, is funded directly by the state, or receives any financial assistance  
24 from the state. While this provision does not include the word environmental  
25 justice....

26  
27 **CHAIR LOWELL** - Thank you very much.

28  
29 **SPEAKER IRMA FLORES** - Thank you.

30  
31 **CHAIR LOWELL** - We have Roy Bleckert, Joseph Jones, Marisa Gonzalez,  
32 Christina Torres, Evan Morgan, David Horspool. Striking out over here. Ana  
33 Cervantes, Robert Perez, Al Braydich, Pedro Hurtado. I'm going for a perfect  
34 game over here. Mary Lopez, Terri Hall, Jane Peeden. Did you hear your name  
35 called. Oh, I apologize, as I was going I didn't see anybody move. By all means,  
36 step to the microphone and introduce yourself please.

37  
38 **SPEAKER GABRIEL COLANGELO** - Hi my name is Gabriel Colangelo. I've  
39 lived in Moreno Valley for 35 years, and I want to thank all of you for actually  
40 taking the time to review this proposal first hand. I believe most of those who  
41 were speaking out against it, I don't feel that they have. And I got the gist right  
42 away that you guys are an informed group of people. So I'm not going to try and  
43 educate you on the project as I feel a lot of people are doing. I feel you probably  
44 know it better than I do and most of us here. But I just want to communicate that  
45 in talking to both sides of this project, or those that don't want it, we all really  
46 want the same things. You know, we want better schools. We went high

1 property values. We want jobs. We want, for the most part, a better community.  
2 So the question is ultimately how are we going to get that better community? I  
3 heard Iddo Benzeevi say he wanted to build a job training facility to train people  
4 for these jobs. Tonight, you know, somebody thought the idea of libraries, so it's  
5 kind of what is the better thing for our future? And I think we have a library in  
6 Moreno Valley already. I don't think many people go to the school libraries let  
7 alone that one, but I don't know if that's our hope for the future. I think that it's  
8 not bad, it's just I don't think that's where we're at. I mean, we'd all love to have  
9 theatre and the arts and museums in Moreno Valley but we're not that. You  
10 know, LA is struggling to keep those things open so I mean I think we really need  
11 to hear factually some things against this project. We've heard attempted facts.  
12 I think last weekend that presentation a lot of those things were shut down. I  
13 think you guys at the outset said hey let's put out this misnomer right off the bat  
14 that this is not a real project and things of that nature. It is and we're still hearing  
15 those same things kind of recirculated. So, you know, I think there is this  
16 misnomer out there that if one person benefits that other people have to  
17 somehow be harmed by that person benefitting. We can all have a mutually  
18 beneficial relationship going forward in this City, and so I think the argument  
19 that's kind of laid out there is pollution is bad and trucks equal pollution.  
20 Therefore, the WLC is bad. That is kind of just very simplistic skewed logic, but if  
21 not the WLC then what? I heard from Staff but Moreno Valley isn't just 149 out of  
22 150. It's the second worst in the country. That's a better way of saying it. San  
23 Bernardino is the only one worse than us. We're worse than Detroit. What route  
24 do we want to go down? You know, we're talking about diesel particulates and  
25 it's like SeaDoo's at Lake Perris put out more pollution in a few hours than diesel  
26 trucks do in a year. You want to know the biggest CO2 contributor? It's cows. If  
27 you want to go after that, let's take out all these cows that are living in Hemet and  
28 polluting our air. So really at the end of the day, I just say I love my city. I know  
29 you guys are an informed group of people. Educate the Council. I hope they are  
30 too. But I would just ask you guys make sure that when they're making this  
31 decision that they're making it on the facts. I've seen people click like on the  
32 video saying it's not real, so just make sure they're educated and we're happy  
33 with whatever you decide.

34  
35 **CHAIR LOWELL** - Thank you very much. Please introduce yourself.

36  
37 **SPEAKER EVAN MORGAN** - How's it going? My name is Evan Morgan.

38  
39 **CHAIR LOWELL** - Evan Morgan. Thank you.

40  
41 **SPEAKER EVAN MORGAN** - I moved here to Moreno Valley in 1993. I was in  
42 the sixth grade.

43  
44 **CHAIR LOWELL** - You can pull the microphone. It's bendable. There we go.  
45

1 **SPEAKER EVAN MORGAN** - Okay, so I moved here in sixth grade in 1993 and  
2 when I moved here there was a population of about 120,000 people. I was able  
3 to ride my bike in empty fields as far as the eye could see. I lived on Fir Avenue  
4 by LaSalle and it was all bare valley and then fields; horse properties. I used to  
5 go feed the horses, ride around bikes in the dirt fields, and there was nothing.  
6 There was no Target. There were no houses. And slowly but surely as I was  
7 growing up Moreno Valley put in this housing tract and my dirt jumps were gone  
8 and the horses were gone. Then they put in this housing tract, and then they put  
9 in this housing tract, and then they put in this housing tract and then we got a  
10 Walmart and that was about it. We didn't ever expand with jobs to support all  
11 these new homes that were going in. And as I left for the army in 2002, right  
12 after 9/11 happened, there were about 180,000 to 190,000 people living here  
13 with no jobs. I had no career path. I basically thought you know the best thing  
14 for me to do was join the army, so I did. Luckily, I scored high enough on my  
15 ASVAB and I was smart enough that I got into military intelligence and I was  
16 trained to look at situations and evaluate them. And a plan isn't just the best idea  
17 because you can say oh we're going to go blow up the enemy and kill them all.  
18 That's a great plan. That's not really a plan. Just saying this project is terrible  
19 we shouldn't do it isn't a plan either. Just saying this isn't the best thing for  
20 Moreno Valley we shouldn't do it. That's not a plan. And I don't think that  
21 logistics in general would be the best plan for Moreno Valley, but when you look  
22 at things on paper it's the best realistic plan for Moreno Valley. What else is  
23 going to come here? We have more people living here than Temecula does, but  
24 we don't have an Apple store. We don't have PF Chang or Cheesecake Factory.  
25 Why? Because we have a low median household income because there's no  
26 jobs. There's no places for people to go, so we need what's realistic and what's  
27 feasible and that's this logistics center. And if we don't get it, Riverside is going  
28 to. They're already trying to put theirs in and that's exactly why their trying to  
29 stifle our growth because they're going to be competing for the same companies  
30 that want these warehouse spaces, so I just think we should stop letting  
31 Riverside politics influence Moreno Valley and just start progressing ourselves.  
32 Thank you.

33  
34 **CHAIR LOWELL** - Thank you very much. Please introduce yourself.

35  
36 **SPEAKER PEDRO HURTADO** - Hi my name is Pedro Hurtado. I'd like to  
37 thank you guys for sticking around and listening to the public. I think it's great  
38 and it takes a lot of patience sometimes. Looking up at the plaque on top of you I  
39 see In God We Trust and that's beautiful because in some places that's gone,  
40 but just below God is the family and in God's eyes family is very important. And  
41 to illustrate this I'm going to read you guys a little story, okay? A man came  
42 home from work late tired and irritated to find his 5-year-old son waiting for him at  
43 the door. Daddy may I ask you a question? Yeah, sure, what is it replied the  
44 man. Daddy how much do you make an hour? That's none of your business.  
45 Why do you ask such a thing the man said angrily. I just want to know. Please  
46 tell me how much you make an hour. If you must know, I make \$20.00 an hour.

1 Oh, the little boy replied with his head down. Looking up he said, Daddy may I  
2 please borrow \$10.00. His father was furious. If the only reason you're asking  
3 me to borrow money is so you can buy a silly toy or some other nonsense then  
4 march yourself straight up to your room and go to bed. Think about how you're  
5 being selfish. I work hard every day and I drive 65 miles to and from work each  
6 day to come home to such childish behavior. The little boy quietly went up to his  
7 room and shut his door. The man sat down and started to get even angrier about  
8 the little boy's question. How dare he ask the question only to get money. After  
9 about an hour or so the man calmed down. He started to think maybe there was  
10 something he really needed to buy with those \$10.00 and really he never really  
11 asks for money. The man went up to the door of the little boy's room and opened  
12 the door. Are you asleep son he asked. No daddy, I'm awake replied the boy.  
13 I've been thinking about maybe I was a little too hard on you earlier said the man.  
14 It's been a long day and I was stuck in traffic and I took it out on you, all my  
15 aggression. Here's the \$10.00 you asked for. The little boy stood up, smiled,  
16 and thank you daddy he yelled. Then he reached under his pillow and he pulled  
17 out some crumbled bills. The man seeing that the boy already had money  
18 started to get angry again. The little boy slowly counted out his money and then  
19 he looked up at his father. Why do you want more money his father said if you  
20 already have some? Because I didn't have enough but now I do the little boy  
21 replied. Daddy I have \$20.00 now. Can I buy an hour of your time? Please  
22 come home early tomorrow. I would like to have dinner with you.

23  
24 **CHAIR LOWELL** - Thank you.

25  
26 **SPEAKER PEDRO HURTADO** - Thank you.

27  
28 **CHAIR LOWELL** - Thank you. Can you please introduce yourself?

29  
30 **SPEAKER TERRI HALL** - Good evening Commissioners, I'm Terri Hall. I'm a  
31 resident of Moreno Valley. I'm against the WLC project due to the flawed EIR  
32 regarding the inaccurate and underestimated Traffic Study, which will have  
33 adverse health effects on our city population and the outlying communities as  
34 well. The project's Environmental Study estimates the logistics center will draw  
35 68,721 vehicles per day 14,006 of which would be trucks. During peak commute  
36 hours, area roads would see an additional 4532 vehicles in the morning and  
37 4941 in the afternoon. The effects will be widespread throughout the Inland  
38 Empire as far away as Highway 60 through Chino, I-10 through Beaumont and  
39 Banning, and 1-215 in San Bernardino. The biggest bottleneck will be at the 60  
40 and the 91 Freeways. With the congestion on our freeways, commuters in big rig  
41 trucks will overflow to our surface streets such as Moreno Beach, LaSalle, Irish  
42 Avenue, Redlands Boulevard, Alessandro, and Theodore. For our neighboring  
43 city Riverside, overflow traffic will affect Alessandro, Central Avenue, Arlington  
44 Avenue, and Redlands would see more traffic on the sections of San Timoteo  
45 Canyon. Not only will this project cause a major commuter nightmare and the  
46 additional traffic, especially from the diesel trucks, our air quality will greatly be

1 affected. The EIR relies on a Rat Study the ARB called inadequate and said  
2 should be removed from the entire report. According to the Press Enterprise Dan  
3 Greenbaum, the President of Health Effects Institute, said the City's report  
4 appears to have overstated the studies findings. Particulate air pollution not only  
5 causes increased deaths due to asthma and respiratory conditions, but very  
6 small particulates get absorbed into the bloodstream causing heart attacks,  
7 strokes, and cancer. Air pollution related mortalities shorten the average victim's  
8 lifespan by 12 years. Approximately 7,000 Californians dies each year from  
9 particulate air pollution, more than twice the number killed in car accidents. The  
10 American Lung Association stated the Air Report shows that our community has  
11 received straight F's in all our air quality measures and has some of the worse air  
12 quality in the nation. So why would you approve a project that has the potential  
13 to shorten the life expectancy of every citizen? Lastly, if given a choice, would  
14 you live next door to 40 million square feet of warehouse? I bet not, so why are  
15 you forcing me to? Thank you.

16  
17 **CHAIR LOWELL** - Thank you.

18  
19 **SPEAKER ANA CERVANTES** - Hi I got called, but I wasn't here.

20  
21 **CHAIR LOWELL** - What was your name?

22  
23 **SPEAKER ANA CERVANTES** - My name is Ana Cervantes.

24  
25 **CHAIR LOWELL** - Yeah by all means.

26  
27 **SPEAKER ANA CERVANTES** - So I want to start off by saying what is Moreno  
28 Valley? Moreno Valley for me is a great place to start and build opportunities for  
29 the local residents that want to be employed, successful, and make the city  
30 bloom where it will be financially stable and create city tax revenue. I personally  
31 believe that there is still hope for Moreno Valley and the people that are against it  
32 if they don't agree they can move elsewhere because I know that there's....I can  
33 see the vision, you know, that the city is going to give birth to a lot of things that's  
34 going to change the city positive. Thank you for your time.

35  
36 **CHAIR LOWELL** - Thank you very much. Let me recap the last few names that  
37 we called that haven't shown up yet. We have Peggy Hadaway, Roy Bleckert,  
38 Joseph Jones, Marisa Gonzalez. We have Christina Torres, David Horspool. If  
39 you hear your name by all means make some noise or waves your arms up so  
40 that I see you. Robert Perez, Al Braydich, Mary Lopez. We have Jane Peeden.  
41 We have Vivi Peeden. So far I'm striking out. We have Tom Behrens. We have  
42 Milly Bailey. We have Kevin Tsang. I think we have a winner. Please introduce  
43 yourself.

44  
45 **SPEAKER MILLY BAILEY** - My name is Milly Bailey. I do work for Highland  
46 Fairview, but I'm representing myself as a resident here for over 11 years. Okay

1 our motto in Moreno Valley is people, pride, progress. So the WLC will bring  
2 progress and pride to the people because of a better Moreno Valley. Whether or  
3 not Moreno Valley residents are employed by the WLC, Moreno Valley as a city  
4 will benefit from the revenue from the industries within the World Logistics  
5 Center. So schools/colleges, the fire and police department, our local parks, and  
6 our residents will benefit from the revenue collected through the WLC. The fiscal  
7 budget for 2015 through 2017 shows that 4000 jobs have been created since  
8 2013 but yet Moreno Valley as a city and its residents are still struggling. This is  
9 because the 4000 jobs that were created were minimum wage jobs that did not  
10 produce living wages for a teen let alone a family. The World Logistics Center  
11 will provide entry-level positions in logistics jobs starting pay of \$25.63 an hour.  
12 That's just for an AA degree or not. You don't even have to have a degree to be  
13 a logistics worker. The World Logistics Center will provide more opportunities  
14 than the jobs that were provided in 2013. There will be more opportunities for  
15 Moreno Valley if less residents were ignorant about researching and read the  
16 Press Enterprise and believing those lies. With the construction of the World  
17 Logistics Center lasting for 15 to 25 years, this will definitely mean the  
18 construction workers, truck drivers, plumbers and etc., will have work within  
19 those 15 to 25 years of construction. One job is better than no job. A career is  
20 just a job that you are passionate about, so when people say that these aren't  
21 careers they're just jobs that's representing stupidity because they are one in the  
22 same. It's just a career is something you're passionate about, which is still a job.  
23 So I say yes to career. I say yes to jobs. I say yes to progress and I say yes to  
24 the World Logistics Center. There is no pollution from the trucks. There's more  
25 pollution coming from the anti's mouth than the dated trucks. They will be  
26 traveling on their own truck routes, so you don't have to take the San Timoteo  
27 Canyon because it's not your car route. Okay there is less water usage for this  
28 project than City Hall uses daily. The only thing the anti's are made about is they  
29 do not qualify for any logistics positions. Because they are unable to research  
30 the truth, I know they are unable to pass the logistics class. That's it.

31  
32 **CHAIR LOWELL** - Thank you. Let me recap a couple more names. We have  
33 Mary Lopez, Jane Peeden, Vivi Peeden, Tom Behrens, Kevin Tsang, Enrique  
34 Marin, Allan Smiley.

35  
36 **SPEAKER ALLAN SMILEY** - Thank you it was a long wait. In reviewing the  
37 various documents and reports, I find that there is a gross misrepresentation and  
38 a lack of true study that will impact the use of Cactus Avenue and will have  
39 disastrous effects on all of Moreno Valley not just the East. This is not an East  
40 versus the West. This is a problem for Moreno Valley altogether. The report  
41 totally understates the vehicle impact, the smog conditions, and the dangers to  
42 the health and well being of not only those who live either on Cactus Avenue or  
43 those within in the proximity of Cactus Avenue. From what I have read, there is a  
44 proposal that Cactus Avenue would extend from the 215 to the end of Cactus  
45 past Redlands Avenue and JFK. The amount of traffic measured in reports just  
46 approximately a few hundred vehicle trips a day, but that is only from the corners

1 of JFK and Cactus Avenue not for the entire traveling vehicles on Cactus. The  
2 amount of traffic does not take into consideration that would extend through the  
3 City of Moreno Valley starting at the 215 exit to the Cactus Avenue Extension  
4 onward to the logistics center. The amount of vehicle traffic amounts to  
5 thousands and thousands of trips daily with the majority of the vehicles being  
6 trucks and thousands of employees of the logistics center. The majority of these  
7 trucks will not meet standards of the 2010 as stated in the report because they  
8 are independent vehicles. They are independent contractors not people who  
9 work or our own trucks at the logistics center. Therefore, the 2010 standard is of  
10 no use. It's only a 30 day measurement on one particular animal a rat. Okay?  
11 The 2010 standard for diesel trucks would be impossible to impose on all  
12 truckers, especially out of state truckers. No out of state trucker is going to try to  
13 meet 2010 emission standards. They will have a lot of other places to go.  
14 Therefore, the logistics center would have a great deal of trouble getting any  
15 materials delivered. Okay? Also the City has a problem enforcing the no truck  
16 over 5 ton zone on the various city streets now. With that said, trucks would be  
17 exiting Cactus Avenue and since Cactus Avenue would be jammed they will look  
18 for other sources and other routes to take. That means trucks are going to  
19 expand all through Moreno Valley, the center, the East, the West, and we are  
20 going to have pollution everywhere not just on the logistics center. Air quality  
21 would be detrimental to all residents. Everyone's talking about the future of  
22 children. What good is the future of the children if we have to have them  
23 hospitalized all the time either from emphysema, leukemia and other particulates  
24 causing other dangerous health hazards. This study is really invalid and needs  
25 to be reconsidered.

26  
27 **CHAIR LOWELL** - Thank you very much.

28  
29 **SPEAKER ALLAN SMILEY** - Sure one matter first to report. Mr. Benzeevi will  
30 stop talking about monuments.

31  
32 **CHAIR LOWELL** - Time Sir. That's all of your time. Thank you very much.

33  
34 **SPEAKER ALLAN SMILEY** - This is ours.

35  
36 **CHAIR LOWELL** - Please introduce yourself.

37  
38 **SPEAKER ADRIAN MARTINEZ** - Good evening. My name is Adrian Martinez  
39 and I'm an attorney for Justice. Thank you for allowing me to speak tonight. I  
40 want to address a few issues. CEQA is clear in its requirements. It requires that  
41 the impacts from the project be articulated in a reasonable and accurate way. It  
42 requires that you explore alternatives and it requires that you mitigate the  
43 impacts. The Environmental Impact Report before you today fails on all three. It  
44 must be recirculated. Whether you agree with this project or not, it's your duty to  
45 make sure that the analysis is accurate and allows the public to make an  
46 informed decision. I want to address a couple of issues. There was a lot of

1 discussion from prior speakers about zero emission trucks coming from the ports  
2 of LA and Long Beach. I want to be clear. This project assumes that there aren't  
3 many trucks coming from the ports of LA and Long Beach. It doesn't explain  
4 where these trucks are going to come from. It doesn't explain if they are going to  
5 have these advanced technologies. The ports of LA and Long Beach don't even  
6 have a program to achieve zero emission trucks yet. You can't assume that.  
7 The project needs more mitigation. Letters have shown that there is feasible  
8 mitigation that can minimize the air pollution impacts. You shouldn't be duped by  
9 the various commenter's articulating that these diesel trucks aren't dangerous.  
10 They are, especially when you accumulate so many in one community along one  
11 road. It's important that the EIR take account of that and mitigate those impacts.  
12 We have the worst air quality in the nation and we need projects like this, which  
13 would be one of the largest projects in the nation attracting thousands of diesel  
14 trucks to take responsibility for the impact. I want to address the climate change  
15 impacts. There was some discussion on we should focus on cows in Hemet and  
16 other places. I just want to be clear this is going to be one of the largest  
17 greenhouse gas emitters in the state. It'll be the third largest in Riverside County  
18 if it were its own stationary source and that's despite what we think is a reduced  
19 analysis that undermines the greenhouse gas impacts. It doesn't take into  
20 account these impacts. It doesn't provide mitigation. Instead it relies on a bogus  
21 theory that projects don't need to account for vehicle miles traveled and  
22 associated greenhouse gases. That's absurd. It's not substantiated by the  
23 California Environmental Quality Act. It is not substantiated by California  
24 precedent. You cannot ignore these impacts. Under this assumption, there  
25 would be no project that has any vehicle trips associated that require to identify  
26 significant impacts from vehicles or mitigated. It's a terrible precedent to make.  
27 Once again, I encourage you to recirculate this EIR. There's a lot of analysis that  
28 needs to be redone before it can fully inform you.

29  
30 **CHAIR LOWELL** - Thank you very much. Recapping a couple of names. We  
31 have Kevin Tsang, Enrique Marin. We have Robert Lowell. We have Brent  
32 Whitehead. We called your name a little bit earlier Tom so you're going to have  
33 to wait until we circulate again. By all means, come to the podium.

34  
35 **BRENT WHITEHEAD** - My name is Brent Whitehead. I'm going to do  
36 something different here. I've heard nobody come up with what I want to ask  
37 about and I think it's absolutely the most important thing before you guys  
38 recommend anything to a City Council that's already decided to go for the  
39 project. Is this better? Okay. Nobody has addressed the Badlands because it's  
40 out of your purview. You guys aren't responsible for the Badlands, but if you put  
41 forward this program I hear lots of things positive and negative about it. I haven't  
42 made a decision. Right now, I'm kind of like hold it up. You don't have to vote  
43 now. There is no hurry. Who is going to fix the Badlands because you have to  
44 have that fixed before you can institute this program and you have no idea if it's  
45 going to be done or not. It's up to Caltrans, the county, and whoever or whatever  
46 entities there are. You don't know what their going to do. You don't know if their



1 going to allocate for this project. Their looking at a lot of them, so why would you  
2 recommend going forward now when you don't know if it's even possible. The  
3 rest of my three minutes is to you. Please explain.

4  
5 **CHAIR LOWELL** - Thank you very much.

6  
7 **SPEAKER BRENT WHITEHEAD** - By the way, I was told by people here that  
8 you would not respond.

9  
10 **CHAIR LOWELL** - This isn't the time for us to respond. We're hearing Public  
11 Comment. We're taking notes of everybody's questions and we'll.....

12  
13 **SPEAKER BRENT WHITEHEAD** - Okay my comments are if you go forward, if  
14 this City Council votes on this, you're voting for something that is a pie in the sky  
15 because if that doesn't happen over there you don't have a place for these  
16 trucks. I don't care if there's 20,000 or 5000. I don't care if there's 20,000 jobs,  
17 which there won't be, but it doesn't matter what I think on all that because there's  
18 no project if there's no way to go and the freight goes east. All these other  
19 concerns people have. All these things are for. People are up here just for  
20 emotional issues. They want to vent. Those that want to cheer and boo gets us  
21 nowhere. You've got to have a route to get this stuff out of town and right now  
22 you don't and you don't know there will be one. So it makes no sense  
23 chronologic, there's nothing. How can you go forward right now and vote on a  
24 project that's going to have many changes after you vote anyway? Why not wait  
25 to vote until you have more information and you know you got a road to travel on.  
26 I live in Riverside. I used to live on the East End of town.

27  
28 **CHAIR LOWELL** - Keep it down please. We're listening to him.

29  
30 **SPEAKER BRENT WHITEHEAD** - It'd be nice if all adults could be adults.  
31 Anyway I'm not saying yay for the project and I'm not saying nay.

32  
33 **CHAIR LOWELL** - Please keep it down. Thank you. This is not a second grade  
34 class. My second grader has a better attitude than you. Please knock it off. We  
35 do have bailiffs and I am not afraid to use them. I will give you extra time.

36  
37 **SPEAKER BRENT WHITEHEAD** - The time I've lost?

38  
39 **CHAIR LOWELL** - I will give you back the time.

40  
41 **SPEAKER BRENT WHITEHEAD** - Thank you. I do live in Riverside. We are  
42 going to be impacted there too. This isn't all about Moreno Valley. But I lived out  
43 here. I have concerns about this town even though I no longer live here. I lived  
44 on the East End. I know the impact. I know people worried about values and  
45 their views. I had a wonderful view when I lived here. I no longer live here. I  
46 have driven around today looking at this town. I drove out on the East End and

1 looked all around. I sat at Skechers for awhile. I saw four trucks leave Skechers.  
2 They didn't say Skechers. Everybody things a Skechers truck says Skechers.  
3 Huh-uh. They're freight movers, so trucks do move during the day. I'm not here  
4 to prove you wrong, I'm just looking at common sense. Trucks move. When you  
5 have that many more trucks, you're going to have congestion like one gentleman  
6 said night and day. That makes total sense. Whether or not it's projected, it  
7 makes sense. Twenty thousand jobs. I ran warehouses. I ran over 1.2 million  
8 square feet at one place. Truckers find the places to go of least resistance just  
9 like water. Cactus, everybody is worried about Cactus, Cactus, Cactus. I  
10 understand but it'll get bad but it'll also slow back down because those truckers  
11 won't keep going that way, they'll go other routes. They'll also get off streets and  
12 drive on Sunnymead and other streets in your town....

13  
14 **CHAIR LOWELL** - Thank you very much.

15  
16 **SPEAKER BRENT WHITEHEAD** - There isn't anywhere they can't necessarily  
17 go.

18  
19 **CHAIR LOWELL** - Thank you very much. Okay so we have Kevin Tsang. We  
20 have Enrique Marin. We have Robert Lowell. That was Brent Whitehead. Who  
21 else do we have? We have Stephen Medina, John Sims. Maribel Sandoval  
22 sounds like a name we already heard. Please approach. Introduce yourself  
23 please.

24  
25 **SPEAKER ROBERT LOWELL** - Good evening Mr. Chairman and Planning  
26 Commission, I'm Robert Lowell. I've been a resident of this area since 1982  
27 when I came back to from the air force. Before it was Moreno Valley, it was  
28 Sunnymead, then Moreno and Edgemont. When Moreno Valley was finally able  
29 to incorporate itself after three or four unsuccessful attempts, it predicated its  
30 existence on the huge influx of cash from March Air Force Base, which  
31 sometimes employed upwards of 15,000 people both military and civilian. So it  
32 was designed as a bedroom community not needing to have the industry and the  
33 economic sources that you'd expect from a regular city. Unfortunately, this  
34 source of revenue has dried up. With the end of the Cold War, March has shrunk  
35 down from an air force base to a reserve base; weekend warriors. So we need  
36 this World Logistics Center. We need something to replace the influx of capital  
37 from the base that has now been taken away from us. That is why we need this  
38 World Logistics Center. We need to have a place for economic growth,  
39 economic development, and stimulation of this town so we can stand proudly and  
40 say Moreno Valley here we are. We are an economic powerhouse. The  
41 pollution I don't think is going to be a problem. It's not going to exist because  
42 these trucks are going to be required by federal mandate to address their  
43 pollution. Everywhere you look, you see the exhaust filters and the catalytic  
44 convertors that are self cleaning. The traffic it'll happen. But think of the days  
45 back in the 80s and such when they had the B52's and their smoky J-57 engines,  
46 and we had the KC-135's and their smoky engines. And the particulate that

1 created, it was enormous. When I first got here, you couldn't see Box Springs  
2 Mountain on most days because of the terrible, terrible smog. We've cleaned it  
3 up. We've cleaned it up hugely. I think this will continue to be an action that will  
4 clean up any fears of this World Logistics Center. So I urge you to approve this  
5 plan, put this center on the map, put Moreno Valley on the map with a firm  
6 financial foundation. Thank you.

7  
8 **CHAIR LOWELL** - Thank you.

9  
10 **SPEAKER STEPHEN MEDINA** - Hi my name is Stephen Medina and I just  
11 want to thank you guys for hearing me this afternoon. First of all, Brent  
12 remember me? How you doing? Brent's a good guy, alright. He's a good guy.  
13 It's just ironic that I see him here. Unfortunately, we're on both sides of the  
14 fence, okay? I just want to share that first of all I was educated by the World  
15 Logistics Center in their meetings. I did some research personally, and I just  
16 came to a personal decision given that I came from Los Angeles... go Dodgers.  
17 We're doing okay, and I believe and we have faith we're going to pull it out this  
18 year. Unfortunately, I came from LA and I knew that there was going to be  
19 difficulty getting work. I'm self employed. I'm the guy that you hire to remodel  
20 your house. I'm the guy that goes in and repairs your homes. I'm the guy that  
21 travels everywhere from Corona, Rancho Cucamonga, Temecula. I'm like all  
22 over and the two depressed areas that I see are San Bernardino and  
23 unfortunately parts of Riverside, i.e., Moreno Valley. I really strongly believe  
24 even though there might be a lot of naysayers. There might be a lot of things  
25 going on. This is something that is needed and it's needed now. My wife and I  
26 came here years ago. My wife and I wanted to start a high-end beauty salon  
27 business. She came from Orange County and we wanted to start something like  
28 that. We couldn't because we did our research and we looked at the  
29 infrastructure of the city and we said people aren't going to be able to afford  
30 \$200.00 and \$300.00 hairdos and we weren't going to make any money so we  
31 just left it. So I started with the construction business. So I've seen a lot of  
32 changes in Moreno Valley and I just want to encourage that all the folks that you  
33 see here have been well educated in the environment and the environmental  
34 impact it's going to have. We've been educated on the world impact we're going  
35 to have as far as the income coming in. We've been educated on how the  
36 impact is going to help the lower to middle income people. I work in homes from  
37 HUD homes all the way to million dollar homes and I see the depressed areas.  
38 This is the time when we will be able to help the community. As a matter of fact,  
39 today on a personal level we went out and did some outreach at a lower area  
40 income area in Moreno Valley to bring some good news and to do some cheerful  
41 work in outreach. This is my heart. This is how my wife and I feel about this  
42 community, and there's a lot of other people here that feel the same way so I  
43 believe this is an opportunity for the City of Moreno Valley to yes become a  
44 landmark in Riverside County in Southern California and even throughout the  
45 rest of the country. Let's make Moreno Valley a place that is recognized on the

1 map economically, environmentally, and also businesswise for the rest of the  
2 taxpayers here.

3  
4 **CHAIR LOWELL** - Thank you very much. John Sims. Is John Sims in the  
5 audience today? He filled out a Speaker Slip tonight, but I don't see him waving  
6 his hands. Maribel Sandoval you already had your chance to speak today. You  
7 spoke earlier, so you don't get two times at the podium today. Kara Billings  
8 followed by Liza Digalizea and Susan Lansang.

9  
10 **SPEAKER KARA BILLINGS** - Hi. A lot of people here have been talking about  
11 the children, the children and it's always been sort of a theoretical concept but I  
12 am one of those children. I grew up here. I was born in Riverside. I've lived in  
13 Moreno Valley my entire life. Now I'm in college and I'm a couple years away  
14 from graduation. I mean you guys have heard a lot of the pros and cons,  
15 environmental, traffic, even employment about the World Logistics Center and I  
16 would really like those concerns to be resolved. But I'm also concerned that the  
17 City is becoming a warehouse city, which on one hand yes it's bringing in jobs  
18 but a healthy community needs a wide spectrum of jobs and I don't think that's  
19 what we're heading towards. Sure we have a lot of warehouse jobs, but I think  
20 that a lot of the future and a lot of people in my generation agree with me is in  
21 healthcare, technology. That's more of a future than perhaps logistics or at least  
22 we need to see more representation for that. And I just would like to see the City  
23 focus more on bringing in a wide variety of other kinds of jobs that maybe pay  
24 more, have a wide variety of benefits, and can actually provide a livable wage.

25  
26 **CHAIR LOWELL** - Thank you. We have Liza Digalizea. I hope I'm pronouncing  
27 that correctly. We have Susan Lansang, Conrado Lansang, Edward Pauw, Gary  
28 Hayes, Alice Hayes. What was your name, Sir? Thank you.

29  
30 **SPEAKER EDWARD PAUW** - I'm representing the Pauw property that is up on  
31 Theodore Street right near the Water District. It's adjacent to the side with the  
32 Water District, and we're right on Theodore Street and near the 60. I just wanted  
33 to point out some concerns we had about the project just because we would like  
34 to be able to utilize our property and participate in what's going on in a  
35 meaningful way, so we just had some concerns we wanted to mention. There  
36 are four things that are primary in our mind and one of those is that Street B cuts  
37 through our property and slices it in two portions, a southern portion which we  
38 can't use in any way and then a northern portion. We're zoned projected for  
39 logistics development, which would call for 500,000 square feet, so if you cut it in  
40 half the northern portion you can't use to put that size of building on it. Then the  
41 other thing is, if the Water District wants to stay outside of the plan, then how  
42 would we fit in with logistics support? We would like to have some opportunity to  
43 be assured of being able to participate in what's going on. Then also the plan  
44 calls for putting a water pump station right on our property right along Theodore  
45 Street so that impacts our ability to use it and the siting of the property. Then  
46 actually we're in two different development areas, six and eight, so that's another

1 issue. Then we're slated for phase two, which puts us out about seven years I  
2 guess on the short end, so we are concerned about not being able to have some  
3 productive use you know just having to wait for some length of time. And we'd  
4 like to talk to someone in the City about these concerns and then point out these  
5 things and also talk about how we can be accommodated in some way so we  
6 have a larger number of uses and try to address these deleterious impacts to our  
7 property and we see really it's probably an oversight in the whole process  
8 because our acreage is less than 1% of the overall plan. It's 17 acres and so we  
9 just want to be able to talk with the City and to be able to work through these  
10 concerns that we have so that we can participate in a meaningful way in the  
11 project. Then we'd like to see things go ahead and go well for the City of Moreno  
12 Valley with development, and so we want to be able to express our concerns and  
13 be able to meet with someone in the City. Thank you.

14  
15 **CHAIR LOWELL** - Thank you. We have Gary Hayes. We have Alice Hayes.  
16 Regina Brockmueller, Pearlie Sims. We have Deborah Fouts. If I called your  
17 name, please come up to the podium. What was your name, Ma'am?

18  
19 **SPEAKER REGINA BROCKMUELLER** - I'll go into that.

20  
21 **CHAIR LOWELL** - Okay.

22  
23 **SPEAKER REGINA BROCKMUELLER** - I have the unfortunate temptation in a  
24 short speech to try and cram everything I want to say to a three and five minute  
25 timeframe. However, I recognize that I have to make my speech sweet and to  
26 the point. My first point is visionary, mainly my three to five points, mostly three  
27 points....

28  
29 **CHAIR LOWELL** - Can you please let me know your name?

30  
31 **SPEAKER REGINA BROCKMUELLER** - Ha-ha. My name is Dr. Regina  
32 Brockmueller.

33  
34 **CHAIR LOWELL** - Thank you.

35  
36 **SPEAKER REGINA BROCKMUELLER** - Commonly known as Dr. B. I moved  
37 away from the beach area over 30 years ago and sold my home which is the last  
38 home located north of Home Depot on Fay Avenue. My Council Representative  
39 was Bonnie Flickinger. I have plenty of reasons I decided to raise my family and  
40 children in this area. One of the main reasons was I had an hour away from the  
41 beach and sand, mountains to ski, and an hour away from the airports. Visionary  
42 just a brief history of our world, especially towns like San Francisco my first point,  
43 self proclaimed Emperor Norton, was celebrating highly eccentric citizens in San  
44 Francisco to the first decree suspension bridge that could be constructed to  
45 connect Oakland to San Francisco. They had to decree, but I'm not going to go  
46 into that. I'm going to tell you that we are neglecting a population of 195,000

1 people. Why do we allow too few to pitch in their bitch or empty their feelings  
2 and words without looking into the servant of the visionary person much like our  
3 own. Although Emperor Norton decreed to build a bridge that was widespread  
4 with public and political appeal, the task was too much of an engineering and  
5 economical challenge at the time. Iddo Benzeevi is much like our previous  
6 emperor, which I will discuss with you at another time. But the demands for the  
7 community is bigger city. Demands for the bridge, which was the result of  
8 economical social changes. Kevin Costner was a friend of my partner played  
9 Farmer Ray Casella. When Farmer Ray heard a mysterious voice one night of  
10 his vision he felt like he needed to act. Despite Thompson listening, Ray built  
11 Diamond Bar on his land supported by his wife Ann. Julius, Joe Jackson let it,  
12 but Ray learned that his field of dreams was much more than bringing in former  
13 baseball greats that played out to the bridge. Anyway, I'm not going to go into  
14 that. As Ray did follow his dreams and people will come as Iddo Benzeevi will.  
15 Benzeevi is a visionary person who has settled down in any other city whose  
16 already started to intend.

17  
18 **CHAIR LOWELL** - Thank you very much. Calling Gary Hayes again. Alice  
19 Hayes. We have Pearlie Sims, Deborah Fouts, Vernon White, Rosa Martinez,  
20 Margarita Espanza, Marina Smiley. Can you please introduce yourself?

21  
22 **SPEAKER MARINA SMILEY** - My name is Marina. I'm a Moreno Valley  
23 resident, and I'm very proud to be an American. I came to this country from the  
24 most dictatorship country in the world where 85% of people brainwashed and  
25 that's why it's so painful for me to watch what is going on here. I have to admit  
26 that the presentation of the logistics center was a piece of art. It was art of  
27 manipulation and the masterpiece of brainwashing. The developer told us that  
28 the giant logistics center will be able to save us billions gallons of water, but he  
29 never told us how many trillion gallons of water will be taken of our area. Fish  
30 already are severely suffering from the lack of water, so never mind Mr.  
31 Developer how much the logistics center is going to save. We want to know how  
32 much is going to use. Manipulation #2: Next we were shown the loveable  
33 picture of the empty 60 Freeway ready to accept 14,000 trucks daily. I don't  
34 know anyone in Moreno Valley who ever sees this freeway empty. The  
35 developer is the only person who was able to see it. Even now, if you want to  
36 drive somewhere you are usually stuck in traffic of so-called empty freeways. I  
37 want the developer to explain how in the world we'll be able to drive anywhere  
38 with an additional 14,000 trucks. Really, on this narrow freeway? Manipulation  
39 #3: Now let's discuss why has the developer razzle-dazzled us with the pictures  
40 of Paris and Sydney but didn't tell anything about Cactus Avenue that he plans to  
41 turn it into a highway. Do you know why? Because he didn't want to spoil the  
42 party by revealing his secret plan of connecting the logistics center to Cactus  
43 Avenue. Now all of Moreno Valley, including school, nursing homes, and the  
44 senior citizen communities are going to suffer not only from the diesel cloud of  
45 14,000 trucks but additionally from the pollution and noise created by  
46 approximately 20,000 cars and trucks in place traveling from 215 Freeway along

1 Cactus or any other streets of their choice in order to escape traffic on Cactus  
2 Avenue and jammed freeway. Good job. The developer wants to make a living,  
3 but his living is going to kill us. It seems to me that the developer owns Moreno  
4 Valley that is why we the people of Moreno Valley demand a full investigation of  
5 this proposed disaster. We, the people of Moreno Valley, demand to eliminate  
6 any effort....

7  
8 **CHAIR LOWELL** - Thank you very much.

9  
10 **SPEAKER MARINA SMILEY** - To turn Cactus into highway....

11  
12 **CHAIR LOWELL** - Thank you.

13  
14 **SPEAKER MARINA SMILEY** - And connect it to the.....

15  
16 **CHAIR LOWELL** - Thank you. What was your name again Ma'am? I couldn't  
17 understand. Smiley thank you. That's enough, that's enough. Thank you very  
18 much. Thank you. That's enough also from you, Sir. We have Margarita  
19 Espanza. We have Rosa Martinez, Alex Morales, Juan Aragonese. I don't see  
20 anybody making any noise. William Bustos, Eudoro Wuence, Andrew Guillon,  
21 Santiago Hernandez. If you hear your name just put your hand up so I can see  
22 you guys. Please make your way up towards the podium. Please introduce  
23 yourself.

24  
25 **SPEAKER ANDREW GUILLON** - Yes my name is Andrew Guillon.

26  
27 **CHAIR LOWELL** - Thank you.

28  
29 **SPEAKER ANDREW GUILLON** - You know, I'm not here to quarrel and yell and  
30 say stuff to other people. I'm not naive. I live on the East End and I'm not naive.  
31 I know it's going to get built up out there. You know, what do we want? Do we  
32 want that big logistics center? Housing is okay with me. I don't mind more  
33 housing. Of course I'd like to keep it empty. Who wouldn't? I'm in construction.  
34 I'm Local 12. If building gets done there, I could probably even walk to work. But  
35 I came here in 1989 with my kids. They grew up here in Moreno Valley, and they  
36 like it out here. They hated the congestion in Orange County and believe me  
37 there's a lot. I've been going there ever since back and forth. There's a lot of  
38 congestion in Orange County. There are more warehouses near my mom's  
39 house. That gets more crowded. I'm not saying it's a mess because the weather  
40 is nice; much nicer than here. I just don't know if I would like that there. I mean I  
41 know the jobs might be there. You talk about 20,000 jobs or 13,000 jobs. I work  
42 with Stantec. Keith Companies used to have a building here. We had an office  
43 here in Moreno Valley, and we moved three times and all those people moved to  
44 a new building. We never hired anybody else from that existing city. We just  
45 moved the whole thing lock, stock, and barrel. So that's all I want to say. I like  
46 the open land out there. I know the people on the West side they don't care

1 because they don't live over there, but I like going down to the little post office to  
2 the eastern market over there. But, like I said, I'm not naïve knowing that it's  
3 going to stay empty forever; maybe housing, something that's less impactful like  
4 housing because people are going to need a place to live. I moved our here from  
5 Orange County so and this is where I moved. That's all I have to say.

6  
7 **CHAIR LOWELL** - Are you for or against? There was kind of mixed emotions  
8 there.

9  
10 **SPEAKER ANDREW GUILLON** - I'm against it.

11  
12 **CHAIR LOWELL** - Thank you, Sir.

13  
14 **SPEAKER ANDREW GUILLON** - Thank you.

15  
16 **SPEAKER SANTIAGO HERNANDEZ** - Good evening Commissioners.

17  
18 **CHAIR LOWELL** - Could you please introduce yourself also?

19  
20 **SPEAKER SANTIAGO HERNANDEZ** - My name is Santiago Hernandez and  
21 I'm a dental technician. I make dentures for the community, and I have lived in  
22 Moreno Valley since 1993. When I just moved here, I used to commute to LA  
23 then I commuted to Orange County and then I commuted to Rancho  
24 Cucamonga. I tell these people that are against this great....I know it's a great  
25 project, the World Logistics Center. I told these people that are against them  
26 why they offered to ask the community to the people of Moreno Valley if they  
27 offer a better project I vote for them for anyone who has the money or has  
28 anything to do the same thing that Iddo Benzeevi is doing for the community.  
29 Okay, so I'm in favor of the project because they are going to bring a lot of  
30 opportunities for us to get a better life here. If I don't support this project, who is  
31 going to support it? My grandchild? My son is already commuting to Anaheim,  
32 so all our children/grandchildren, they are going to commute to other  
33 counties/other cities. Think about it. You have the opportunity to be in the  
34 history of Moreno Valley, so say yes, yes, yes to the project please.

35  
36 **CHAIR LOWELL** - Thank you very much.

37  
38 **SPEAKER EUDORO WUENCE** - Good evening.

39  
40 **CHAIR LOWELL** - Good evening. One second. What was your name, Sir?

41  
42 **SPEAKER EUDORO WUENCE** - Eudoro Wuence.

43  
44 **CHAIR LOWELL** - Okay and after you we have Brianna Bracken. We have  
45 Emily Mora, and Julissa Wuence. Thank you, Sir.

46



1 **SPEAKER EUDORO WUENCE** - Yes, Sir. I'm in support of the World Logistics  
2 Center and I'm curious about pollution traffic. When we see one truck on the  
3 freeway, we see 20 cars or 40 cars on the freeway, so I don't think the trucks do  
4 the pollution. The trucks are going from one point to another point, so that's the  
5 point of the trucks. So I don't think the trucks do the pollution because they are  
6 sent from one point to another. The traffic is make it to the cars and the logistics  
7 center sometimes is when they you know some people say 20,000 jobs come  
8 from when they start building the project. They start building the gravel, sand, all  
9 this stuff they need. Thus when they start working people will benefit. A lot of  
10 people are going to start...when they start bringing the sand and gravel we are  
11 going to start bringing revenue, taxes to the City, and the City is going to benefit  
12 from this project. They are going to start building better schools, better buses,  
13 better police cars, better fire departments; all this stuff. That's what we need to  
14 secure our community. That's why we need these kind of projects here because  
15 we need something better for our city. We don't need another Walmart. Walmart  
16 is everywhere. The Walmart is a benefit to the rich people too. Why don't we  
17 benefit from this project here? Why do we have to vote for this kind of project?  
18 Why we don't vote for Walmart and another Walmart over there and another  
19 Costco building here? Why? We do we have to vote for this and why not for  
20 Walmart? That's all I have to say.

21  
22 **CHAIR LOWELL** - Thank you. So we have Alex Morales. We have Juan  
23 Aragonés. We have William Bustos, Brianna Bracken, Emily Mora, Julissa  
24 Wuence. I see a bunch of people moving. Their just walking out the door. False  
25 hope. Anybody else? Do I have Izabella Perez, Anthony Beaumont, Jim Bryant?  
26 Anybody's names? Moving on. Consuelo Limon.

27  
28 **SPEAKER JIM BRYANT** - I'm Jim Bryant.

29  
30 **CHAIR LOWELL** - Jim Bryant, perfect. Come on up.

31  
32 **SPEAKER JIM BRYANT** - Okay one thing about the.

33  
34 **CHAIR LOWELL** - You can pull the microphone a little closer to you. It's hard to  
35 hear.

36  
37 **SPEAKER JIM BRYANT** - Is this better?

38  
39 **CHAIR LOWELL** - Perfect, thank you.

40  
41 **SPEAKER JIM BRYANT** - Okay one thing I was here for the presentation by Mr.  
42 Benzeevi and he puts on a good picture show. All the things that he stated in  
43 that that automation was the way of the future. Most of the people in here are  
44 blue collar workers. They won't have jobs. When he put in Skechers, I was  
45 against that one too. He was going to promise 1500 jobs, and I think we got one  
46 out of Moreno Valley or 110 people got laid off in Ontario and 600 came out here

1 to man this station. He's talking 2000 jobs. He is underproducing. He couldn't  
2 come up with 1500 then. With automation, even in his pictures, it shows all these  
3 guys working, welders. Then all of a sudden you see the new plant, and it's all  
4 machines. But he is a good talker. Okay on trucks, I was unfortunate when they  
5 tore out the bridge and the birds decided to park there and they couldn't work on  
6 it the trucks were coming down and going down Alessandro. They said that  
7 vehicle traffic will be nothing. Every eight minutes, I had at least one semi going  
8 by and these were empties going back to Pedro. And, at times, there were two  
9 and three semi's going by. It was like a mini earthquake, so there are trucks out  
10 there and they are moving. And that's going west not east. Then they got smart  
11 after about two months and opened up their back gate, so they got out of the  
12 residential area. He talks about construction jobs in the area. The construction,  
13 the two warehouses we have now, the superintendent I know him. He is out of  
14 Arizona. We're not even getting California people working out here, so there  
15 goes your big mound of money for construction of these units. And the one that  
16 the warehouse is there now, the new one going in, is also an Arizona company  
17 that's doing it. I'd like to have you check into who is going to be putting in all  
18 these street lights. We're getting four right now, big ones. Roads are going to  
19 have to widen for the trucks to make the turns. Who is paying for all this? I don't  
20 like it coming out of my paycheck. There's sidewalks, sewers, all that type of  
21 good stuff and the City is going to have to come up with the money to foot that.  
22 They should be saying thank you and do it themselves or pay for them. Again,  
23 like I said, automation takes jobs away. It doesn't produce jobs. Most of the  
24 people that are here, like I said, the ones that are holding up their little signs that  
25 went to work. They won't be here for a long time and there won't be any blue  
26 collar. It will all be machinery and computers.

27  
28 **CHAIR LOWELL** - Thank you very much.

29  
30 **SPEAKER JIM BRYANT** - That's all I got.

31  
32 **CHAIR LOWELL** - So we have Consuelo Limon, Roberto Martinez, Louis  
33 Vasquez, William Klauck. We also have Manuel Aguiar, Regina Haynesworth.

34  
35 **SPEAKER WILLIAM KLAUCK** - My name is William Klauck.

36  
37 **CHAIR LOWELL** - Thank you.

38  
39 **SPEAKER WILLIAM KLAUCK** - First of all, I caution the City Council that even  
40 though there may seem to be a majority in favor of this project being a mature  
41 adult after sitting amongst them today and sitting amongst the proponents to this  
42 project today and hearing their murmurs and disrespect for the opponents I hear  
43 the immaturity of a 13-year-old. So I ask if you would want a 13-year-old  
44 determining what your City is going to do. Secondly, I've heard the word change  
45 thrown around quite a bit by some proponents of this project, but as we have  
46 learned from our current federal administration change does not necessarily

1 mean improvement and change without improvement is simply destruction.  
2 Considering the matter of the apparent compulsion to push through the World  
3 Logistics Center at pretty much any cost, I question whether some of our  
4 representation has the best interest of the people of Moreno Valley in mind.  
5 There are far too many questions still unanswered, or I should say unwilling to be  
6 answered about this proposed project and those that have been answered  
7 cautioned about pollution, traffic congestion, lowered property values, safety  
8 issues, and the general lowering of the quality of life, especially on the East side  
9 have been argued by the opinions of those in favor of the project rather than by  
10 any actual facts. Do we really think that the 20,000 jobs total by this projects  
11 proponents will be new employment opportunities or is the reality that 14,000 of  
12 these jobs will come from the additional truckers inundating our town on a daily  
13 basis who already have jobs combined with the 5000 construction workers to  
14 build the project who also already have jobs and that only about 1000 at best  
15 jobs would be left as permanent employment opportunities for Moreno Valley  
16 residents, if that many. And how about the 14,000 trucks added to our streets  
17 and freeways every day, 98,000 every week, 420,000 every month, and  
18 5,040,000 every year? Do we really think these truckers will be polite and  
19 professional enough to travel out the normally congested Highway 60 to  
20 Theodore or will Iris, Cactus, Alessandro, Eucalyptus, and all other East/West  
21 corridors be inundated with truck drivers who have better ideas for getting across  
22 town? I have a lot left to say. I may come back.

23  
24 **CHAIR LOWELL** - Thank you very much. We have Manuel Aguiar, Regina  
25 Haynesworth, Danny Workman. These were all people that signed up this  
26 afternoon. They should be here. We have Ian MacMillan, Jorge Gonzalez,  
27 Alondra Gonzalez, and Miguel Gutierrez. Please introduce yourself, Sir.

28  
29 **SPEAKER IAN MACMILLAN** - Honorable Commissioners my name is Ian  
30 MacMillan and I'm a Planning and Rules Manager with the South Coast Air  
31 Quality Management District. We appreciate the time that the project applicant  
32 and City Staff have taken to discuss this project and the inclusion of some  
33 mitigation to reduce air quality impacts such as Tier 4 construction equipment  
34 consistent with other projects. To be clear, we neither support nor oppose this  
35 project. However, we are speaking here tonight to express our serious concern  
36 about two fundamental problems with the EIR in its current state. First, the  
37 projects inadequate mitigation of the emissions from its 14,000 daily truck trips  
38 and second the misleading characterization of a study regarding diesel exhaust.  
39 As you know, the Inland Empire experiences some of the worst air quality in the  
40 nation with ozone and fine particulate matter levels that routinely exceed national  
41 ambient air quality standards. If these air quality standards are not met on time,  
42 besides local residents continuing to suffer from poor air quality the region will  
43 face mandatory federal sanctions including the loss of most federal transportation  
44 funding. This consequence is important given the reliance of this project on the  
45 transportation network. Unfortunately, the mitigation proposed in the EIR for  
46 trucks takes virtually no steps to help that region meet these standards on time.

1 The EIR's requirement that all trucks meet EPA's 2010 tailpipe standard only  
2 provides about a 1% benefit beyond existing regulations. This is clearly not  
3 enough. Fortunately, there are options available to remedy the situation. In our  
4 comment letter, we provide ample evidence that trucks that have tailpipe  
5 emissions below the 2010 standard are commercially available today. Further,  
6 trucks that are 90% cleaner than the 2010 standard are expected to become  
7 commercially available in 2018 about the time that the first warehouse for this  
8 project would be built and even cleaner trucks are expected soon after that.  
9 AQMB Staff believe that it is feasible and imperative for this project to include a  
10 program to review and implement these new technologies as they become  
11 available similar to other good movement projects and ports. This can include a  
12 mechanism such as an emissions cap that declines through time as newer  
13 technologies become available and a requirement that tenants take advantage of  
14 incentive funding to upgrade their truck fleets. Finally, the EIR misleads the  
15 public with its characterization of the HEI Study on diesel exhaust. In simplest  
16 terms, the study's sample size was too small to make any determination about  
17 the cancer potency of diesel exhaust. Rather the study simply confirms what we  
18 already knew. Newer truck technologies have lower emissions and consequently  
19 lower health impacts than older technology. We believe the EIR's cherry picking  
20 of a single study and misapplication of its result to this project is contrary to the  
21 substantial weight of evidence recognizing the cancer-causing potential of diesel  
22 exhaust. The LEED Agency should instead only rely on the results of the HRA  
23 already included in the EIR to make determinations of significance under CEQA.  
24 The choice before you tonight is not about promoting jobs or clean air, it's really  
25 about promoting a future that provides both. Thank you for the opportunity to  
26 speak before you tonight. AQMB Staff is available to help craft revisions to  
27 projects, mitigation, and to answer any questions.

28  
29 **CHAIR LOWELL** - I have a quick question for you since you are from Southern  
30 California Air Quality I figured this would be an opportune time. Why did the  
31 AQMB focus their efforts on this particular project as opposed to any numerous  
32 warehouse projects before us for the last several years? Please stop the  
33 applause. This is a legitimate question, and we don't need reinforcement from  
34 the peanut gallery. Thank you.

35  
36 **SPEAKER IAN MACMILLAN** - So we have actually come and spoken before  
37 the Planning Commission on numerous projects in the past. If you'd like, we can  
38 provide a record of numerous projects where we've either provided comment  
39 letters or testified before the City on other projects besides this one and it's not  
40 just in Moreno Valley. We have concerns with any project that has potential air  
41 quality concerns whether it's a warehouse project or other kinds of projects we  
42 express our concerns if the air quality impacts we believe are real and have  
43 feasible mitigation.

44

1 **CHAIR LOWELL** - Okay. I know that my fellow Commissioners all have a lot of  
2 questions. Will you be available in the Commission Debate portion even if it  
3 goes to another meeting?  
4

5 **SPEAKER IAN MACMILLAN** - Yes. We can make ourselves available as  
6 needed and I'll have additional Staff here who can provide information.  
7

8 **CHAIR LOWELL** - I appreciate it. Thank you. Okay we George Gonzalez,  
9 Alondra Gonzalez, Miguel Gutierrez. We have Steve Healton, Bruce Mattei, Alva  
10 Anyiotta, Linda Burger-Grafstrom. I see one person moving. We also have  
11 Manuel Aguiar and Jim Moynihan. Please introduce yourself. You can just pull  
12 the whole thing down.  
13

14 **SPEAKER LINDA BURGER-GRAFSTROM** - Sorry I have some vocal issues  
15 because of some health-related issues. Good evening, my name is Linda  
16 Burger-Grafstrom, and I moved to Moreno Valley in 1986 as a brand new teacher  
17 to work and live in this community. I understand that the Commission tonight has  
18 a very difficult task before you, and I'm glad I'm not on the Commission to be  
19 honest with you. As a resident and a worker of this community, I have some  
20 major concerns that mostly involve the health-related issues. I'm deeply  
21 concerned about the outcome of your recommendation and how that will affect  
22 the health and welfare of hundreds of thousands of residents throughout the  
23 region for years to come. A lot of speakers tonight have addressed the future of  
24 our children. Well as a teacher that is my concern as well. I am concerned  
25 mostly about those students who will be living and going to school closest to the  
26 logistics center and most vulnerable to the increased health risk associated with  
27 the diesel exhaust created by the logistics center if its approved. According to  
28 the California Government Office of Environmental Hazard Assessment, the  
29 prevalence of diesel powered engines makes it almost impossible to avoid  
30 exposure to diesel exhaust or its bi-products. Also those spending time on or  
31 near roads and freeways, truck loading and unloading operations, operating  
32 diesel powered machinery, or working near diesel equipment face exposure to  
33 higher levels of exhaust and face higher health risks. Those risks will include  
34 greater rates of asthma, heart disease, and cancer. The projected health risks  
35 are one reason why the Moreno Valley Unified School District issued their  
36 opposition to the WLC. As someone who has undergone both radiation and  
37 chemotherapy for two different types of cancer, I do not wish to witness my  
38 students having to go through the same experience. I urge each of you to  
39 consider the enormous health risks posed by this project to the residents and  
40 children of our community before issuing your final recommendation. Another  
41 speaker tonight asked the question what is a job worth. I encourage each of you  
42 on the Commission to instead ask yourselves if increased logistics jobs are worth  
43 the lives of the workers themselves and the health of our residents. Thank you.  
44

1 **CHAIR LOWELL** - Thank you very much. Sorry I just saw some movement. I  
2 thought it may have been a speaker that I called. Manuel Aguiar, Jim Moynihan,  
3 Carlos Vega, Melissa Montgomery, Steve Harrington.  
4

5 **SPEAKER STEVE HARRINGTON** - Good evening. Thank you for the  
6 opportunity to address the Commission today. My name is Steve Harrington. I  
7 have 27 years of experience in transportation, warehousing, and logistics. I'm  
8 involved with the leadership of the Distribution Management Association and I  
9 work at the National Center for Supply Chain Technology Education. I need to  
10 make a point first of all in that this is the logistical epicenter of the country. There  
11 are 1.7 billion square feet of warehouse space in Los Angeles County, the Inland  
12 Empire, and Orange County employing over 500,000 people. Last year, 18  
13 million square feet of warehouse space was developed in the Inland Empire.  
14 This year, 14 million square feet is currently under development. Whether this  
15 project comes to Moreno Valley or not, whether you make the decision to bring  
16 those jobs to the residents of Moreno Valley or you decide that the residents of  
17 Moreno Valley need to get in their cars and commute to all of the other  
18 communities where they need to go to go to work that decision is up to you.  
19 Whether you looked at the legal wrangling or the CEQA or the EIR or all that  
20 other mumbo-jumbo, the bottom line is that you need to bring good jobs to the  
21 residents of Moreno Valley. I started out picking up boxes going to college part-  
22 time working in a warehouse when I was 18 years old. It took me seven years to  
23 get through school. I worked hard. I finished school. After completing my  
24 education, I ended up working through a series of career opportunities, inventory  
25 control manager, a clerk, department head, foreman, shipping supervisor,  
26 receiving supervisor, warehouse manager. I ended up working for a Fortune 500  
27 company because I got additional training and because I worked hard. They talk  
28 about these jobs being dead-end jobs. They're not dead-end jobs. They're  
29 entry-level jobs. They're entry-level jobs like entry-level jobs in all sorts of other  
30 occupations. You can either choose that that's a dead-end job for yourself or you  
31 can choose to improve your own circumstance and move up the career ladder  
32 and get additional training and as a Fortune 500 Company that pay benefits, that  
33 pay profit sharing, that provided 401K, that had salaries in the \$14.00 to \$50.00  
34 an hour range for its employees, who employed people who serviced our  
35 equipment, who took care of our IT, with an HR department, with an accounting  
36 department. I could go on and on about outside of the people we employed all of  
37 the other jobs that we created as a result of the existence of our business, which  
38 didn't include the fact that the people who worked at our business went and  
39 shopped locally and went and ate locally and went and used local services which  
40 benefited the local community, so you have that opportunity in front of you. I am  
41 for the project because it makes sense.  
42

43 **CHAIR LOWELL** - Thank you very much. We have Claudia Elias, Maria Elias,  
44 Mario Elias, Marla Perez, and Ruben Perez. I don't see anybody jumping up.  
45 Virginia Palomares-Salcido. He does not look like a Virginia. I wasn't going  
46 there.

1  
2 **COMMISSIONER VAN NATTA** - Yeah those were people who turned them in  
3 between 5:00 and 6:00 p.m.

4  
5 **CHAIR LOWELL** - I know. We have Dora Garcia, Marlene Ramos Gurrola,  
6 Eddie Lopez, Christina Elias, Ernesto Sarabia, Maria Ibarra, Marvel Elias, Porfirio  
7 Manzano, and last but not least is Brandon Carn. David Padilla. Okay, with that  
8 said, instead of going through all 165 names again is there anybody in  
9 attendance tonight that put in a Speaker Slip that has not spoken yet? Okay, if  
10 you could come up one at a time and please introduce yourself and we'll just  
11 verify that you're on this lovely list of ours.

12  
13 **SPEAKER BRANDON CARN** - Good evening Commissioners, I'm Brandon  
14 Carn.

15  
16 **CHAIR LOWELL** - Okay, before we get started, I just want to make sure we  
17 have you on here.

18  
19 **SPEAKER BRANDON CARN** - Thank you.

20  
21 **CHAIR LOWELL** - Brandon Carn. You turned your's in tonight didn't you?

22  
23 **SPEAKER BRANDON CARN** - Yeah.

24  
25 **CHAIR LOWELL** - Okay go ahead. Thank you.

26  
27 **SPEAKER BRANDON CARN** - One of the first things I want to mention is I have  
28 problems with the EIR because looking at the two different drafts you have maps  
29 of ownership for Highland Fairview's property around this boulevard that  
30 contradict each other. One says they have 1600 acres, which is actually  
31 accurate if you check the tax records through the County's office and the City's  
32 GIS Maps. The other one says you own all 2600 acres. That's actually false and  
33 inaccurate and it actually was in the Benzeevi presentation for the last meeting.  
34 One of the things I was very disappointed in there's not much substance to the  
35 Power Point that was presented. You have a lot of stock photos, a little bit of  
36 animation, a lot of generalities about industry. Where are the blue prints? Where  
37 are the renderings? Where are the mockups? Where are the specifics of the  
38 buildings that are proposed for this type of project. I'm not against logistics or  
39 that type of profession, but we have no project or development that's really being  
40 examined and analyzed. You had more substance to Skechers when it was  
41 coming here or Prologis when I came back and spoke about that than you  
42 actually have about this type of development. The next thing I'm seeing is this is  
43 not by far the first attempt by a Benzeevi-related Corporation to develop a project  
44 promising billions in revenue and tens of thousands of jobs. That in fact goes  
45 back to the mid 1980s. You had the Moreno International Trade Center, which  
46 was a logistics aerospace airport that was promising 30,000 to 50,000 jobs. The

1 10,000 foot runway never was built. You had the Moreno Highlands project,  
2 which two different times you has Specific Plans for. The last one, the one you're  
3 going to replace it with, was the Specific Plan for that promising \$2 to \$2.5 billion  
4 in revenue and 20,000 to 30,000 jobs depending on the source that you were  
5 siting. It's all public record in City archives; never produced, never built. All 15-  
6 year build-out and there are probably about eight other major projects in the  
7 Inland Empire that Benzeevi has promised since the mid 1980s; Banning  
8 Municipal Airport, redevelopment of Norton Airforce Base that promised tens of  
9 thousands of jobs and millions in revenue was never built. Iddo Benzeevi and  
10 this corporation really have absolutely no track record of it speak of even  
11 including Skechers. I can elaborate on why and I included that in a written email.  
12 Another thing I'm also noticing is looking at the EIR and the Development  
13 Agreement in particular, how in the world do you anticipate the funding of it? It's  
14 so vague that you are not giving a specific amount or a plan later on to develop  
15 how much of City Taxpayer Fund, which is estimated between \$100 to \$150  
16 million in our taxpayer money in the next how many years going towards  
17 infrastructure that's going to cost \$500 million. Why are we paying for most of  
18 that whatsoever when Highland Fairview is going to contribute \$500 million?  
19 There are a lot of different concerns about that. Is Highland Fairview capable of  
20 building a project on this scale? They don't even own the land they own. Of that  
21 3000 acres of so that they have for the Specific Plan, they own less than half of  
22 it. I'm also concerned about the type of living that people will do there. When  
23 they rezone that 10% of the property land you're going to let a corporation that  
24 has no track record, nothing but a few temporary construction jobs with  
25 Aquabella which was abandoned, the un-built Mason Corridor which has no  
26 plans submitted, anything like that rezone 10% of the property and the land half  
27 of which less than they own. What are you going to do about that? That's  
28 insane.

29  
30 **CHAIR LOWELL** - Thank you very much.

31  
32 **SPEAKER BRANDON CARN** - Thank you.

33  
34 **SPEAKER MAXINE DAVIDSON** - My name is Maxine Davidson.

35  
36 **CHAIR LOWELL** - You can pull the microphone down.

37  
38 **SPEAKER MAXINE DAVIDSON** - I live in the 9255 area. I put my name in at  
39 the last meeting, but there were 300 on the list so I came back tonight hoping I  
40 would be heard.

41  
42 **CHAIR LOWELL** - What was your name again?

43  
44 **SPEAKER MAXINE DAVIDSON** - Maxine Davidson.

45  
46 **CHAIR LOWELL** - Thank you.



1  
2 **SPEAKER MAXINE DAVIDSON** - I live on Maltby Avenue and I moved to  
3 Maltby Avenue after retiring from a 40 year career in OR nursing. Nurses know  
4 about planning. You prepare for it before it happens. You make sure that  
5 everything that comes flying through the door you're prepared for. I moved there  
6 to live one mile from my daughter and her husband three years ago. Two  
7 months later, my husband and I were the direct recipients of the mud flood of  
8 2012. Even though our paperwork said that we were not in a flood zone, we  
9 obviously are. My husband was standing in four feet of mud and water up to his  
10 hips and the fire department could not even get past our house. What a way to  
11 meet you neighbors. Yes we are in a drought but so is Texas. They've had  
12 massive flooding and we are now hearing of the possibility of El Nino. I've come  
13 here to address the fact that the infrastructure in this area is inadequate for  
14 flooding. We saw when it rains in California it pours. We have never had  
15 adequate infrastructure. Statistically we have had heavy rains in 1862, 1914 with  
16 30 inches of rain in the Pasadena area. The Agua Dulce Dam was built as a  
17 result of that. In the 50s as a little girl living in Edgemont, there was significant  
18 flooding. In 1969, I remember the Santa Ana River becoming a raging river, not  
19 an underground river that we normally see today. It washed out the Van Buren  
20 Bridge. The Cooley Ranch at the 215 and 10 was under 10 feet of water. In  
21 1997 and 1998, we had El Nino, which were flooding years. It will be over 100  
22 years since the 1914 flooding in California. Will 2015 be that year for the 100  
23 year flood? I live on the East End, and I'm scared to death. Are we prepared?  
24 Is Moreno Valley prepared for that? I think not. The City Council made promises  
25 to the people south of Alessandro and east of Redlands that the FEMA Dam  
26 would be done. We received information from the engineers that that will  
27 probably start in January but anyone who lives in Southern California knows that  
28 statistically the heavy rains start in January. The drainage ditch that parallels  
29 Campbell has not been taken care of either, so I would ask you as you prepare  
30 for this to significantly see that the infrastructure around the residences of the  
31 World Logistics Center are taken care of first.

32  
33 **CHAIR LOWELL** - Thank you. It was kind of hard to tell Ma'am. Were you for  
34 or against? That wasn't a joke. I'm serious. Are you for or against? Thank you.  
35 Can you introduce yourself, Sir?

36  
37 **SPEAKER GUILLERMO CERVANTES** - My name is Guillermo Cervantes.

38  
39 **CHAIR LOWELL** - Thank you.

40  
41 **SPEAKER GUILLERMO CERVANTES** - I have lived here in Moreno Valley  
42 since 2006/2007. I work for Aerospace Industry. I've been in the industry 25  
43 years. I have commuted a lot on the freeways, Orange County and Riverside  
44 County. The thing that brought my attention here is...I'm not an expert in politics.  
45 I served this country and I see a lot of people have fear. I don't know what is the  
46 fear for. First of all, I support this project. Why? Because it makes sense for

1 people like me who travel a lot as I am missing a lot of time with driving the  
2 freeways instead of being with my family. Again I saw a lot of people talking  
3 about a lot of things, technology and everything, but one of the things I think this  
4 city is blessed because we have a unique opportunity. But all the explanation,  
5 the technology again, for me, I don't care. For me, I care for the future of my  
6 family because let's say my family is here now. I barely see them. I don't know  
7 how many people are over here. I counted, but I see so many people. So you're  
8 afraid, for example, I saw a lady asking for better jobs. Go get educated and be  
9 involved in the circle of progress. Why you are afraid for making progress for the  
10 possibility of other jobs. Like I said, I support the aerospace companies. I have  
11 to travel a lot and even though I don't have an aerospace job here I don't care  
12 about that. We have a lifetime opportunity for other fields, so if people want to  
13 have better pay, get educated or get more involved in the progress of the City of  
14 Moreno Valley. So my point is great opportunity this project. I think it's not  
15 being afraid for the future. My point is you do not have to be afraid for nothing.  
16 You can believe in God. I trust in God. We build opportunity through ourselves  
17 because this is the United States. This is a free country. We fight for the  
18 freedom, so this is simple. So just go and we will see the future results. This is a  
19 lifetime opportunity for everybody, so thank you very much.  
20

21 **CHAIR LOWELL** - Thank you very much. What was your name again?

22  
23 **SPEAKER GUILLERMO CERVANTES** - Guillermo Cervantes.  
24

25 **PLANNING OFFICIAL RICK SANDZIMIER** - Excuse me. He may have been  
26 speaking on behalf of Ana Cervantes. That's the only name I have so.  
27

28 **CHAIR LOWELL** - You're fine. Thank you.  
29

30 **SPEAKER DARLINE BAILEY** - I can't talk. My name is Darline Bailey.  
31

32 **CHAIR LOWELL** - Thank you.  
33

34 **SPEAKER DARLINE BAILEY** - My daughter is going to read my notes, but I  
35 just would like to say years ago we had Bobby Kennedy and there was a song  
36 that says "*Can anybody here tell me where my old friend Bobby is, can anybody*  
37 *tell me where he's gone?*" I feel like can anybody here tell me where my old  
38 friend employment is? Can anybody tell me where it's gone for Moreno Valley?  
39 And I would like to say what do we want? When do we want it? And like the  
40 gentleman speaker before, I am not a 13-year-old and I'm highly educated about  
41 the WLC and the EIR. The EIR is highly exaggerated to inform all individuals  
42 and parties involved of any and all possible environmental conditions. These  
43 numbers are not concrete and should not be examined as fact. Even with  
44 exaggerated numbers, there is still no severe nor significant changes to our  
45 environment nor our health issues. As the previous woman said about her  
46 cancer, she received it from her environment? Because the WLC did not exist to

1 give her cancer. There were other projects that could have caused her health  
2 conditions. Those projects definitely cause pollution as you can see. The anti's  
3 talk about pollution but do not pick nor complain about the other existing projects  
4 that are causing pollution to the other side of Moreno Valley. This is just a hate  
5 group against Iddo and progress for Moreno Valley. They are only here to  
6 benefit themselves not to help Moreno Valley. That is all. Thank you.

7  
8 **CHAIR LOWELL** - Thank you very much. I see Mr. Tom Thornsley is over  
9 there. Tom Thornsley would you like to speak? Before I let you get started, is  
10 there anybody else in the room, or even in the audience or the gymnasium  
11 wherever you may be, that has filled out a Speaker Slip that has yet to speak? It  
12 looks like you have the last say.

13  
14 **SPEAKER TOM THORNSLEY** - That's an honor. I had the last say at Skechers  
15 too. Good evening Commissioners. You've heard a lot tonight, especially a lot  
16 about the air issues, about cancer issues. I want to cover another issue that isn't  
17 quite covered yet and has to do with the actual land use designations here in the  
18 City. For the last several years, the City has abandoned bringing forward any  
19 land use designation that would remain as business park. In business park uses  
20 you would allow for the smaller start-up businesses. The kind of businesses that  
21 are supposed to be the ancillary businesses that will support something like the  
22 World Logistics Center. You're looking at a project that is so short sited in not  
23 offering some diverse opportunity within it for the kinds of uses that should  
24 support its operation. One 3000 square foot gas station is not going to do much  
25 for that entire 40 million square feet of warehousing. It would be the same as if  
26 you were looking at a housing tract project on 1000 acres and you only let them  
27 build the same style of two-story homes. You've got to have some diversity.  
28 You've got to have some variations. You've got to have something that helps  
29 support what you're going to do. We're going forward with a type of use that is  
30 the lowest job producer by square foot or per acre of any use that you can do  
31 within a City. If you look at the results of analysis of the number of employees  
32 per square foot for something like Skechers, it drops to even a lower level than  
33 what they've used in the EIR. So out here now, we're looking at something like  
34 four jobs per acre across the entire project site. That's a ridiculous thing to do.  
35 We need jobs that are in the higher density range. With that kind of density,  
36 you're going to have more people having to commute out of the City at some  
37 point because we simply won't have enough jobs for the 120,000 or so people in  
38 this City who are employable. Another thing you need to look at is what the  
39 Development Agreement offers in there. In the Development Agreement, they  
40 redefine DIF. In that definition, there are no monies collected for roads, bridges,  
41 or signals. I ran some calculations. I just did the TUMF fee. I based it on 41  
42 million square foot buildings using the formula that we now use for high cube,  
43 and it only generates \$27 million. That's not enough to finish one intersection on  
44 the freeway, and there will not be enough other generating funds coming from  
45 the remainder of the vacant land out there, so you need to have that looked at  
46 and think about that across all those fees.

1  
2 **CHAIR LOWELL** - Thank you, Tom. On that note, I would like to leave the  
3 Public Comment portion open for the time being. I would like to take a break and  
4 reconvene at 9:30, and I will ask one more time before the closing of the Public  
5 Comments portion if there is anybody that hasn't spoken yet.

6  
7 **PLANNING OFFICIAL RICK SANDZIMIER** - Mr. Chairman, I just want to report  
8 that our sheriff's have reported to me that there is nobody left over in the other  
9 facility, so in case you're wondering if there is anybody there.

10  
11 **CHAIR LOWELL** - I appreciate it. We're still going to take a break. Let's  
12 reconvene at 9:30. Thank you.

13  
14  
15 **MEETING BREAK**

16  
17 **CHAIR LOWELL** - Good evening. Welcome back. We are still in the Public  
18 Comments portion of this hearing. We have in excess of, I dare say, 40 or 50  
19 people that have filled out Speaker Slips that have not spoken yet. It does not  
20 look like their in attendance, so I'm doing one last call. Anybody that has filled  
21 out a Speaker Slip that has not spoken yet and would like to do so, this is your  
22 last chance. I'm not going to go through and read off the list. There's way too  
23 many of them. You know who you are. If you haven't spoken and you want to  
24 speak, this is your last chance. I don't see anybody moving towards me. I don't  
25 see anybody raising their hands. Anybody out in the audience, out in the hallway  
26 or anything? Okay, that's it. Going once, going twice, Public Comment portion is  
27 now closed. I don't see anybody from Highland Fairview. I was just going to ask  
28 them if they want to come up and talk.

29  
30 **PLANNING OFFICIAL RICK SANDZIMIER** - If you'll hold on one second and let  
31 me....

32  
33 **CHAIR LOWELL** - Okay we'll give them a moment. We need some filler  
34 elevator music or something. We can have karaoke over here. Just bear with us  
35 for a moment. We'll get the Applicant back in here. Again we're still just waiting  
36 for the Applicant to get back. Their purses and stuff are still here, so.

37  
38 **COMMISSIONER VAN NATTA** - They're probably getting their notes together.  
39 You might want to give them the option of doing it at the next meeting in case  
40 they have....

41  
42 **CHAIR LOWELL** - Well they're here so. Okay it looks like the Highland Fairview  
43 is represented again. I would like to ask if Highland Fairview would like to  
44 respond to any of the comments they've heard tonight. We're going to go  
45 through Commissioner Debate shortly hereafter. I just wanted to know if you  
46 wanted to directly respond to any of the comments. If not, we can move forward.

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**APPLICANT IDDO BENZEEVI** - Good evening, my name is Iddo Benzeevi. I am the President of Highland Fairview. Thank you for the opportunity to be here tonight and continue the duration of the World Logistics Center project. A lot of things have been said, and we are very privileged that there is that much interest in our project in the community. We thank very much everybody who has stayed this late and on previous occasions to voice their thoughts, concerns, ideas, or anything else that may be of value for all of us as we evaluate the project. There's been so many things said that we could probably spend a lot of time trying to explore each and every one of them, but a lot of what has been said some of which was somewhat inaccurate, some of it entirely inaccurate. One thing that may relieve a lot of people's anxiety is one thing that I heard be repeated continuously was the issue of trucks and I keep on hearing 14,000 trucks, 14,000 trucks. These are not 14,000 trucks. There are 14,000 truck trips. There's actually 4200 trucks altogether. That's a big difference. There's not 14,000 trucks. There's 4000 trucks and 14,000 trips. In other words, you can have one truck going 14,000 times back and forth or you can have a few hundred trucks or a couple thousand trucks, 3000 trucks, doing all the deliveries. So I keep on hearing 14,000 trucks. It is not 14,000 trucks. It's truck trips, so that's one thing that may relieve a lot of the concern. But that was one of the big inaccuracies that we keep on hearing throughout the night, so if you read the EIR carefully and the traffic analysis, which by the way at a cost of over \$4 million is a very, very extensive and very detailed analysis of traffic. I have made a few notes that perhaps we can address. The City of Riverside I was very happy to see them here today. I've not seen them be so concerned about the City of Moreno Valley. I wonder if they will come here and invest in our community, build jobs, feed our poor, teach our children, but it's nice to see that they are now very concerned about the well being of Moreno Valley when they continue to develop across the street and don't quite invite us to hear our concerns. But it is very encouraging that originally they were here voicing their concern and also support of things that could happen in Moreno Valley. Nonetheless, in Riverside, if you look outside of Moreno Valley and we have looked at literally every low segment from here all the way to the ports of LA. Most projects don't do that and therefore they would have never found all those issues their talking about. But, at the end of the day, there's two intersections in Riverside that we have a direct impact to. One will impact 3.7% at build-out and the other one about 5%. It's very minimal and most of those streets have very little to do with the World Logistics Center. The job numbers actually come from not from us. It's part of the EIR. It's been evaluated by professionals some of who are here and can be asked questions about how they generated the numbers, but it's all based on government statistics, the Bureau of Labor Statistics and I think I've said it before the only people who really know where you live and where you get your paycheck is the government. That's the only reliable source for those types of numbers, and that's the numbers we used in the EIR. Again this is not our numbers. This is not a number we are proposing. This is a number that is generated out of the usual methodologies that are applied to the county, the

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1 state, the federal government, and everybody else so we're just inline with  
2 everybody else's analysis. We can all have opinions, and everybody is entitled  
3 to their own opinion but not to the wrong facts, and the only facts we can rely on  
4 is the actual accepted methodologies that are used by all the government  
5 agencies. Some people talked about infrastructure and the money it would cost  
6 the City. I want to make it very clear Highland Fairview, the World Logistics  
7 Center, we will be paying for all the necessary infrastructures to support the  
8 World Logistics Center. I'm not sure how to define all better in English, but  
9 whatever part of all is not understood I am willing to try and explain it. But we will  
10 pay for all the necessary infrastructures. There is some confusion with DIF  
11 where in our Development Agreement it says for those sections for that  
12 infrastructure for which we'll be paying and actually installing, not paying but  
13 actually installing, we won't pay DIF because DIF is there to pay for those  
14 improvements. If you're making them, if you're putting them in the ground and  
15 you're constructing them, you don't pay the fee. So this is not a benefit to  
16 Highland Fairview, actually it's a benefit to the community. We actually will put in  
17 the infrastructure no matter what it costs. Sometimes DIF fees are below what it  
18 actually costs to provide infrastructure. We will actually provide the infrastructure  
19 that is necessary to support the entirety of the development. In terms of some  
20 deficiencies that exist in the roadways around the county and the State of  
21 California and Southern California, no single project can fix all the deficiencies  
22 that have been accruing over years and years and years. But as we all see other  
23 cities, like somebody said there's lots of traffic in Orange County, they keep on  
24 generating jobs. They keep on attracting industry creating a job base and  
25 opportunities for their communities while there is still traffic. And it's not that we  
26 shouldn't reduce it, but the only real way we can ever reduce traffic is by bringing  
27 jobs where people live because if you build more housing in one county or one  
28 city and jobs in another county or another city the more houses you build and the  
29 more jobs built over there the more lanes you have to add and the more houses,  
30 the more lanes you add you never finish building lanes. The only time you  
31 reduce traffic is if you create jobs where people live. In fact, if everybody had a  
32 job in Moreno Valley, nobody would really care what the 91 Freeway looks like to  
33 go to Orange County every morning because you'll be here. That's the whole  
34 point. That's how we reduce traffic. In fact, Caltrans has built all the necessary  
35 freeways to support the population. What trips them up is that every city  
36 produces a General Plan that says job-to-housing balance, which means  
37 everybody stays pretty much within the vicinity of the cities. If everybody in the  
38 City really acted that way, the freeway traffic would look like what it looks like  
39 after rush hour where everybody is where they're supposed to be and you can  
40 pretty much get everywhere. So the good news is with more jobs in our local  
41 community, the less traffic we will actually have. And, even if traffic is the case, it  
42 will not be due to anything we will do in Moreno Valley because Banning grows  
43 or Beaumont grows or the desert grows or Redlands grows or Perris grows that  
44 traffic will be generated. But if we had jobs in Moreno Valley we wouldn't really  
45 care about what the traffic is like in LA or Orange County or anywhere else or  
46 San Diego, so it's to our benefit to bring local jobs. Some people have compared

1 this plan to the job generation numbers out of the Moreno Highlands Specific  
2 Plan. It's a plan that was generated over 20 years ago. Some people have it  
3 wrong as to what I own or what I don't own or what project I had, but that's for  
4 another day. The City knows very well what we own and what we bought and  
5 what we pay taxes on. However, the notion that we have half the land of the  
6 World Logistics Center is just absolutely wrong. We own 100% of the land that's  
7 in the World Logistics Center, and the City may clarify what the definition of  
8 project is because they've asked us to actually plan an area that is larger than  
9 our own holding to benefit all the surrounding areas to make sure there is a  
10 consistent land use and that the area will evaluate all these areas. But to the  
11 jobs numbers, people keep referring to Moreno Highlands generating 20,000  
12 jobs. Well if you look at the land uses 5 million square feet of office. I don't think  
13 the entire Riverside County has 5 million square feet of office and it's very easy  
14 to zone...if it was only that easy, right, to zone high intensity land uses that in  
15 theory create a lot of jobs, but the only thing missing from those designations is  
16 reality. We can't fill 5 million square feet of office space in Moreno Valley. The  
17 whole county I don't think has....downtown Riverside doesn't have 5 million  
18 square feet, so we can zone Manhattan and say we'll generate 7 million jobs in  
19 Moreno Valley within 30 acres but this is not the real world and we need to be  
20 responsive to the real world. And we're being responsive in several different  
21 ways by providing money, \$7 million nearly, for education, job training in  
22 conjunction with the City, taxes generated for public education about \$22 million  
23 from taxes alone from property taxes. This is not anything in addition, so there  
24 are things that are addressing creating the job opportunities right here in Moreno  
25 Valley. As far as the air, there's been a lot of discussion about the air. I can tell  
26 you with certainty that the World Logistics Center has the most stringent, most  
27 advanced standards, most advanced standards, for air quality in every  
28 environmental aspect. We can always do more but this is the only project, and  
29 an AQMD representative was here and he very quickly said we want the World  
30 Logistics Center to be conditioned to do as much as other projects do. And, if  
31 you would've asked him a followup question, the only other project he is talking  
32 about is the ports of LA and Long Beach, which again don't have as stringent of  
33 standards as we do. But, beyond that, there is no other project that we are  
34 aware of in California that has this level of standards. There is no other project  
35 that has 2010 clean diesel technology as a condition of the project nowhere, and  
36 we have asked them and we've met with them. And, by the way, they're great  
37 folks. There's nothing wrong with AQMD. They are very smart people there that  
38 are really trying to hard and have done tremendous to clean our air. But, for our  
39 part, we're moving the market forward because there's no other project that has  
40 this kind of environmental standards associated with it. Somebody talked about  
41 the water; how much water we spend or save, and I'm not sure exactly what  
42 they're talking about. But to clarify the statement we have made, compared to  
43 Moreno Highlands compared to what is already allocated there, the World  
44 Logistics Center utilizing our water technologies and the systems we'll use 1.5  
45 billion gallons of water less than what is already allocated there in the existing  
46 plan. As far as traffic is concerned, Moreno Highlands will generate 210,000 trips

1 a day. The World Logistics Center will produce about 70,000 trips a day. Not  
2 cars, trips. There's a big difference. It's like if you have a pizza delivery car and  
3 he makes 100 trips delivering pizza at night it does not mean there is 100 cars or  
4 100 delivery trucks. There is one truck making 100 appointments. It's very  
5 different. We're not going to see 100 cars on the road. We'll see one guy driving  
6 around or one girl, whatever it might be. So if it relates to comparing the  
7 advantages of the existing land use, which has not provided or produced any  
8 benefit to the City, it's been vacant for 20 some years because it was conditioned  
9 in our opinion unrealistically 5 million square feet of office. I mean Moreno Valley  
10 never mind your lifetime, I don't think that's even real to create those types of  
11 jobs here. The market has even shifted from there. As far as the air, CEQA as  
12 you know only evaluates direct impacts. In other words, if we had 1000 buses  
13 going to the World Logistics Center, we would only evaluate the impacts of those  
14 1000 buses on the road and the pollution they may make. But what CEQA  
15 doesn't do is evaluate the 20,000 people that may have gone on these buses  
16 that will have come off the road. There's no offset, so we have to understand  
17 what it all means. And so maybe to alleviate some of the, you know, potential  
18 concerns that are perhaps unjustified needlessly those numbers don't imply what  
19 some people suggested there's that many cars on the road. Now what does  
20 4000 trucks mean? And, by the way, when they say about 14,000 truck trips  
21 those include in the definition of truck the UPS trucks, the Federal Express trucks  
22 and those kinds of trucks as well. The hard what we call the heavy duty trucks,  
23 the ones we really refer to, I think are about 4200. And these go over a 24-hour  
24 period pretty much in an even distribution. So most of the trucks in the peak  
25 hours, and I think we presented that in our presentation, most of those  
26 movements occur off-peak. In other words, most of the industry stops before the  
27 morning rush hour. They peak about half an hour to an hour before the morning  
28 rush hour starts and they start about an hour after the evening rush hour  
29 diminishes and they travel most of the time at night and off-peak. They travel in  
30 different patterns. Every land use is a different pattern, and I think we discussed  
31 that last time. Shopping centers create a lot of traffic. A shopping mall will  
32 create a lot of traffic, but nobody goes to the mall at 8:00 in the morning and  
33 comes back there at 5:00. We have a different pattern in life. Most of us get up  
34 in the morning, go the office at 8:00 or our place of work and come back at 5:00.  
35 That creates the a.m. and p.m. rush hours, but malls get busy after hours or  
36 perhaps on the weekends. So if you say there is a big mall that will even create  
37 100,000 trips a day those 100,000 trips will not occur in the morning rush hour.  
38 So for everybody's benefit the World Logistics Center, and you can look at it in  
39 the EIR, based on substantial traffic engineering that was done will actually  
40 reduce traffic on the freeway segments because that many more people will  
41 actually be here. The last thing I want to say about air pollution and traffic is  
42 again offset. If we don't have jobs in town, people complain about what the  
43 pollution might be and there is certainly pollution. There isn't anything...anybody  
44 who has a formula of how we create jobs/economic opportunity and has the  
45 formula of how to do it without traffic with no impacts, let me know and we'll apply  
46 it in this project. We're always looking for the best standards. There is no such



1 thing. You build a high school, you build a school, you build a kindergarten, you  
 2 build a shopping center, or you build a library, there will be traffic in and out of it.  
 3 The question is, is it is good traffic or bad traffic? Bad traffic is when everybody  
 4 has to get up in the morning and leave our City to go somewhere else away from  
 5 the family, loved ones, and our City spending their money somewhere else and  
 6 then coming back in the evening after most of the activities here have been  
 7 passed during the day. That's bad traffic. Good traffic is like any business. If  
 8 you have a restaurant, you want traffic to come to you. Traffic that brings  
 9 economic opportunity, jobs, right and prosperity. This is the kind of traffic we  
 10 want to see in Moreno Valley; people coming to Moreno Valley bringing  
 11 business, jobs, and other opportunities. The last thing I want to say about jobs,  
 12 the logistics industry has a big breadth and depth of jobs. There's lots of  
 13 occupation and we have some slides and perhaps later on we can take some  
 14 time to do that. I don't want to take too much of your time now, but like some  
 15 gentleman said depending on how much you want to apply yourself you can get  
 16 a PhD in supply chain management. It just depends what opportunity you're  
 17 looking for and it is also known that the logistics industry has the highest upward  
 18 mobility. People literally start, and I think one gentleman here said he started  
 19 picking up boxes and ended up managing large operations. Those buildings  
 20 whether their robotics or other things take a lot of skilled people to operate and  
 21 manage. You don't operate a 1.8 million square foot facility with three people.  
 22 Second about the jobs and where they come from, by definition any company  
 23 that will come to Moreno Valley will be coming from somewhere. Right? They're  
 24 coming from somewhere. If Apple computer came from Cupertino California  
 25 here with 5000 jobs nobody is going to say well my God the poor people in  
 26 Cupertino California. We would like to have Apple here. We would like to have  
 27 some of the high paying jobs, and we'd sure love some of their employee's  
 28 maybe to become Moreno Valley residents because our City will grow. And the  
 29 question that will be is who are we growing the City with? Who will be our next  
 30 residents, our neighbors/friends in our community. And that's what we want to  
 31 do create opportunity that people do move here and perhaps move here because  
 32 those jobs are being created. I also want to say that it isn't all high-paying jobs,  
 33 anything. You know, it's like in army only generals, there's no such thing. Any  
 34 industry works by the same pattern, right? You say hospitals are high-paying  
 35 jobs, but if you look at the county hospital here, there's probably about 3000  
 36 employees with around 100 to 150 doctors. I know that because we're also in  
 37 the hospital business and about 400 to 500 nurses. So 2500 other people are  
 38 working what? There's a lot of janitorial. People are washing the rooms every  
 39 day. There's the laundry mat for, you know, 300 beds changing all the time.  
 40 There's the cafeteria. There's parking lot attendants, building management and  
 41 so forth. There's a lot of jobs all across the board, but we need an industry that  
 42 also is moving to be more and more technologically driven, which means the  
 43 skills required are ever rising. And, within five to seven years, the only way you'll  
 44 get a job in any of these buildings is some kind of advanced training, some kind  
 45 of college education. So I encourage everybody to do it, and to that end, we also  
 46 will be spending about \$7 million to make sure that happens while we're also

1 working with the community college, with UC Riverside, our own school system  
2 to create programs. We can use this money as the catalyst to prime the pump to  
3 make sure those opportunities will be there. The last thing about air, when you  
4 get up in the morning and you're driving in bumper-to-bumper to work for an  
5 hour, two hours, half an hour, you're sitting on the freeway drinking the  
6 concentrated orange juice of pollution. There's no question that you could spend  
7 however many time around our project and it's not nearly anything than when  
8 you might spend half an hour in bumper-to-bumper traffic on the freeway  
9 surrounded by cars and trucks, you know, 10 feet (5 feet if you don't tailgate)  
10 away from you. So we have to look at the alternative and the real world options.  
11 When I say the CEQA world is not always the real world, it's because it's not  
12 always designed to analyze and evaluate against other real world options. It  
13 simply narrows the analysis to what is the impact. I sometimes compare it to  
14 going to a doctor, right? Some people say, oh we to read all these pages. When  
15 you go to a doctor and he gives you a blood test or an MRI report you read and  
16 understand the entire blood chemistry. The doctor who reads the report is the  
17 expert. He evaluates it and says you know what you go take this vitamin and  
18 you'll be fine. The EIR is basically the diagnosis on a project. It doesn't evaluate  
19 anything else. And when you do this diagnosis it tells you, you know what, you  
20 lack a vitamin; that's our mitigation, and then you're okay. And we paid our  
21 taxpayer, as well as us, millions of dollars for professional staff like the doctor.  
22 When we go to the doctor, we don't tell him what the blood chemistry and what  
23 the blood test says, we ask the expert to tell us is it good or not? We paid  
24 millions of dollars, and you have a lot of good professionals in the City plus a lot  
25 of consultants that the City hired to evaluate this and to tell us whether it  
26 functions well and whether it meets the criteria and the standards. And I think we  
27 have, and I know that Staff has recommended that it is done well. My closing  
28 statement, and I'll be open to whatever process you want to do next, is that we  
29 feel very honored that we can be part of this community. When I say part of this  
30 community, some of you may have seen I'm around here. We have our offices  
31 here. We didn't rent some office space to be here a few years, we actually own  
32 the building. We are here. We employ people here. You see us in the  
33 community and perhaps this is some of the reason that some of this is going on  
34 because I am sometimes perhaps too accessible. Nobody knows who Mr.  
35 Prologis is. Nobody knows who Mr. First Industrial is. Nobody knows who Mr.  
36 Prudential is, but they seem to know who Mr. Highland Fairview is. So it's easy  
37 to, you know, humanize it and then make disparaging remarks about people they  
38 don't know. But to everybody that is sitting at home that may have made some  
39 remarks or another, I'm actually not upset. I actually have a lot of compassion for  
40 all these people because I tell you every time you get energized in life and the  
41 only time you feel good about yourself is when you go out there and you  
42 disparage somebody you don't know or you hate somebody you don't know  
43 something is going on with you and what we need to do is all have a little more  
44 compassion not hate, not innuendos, not fights, no wars. I come from a place....I  
45 come from a country, before I came to America, from Israel. I know what wars  
46 are. We're not about war. I hope this community can come together. I hope we

1 can all come together. We're serious people doing serious things. We've spent  
2 hundreds of millions of dollars in this community. We will continue to invest  
3 money in this community, and when everybody ran for the hills and there were  
4 5000 foreclosures in the City and nobody built anything, we actually invested  
5 money and built the Skechers building employing 1100 construction workers.  
6 And I thank the person here from the IBEW Union, the electricians union.  
7 They're a great union. They do phenomenal work. And they know that it's  
8 always been our intention to hire local, as local as we can get. If we can't find it  
9 in Moreno Valley then in Riverside. We're all in the same region. We did not all  
10 come here on the same ship, but we're all in the same boat. And we need to  
11 support every initiative that Riverside has, that JPA has, Perris has, all our  
12 surrounding communities because it's like a league. When the league does  
13 better, we all do better. But sometimes we want our team to win the Superbowl,  
14 not every season, not all time, but we need to win for Moreno Valley some of the  
15 time. And, while everybody else is doing it, it will have something that's for our  
16 benefit. Lastly, people talk about mixed use. In a project of this size, you have to  
17 look at the City as the project. And what is the mixed use? Mixed use is not to  
18 have 95% of it be all residential. Mixed use is not to have so much retail that we  
19 lose most of it. That's struggling. Mixed use is to have enough mix for jobs to  
20 support all these other things, so look at this project and the City worked with us  
21 and the reason you don't see a lot of mixed and other uses. I would of loved to  
22 have shopping centers inside the World Logistics Center to suck up all that  
23 business because all the employees are going to be there, but the City was right  
24 in saying we want to use this project to show up all our existing retail. Right?  
25 Before Big Boy's shut down at Stoneridge Center, they were hoping that this  
26 project would go ahead where employees and people, daytime population, if you  
27 work in Moreno Valley you'll probably eat lunch in Moreno Valley and you might  
28 shop and support some of our businesses in town which is what this is all about.  
29 This project is really not about the jobs at the World Logistics Center but really is  
30 the primer, right, for the economic pump that needs to get Moreno Valley going  
31 again. So I thank you and, if you have any questions, we'll be here if you need  
32 us.

33  
34

35 **COMMISSIONER DEBATE**

36

37 **CHAIR LOWELL** - Thank you very much. So what I would like to do is move on  
38 to our Commissioner Debate. We are being asked to do quite a monumental  
39 task. There are five different things that we are being asked to look at. The first  
40 thing we're being asked to do is to certify the EIR. The second thing we're being  
41 asked to do is approve the General Plan Amendment. The third is to approve the  
42 Change of Zone. The fourth is a Tentative Parcel Map and five is to approve the  
43 Development Agreement. Because each one of these items on the face is such  
44 a large object, I would like to have our Commissioner's discuss each one  
45 independently. So I'd like to discuss the EIR and keep our questions focused on  
46 the EIR. Then second we will move to the General Plan and keep our questions

1 focused on that. That way we can kind of make some headway because in the  
2 past we've kind of bounced back and forth, which on smaller projects is not too  
3 big of a deal so I would like to start talking about the EIR. Does anybody have  
4 any questions in the EIR?

5  
6 **PLANNING OFFICIAL RICK SANDZIMIER** - Mr. Chairman, may I interject just  
7 for a quick second? I just wanted to make a couple of points based on Highland  
8 Fairview's rebuttal there. Just for the record, one thing was the ownership of the  
9 land. I think Mr. Benzeevi may have just misstated a little bit. The 100%  
10 ownership is related to the Development Agreement. The property within the  
11 Development Agreement is 100% owned by Highland Fairview. Within the World  
12 Logistics Center Specific Plan, the majority of the land is owned by Highland  
13 Fairview but there are some parcels and you heard from some of the testimony  
14 this evening there are a few parcels that are not owned by Highland Fairview.  
15 It's about 2263 acres is what Highland Fairview owns and about 2610 acres is  
16 the total Specific Plan area. I just wanted to make that clear for the record. With  
17 regard to the CEQA evaluation, just to clarify the statement that the CEQA  
18 document only looks at the project impacts, well that's true but it also looks at the  
19 background environment. It looks at the cumulative environment. It looks at the  
20 projects impact itself, and it also does assume the world around you both in the  
21 short-term and the long-term, so the CEQA document does do more than just  
22 maybe just a limited focus which I took from Mr. Benzeevi's comments. With  
23 regard to Mr. Benzeevi had indicated that there were few exhibits that he might  
24 be able to share with the Commission for the record with regard to jobs. If that's  
25 an important exhibit, it should be shared. Or, if the Applicant wants to share just  
26 so that it's clear and on the record, this would be an opportunity to do it and you  
27 can ask for those to be shown as part of your deliberation. But, since they  
28 weren't shown, they were only referred to. You may want to consider giving him  
29 an opportunity to show those, and I believe that we did load that up with our  
30 media staff in case you want to see that at some point during the deliberations.

31  
32 **CHAIR LOWELL** - Do you know if there's a lot of slides or?

33  
34 **PLANNING OFFICIAL RICK SANDZIMIER** - I don't know. I just, because you  
35 mentioned it, I just want to make sure that for the record if he wants to interject  
36 those into the record for any particular reason. If it's not that important to him, I  
37 just wanted to make it clear that this would've been the opportunity, or is the  
38 opportunity, to do that. Just with regard to the size of the project, with some  
39 reference there, the City is about 52 square miles. His project area is a little  
40 more than 3800 acres. The total acreage for the City is about 33,000 acres, so  
41 the project area represents about 10% of the City. So it is a large project, but it is  
42 only about 10% of the land mass in the City. So those are just a few things I  
43 wanted to clarify.

44  
45 **CHAIR LOWELL** - Okay, so do we want to move onto Commission Debates or  
46 do we have any questions of Staff for the Applicant in the meantime?

1  
2 **COMMISSIONER VAN NATTA** - I have a question/comment before we even get  
3 into Commissioner Debate.

4  
5 **CHAIR LOWELL** - Okay.

6  
7 **COMMISSIONER VAN NATTA** - I would like to have an opportunity to ask a  
8 question or two of the Applicant regarding his response to the Public Comments,  
9 especially since quite a bit of the public is still here and maybe we can get a  
10 couple of those things out in the open. But, as far as the Commissioner Debate  
11 goes, I'm sorry it's 10:00 at night. I've been up since 5:00 this morning. I would  
12 prefer to continue the debate to another day. I would like to have some time to  
13 go over the comments that were brought tonight, the additional paperwork that  
14 we were given, the additional comments that we were given, and look at all of it  
15 in light of what we've done today and come back a little bit more refreshed and  
16 ready to go through the points and debate. I do not feel ready personally to go  
17 into Commissioner Debate tonight.

18  
19 **CHAIR LOWELL** - Okay. Commissioner Barnes.

20  
21 **COMMISSIONER BARNES** - A couple of things. First of all, I want to thank the  
22 public for the quality and the content of almost all of the information, questions,  
23 and comments that they've provided. It's generated pages and pages of notes  
24 and that's going to generate lots of questions, but I do appreciate that from the  
25 public. Also I agree with Commissioner Van Natta that it's late. I'd prefer to go  
26 through this information, the new information that we were given as she stated,  
27 and start fresh at the next meeting. I think the quality of the discussion will be  
28 better. That's my opinion.

29  
30 **CHAIR LOWELL** - Anybody else have any comments on any of the meeting?  
31 You're up.

32  
33 **VICE CHAIR SIMS** - Yeah I want to echo what Commissioner Barnes said. I  
34 think this is a huge decision for the City and for the region and the quality of the  
35 comments on both the for's and against the project, it's appreciated that people  
36 take the time and effort to come out and voice their opinion. I think you just dig  
37 into this stuff and there's just a lot of information and it's.....I too think we need  
38 time to go back and review what we heard tonight, soak it up a little bit with what  
39 we've been reviewing already for some period of time and then come back at this  
40 fresh. I really do think that's a smart choice.

41  
42 **CHAIR LOWELL** - Okay. Before I ask for a motion, I'd like to ask the Applicant  
43 if they would like to provide us with the slides that they mentioned earlier.

44  
45 **APPLICANT IDDO BENZEEVI** - I'm not sure if you want to see them now or if  
46 you want to see them fresh when you come again. I just want to ask that, if you

1 do continue it, if you can continue to a very close date. There's a lot of people  
2 here that are flying in from all over and this is the second time they've flown in  
3 and I hope that they can stay around for a few days, so we can have that next  
4 meeting in very short order. I think last time you even debated whether or not  
5 you wanted to do it on Saturday but any day very close to it will be highly  
6 appreciated, especially the tremendous stream that's here that's really flown in  
7 from everywhere; a tremendous effort to get here and be here with us.

8  
9 **CHAIR LOWELL** - I have spoken with Staff in the past, and depending on how  
10 the rest of the Commission feels, we were thinking about this upcoming Tuesday.

11  
12 **APPLICANT IDDO BENZEEVI** - I mean it's obviously your decision, but I'm  
13 hoping....

14  
15 **CHAIR LOWELL** - With that said, I don't know if you want to present the slides  
16 tonight or if you just want to submit them to the public record and we can look at  
17 them on our own and you can talk about them next time.

18  
19 **APPLICANT IDDO BENZEEVI** - It's a bunch of slides. Do you want me to go  
20 through them because it will take time or do you want me to do that when you  
21 come back in the next meeting?

22  
23 **CHAIR LOWELL** - If you can just supply them to us....

24  
25 **APPLICANT IDDO BENZEEVI** - Yeah.

26  
27 **CHAIR LOWELL** - We can look at them on our own and you can talk about it  
28 too.

29  
30 **APPLICANT IDDO BENZEEVI** - I think they're on your City computer if I'm not  
31 mistaken.

32  
33 **CHAIR LOWELL** - Okay.

34  
35 **APPLICANT IDDO BENZEEVI** - The record, it's on your computer, I'm not sure.

36  
37 **CHAIR LOWELL** - We can coordinate that with Staff I guess.

38  
39 **PLANNING OFFICIAL RICK SANDZIMIER** - If you provide them as requested  
40 by the Chairman, we can make them part of the official record and since it  
41 sounds like the Commission is going to be continuing the item that material will  
42 be available to the Commission to consider. I believe the reference you were  
43 making was to maybe some slides related to jobs.

44  
45 **APPLICANT IDDO BENZEEVI** - There's several slides that relate to a lot of  
46 different aspects in preparation to the questions that may be asked so there is a

1 whole slew of slides some of which relate to jobs, but there are slides there on  
2 other subjects as well.

3  
4 **CHAIR LOWELL** - Okay.

5  
6 **PLANNING OFFICIAL RICK SANDZIMIER** - If the slides are duplicates of what  
7 was already shown in your original presentation, then I don't think it's necessary.  
8 But, if it's additional information that hasn't been seen in the previous  
9 presentation, then that's what we need.

10  
11 **APPLICANT IDDO BENZEEVI** - Yeah, I think most of them are new. There  
12 may be some that are derivatives of slides we may have shown, but I think  
13 substantially most of them will be new slides.

14  
15 **CHAIR LOWELL** - That presentation, how long would you estimate it would  
16 take?

17  
18 **APPLICANT IDDO BENZEEVI** - You know, if you want to take five minutes we  
19 can just go through the slides and you can kind of see. I don't think it will take  
20 too long. Some of it is just an anticipation of some of the issues that might be  
21 raised and so we have them as an exhibit that might help explain some things.  
22 But, at this point, there just a group of slides that represent different aspects of  
23 the project. They're not a presentation in and of themselves.

24  
25 **CHAIR LOWELL** - I'm okay with going a couple more hours tonight, but I'm kind  
26 of feeling that the rest of Staff.....

27  
28 **COMMISSIONER VAN NATTA** - I did have....

29  
30 **CHAIR LOWELL** - So we have Mr. Barnes up next followed by Commissioner  
31 Van Natta.

32  
33 **COMMISSIONER BARNES** - I appreciate the Applicant's desire to get this over  
34 quickly. I think we all have the same desire. I think Tuesday is a little premature  
35 given that we had 70 speakers.

36  
37 **COMMISSIONER VAN NATTA** - That will give us a solid week to look at  
38 everything.

39  
40 **COMMISSIONER BARNES** - Okay.

41  
42 **CHAIR LOWELL** - Okay.

43  
44 **COMMISSIONER BARNES** - Just tossing it out there.  
45

1 **COMMISSIONER VAN NATTA** - I do have other things I do on Tuesday's, but I  
2 can reschedule that. That's not a problem.

3  
4 **CHAIR LOWELL** - Good if we can have the Applicant give us his few slides and  
5 then we will discuss rescheduling or continuing the meeting.

6  
7 **COMMISSIONER VAN NATTA** - And I did have a question for the Applicant  
8 based on his response to the.....

9  
10 **CHAIR LOWELL** - Well then I guess before we get to that, by all means  
11 Commissioner Van Natta.

12  
13 **COMMISSIONER VAN NATTA** - Several people had mentioned the additional  
14 use that Cactus Avenue might get, and could you respond to that because there  
15 were several people who talked about that. What's going to happen to Cactus  
16 Avenue?

17  
18 **APPLICANT IDDO BENZEEVI** - Cactus Avenue will not get anymore traffic than  
19 it's designed for. You have to remember, Cactus Avenue is for of our General  
20 Plan of streets and roads. It's not fully built out. At the very East End, I think it  
21 might be two lanes or a lane plus a turn lane. But ultimately it's designed, I think,  
22 to a four-lane road that is designed to carry a certain amount of load. In fact, it  
23 was designed anticipated to take Moreno Highlands, which has 210,000 trips a  
24 day; a lot more than the World Logistics. Plus, it's not designed....another thing  
25 that I heard is the trucks will go through there. It is not a truck route and none of  
26 the World Logistics Center trucks will go on Cactus.

27  
28 **COMMISSIONER VAN NATTA** - That's what I wanting to hear.

29  
30 **CHAIR LOWELL** - And I do know from previous discussions about truck routes  
31 that you can make a truck route all day long and say this is the only direction the  
32 trucks can go, but it's really up to the individual drivers. And it's more of an  
33 enforcement issue than a designation issue. So if Redlands Boulevard or Gilman  
34 Springs is a truck route and they decide we're going to go down Indiana, we're  
35 going to go down La Salle or Hemlock, well if it's not a truck route that's an  
36 enforcement issue and there's nothing we can do about it. It's just like a speed  
37 limit. You can set a speed limit at 65, but I don't think anybody in this room  
38 actually drives 65 when the freeway is open. So it's an enforcement issue, not  
39 necessarily an issue that we have to deal with here.

40  
41 **APPLICANT IDDO BENZEEVI** - Yeah. To that end, we also by design, the way  
42 they transform the World Logistics Center is into Cactus that extension will make  
43 it very difficult for trucks to even negotiate and it will become apparent to truck  
44 drivers this is not a way to go. So you're right, but at the end of the day, it's  
45 enforcement. You can have all the laws in the world to drive 55 miles an hour,  
46 and if somebody wants to speed he can do it enough times before they'll give



1 you a ticket or revoke your license but you do it at your own peril. I'm not going  
2 in any particular order. Like I said, these are these arbitrary slides are basically  
3 some of the things, but I will show you quickly and you can decide if you want to  
4 ask questions. We talked about the jobs as a wide variety of jobs that are  
5 involving logistics, and there is a question of always where do these numbers  
6 come from and how were they developed in the EIR. So the source from the job  
7 data it comes from the Bureau of Labor Statistics, Employment Development  
8 Department of the State of California, US Census Bureau, Department of Labor,  
9 the State of California Department of Finance for the State of California, and  
10 SCAG. So these are the sources for the data that is being used by the experts to  
11 generate the employment and the job opportunities. Again it's not generated by  
12 us, but I think the experts are here and I will perhaps ask you to refer to them for  
13 any direct questions about how that gets evaluated. But these are the sources of  
14 where the data comes from. It's not made up by Highland Fairview. The jobs, as  
15 indicated in the EIR, are an estimated number of jobs. And you can see there  
16 are different kinds of jobs, direct jobs within the City, within the County, and there  
17 are different types of, you know, direct/indirect and so forth. But essentially it  
18 settles around 20,000 jobs, and this has been collaborated by several different  
19 independent economics that the City at different times hired to evaluate this type  
20 of project. One was Beacon Economics and they also came in with a range  
21 between a very high....

22  
23 **CHAIR LOWELL** - Just real quick, let me interject. On the IT side of things,  
24 those slides are not coming up on our monitors, which I believe means it's not  
25 going out on the telecast. We just get a slide that says Staff Report. Oh, it just  
26 popped up. Thank you. By all means, continue. Thank you.

27  
28 **APPLICANT IDDO BENZEEVI** - And so again people talk about more  
29 automation, more technology and less and so they did evaluation what they call  
30 high-tech and traditional logistics, which are planned and so as you can see with  
31 the high tech/highly automated is about 16,000 jobs and with conventional type is  
32 almost 10,000 jobs more; 25,000 jobs and again the set amount on the plan  
33 because nothing will be 100% one way or 100% the other way. There will be  
34 users that have a variety and so the estimated average is 20,000 so when  
35 people...yes?

36  
37 **CHAIR LOWELL** - I'll let you finish your sentence.

38  
39 **APPLICANT IDDO BENZEEVI** - So when people say is it exactly 20,000 jobs, it  
40 is our estimated number of jobs and the experts can explain how that comes  
41 about but these are estimated and there is a range.

42  
43 **CHAIR LOWELL** - One of the speakers tonight suggested that the existing  
44 General Plan suggests that 21,000 jobs would be prepared or be available  
45 should the current area be built out to the existing zoning. Have you analyzed

1 what the proposed job projection would be or job creation would be if the existing  
2 General Plan was built out compared to what Highland Fairview is proposing?

3  
4 **APPLICANT IDDO BENZEEVI** - Yes. Like I said, and perhaps these are not the  
5 most choice of words, but it's a little bit of a fantasy there is 5 million square feet  
6 of office as part of the land use generating those kinds of jobs. I don't think we  
7 can fill up 5 million square feet of jobs of office space in Moreno Valley in a long,  
8 long, long time. I don't think it's realistic, and I'm not even sure the projection of  
9 when you can get that much office space in Moreno Valley. It's so far off that I'm  
10 not sure what the jobs will be like that far down the road. You know, you may  
11 work from your home or you work for....you know, office space may not be the  
12 type of work place we go to that far down the road but office has been  
13 challenging entirely in the Inland Empire. Some of you may go the Orange  
14 County. I remember on the 91 there was a big project midway by Corona just by  
15 the 215 sat empty for a long time. It's very difficult to fill up office space even  
16 closer to Orange County, so those job generation numbers it's easy to create a  
17 zoning that has intensity of use. But it has to be responsive to the real world, and  
18 I don't think that's responsive to the real world.

19  
20 **CHAIR LOWELL** - Yeah but you're focusing only on the office space. What  
21 about the retail, the commercial, the restaurant, all the other smaller uses that  
22 would still be generating jobs?

23  
24 **APPLICANT IDDO BENZEEVI** - Right so, as you know, we have maybe over  
25 capacity in retail in Moreno Valley. I don't know of one literally outside of big box  
26 or like a Costco. I don't know of any size shopping centers that are doing  
27 extremely well. Most of them have vacancies. They're struggling, they're hard.  
28 You know, stores open and close even national franchises like Big Boy's,  
29 OfficeMax and others. We don't have a lack of retail in Moreno Valley. What we  
30 lack is daytime population to support this retail, and we do have an exhibit  
31 perhaps you look where originally when we worked with the City Planning  
32 Department they directed through Eucalyptus a direct connection from the World  
33 Logistics Center area to the existing retail areas of the other malls; the Target,  
34 the Walmart centers and be able to show those businesses up with all the  
35 daytime population that would be basically the employment at the World Logistics  
36 Center. So it creates this energy. If you've been to Irvine, we have an office in  
37 Orange County in Irvine at Spectrum. If you'll notice, the Irvine Company did the  
38 same. They aggregated all the retail in one spot and basically funnel everybody  
39 to the Spectrum Shopping Center. There's a few support, you know, kiosk type  
40 small convenient centers. But all the retail is congregated in one area and the  
41 City Plan was essentially trying to emulate that same thing that does work. In  
42 any event, the Beacon Economics came out. And there is a whole report that  
43 one can look at, but they looked at significant positive impacts to the community  
44 but not just the community for Riverside County as a whole but the surrounding  
45 communities. And it was also corroborated by one more study that was  
46 commissioned from John Husing who is generally known to be an expert on the

1 Inland Empire economy for the last 30 some years. And without spending too  
2 much time on this report, he also came up with a general independently those  
3 three people were totally independent at three different times and also came up  
4 with a number of 20,000. Again, it's an estimate. It can have a range. And it  
5 talks about why it is right there because so much of our logistics is done and sell  
6 off one building here and one off building there. It is a master plan and  
7 understand that's, for example, our project has unified standards for how it  
8 maximizes the benefits and minimizes the impact. And somebody said that  
9 somebody doesn't talk about the impacts. We have literally 10,000 pages of a  
10 report that analyzes every impact to its minutia. So all of that is there. It has  
11 been there for two years and four months in the draft EIR and in the final EIR as  
12 well. And the kind of job categories this is a sum from 2015 supply chain and  
13 logistics. You can see there is a lot of different job categories that are within the  
14 logistics industry. I won't spend too much time on this today, but it's all available.  
15 This was different again. I said it's an arbitrary collection of slides, but people  
16 sometimes wait for manufacturing jobs. And I hear some people say well why  
17 can't we have manufacturing? Again it's not the real reality of the world here,  
18 especially in California. You can see this is a graph and California manufacturing  
19 employment was down tremendously. Manufacturing is not what our strong point  
20 is in California, the traditional manufacturing. Logistics is as you see. California,  
21 this is a graph indicating where literally we're very last in all the states in  
22 manufacturing. Manufacturing is not really coming back to California, so if we're  
23 waiting for that, we may be waiting for a long time. It maybe is not coming back.  
24 It's really transforming into logistics, which in a sense is the new manufacturing.  
25 It's how we put products together and how we do things, and you can see that is  
26 the national statistics on where we are. We're literally 50 out of 50 states. Again  
27 you can see it's not even getting manufacturing jobs. You can see by 2011 we're  
28 at 0.5% gain. We're just not even really on the map in that area. This is not very  
29 clear, but the graph on the right (the pie chart) shows the California percentage  
30 of total US manufacturing jobs is 1.1%. We're really not what people think. If  
31 we're waiting for that, this is not our strong point here especially in Southern  
32 California. This is not the employment that will be coming to our region, and you  
33 can see the decline. It's not that we lost jobs, it's just that manufacturing jobs are  
34 being replaced by what is the new manufacturing. The number one growth in  
35 any sector is logistics in our region. We talked about providing \$7 million for our  
36 Development Agreement for workforce training with the City and we'll be deciding  
37 over time how to implement those programs. And it's very important because we  
38 need to do it through all ages because you don't learn anything overnight, and  
39 this is the world that's coming and we need to be prepared with our next  
40 generation of kids also that will come up with the new tools. It's like when I grew  
41 up I was still trained, believe it or not, with slide rulers. And today nobody is  
42 trained in slide rulers. You know, you have calculators and computers. So  
43 things change and all the knowledge you had about operating a slide ruler is  
44 meaning less when what you have to be trained is maybe on a computer,  
45 operating a computer, or programming a computer so this is the same thing that  
46 is happening to us here. So we'll be developing those programs, and we need to

1 have some heros in robotics and technology instead of just in sports. And  
2 because the jobs are changing, right, we're moving technology not so much labor  
3 as it used to be. And, I think we said it before, 80% over the next decade 80% of  
4 all jobs will require technical skills. And so, if we don't get prepared for it, it  
5 doesn't matter what we bring in town. Industry is moving forward and we need to  
6 be ready. So I won't spend too much time on the statistics, but those types of  
7 jobs (the kinds of jobs we'll find in those buildings) are growing at 300% faster  
8 than all the rest of the jobs. And you can see that total occupation is actually  
9 going below the redlines. The STEM jobs are going way above and this is kind  
10 of what this industry needs. We also have a local hiring program, and I  
11 elaborated on it last time. I may not have to repeat it now, but we will create a  
12 mechanism whereby Moreno Valley residents will start getting the training since  
13 we will know who the tenants are/who the users of the World Logistics Center will  
14 be in advance of what the general public may know. We may be able to provide  
15 an opportunity for Moreno Valley residents to apply first and have first dibs at  
16 those job opportunities if they're qualified. And the jobs are very technical  
17 anywhere from the installation of those systems to managing them. This is, I  
18 don't know if you're interested, it's a little video that kind of shows what's  
19 happening in the industry. It's about three minutes. If you want to put it on the  
20 record, I can try to run it.

21  
22 **CHAIR LOWELL** - I guess so. This is a lot of stuff that was in your previous  
23 presentation.

24  
25 **APPLICANT IDDO BENZEEVI** - This one wasn't.

26  
27 **CHAIR LOWELL** - This is a new video?

28  
29 **APPLICANT IDDO BENZEEVI** - It's another slide, yeah. It's....

30  
31 **CHAIR LOWELL** - Go for it.

32  
33 **APPLICANT IDDO BENZEEVI** - Does somebody have a way to start? Let's  
34 see. How do you....I'm not sure how this computer works to push play.

35  
36 **CHAIR LOWELL** - There we go.

37  
38 **APPLICANT IDDO BENZEEVI** - No it's, oh yeah there we go. Anybody has  
39 volume? No sound to this?

40  
41 **CHAIR LOWELL** - Guess not.

42  
43 **APPLICANT IDDO BENZEEVI** - It just talks about the different jobs and  
44 opportunities in this very fast moving field and what's happening in logistics  
45 today. I guess its back to the silent era. We're talking about advanced  
46 technology and we're watching silent movies now. It's talks about all the types of

1 job opportunities and what's in logistics. I don't know if you want to go through it  
2 since it's silent, but it talks about the systems that it takes to run those  
3 operations. Somebody killed it? Okay.

4  
5 **PLANNING OFFICIAL RICK SANDZIMIER** - They were trying to get the audio  
6 so.

7  
8 **APPLICANT IDDO BENZEEVI** - Maybe we can go back to it. Again, I won't  
9 spend time on this, but when this project started back in 2011, the City of  
10 Economic Development looked for opportunities and hired consultants and  
11 developed a plan. The City Council, I think four Councils ago, adopted it. It's still  
12 our Economic Development Policy. It calls for logistics on the East End east of  
13 Redlands Boulevard, which culminated and the City recognized that they didn't  
14 have enough land allocated to jobs meaning industrial producing land uses and  
15 we need to expand that. They looked at how much we need to expand to get to  
16 approximately one job per household and that's how the acreage of the World  
17 Logistics Center came about. And Mr. Sandzimier corrected me. Yes we own  
18 100% of what Highland Fairview owns, but as I mentioned earlier the City  
19 required a larger area be planned, including other properties that we don't own.  
20 And that's because they wanted to be sure there was enough land, land in  
21 excess of what Highland Fairview has, to make sure we meet a closer job-to-  
22 housing balance. That's why there's other properties in that plan that doesn't  
23 belong to us. That's the letter that the City asked to us to do that planning. This  
24 is the boundary, maybe this will clarify it, of the entirety of the project area. This  
25 is the area that is called the World Logistics Center that's in blue, and this is the  
26 Highland Fairview ownership. Maybe that sort of clarifies it. So the blue is the  
27 World Logistics Center Specific Plan. The grayed out area is actually ownership  
28 that Highland Fairview owns. We actually own what is grayed out. This is the  
29 basic Circulation Plan that will be around the project. This is the justification of  
30 what will happen. We have the lowest job-to-housing 0.47 today. We only have  
31 9% of our land allocated to job producing land uses where you can see other  
32 cities are way above. That's why we need a lot more fast tracking because we're  
33 way behind. The World Logistics Center, which includes properties not just ours,  
34 will bring us close to the 15% mark which is the threshold of where we become  
35 sustainable. And Moreno Valley is the second largest city and only has 2.7%  
36 of the market. All the other cities that seem to voice concern here have three times  
37 as much and continue to build, but they seem to be concerned about Moreno  
38 Valley having a little more. And they all have about three times as much. We  
39 talked about it before. There's only 94 acres left. People say why should it be  
40 over on the 215 corridor? There's only 94 acres left, not on only one parcel, a  
41 variety of parcels. None of them are very conducive to these larger buildings but  
42 some people talk about maybe doing smaller industries and smaller buildings.  
43 That might be an area where that can be done. And so our biggest  
44 underestimated risk is not having enough land for job producing land uses. We  
45 talked about the fact that we needed it in Moreno Valley for the benefit of Moreno  
46 Valley. Just like the west side of Bay Street, all the benefit and the tax revenue

1 goes to Riverside. It may be convenient for Moreno Valley adjacent to Moreno  
2 Valley, but it's not in Moreno Valley for the benefit of Moreno Valley. The same  
3 thing with the jobs across the street. The west side of 215 there in Riverside in  
4 the JPA and in Perris but they're not in Moreno Valley for the benefit of Moreno  
5 Valley. So we need to do that. And the impacts some other cities are concerned  
6 about the traffic Moreno Valley may send down there all literally all the trucks that  
7 we see on the 215 or really the 60 don't belong to Moreno Valley.

8  
9 **CHAIR LOWELL** - We don't really want to cut you off, but it's kind of a rehash of  
10 the same presentation you gave us last time.

11  
12 **APPLICANT IDDO BENZEEVI** - Yeah some of it is, and so let me go through  
13 the places that we have not touched on if you'd like to see it. Again, we have  
14 2010 EPA standards. People talk about how you measure it to get how do we  
15 know? This we didn't talk about last time. There is mechanism and technology  
16 today, which basically can determine what truck is and it goes into a big log so  
17 you know what is the 2010 so the enforcement becomes easier. The HEI Report  
18 we heard a lot about it but it's done. This is who produced the HEI Report. The  
19 people seem to dismiss the Federal EPA, some of the big environmental groups  
20 like the NRDC, Department of Energy, Air Resource Board and so forth. On the  
21 air quality, we talked about it so I will skip forward. One thing that might be  
22 interesting, even if you take away this HEI Report that says there is no cancer  
23 risk or precancer and you apply what everybody seems to want to apply including  
24 AQMD, we don't impact any area outside of the project boundary. So, if you look  
25 at the HEI, there's basically no impact whatsoever. And, even if you use the  
26 accepted methodology that everybody says to use which is part of our EIR, you  
27 can see that there is no property impacted outside of the World Logistics Center  
28 in any event. So it's kind of mute, but it's the latest available studies and it's  
29 incorporated in the EIR. Fish and Game buffer, we talked about it. They have  
30 that property. We will also build a buffer along Redlands Boulevard.

31  
32 **CHAIR LOWELL** - I think we're all pretty familiar with the presentation.

33  
34 **APPLICANT IDDO BENZEEVI** - Okay we'll go past that.

35  
36 **CHAIR LOWELL** - Unless it's something tremendously new, I think we're good.

37  
38 **APPLICANT IDDO BENZEEVI** - This is, by the way, the idea of connecting all  
39 the retail to the existing retail through Cactus Boulevard and that's why they  
40 limited the amount of retail within the project. This is the buffer, and we talked  
41 about this. I'll skip through. By the way, just in terms of standards whether it's  
42 okay, this is Proctor & Gamble. It was recently approved and recently built, and  
43 you can see the housing across the street. We have way bigger buffers, berms  
44 and so forth so the standard applied everywhere else in the City we exceeded by  
45 a lot. This is the buffer that will be there, and I won't spend time around there. I  
46 will skip through some of these slides that I think you've seen. Oh, this is maybe

1 important to understand. There's 4220 trucks, not 14,000. There's 1500 medium  
2 size. There's 1100, almost 1200 of the UPS/Fed-Ex type and 27,000 cars, which  
3 correlate closely to the amount of employment that people will be visiting the site  
4 too. But that's essentially what the actual trucks are. There are 4200, not  
5 14,000. And there are 70,000 trips generated by the project. The heavy trucks  
6 are only 12%. This is not the majority of the traffic on the road. I'll skip that  
7 because we all know. This is the Moreno Highlands somebody else for  
8 comparison. It's 210,000 compared to 70. I won't spend...this is where it's off-  
9 peak. The project actually operates off-peak, so it's very different. This is the  
10 truck route designation. As you can see, what's in blue, will be truck routes. And  
11 you can see on Cactus there is no truck route on Cactus and also Alessandro to  
12 Redlands Boulevard doesn't have a truck route designation. So, if somebody will  
13 go on it, it will be breaking the City's standard. I won't spend time on this, but this  
14 actually maybe you'd like to see it if we can run it. But when you look at the  
15 traffic numbers, we actually animated the actual traffic analysis so you see it in  
16 3D. So those scary numbers you see on the paper, this is animated. I don't  
17 know if it will run, maybe we will do it next time.

18  
19 **CHAIR LOWELL** - I think we saw it last time, didn't we?  
20

21 **APPLICANT IDDO BENZEEVI** - Okay that wasn't but anyways okay. So thank  
22 you for the reminder. I appreciate it. This is just development standard.  
23 Anyways, this is one thing we haven't discussed. It's not part of the EIR, but the  
24 amount of energy we have the Moreno Valley utility and it estimates that the  
25 project will generate around an \$11 million profit to the utility. That is very  
26 conservative. It's probably going to be closer to \$15 million or \$18 million when  
27 you actually do the analysis so that's a big revenue source as a result of the  
28 project for the City as well.  
29

30 **CHAIR LOWELL** - In one of your presentations you said that the electric  
31 demand far exceeded the available electricity and you also stated that Highland  
32 Fairview would be responsible for building all of the support infrastructure for the  
33 facility.  
34

35 **APPLICANT IDDO BENZEEVI** - Right.  
36

37 **CHAIR LOWELL** - So would you actually be building the electric facility?  
38

39 **APPLICANT IDDO BENZEEVI** - Yeah and I'll show you, so....  
40

41 **CHAIR LOWELL** - But typically electric utilities like to build their own.  
42

43 **APPLICANT IDDO BENZEEVI** - We would but I don't know if Moreno Valley will  
44 have the resources to actually provide that. We'll build the pizza store so they  
45 can sell pizza. We may have to build them the pizza store so they can sell us  
46 pizza, so hopefully....so we also have a natural gas, you know, CNG energy on

1 site to support it. Somebody asked, I think you did last time about the truck  
2 parking where does that happen and so those blue areas are basically the way  
3 we account for a lot of it so they don't have to go to any side streets. If you blow  
4 up those, these are parking areas. It may be a little bit of schematic, engineers  
5 understand it better, but you can see how the pockets are and we have literally in  
6 those pockets ability to park several trucks while they're waiting so they're not  
7 going out to surrounding areas. So, within the project, we will accommodate all  
8 our traffic. Their sort of like almost like the bus turnout where you get off traffic  
9 but you can wait there.

10  
11 **COMMISSIONER VAN NATTA** - While you're there. Back up to that drawing  
12 one back. Okay there. No.

13  
14 **APPLICANT IDDO BENZEEVI** - This one?

15  
16 **COMMISSIONER VAN NATTA** - That one. Okay residential traffic/car vehicles,  
17 if I'm going from the corner of Moreno Beach and Cactus and I want to get to  
18 Gilman Springs Road, will I be able to enter there and go across?

19  
20 **APPLICANT IDDO BENZEEVI** - Yeah.

21  
22 **COMMISSIONER VAN NATTA** - So there is nothing preventing traffic from  
23 going across and getting to Gilman Springs Road?

24  
25 **APPLICANT IDDO BENZEEVI** - Not at all. Not at all.

26  
27 **COMMISSIONER VAN NATTA** - But Alessandro would be stopping there, right?

28  
29 **APPLICANT IDDO BENZEEVI** - Well, if you can see, there is a little gap. I can't  
30 point to it from here.

31  
32 **COMMISSIONER VAN NATTA** - I can see it.

33  
34 **APPLICANT IDDO BENZEEVI** - The issue with Alessandro is, as you're going  
35 through the town, it's almost not yet a highway and the homes, and I call it the  
36 town of Moreno I know it's not a town but the area of Moreno, those houses face  
37 Alessandro. And, if you build it to its ultimate, it literally comes to within a few  
38 feet of the front doors or even worse, if you have to back up out of the garage,  
39 you'd have to be backing out into a major almost a highway. So with the City  
40 Planning we thought the best solution would be to keep the old alignment.  
41 Somebody talked about historical alignment. All the historical alignment of  
42 Alessandro Boulevard stays, except it will not allow heavy traffic to go through  
43 the town of Moreno. We will keep it a residential nature, so it won't have that.  
44 But all the other traffic, which Cactus Boulevard for example has no homes  
45 facing Cactus. You can from there literally to the 215 with no houses facing  
46 Cactus. So it's actually designed better for that. In terms of demand, the people



1 say there's projected 413 million square feet of demand for logistics so certainly  
2 we're very responsive to the market and opportunities that will come our way. I  
3 won't spend too much time on that. The other issue was the lowering of property  
4 values. It's actually exactly the opposite that happens. So we did a study of the  
5 City area and in blue is around Skechers and the area in red is Sunnymead  
6 Ranch and that area. We looked at home values before Skechers through today  
7 and so we should see a reduction in home values of homes close to Skechers  
8 and an increase in home value of areas away from Skechers. But actually the  
9 opposite happens. The blue line is the average home price around Skechers,  
10 which rose 26%, and literally over by northwest on the freeway Sunnymead  
11 Ranch all this area rose by 13% over the same period of time from 2011 to 2015.  
12 So the notion that jobs and industry reduces property values is exactly opposite  
13 to what really happens in the real world, and those in real estate know that very  
14 well. But that's almost counterintuitive to some people. They think that it  
15 reduces the property value. In fact, if you bought a home next to Skechers, you  
16 would have the highest appreciation in the City today. Again some people  
17 anticipated and they're already selling those little parcels that you talk about and  
18 somebody is already selling that little piece for \$6.5 million. I think that is worth a  
19 lot more than some of those old houses there, so I think the City did a big service  
20 for some of those property owners increasing their property values. There's  
21 other property in the City that's not even close, but we noticed that people are  
22 already talking about trying to sell their properties and saying a lot is new in  
23 commercial development (schools/hospitals) are coming in and says about 2.5  
24 miles east of the site of the World Logistics Center development under EIR  
25 review proposed Specific Plan must apply 41 million square feet and they're  
26 selling property based on so it's actually stimulating some new activity in the City  
27 as the result of expecting this business opportunity. Some of the homes that  
28 remain there you can see they're actually very far away from where buildings will  
29 be so those homes are located either close to Theodore and really far away from  
30 where the blue arrows are where development will occur. It's about 1300 feet  
31 one way, and there's one that's actually a mobile home that's abandoned today  
32 but nonetheless it's a residential unit. It's abandoned but it's about 155 feet away  
33 so it's even further than the average setback we have for new buildings in the  
34 City. This is going back to infrastructure and phasing. This is basically, as you  
35 know, we brought in the infrastructure to do Skechers. And, as a result, the blue  
36 is the electric and the red is the other utilities. We actually enabled other areas  
37 to open up like the ALDI facility uses our infrastructure and the phasing will  
38 essentially the first will come out from the freeway at Theodore so the first phase  
39 this is basically where it is today right where Skechers is. So the first phase will  
40 build this leg and open up and the berm along Redlands. So the first phase will  
41 be that leg of Theodore and the berm along Redlands that comes down in the  
42 first phase and opens up this area. The second phase of the utility comes out  
43 there and opens up these areas. The third leg comes. The fourth leg comes and  
44 then eventually the project gets built out. So we're starting where utilities are and  
45 we will progress in a logical fashion down through the development of the site.  
46 But the first phase is that leg through Theodore and the berm on Redlands.

1  
2 **COMMISSIONER VAN NATTA** - And where is that property the gentleman was  
3 speaking about that is being split in half?  
4

5 **APPLICANT IDDO BENZEEVI** - Do you see where Skechers and where  
6 Eucalyptus would be? Do you see where Skechers is? There's Eucalyptus.  
7 Eucalyptus goes across. Now that's not our property. This is the alignment.  
8 That street, Eucalyptus Street, goes through in the middle of this property. Now I  
9 think we can meet with Staff and that road can be realigned. There could be a lot  
10 of things, but this is not a land area we own. This is not Highland Fairview. It's  
11 going to be between the City and that property owner and how they want to align  
12 Eucalyptus. But remember, in the Specific Plan, this is not an engineered road  
13 yet. It's basically talking about the general connections and when the specific  
14 projects come in they will be able to locate the street, which is more conducive to  
15 the development of that site depending on what proposal they will have. We  
16 have no objection to however they want to run the street area. Whatever the City  
17 will desire to do, that is fine.  
18

19 **COMMISSIONER VAN NATTA** - And the person who said there house is 75  
20 feet from a 60-foot warehouse building?  
21

22 **APPLICANT IDDO BENZEEVI** - I don't know where that is exactly, but if they  
23 point it out we could look at it. I just wanted to show when people think there is  
24 residential within industrial sometimes you have a few properties that are not part  
25 of a Specific Plan. And if you look at, this is where the Proctor & Gamble building  
26 is located, and Iris, you can see those red blocks these are where existing homes  
27 are today. See these homes? So all of this will be residential so the notion that  
28 there is some residential properties that eventually would be at some point  
29 nonconforming use then eventually get trapped into it is not a new condition. In  
30 fact, the existing industrial area has, as you can see, a lot more existing homes  
31 than the World Logistics Center site, which by the way some of those homes we  
32 own. So there's homes there, but they are considered homes but we own some  
33 of them. Not all of them, some of them. But this is again what it might be when  
34 it's builds up all these residential would have no berms or buffers. It's made up.  
35 This is not what the buildings look like, so I think I'm going backwards. We'll go  
36 quickly through it. By the way, that building that is across from the school, across  
37 from a church, and across from some homes and that's the very latest building  
38 that was built with existing standards. So we exceeded a lot of the existing  
39 standards there. If somebody points it out to me and I will be happy to talk about  
40 it. I don't know of anything that's 75 feet away. But this is Proctor & Gamble and  
41 you can see the relationships there in terms of.....  
42

43 **CHAIR LOWELL** - Ma'am if you keep bursting out like that I will have the bailiff  
44 come over and talk to you.  
45

1 **APPLICANT IDDO BENZEEVI** - Okay I think this is pretty much for the record.  
2 You have the slides, and we can elaborate another time.

3  
4 **CHAIR LOWELL** - That's a lot of slides.

5  
6 **APPLICANT IDDO BENZEEVI** - Yeah I don't think we have to see all of them  
7 again, but they are there as I said as a backup if a question came up.

8  
9 **CHAIR LOWELL** - Thank you.

10  
11 **COMMISSIONER VAN NATTA** - This is the letter from the person who said that  
12 they're 75 feet away from a 60 foot high warehouse and that is Dawn Newkirk. Is  
13 Dawn Newkirk here? If we put the map up there, could you tell us which property  
14 is yours?

15  
16 **APPLICANT IDDO BENZEEVI** - I'll try to go back to see that Site Plan and  
17 maybe we can point to it.

18  
19 **COMMISSIONER VAN NATTA** - Yeah.

20  
21 **SPEAKER DAWN NEWKIRK** - I appreciate you addressing this because this  
22 has been a big concern to us.

23  
24 **COMMISSIONER VAN NATTA** - There it is. Is that it?

25  
26 **APPLICANT IDDO BENZEEVI** - No we will go back. That is....

27  
28 **CHAIR LOWELL** - Dawn if you want to come up, you can point it out when it  
29 shows up on the screen.

30  
31 **COMMISSIONER VAN NATTA** - He'll get to that part on the map.

32  
33 **APPLICANT IDDO BENZEEVI** - Yeah I'm going to find it. Oh, it's you. Yeah  
34 sure. Yeah, yeah we'll find it. Yeah and you know where I live too so anytime  
35 you yeah. I don't know how to go through this faster but I hope I don't sprain  
36 my...can you find that?

37  
38 **CHAIR LOWELL** - It was one of the last few slides. It was the one with the....

39  
40 **APPLICANT IDDO BENZEEVI** - If you go up maybe.

41  
42 **COMMISSIONER VAN NATTA** - Actually any of that should...

43  
44 **CHAIR LOWELL** - I want to say it was towards the end.

45

1 **APPLICANT IDDO BENZEEVI** - I think it's if you go up, sorry. Maybe I'll go  
2 closer.

3  
4 **CHAIR LOWELL** - What about the slide 62 or something? That's a start. No.

5  
6 **COMMISSIONER VAN NATTA** - Well that would show where it is.

7  
8 **CHAIR LOWELL** - Alright. Yeah, that is what I was looking for.

9  
10 **PLANNING OFFICIAL RICK SANDZIMIER** - Can you put all the slides up to  
11 look at a collage so we can pick it?

12  
13 **CHAIR LOWELL** - Yeah there was one, there we go. There's the overall.

14  
15 **PLANNING OFFICIAL RICK SANDZIMIER** - Thank you.

16  
17 **CHAIR LOWELL** - You know, if you didn't have so many slides, it'd be easier to  
18 find it. Slide 135. Is that the one you're looking for? Try the next slide. I guess  
19 the next one, the pink one.

20  
21 **SPEAKER DAWN NEWKIRK** - Okay so where are....there was one map in  
22 there that showed there would be a warehouse directly across Dracaea and one  
23 directly behind.

24  
25 **PLANNING OFFICIAL RICK SANDZIMIER** - If you could speak into the  
26 microphone since we're recording.

27  
28 **CHAIR LOWELL** - Yeah, if you could say that again.

29  
30 **SPEAKER DAWN NEWKIRK** - Okay we live off Dracaea Avenue. This has not  
31 been addressed I don't think. The houses off Theodore have been addressed,  
32 but we live east of Redlands Boulevard on Dracaea Avenue. There is a map that  
33 I ran across that has a warehouse across Dracaea Avenue and it would be  
34 between 75 and 90 feet from our house and from the back of our house another  
35 warehouse was proposed and it says possible warehouse. That would be about  
36 500 feet from the rear of our house.

37  
38 **APPLICANT IDDO BENZEEVI** - Okay so I'm not sure what map. We haven't  
39 done any map like this, but there are so many people making up stuff on the  
40 project I wouldn't be surprised if there was such a map floating around here. But,  
41 where you live, the closest building will happen 585 feet that way and don't forgot  
42 there is a buffer.

43  
44 **SPEAKER DAWN NEWKIRK** - It will be how much? 585?

45  
46 **APPLICANT IDDO BENZEEVI** - 585 plus our buffer.

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**SPEAKER DAWN NEWKIRK** - Okay so that's about right.

**APPLICANT IDDO BENZEEVI** - Right and then this is not you. You will be buffered by one more property that will be about 560 plus the buffer and the buildings start over there. So there is nothing that's 75 feet from your home.

**SPEAKER DAWN NEWKIRK** - Okay what about that one?

**CHAIR LOWELL** - She is referring to the southern side of the street.

**APPLICANT IDDO BENZEEVI** - Yeah the southern side, so the southern side the closest it could be 164 feet.

**CHAIR LOWELL** - From your front door.

**APPLICANT IDDO BENZEEVI** - From your front door and there's also a buffer. Right? There will be a landscape buffer and the building doesn't come to that line. Technically, by zoning, you could say that. But a building is not going to be there. There will be parking. You know, it will be located somewhere below that. If you look at the Proctor & Gamble building that you saw there, you saw the relationships.

**SPEAKER DAWN NEWKIRK** - Okay.

**APPLICANT IDDO BENZEEVI** - They don't have a buffer. They don't have a landscape buffer, but this is actually further away than the standards in those other areas.

**SPEAKER DAWN NEWKIRK** - So this would be 164 down to here?

**APPLICANT IDDO BENZEEVI** - Yeah.

**SPEAKER DAWN NEWKIRK** - And then...

**APPLICANT IDDO BENZEEVI** - To this line, yeah.

**SPEAKER DAWN NEWKIRK** - And what is on down here?

**APPLICANT IDDO BENZEEVI** - Past that is where we can build buildings.

**SPEAKER DAWN NEWKIRK** - So it's a 164 foot buffer is what you're telling me.

**APPLICANT IDDO BENZEEVI** - Yeah but also from visually I don't think you'll see much because here is a big landscape buffer of about 60 feet. That's quite big. How far is this room would you say?

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**CHAIR LOWELL** - Probably about 80 feet, maybe 100 feet.

**APPLICANT IDDO BENZEEVI** - Maybe not quite, so it will be from maybe that wall. This area in here will be a buffer and then buildings will start.

**SPEAKER DAWN NEWKIRK** - And then there is access off of Redlands Boulevard?

**APPLICANT IDDO BENZEEVI** - Yeah. See there is access right here.

**SPEAKER DAWN NEWKIRK** - Okay.

**APPLICANT IDDO BENZEEVI** - Yeah, you'll also have access later on to a route this way if somebody will desire.

**SPEAKER DAWN NEWKIRK** - So 560 on from this furthest point?

**APPLICANT IDDO BENZEEVI** - From you, it's much further. It's probably I'd say maybe 750 or 800.

**SPEAKER DAWN NEWKIRK** - Okay.

**APPLICANT IDDO BENZEEVI** - Yeah.

**SPEAKER DAWN NEWKIRK** - Okay, alright. Well thank you very much for your clarification.

**CHAIR LOWELL** - Thank you.

**APPLICANT IDDO BENZEEVI** - Remember, anytime you'd like to talk about it, we're open. Thank you.

**CHAIR LOWELL** - Unless anybody has any questions that they want to get off their chest right now, I think now would be a good time to talk about continuing the meeting. Anybody have any questions they want to get off their chest right now? Okay then what I'm proposing to do is to continue to meeting until this upcoming Tuesday. Yes, this room is available. Let's see what date that is. Yeah, so I'm proposing to continue the meeting to this upcoming Tuesday, which is June 30<sup>th</sup>. Does anybody have a problem with starting this meeting at 7:00? Would you like to start earlier, later?

**COMMISSIONER VAN NATTA** - 7:00 is fine.

**CHAIR LOWELL** - 3:00. I'm kind of in the mindset of starting at maybe like 6:00 but unless anybody has any reason to start that early.

1  
2 **COMMISSIONER VAN NATTA** - I don't know because I'm picking up someone  
3 from the airport. I'm okay with 7:00.

4  
5 **CHAIR LOWELL** - Anybody want to weigh in on 6:00 or 7:00?

6  
7 **VICE CHAIR SIMS** - 6:00 would be good.

8  
9 **CHAIR LOWELL** - Airport run? LA, Ontario, where?

10  
11 **COMMISSIONER VAN NATTA** - Ontario.

12  
13 **CHAIR LOWELL** - That's not too bad. Okay then unless Staff has any  
14 opposition to it, I'd like to continue this meeting to Tuesday the 30<sup>th</sup> at 6:00 p.m.

15  
16 **PLANNING OFFICIAL RICK SANDZIMIER** - I think you need to make a motion  
17 and a second and then....

18  
19 **CHAIR LOWELL** - I was just asking if that was okay before I went down that  
20 road.

21  
22 **PLANNING OFFICIAL RICK SANDZIMIER** - That would be fine with us.

23  
24 **CHAIR LOWELL** - And is this room still available?

25  
26 **PLANNING OFFICIAL RICK SANDZIMIER** - That's my understanding. Alan  
27 have you heard any different? We believe it's available.

28  
29 **CHAIR LOWELL** - Okay then I would like to motion to continue this meeting to  
30 Tuesday, June 30<sup>th</sup> at 6:00 p.m. here in the City Council Chambers.

31  
32 **COMMISSIONER BARNES** - I second that.

33  
34 **APPLICANT IDDO BENZEEVI** - If I may.

35  
36 **CHAIR LOWELL** - Yes, Sir.

37  
38 **APPLICANT IDDO BENZEEVI** - I'm fine with the date but I've been standing up  
39 here and we never get a full hearing but there is a big team here with me and I  
40 don't want you to think that I'm the only one who can speak or will speak for the  
41 project. There is a big group of experts and people with Highland Fairview that  
42 are hear also to answer questions, and so I want you to know that that maybe  
43 next time we could introduce everybody so you could direct questions to the  
44 particular experts.

1 **COMMISSIONER VAN NATTA** - I'll work on coming up with a whole bunch of  
2 questions.

3  
4 **APPLICANT IDDO BENZEEVI** - Okay good.

5  
6 **COMMISSIONER VAN NATTA** - Yeah.

7  
8 **CHAIR LOWELL** - On the table, we have a motion and a second to continue the  
9 meeting until June 30<sup>th</sup> at 6:00 p.m. Can we have a rollcall vote please Grace, or  
10 do we want to use our lovely tablets? We can't do that?

11  
12 **GRACE ESPINO-SALCEDO** - It's up to you.

13  
14 **CHAIR LOWELL** - Can we use it?

15  
16 **GRACE ESPINO-SALCEDO** - Yes you can.

17  
18 **CHAIR LOWELL** - Well let's try it.

19  
20 **COMMISSIONER VAN NATTA** - Where it says vote you click on vote.

21  
22 **CHAIR LOWELL** - I don't know if we can do it. Let's just do a rollcall vote. It  
23 would be easier.

24  
25 **COMMISSIONER VAN NATTA** - Yeah. Get it over with.

26  
27 **COMMISSIONER RAMIREZ** - Yes.

28  
29 **COMMISSIONER BARNES** - Yes.

30  
31 **COMMISSIONER VAN NATTA** - Yes.

32  
33 **CHAIR LOWELL** - Can you keep it down please. We're trying to take a vote.

34  
35 **COMMISSIONER BAKER** - Yes.

36  
37 **VICE CHAIR SIMS** - Yes.

38  
39 **CHAIR LOWELL** - Yes. Commissioner Korzec is absent. So the motion carries  
40 6-0. We will continue the meeting on Tuesday, June 30<sup>th</sup> in this room at 6:00  
41 p.m. Thank you and have a good night.

42  
43 Opposed – 0

44  
45 **Motion carries 7 – 0**

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**NEXT MEETING**

*Next Meeting: Planning Commission Special Meeting, June 30, 2015 at 6:00 PM, City of Moreno Valley, City Hall Council Chamber 14177 Frederick Street, Moreno Valley, CA 92553.*

\_\_\_\_\_  
Richard J. Sandzimier  
Planning Official  
Approved

\_\_\_\_\_ Date

\_\_\_\_\_  
Brian R. Lowell  
Chair

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of Jun 25, 2015 5:00 PM (APPROVAL OF MINUTES)

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 SPECIAL MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Tuesday, June 30<sup>th</sup>, 2015, 5:00 PM

6  
7  
8 CALL TO ORDER  
9

10 **CHAIR LOWELL** – Good evening ladies and gentleman. I would like to call the  
11 June 25<sup>th</sup>, 2015 Special Meeting of the Planning Commission to order. The time  
12 is 5:05 PM. Ms. Halstead, could we have the rollcall please? I do have a  
13 correction. I actually wrote down the wrong date. Today is the 30<sup>th</sup>, so it is the  
14 June 30<sup>th</sup>, 2015 Special Meeting of the Planning Commission, not the 25<sup>th</sup>.  
15

16  
17 ROLL CALL  
18

19 Commissioners Present:

20 Commissioner Baker  
21 Commissioner Barnes  
22 Commissioner Korzec  
23 Commissioner Ramirez  
24 Commissioner Van Natta  
25 Vice Chair Sims  
26 Chair Lowell  
27

28 Staff Present:

29 Rick Sandzimier, Planning Official  
30 Mark Gross, Senior Planner  
31 Paul Early, Deputy City Attorney  
32 William Curley, Attorney  
33 Michael Lloyd, Traffic Engineer  
34 Guy Pagan, Senior Engineer  
35 Richard Teichert, Chief Financial Officer  
36 Jane Halstead, City Clerk  
37

38  
39 PLEDGE OF ALLEGIANCE  
40

41 **CHAIR LOWELL** – With that said, we have a volunteer from the audience,  
42 retired Chief Machinist Mate Frank Wright would like to lead us in the Pledge of  
43 Allegiance again. Thank you very much. Being that it is a Special Meeting and a  
44 continuation from the last two Planning Commission Meetings, we don't have the

1 Consent Calendar. We don't have any Minutes to approve. Do we need to  
2 approve the Agenda for tonight's Special Meeting?

3  
4 **PLANNING OFFICIAL RICK SANDZIMIER** – No.

5  
6  
7 **PUBLIC HEARING ITEMS**

- 8  
9 1. Case: PA12-0010 (General Plan Agreement)  
10 PA12-0011 (Development Agreement)  
11 PA12-0012 (Change of Zone)  
12 PA12-0013 (Specific Plan)  
13 PA12-0014 (Annexation)  
14 PA12-0015 (Tentative Parcel Map No. 36457)  
15 PA12-016 (Environmental Impact Report)  
16  
17 Applicant: Highland Fairview Inc.  
18  
19 Owner: Highland Fairview and various private property  
20 owners  
21  
22 Representative: Iddo Benzeevi  
23  
24 Location: The project area is in the eastern portion of the city  
25 and is more specifically located east of Redlands  
26 Boulevard, south of the SR-60 Freeway, west of  
27 Gilman Springs Road, and north of the San Jacinto  
28 Wildlife Area.  
29  
30 Case Planner: Mark Gross  
31  
32 Council District: 3  
33  
34 Proposal: CONTINUED PUBLIC HEARING PROPOSED  
35 WORLD LOGISTICS CENTER  
36  
37

38 **STAFF RECOMMENDATION:**

39  
40 **APPROVE** Resolution Nos. 2015-12, 2015-13, 2015-14, 2015-15 and 2015-16  
41 thereby recommending that the City Council:

- 42  
43 1. **CERTIFY** the Environmental Impact Report (P12-016), including approval of  
44 the Mitigation Monitoring Program and adoption of a Statement of Overriding  
45 Considerations (Exhibits A and B of Resolution 2015-12) for PA12-0010  
46 (General Plan Amendment), PA12-0011 (Development Agreement), PA12-

1 0012 (Change of Zone), PA12-0012 (Specific Plan), PA12-0014 (Pre-  
2 zoning/Annexation), PA12-0015 (Tentative Parcel Map), pursuant to the  
3 California Environmental Quality Act (CEQA) Guidelines.  
4

- 5 2. **APPROVE** General Plan Amendment PA12-0010, to change the land use  
6 designations for the project area to Business Park/Light Industrial (BP) and  
7 Open Space (OS), and to amend General Plan goals and objectives text and  
8 map in the respective Community Development, Circulation, Parks,  
9 Recreation and Open Space, Safety, and Conservation Elements identified in  
10 Exhibits A through M of Resolution 2015-13.  
11
- 12 3. **APPROVE** Change of Zone PA12-0012 and Specific Plan PA12-0013 and  
13 Annexation PA12-0014, which would repeal the current Moreno Highlands  
14 Specific Plan No. 212-1, would establish the World Logistics Center Specific  
15 Plan including Change of Zone on the City's Zoning Atlas to Logistics  
16 Development (LD), Light Logistics (LL) and Open Space (OS) for areas within  
17 the proposed WLC Specific Plan boundary, would establish Pre-  
18 zoning/Annexation for an 85 acre site at the northwest corner of Gilman  
19 Springs and Alessandro Boulevard, and authorize Change of Zone on the  
20 City's Zoning Atlas to Open Space (OS) for those project areas outside and  
21 southerly of the new WLC Specific Plan boundary, Exhibits A, B and C of  
22 Resolution 2015-14.  
23
- 24 4. **APPROVE** Tentative Parcel Map No. 36457 PA12-0015 for a tentative parcel  
25 map that includes 26 parcels for financing and conveyance purposes, Exhibit  
26 A and B of Resolution 2015-15.  
27
- 28 5. **APPROVE** Development Agreement PA12-0011 covering properties  
29 controlled by Highland Fairview, Exhibit A of Resolution 2015-16.  
30

31  
32 **COMMISSIONER DISCUSSION**  
33

34 **CHAIR LOWELL** – Okay, so I guess we will just keep moving on down the line,  
35 which I believe is our Commissioner Discussions.  
36

37 **PLANNING OFFICIAL RICK SANDZIMIER** – Before you do get started, since  
38 Commissioner Korzec was not at the last meeting, we do need a disclosure for  
39 this that Commissioner Korzec has brought herself up to speed, so if she could  
40 do that for us that would be perfect.  
41

42 **COMMISSIONER KORZEC** – Yes, I personally watched all 5 hours 47 minutes  
43 and 1 second of the video on YouTube, so I'm up to speed.  
44

45 **CHAIR LOWELL** – Okay.  
46

1 **VICE CHAIR SIMS** – I have one disclosure.

2  
3 **CHAIR LOWELL** – Vice Chair Sims would like to say something.

4  
5 **VICE CHAIR SIMS** – I was contacted by phone by Tom Jerelle to talk about a  
6 condition of about not losing the periodic fire sprinkler when the fire sprinklers  
7 had to be tested not to waste the water when those go out. He just mentioned  
8 that if we could figure something out for the condition, so I'm just disclosing that  
9 that phone call occurred.

10  
11 **CHAIR LOWELL** – We also have a change in our ADA Disclaimer. Let me find  
12 that piece of paperwork that we have. It says "Upon request this Agenda will be  
13 made available in appropriate alternative formats to persons with disabilities in  
14 compliance with the American Disabilities Act of 1990. Any person with a  
15 disability who requires a modification or accommodation in order to participate in  
16 the meeting should direct such requests to our current ADA Coordinator who is  
17 Guy Pagan. His phone number is the same as the previous number, which is  
18 (951) 413-3120. Please make your request at least 48 hours in advance to  
19 enable to City reasonable time to make arrangements to ensure accessibility to  
20 the meeting." Being that we have quite a few items to discuss and it looks like  
21 we're going to be making one resolution or one motion to approve/deny,  
22 whichever, this project before us. I would like to take each item one at a time.  
23 Item No. 1, which would be to certify the EIR; Item No. 2, which is the General  
24 Plan Amendment; Item No. 3 is the Change of Zone, the Specific Plan and  
25 Annexation; Item No. 4 is a Tentative Parcel Map; and Item No. 5 is the  
26 Development Agreement. I would like to take time and actually go over one of  
27 these items at a time and allow the Commissioners up here a chance to voice  
28 their opinions and kind of stay on topic. If we kind of jump around and talk about  
29 the Development Agreement and then the EIR and then the Tentative Parcel  
30 Map, it's hard to keep our train of thought together, so with that said let's just go  
31 onto Item No. 1. The Staff recommendation, this is not a motion, I'm just reading  
32 the Staff's recommendation. For Item No. 1, is to certify the Environmental  
33 Impact Report PA12-016, including approval of the Mitigation Monitoring  
34 Program and adoption of the Statement of Overriding Considerations, which are  
35 Exhibits A and B of Resolution 2015-12 for PA12-0010, which is the General  
36 Plan Amendment; PA12-0011, which is the Development Agreement; PA12-  
37 0012, a Change of Zone; PA12-0013, the Specific Plan; PA12-0014, the Pre-  
38 Zoning and Annexation; PA12-0015, which is the Tentative Parcel Map. We're  
39 being asked to certify all those items in the EIR that are pursuant to the California  
40 Environmental Quality Act Guidelines (CEQA). So, with that, I will open up the  
41 floor to my fellow Commissioners. Anybody want to speak? Awesome.  
42 Commissioner Barnes, please.

43  
44 **COMMISSIONER BARNES** – Yeah, I have a question of Staff and it's not  
45 specific to the EIR, but I think it's a good one to start with. Is there somewhere in  
46 all of this documentation a mechanism or a link that ties all these projects

1 together and requires that they all be executed, or can these take place  
2 independently of one another? In other words, we've got a tentative map that  
3 has a few conditions, but I didn't see a condition in it for the Development  
4 Agreement. Does that make sense to you guys as to what I'm asking? It seems  
5 these things can happen independently and not necessarily in an all or nothing  
6 fashion. At least I don't see it anywhere.

7  
8 **SENIOR PLANNER MARK GROSS** – There are a number of items that are  
9 associated, as you know, with the project. The EIR is pretty much the document  
10 that is tying all of those together in that basically, if you're approving the items,  
11 the EIR is a part of that. Possibly our legal or maybe even Rick may have some  
12 other items to include with that but if we can do it separately I guess is the  
13 question but.....

14  
15 **PLANNING OFFICIAL RICK SANDZIMIER** – Let me try and add something to  
16 this. The applications in front of you are independent with regard to the type of  
17 application, so the General Plan Amendment can be considered on its own. The  
18 Specific Plan can be considered on its own. The Change of Zone can be  
19 considered on its own. The Tentative Parcel Map can be acted on, but it is  
20 contingent upon getting legislative actions taking place. The Development  
21 Agreement is something you wouldn't take an action on unless you, in fact, had  
22 taken an action on the General Plan Amendment, Zone Change, and Specific  
23 Plan because it itself is a document that's tied to those approvals and it makes  
24 those approvals part of the Development Agreement. The environmental  
25 document, as Mr. Gross has indicated, is a general document that supports all  
26 the actions that are in front of you so we would want you to be considering that.  
27 In light of all the applications and findings, if you find you can certify it for the  
28 purpose of approving or taking an action to the contrary on any of the  
29 applications that's up to you but you typically certify the environmental document  
30 if you're going to approve the projects. Let me talk a little bit more about the  
31 Specific Plan, the Specific Plan and the General Plan Amendment because there  
32 is the Moreno Highlands Specific Plan that involves more of the acreage out  
33 there than just the Specific Plan for the World Logistics Center, approval of the  
34 Specific Plan and the Change of Zone to the areas outside of the World Logistics  
35 Center Specific Plan in essence rescind the underlying Moreno Highlands  
36 Specific Plan. If for some reason you wanted to go forward and do the approvals  
37 associated with the World Logistics Center Specific Plan Area alone, then there  
38 could be an issue we need to talk about about how we would modify the  
39 underlying Moreno Highlands Specific Plan because that's not part of the  
40 application today. The application, if it went forward, is a package that basically  
41 rescinds the entirety of the Moreno Highland Specific Plan.

42  
43 **COMMISSIONER BARNES** – So, if for some reason the annexation encounters  
44 some difficulty, what does that do to the project?  
45

1 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay, sorry I forgot to mention the  
2 annexation. With regard to the annexation, the annexation itself would be a  
3 subsequent action that we would require LAFCO to be involved. The Pre-Zoning  
4 that you’re being asked to consider this evening is an approval of the zoning,  
5 which is tied into the World Logistics Center Specific Plan document itself which  
6 establishes the zoning intended for the 85 acre parcel. So the annexation tonight  
7 you’re not taking an action on, you’d be acting on the pre-zoning of the property.  
8

9 **COMMISSIONER BARNES** – Alright, but the Parcel Map has a condition that  
10 the annexation take place I think. There’s a condition, I apologize I don’t  
11 remember which one it is. But, if the map is conditioned to do the annexation  
12 and it doesn’t happen, then the map can’t record and then what does that do to  
13 the rest of the dominoes here?  
14

15 **PLANNING OFFICIAL RICK SANDZIMIER** – Let me take a closer look at the  
16 condition, and I’ll get back to you on that.  
17

18 **COMMISSIONER BARNES** – Yeah, and we can move on if you want to and  
19 readdress this. Thank you.  
20

21 **CHAIR LOWELL** – By all means.  
22

23 **VICE CHAIR SIMS** – Since this is kind of at the start of the Planning  
24 Commission Deliberation, I just want to just note for myself that a lot of effort has  
25 gone on for the project proponent to get an EIR of this magnitude and all the  
26 supporting documentations to this point. And, also when you go through all the  
27 comment letters from various people and the organizations that have submitted  
28 on it, there has been a substantiative amount of effort as well to review the  
29 sufficiency of the document that that proponent has proposed for the project and  
30 so as we go through these deliberations I just want to make it clear, at least as a  
31 Planning Commissioner on my own stance, I’m not trying to make a decision that  
32 the legal sufficiency of the CEQA document because I don’t have the legal  
33 expertise to go through the minutia of that. I don’t know if any of my fellow  
34 Planning Commissioners are CEQA legal experts to be able to do that. I’m sure  
35 there’s a lot of smart people that will make one way or the other decisions on that  
36 outside of the Planning Commission Meeting so my inquiries and questions and  
37 comments tonight will be mainly just based on information that’s presented, both  
38 the for and against, in the Public Comments that we’ve heard last week. So,  
39 anyhow, that’s just kind of where I stood on this thing. So I guess I’m just going  
40 to jump in. I’ll start with A for air and that was kind of my first part that I was  
41 looking at and not being an air quality expert, but I breathe it every day, so it is a  
42 concern to me. I looked through the mitigation measures, and my take on the  
43 mitigation measures is the project does very well in and of it itself and that the  
44 project has very stringent conditions applied upon it using the best available  
45 technologies to maintain and control air quality generated at the project site  
46 within the boundaries. What I am struggling with and particularly when I read the

1 mitigation measures, and if I got them wrong I may have gotten them wrong, but  
2 the 4.3.6.2A and 4.3.6.3B that everything is going to be required to be onsite will  
3 be 2010 emission compliant, which is currently essentially the best that we have  
4 at this point. But then as you read on in mitigation measure 4.3.6.3B subset L, it  
5 says all diesel trucks entering the logistics site shall meet or exceed the 2010  
6 engine emissions and it goes on and so forth. Again, Staff if you want to look at  
7 that. I guess my concern is there is no guarantee that the trucks, you know,  
8 what's the enforcement mechanism that the City will have in place to be able to  
9 enforce that? I mean you still see a lot of trucks on the road, the little old Mac  
10 trucks or the little box ones that look like Sponge Bob going down the street.  
11 Those are clearly not 2010 emissions, so the project in and of itself I think is  
12 doing a good job on the operation and the continuous operation and some of the  
13 unmitigatable things that happen during construction probably they'll do the best  
14 they can with the tier 4 construction equipment. I don't quite understand how you  
15 enforce truck traffic coming to and from the site.

16  
17 **SENIOR PLANNER MARK GROSS** – Well the mitigation measure, and I think  
18 the main one was 4.3.6.3B. As you mentioned, it is included in the mitigation  
19 monitoring and reporting program, which is basically an enforcement tool of the  
20 mitigation that is being provided. With this particular item, I believe that as far as  
21 how we'll track the items, there is going to be collection of VIN data to be  
22 identified as the primary method of verifying truck compliance for future project  
23 specific approval. So there would be a log of that data that would be provided on  
24 site to make sure that those types of trucks, the 2010 regulated truck emission  
25 trucks, are going back and forth into the site. So, if we understand or if there is  
26 some concern about the enforcement of such, I think we can go back to those  
27 logs and see what is actually being provided. And, if there are violations being  
28 provided, we would know that from that log that that information was being  
29 provided on...at each individual building site.

30  
31 **VICE CHAIR SIMS** – I appreciate that. Thank you. So but what is the teeth to  
32 that? What is the enforcement? Keeping a log of that's a violator, they don't  
33 have a 2010 truck or they don't meet the emission control, so the City I think it  
34 was the Public Works Department is required per the mitigations that require  
35 that. What happens with that data? Does it go to the AQMD or the California Air  
36 Resources Board and then there's a series of actions that forces compliance  
37 because in the absence of any teeth then what actually comes of that?

38  
39 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay, if I may, on page of the  
40 initial Staff Report from the June 11<sup>th</sup>, 2015 meeting that had all of the reports in  
41 it, if you have the hard copy, you want to turn to packet page #341 which is  
42 where the mitigation 4.3.6.3B starts. In the entire Mitigation Monitoring Table,  
43 the last column talks about the ramifications for noncompliance. They call it  
44 sanctions for noncompliance. In that particular item, if a CUP has been issued,  
45 revocation of the CUP would be the ultimate. So what we would approve for  
46 developments in that area would be a Plot Plan, or if a Conditional Use Permit



1 was approved what we would be looking for is potential revocation of that. If you  
2 also look on page 343 as Mr. Gross was identifying the specific languages within  
3 the mitigation measure right in the paragraph L and it specifically says that the  
4 facility operator shall maintain their log of all trucks entering the facility to  
5 document that the truck usage meets the emissions standards. This log shall be  
6 available for an inspection by the City at all times. So this is the mitigation  
7 measure. Now when each project comes in in the World Logistics Center area,  
8 they'll all be subject to a subsequent Plot Plan. We can take the mitigation  
9 measure and we can tighten it down based on the comments we're hearing here  
10 tonight to make it tighter. The Condition of Approval can mirror what the  
11 mitigation measure is saying, and it can also tighten it or refine it down to this  
12 issue about ensuring enforcement or ensuring that there's some additional teeth.  
13 The approval of this does not preclude us from doing that at a subsequent date.  
14  
15

16 **VICE CHAIR SIMS** – Just thinking out loud, you know, as time goes on the 2010  
17 condition will be easier to meet because by 2022 the 2010 trucks are going to get  
18 old and people will want to replace them, so I think perhaps there's some self  
19 correction. Like I said though, you still see the Sponge Bob trucks still on the  
20 road probably that were built in the early 70s. They're still cruising around. I  
21 don't know how or why but they are. So is there a way to put something into the  
22 Development Agreement because the master developer is controlling the  
23 property to future tenant developers? And if there's bad apples within this Master  
24 Plan Logistics Center and they're not compliant with these rules and we find that  
25 there's multiple trucks going in and out of the site all of the time that aren't 2010  
26 compliant, can the City in some way prohibit the developer from even starting on  
27 another Plot Plan or stopping an entitlement process on a subsequent  
28 development?  
29

30 **SENIOR PLANNER MARK GROSS** – Well I'm not sure that the Development  
31 Agreement would actually be the mechanism to do that. I think again how to do  
32 that is, if we're seeing based on this overall Specific Plan that there are concerns  
33 with any approaches out there, I think we could as Mr. Sandzimier has  
34 mentioned we could actually provide more detailed conditions as those individual  
35 Plot Plans are provided into us. That I think is the way to try to enforce besides  
36 what is being included in the Mitigation Monitoring Program itself, which they are  
37 revoking something or trying to provide something that stops what is going on out  
38 there at the site.  
39

40 **VICE CHAIR SIMS** – I only urge that...this is just starting here but I would urge,  
41 if the project is approved, that there is something with some teeth put into  
42 something into these documents that prohibits continued development that flies  
43 in face of the condition for the project, the mitigation measure, because the final  
44 EIR there is a sentence in there that says that the air basin is one of the worst in  
45 the nation. So, you know at the end of the day if this project goes forward, it

1 should do everything that it possibly can to mitigate the air quality deficit. So, I  
2 would ask Staff to think about how that could be done.

3  
4 **PLANNING OFFICIAL RICK SANDZIMIER** – If I may go back Mr. Chairman on  
5 the question regarding the map, the Tentative Parcel Map. There is a condition  
6 P8, which does refer to the recordation of the map not proceeding until the  
7 annexation of that property. I talked with legal council and we probably can  
8 tighten down the language in that condition, so that it is more specific to define  
9 what the property is. But I believe on your dais this evening there is a copy of the  
10 Tentative Parcel Map itself. If you look at the general notes on the Tentative  
11 Parcel Map itself, General Note No. 12, it may be a little bit hard to read because  
12 of the small print on this particular size. But it basically says General Note No.  
13 12: Prior to the recordation of Parcel 26, the underlying property shall be  
14 annexed into the City of Moreno Valley. So the map in itself has already  
15 identified that Parcel 26 is the property that is subject to annexation. So what we  
16 can do is work with the language on that Tentative Parcel Map Resolution before  
17 it goes to the City Council, and we can correct that.

18  
19 **CHAIR LOWELL** – For clarity, it looks like there is two number 11’s and two  
20 number 12’s into the general notes. It goes 1 through 15 and then 11 and 12  
21 again, or 1 through 16, then 11 and 12. You’re referring to the second No. 12,  
22 which should be No. 18.

23  
24 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes. We can address that as  
25 well.

26  
27 **COMMISSIONER BARNES** – I’m glad you guys can read that.

28  
29 **CHAIR LOWELL** – I don’t know about everybody else, but I have numerous  
30 comments. I’m trying to figure out a good place to start. It is kind of difficult. Mr.  
31 Barnes you have your....

32  
33 **COMMISSIONER BARNES** – Yeah, I wanted to follow up on Commissioner  
34 Sim’s comments. Regarding the teeth in the mitigation monitoring, it states  
35 withhold Certificate of Occupancy. If their withholding it, that’s prior to them  
36 getting it? Does that really mean withhold or revoke? If you’ve got a user that’s  
37 breaking the rules, is the hammer to revoke their Certificate of Occupancy so that  
38 they are shut down?

39  
40 **SENIOR PLANNER MARK GROSS** – Well some of the mitigation measures are  
41 actually provided. There’s really two sets of mitigation measures. There’s  
42 mitigation measures when during grading, the grading stage up to construction  
43 stage, and then there’s mitigation as it moves forward with the operational  
44 stages. So I think the way the mitigation measures are provided is that, as you  
45 mentioned, it would withhold the Certificate of Occupancy if they haven’t gotten  
46 to that point yet. If they’ve already passed that point, then yes we would have to

1 go back to whatever approvals were included, I believe, is how we would be  
2 looking at it.

3  
4 **COMMISSIONER BARNES** – I have to admit I’m not fluent in the whole thing,  
5 but it seems like that should be a clarification that should be in there that if they  
6 have it and they are a violating user then revoke. That’s pretty strong teeth. You  
7 lock the gates and tell them to go home until they clean up their act.

8  
9 **VICE CHAIR SIMS** – That only works if you have the power.

10  
11 **CHAIR LOWELL** – If you look at page 341, which is the mitigation monitoring, it  
12 says on an ongoing basis. It says: Tenants shall maintain records of fleet  
13 equipment, vehicle engine maintenance, yadda yadda, yadda. And it says, on  
14 the very far right, it says sanctions for noncompliance. It says: If a CUP has  
15 been issued, revocation of the CUP.

16  
17 **COMMISSIONER BARNES** – Okay. There you go.

18  
19 **VICE CHAIR SIMS** – But just for clarification, I really don’t have any real  
20 concerns. It seems like they are conditioned to use tier 4 equipment on site and  
21 whatnot. The project in and of itself seems to work probably pretty good from an  
22 air quality standpoint. You know, what they’re saying they are going to do at  
23 these mitigations. What I’m more concerned about is the offsite trucks. They’re  
24 saying in this mitigation, maybe I’m just totally misunderstanding it, but this one  
25 4.3.6.3BL it says all trucks coming in need to be compliant.

26  
27 **CHAIR LOWELL** – That’s what it says right here on an ongoing basis.

28  
29 **COMMISSIONER BARNES** – So the City then takes the 30-day log. They  
30 review it and find that there’s 12 violations and that they’ve violated in previous  
31 months so then, based on what Chairman Lowell pointed out, if they’re in  
32 violation then they’ve gotten to the point where we’re going to bring down the  
33 hammer. Their CUP is revoked and they lock the gates.

34  
35 **VICE CHAIR SIMS** – Yeah but for the offending, I mean I would assume that the  
36 City would have to have some kind of an administrative process that there could  
37 be a hearing or something like that before the Council or before just the CUP  
38 gets revoked by Staff. You know, you look at the log and it doesn’t have, I guess  
39 would there be an administrative process for the benefit and protection of the  
40 actual tenant that has the building?

41  
42 **COMMISSIONER BARNES** – I’m guessing the CUP process already contains  
43 some mechanism because revocation of a CUP that can apply to other projects  
44 as well, so that’s nothing new right?  
45

1 **ASSISTANT CITY ATTORNEY PAUL EARLY** – That’s correct. There’s whole  
2 provisions in the code for the due process requirements for the revocation and a  
3 hearing is required for that.

4 **CHAIR LOWELL** – So would a proposed future tenant violating these rules  
5 once, maybe having one truck that just slipped through the radar and got logged  
6 but they are a 1965 Peterbilt that smokes like a chimney and they manage to get  
7 through, would they all of a sudden be dragged in front of the Administration  
8 Review Board and have the CUP revoked or is there some sort of a wrapping up  
9 process to revocation of the CUP?

10  
11 **ATTORNEY WILLIAM CURLEY** – Commission: The way these typically would  
12 function in the granting of the Conditional Use Permit, Staff would/will/should put  
13 a structure. One violation is this. Two violations is this. It is articulated in there  
14 so there is notice to the user, the operator of the facility, as well as the  
15 establishment of the thresholds to where that heavier hammer comes down. So  
16 typically going into revoke a CUP for one violation, you probably would not pull it  
17 off just from that. But, if one of the conditions and I’m just making this up as we  
18 go, if the condition....the first violation is a \$1000.00 fine. That is proper use of  
19 your police power. That would be the stick to encourage stricter compliance. So,  
20 within that CUP, there would be a structure of enforcement. When and if a user  
21 proved themselves to be a serial offender, then you would look to your normal  
22 revocation process. But you wouldn’t want to trap yourself and say well only one  
23 violation is not going to get a revocation, so they’ll get a free ride. You’ll build in  
24 a penalty so that you can port to your mitigation plan. Each one will be, a CUP  
25 as you know is tailored to that user and that use, so it would be difficult to put in a  
26 one size fits all here. But by noting under your zoning that you’ll have a CUP for  
27 logistics users, within that CUP, there will be the conditions. You’ll effectuate  
28 those and for serial offenders then you’ll take away their right, that right. That’s  
29 how it’s typically done.

30  
31 **CHAIR LOWELL** – And, for clarity, we’re not talking about a specific CUP on  
32 this project today. We’re just talking about future tenants. When they come in to  
33 occupy the building, that’s when we discuss CUP and enforcement and that stuff.

34  
35 **ATTORNEY WILLIAM CURLEY** – Right. Exactly. And, for the audience, CUP  
36 is a Conditional Use Permit. It is the right to use that property subject to the  
37 conditions that are applied in that approval, so that’s why each one I say is  
38 tailored to the particular use or user. It isn’t a one size fits all. You’ll look at what  
39 your proposal is. You’ll structure it. And you’ve seen dozens of them I’m sure,  
40 but each one is crafted by Staff and by the Commissions review to fit that. It  
41 would also in moving forward have to integrate the environmental mitigation  
42 measures and the other approvals within these foundational documents. It works  
43 on an inclined or incremental basis, if that makes sense, in the level of sin if you  
44 will.

1 **CHAIR LOWELL** – Commissioner Van Natta. Oh, Commissioner Barnes is  
2 waiting. Commissioner Barnes go for it.

3  
4 **COMMISSIONER VAN NATTA** – I think there was something in the comment  
5 that was made talking about the 2010 standards and of course we’re talking  
6 about 2010. We’re already in 2015. By the time these additional tenants get  
7 built out, we may be into 2020 and beyond that the language allows for the City’s  
8 updating the standards to whatever future clean air regulations are available. Is  
9 that correct?

10  
11 **SENIOR PLANNER MARK GROSS** – Well I think again when you’re looking at  
12 the individual Plot Plans as they come in, like you say, we’re talking about a 15  
13 year timing as far as the approach of development. So I think yes. If things do  
14 change, we would have to go back in and there would have to be some  
15 modification of language that would be associated with any changes to the types  
16 of trucks that come in and out of the site.

17  
18 **COMMISSIONER VAN NATTA** – And that could be addressed with each CUP  
19 with the new tenant who comes in saying okay this is what the standard is now  
20 and this is the Condition of Approval.

21  
22 **SENIOR PLANNER MARK GROSS** – Yes. Each project that comes in  
23 individually we could look at that on an individual basis. That’s correct.

24  
25 **COMMISSIONER VAN NATTA** – Thank you.

26  
27 **CHAIR LOWELL** – Commissioner Barnes.

28  
29 **COMMISSIONER BARNES** – Actually now I have three questions. Based on  
30 what she just said, is there a mandate in here that as new individual site  
31 applications come through there be a reassessment of the current standard? Or  
32 could the City just say well what we’ve got is good and roll with it all the way  
33 through the end of the DA?

34  
35 **PLANNING OFFICIAL RICK SANDZIMIER** – No there is no language  
36 specifically in the documents that talk about what you just suggested. But, if the  
37 City is compelled to comply with any sort of State Regulation that we don’t have  
38 legislative powers over, if we must comply with the State Regulations then we  
39 would be compelled to basically follow those. And, right now, the Southern  
40 California Air Quality Management District standard for applying the 2010  
41 technology trucks or better is supposed to be triggered by 2023. So, right now,  
42 we’re in 2015. We are basically advancing this mitigation about eight years  
43 ahead of when everybody is going to have to comply with it. Now if CARB of the  
44 Air Quality Management District comes up with a new regulation, which we’ve  
45 met with them and they don’t have anything specific that they can tell us, you  
46 have to comply with this. They are making suggestions that you should always

1 be looking forward and you should always be looking for improvements, and  
2 we're committed to doing that, but we don't have anything locked in place that  
3 says you have to do something.

4  
5 **COMMISSIONER BARNES** – So it's case by case as you would move forward?  
6

7 **PLANNING OFFICIAL RICK SANDZIMIER** – Correct.  
8

9 **COMMISSIONER BARNES** – Okay two other questions. There was mention of  
10 the CUP being the mechanism to enforce the 2010 standard. If we change the  
11 General Plan, Change the Zone, approve the Specific Plan, etc., etc., will all the  
12 projects within this development require CUP because they're essentially  
13 conforming to all of that and much of my experience with CUP's is they are  
14 unique uses in a particular zone a normally standard approved use wouldn't  
15 require a CUP.  
16

17 **PLANNING OFFICIAL RICK SANDZIMIER** – Right, so not all of the  
18 developments would require a Conditional Use Permit. However, all the  
19 applications would require a Plot Plan Review. So what Mr. Gross and I were  
20 just talking about is we can tighten down the language in the mitigation measure  
21 so that it is more generic to not just CUP's but also to the appropriate entitlement  
22 actions that would be required for each of the developments.  
23

24 **COMMISSIONER BARNES** – And it seems like any user within the SP would  
25 lose their occupancy whether it's CUP or not, right? I mean that's a modification  
26 that we would make.  
27

28 **SENIOR PLANNER MARK GROSS** – Whether it's Plot Plan or Conditional Use  
29 Permit, either one.  
30

31 **COMMISSIONER BARNES** – Correct.  
32

33 **SENIOR PLANNER MARK GROSS** – Yeah. Once we add that language.  
34

35 **COMMISSIONER BARNES** – Okay. There was another question but I forgot,  
36 so move on. Thank you.  
37

38 **CHAIR LOWELL** – Commissioner Ramirez.  
39

40 **COMMISSIONER RAMIREZ** – So going back to the enforcement side, is there  
41 any language that we could include for those that violate, those vehicles coming  
42 into the project? Is there any language that we could include that will impose  
43 monetary penalties, such as the attorney just mentioned?  
44

45 **SENIOR PLANNER MARK GROSS** – Yeah I don't think there's anything  
46 specifically in the Mitigation Monitoring Program or in the mitigation measures

1 themselves that require penalties or things that they need to pay. I think again  
2 each mitigation measure, and if we're talking about trucks, I mean the trucks  
3 have their certain regulatory requirement as far as how the mitigation measure  
4 works. How are we going to enforce that mitigation measure? So I think again  
5 what we talked about before in just providing for either revocation of the  
6 approvals that come about is what we would have to be looking at from an  
7 enforcement standpoint on the individual plans as they come in.

8  
9 **VICE CHAIR SIMS** – I, oh, I'm sorry.

10  
11 **CHAIR LOWELL** – Go ahead.

12  
13 **VICE CHAIR SIMS** – I'm out of line here.

14  
15 **CHAIR LOWELL** – I was going to change gears ever so slightly. Go ahead.

16  
17 **VICE CHAIR SIMS** – Well I just, from an enforcement standpoint especially  
18 because this is more of a programmatic approach, the approvals that are being  
19 looked at tonight are programmatic and then individual Plot Plans or CUP's will be  
20 coming through. You know, the way to modify the behavior for people that aren't  
21 compliant is you've got to hit the person that's the owner of the future project  
22 that's going to be a CUP or a Plot Plan and they can do that through operational  
23 practices with their contracts with the different providers and so forth to do that.  
24 So any kind of enforcement that's crafted on these individual CUP and Plot Plans  
25 or whatever the entitlement process is needs to have that so that they are  
26 specific to being able to go after the actual person that controls the land that is  
27 going to be developed so.

28  
29 **CHAIR LOWELL** – I have a question. We're looking at the Mitigation Monitoring  
30 Reporting Program Checklist. It has a list of mitigation measures/numbers  
31 implementing actions. It shows you who is monitoring, how often, verification,  
32 penalties and all that. But when you change documents and you go to the facts,  
33 findings, and statements of overriding considerations, you read these items and I  
34 haven't found one of these items that says a mitigation is required. It says no  
35 mitigation required. No mitigation required. You go over to cancer risks and it  
36 says potential significant impacts where the project would expose onsite/offsite  
37 workers, including school staff, substantial pollution concentration resulting in  
38 cancer risks as findings. The very last of the findings says no mitigation is  
39 required. Pretty much every one of these documents and items inside the  
40 Overriding Considerations says no mitigation is required. No mitigation is  
41 required. Are these two documents conflicting or is this additional mitigation  
42 above and beyond what we're already talking about?

43  
44 **SENIOR PLANNER MARK GROSS** – I think in some instances I mean when  
45 we're talking about the Statement of Overriding Considerations those are  
46 additional findings that are being provided for the project. These are actually

1 mitigation measures that are included with the project as far as reviewing it, but  
2 they are really, to answer your question, two documents and they are individual  
3 in and of itself. Even though they are all part of the Environmental Impact  
4 Report.

5  
6 **CHAIR LOWELL** – Well, for instance, one of the mitigation measures we have is  
7 using I think it's the 2007 or 2010 certified vehicles. But, on greenhouse gas  
8 emissions, it says no mitigation is required. So I guess what I'm trying to ask  
9 again is the restricting of the year vehicle being used, that is a mitigation  
10 measure. So the Overriding Considerations saying no mitigation required  
11 meaning no mitigation required above and beyond the vehicle restriction or are  
12 they battling one another?

13  
14 **SENIOR PLANNER MARK GROSS** – Maybe what we can do is, well I don't  
15 know how we want to add, we have the consultants here who prepared the EIR  
16 from LSA Associates. Possibly Kent Norton can maybe go into answering a little  
17 bit of that question to help us out a little bit on that.

18  
19 **KENT NORTON** – I'd be happy to. Thank you. Mr. Chairman the mitigation  
20 measures that are listed in the findings do correspond to those in the EIR and the  
21 Mitigation Monitoring Plan. They may just be in a different section. The  
22 mitigation, for example, the air quality mitigation measures are altogether in the  
23 discussion of air quality impacts. And then when it gets to the cancer risks, for  
24 example the tier 4, the requirement for the 2010 trucks is actually in the air  
25 quality mitigation so there is no additional mitigation required when it gets to that  
26 topic but all of the mitigation measures that are in the Mitigation Monitoring Plan  
27 and the EIR are in the findings. And I can cross reference if you would like at  
28 some point, but I am certain they are all there.

29  
30 **CHAIR LOWELL** – Okay. I will keep looking. I have highlights and notes and  
31 sticky tabs and I was striking out, so it might just be my bad eyes. I don't know.

32  
33 **ATTORNEY WILLIAM CURLEY** – One thing that perhaps may be helpful, the  
34 Statement of Overriding Considerations is the device to say there are some  
35 aspects that we cannot mitigate. No one can mitigate. Despite that, in balance,  
36 the benefit of the project outweighs those negatives. The component you're  
37 seeing there that say no mitigation, what that means is that aspect couldn't be  
38 mitigated. There was mitigation that applies to traffic, the vehicles. All of those,  
39 you note, are included. Despite all of those, you can't erase all of the impacts.  
40 So that remaining increment, if you will, of unmitigatable impact is what you're  
41 overriding so don't see them as an abandonment or a disavowal of other  
42 mitigation measures. Despite everybody's best efforts, you can't get rid of 100%  
43 of cancer risk. That remaining increment that you can't get rid of despite the  
44 mitigation is seen as outweighed by the value of the overall project. That's why  
45 the Statement of Overriding Considerations explains why those aspects, despite  
46 existing, the project should still go forward. That's the explanation tool that says



1 that the unmitigatable component shouldn't be the veto for the project it just  
2 recognized CEQA as an information document. It's providing you the  
3 information. This component can't be cured but in the overall balance it is still a  
4 worthy project. So I hope that addresses while you'll see no mitigation. It's not  
5 none at all. It's for that remaining increment if you will.

6  
7 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman, if I may, just as an  
8 example of what Kent and what Bill are touching on with regard to the Statement  
9 of Overriding Considerations. Can you turn to page 218 in the overall Staff  
10 Report. It actually starts right at the bottom of page 217. It talks about  
11 greenhouse gas, planned policy regulatory consistency. On page 218, at the top,  
12 it talks about the potential significant impact. And it talks about, this was  
13 identified as an area that could be inconsistent with greenhouse gas plans policy  
14 regulation. But the finding was that through implementation of those mitigation  
15 measures, and it lists them all, and then it goes into more detail on what all those  
16 mitigation measures are, that is all contained within that Statement of Overriding  
17 Consideration.

18  
19 **CHAIR LOWELL** – Gotcha.

20  
21 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm not sure what page you were  
22 referring to where it said no mitigation is required, but if you told me to look at  
23 what was on page....

24  
25 **CHAIR LOWELL** – That was on page 27 of the actual report, not the Staff's  
26 Report. Just of the actual Overriding of Considerations page, not the combined  
27 Staff Report.

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** – Oh okay.

30  
31 **CHAIR LOWELL** – I didn't mark that one up. It was basically Item No. 6 of that  
32 report. It says greenhouse gas emissions, cumulative greenhouse gas emission  
33 impacts. It says potential significant impact whether the project in connection  
34 with past, current, and probable future projects would have a cumulative  
35 significant impact from greenhouse gas emission. Findings: Potential  
36 cumulative impacts of the project-related greenhouse gas emissions are  
37 discussed in detail in Section 4.7 of the EIR Volume 3: Based on the entire  
38 record before us, this Council finds that development of the project would not  
39 result in significant cumulative impacts related to greenhouse gas emissions.  
40 Therefore, no mitigation is required. So that's what I was asking because it  
41 refers to the EIR but then it says based on the EIR no mitigation is required, but  
42 we have a whole list of mitigation so that's why the confusion showed up  
43 because it just seemed to be conflicting with another. But if what the attorney is  
44 saying is that this is referring to that little portion that the mitigation can't fix then  
45 that makes sense. But it was just rattling around in my head and didn't make  
46 sense to me.

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45

**PLANNING OFFICIAL RICK SANDZIMIER** – I’m going to let Kent address that now that we’ve located what you’re referring to.

**CHAIR LOWELL** – And, just to let you know, this is for most of these items say no mitigation required so it’s a common theme that I had so it’s more than just greenhouse gases. It’s pretty much all the items in this Overriding Consideration document.

**KENT NORTON** – I’ll start with the example of the greenhouse gases. Remember that the final EIR concluded that with all the mitigation that was existing plus taking into account benefits from the State Cap-and-Trade Program. The project would not have significant cumulative greenhouse gas emissions because so much of the greenhouse gas emissions from the project are related to vehicle fuels, which are out of the control of the City but under the control of the State. That’s why there’s no mitigations specifically identified for that, but there is quite a bit of mitigation identified for air quality impacts. A number of those measures do affect or reduce greenhouse gas emissions. Did that clear it up or make it more cloudy?

**CHAIR LOWELL** – I’m kind of clouded a little bit more.

**KENT NORTON** – I apologize.

**CHAIR LOWELL** – But it seems what you’re saying is that we are going to be reducing or limiting the types of vehicles to reduce the amount of pollution. With that said, this project, things that we can address that are within the City’s power, we’re doing everything we can to monitor and mitigate but there are things outside of our control that we can’t mitigate and that’s what the Overriding Considerations is saying.

**KENT NORTON** – By implementing the tier 4 2010 or better emissions controls or engines that measure helps then reduce the greenhouse gas emission impacts of the project, especially because this project would be implementing that requirement many years earlier than the State would have required.

**CHAIR LOWELL** – Well in not trying to beat a dead horse but why would you say no mitigation is required on this specific item? Why wouldn’t you say mitigating these tier 4 engines yadda, yadda, yadda based on all the other mitigation measures we’re already proposing in other documents.

**KENT NORTON** – I believe because the conclusion was that with the mitigation that’s proposed so far in the air quality section that no additional mitigation was needed for greenhouse gas emissions.

1 **CHAIR LOWELL** – I guess that’s the word I was missing. I mean, no additional  
2 mitigation is required would be a lot more clear and concise.

3  
4 **KENT NORTON** – I understand. We can modify that or we can provide some  
5 additional language if necessary.

6  
7 **CHAIR LOWELL** – I think that would help clear things up. I would appreciate  
8 that. Thank you. And, just for my own edification, when we’re talking about this  
9 it says tons of CO2e. I know what CO2 is, carbon dioxide. But the E?

10  
11 **KENT NORTON** – It’s carbon dioxide equivalent. That’s a way of measuring  
12 different kinds of greenhouse gases and making the calculation equivalent to  
13 carbon dioxide.

14  
15 **CHAIR LOWELL** – Okay. Thank you. I will let Mr. Barnes Speak.  
16 Commissioner Barnes please.

17  
18 **COMMISSIONER BARNES** – Quick question back to the truck monitoring, and  
19 there’s other things in the mitigation measures that require oversight by the City.  
20 First of all, is that truck monitoring program being used in other agencies, other  
21 large projects? Is that something we know really, really works? And then,  
22 second of all, along with that and the other mitigation measures that require City  
23 oversight how are those funded because when you’re talking 40 million square  
24 feet of buildings that could be a fair amount of oversight and so what’s the  
25 mechanism for funding the monitoring that the City would be doing? So two  
26 questions.

27  
28 **SENIOR PLANNER MARK GROSS** – Yeah well to try to answer I guess the  
29 first question about the monitoring and how it’s being provided, I mean the  
30 wording that is included in the Mitigation Monitoring Program is, especially with  
31 the trucks and trying to keep certain things outside, keeping logs and those types  
32 of things, is really commonplace in a lot of these large industrial or large  
33 development projects that are coming forward. I know that a lot of our other  
34 larger industrial projects have included this type of language that again provides  
35 for the review of these items. Now, as far as the funding goes, it’s really going to  
36 be as far as how the mitigation works is that if we hear that there are violations or  
37 if we hear of issues that are coming up I mean we have Staff that would have to  
38 be the ones....we would have to actually review that. I mean, it’s going to be  
39 provided out on the site. But we are going to be reviewing any information that  
40 comes before us so we could again, you know, indicate whether there are  
41 violations or not violations out on the site. I mean, there really wouldn’t be any  
42 specific funds that we would have to work with other than just what we have.

43  
44 **COMMISSIONER BARNES** – Okay, so it’s covered basically by your  
45 operational budget?

46

1 **SENIOR PLANNER MARK GROSS** – It would just be, yeah, it would be  
2 operational.

3  
4 **COMMISSIONER BARNES** – Okay.

5  
6 **SENIOR PLANNER MARK GROSS** – Yeah, it would be operational, yeah.

7  
8 **COMMISSIONER BARNES** – And then the monitoring....

9  
10 **SENIOR PLANNER MARK GROSS** – And maybe Mr. Sandzimier wants to  
11 chime in.

12  
13 **PLANNING OFFICIAL RICK SANDZIMIER** – I’m trying to find our, we actually  
14 do have a development fee. I don’t have the sheet in front of me, but there is a  
15 deposit required for mitigation monitoring. So I want to find that and with regard  
16 to monitoring mitigation measures there is a development fee that is associated  
17 with that.

18  
19 **COMMISSIONER BARNES** – Okay. Thank you.

20  
21 **SENIOR PLANNER MARK GROSS** – That’s correct. There is a fee with the  
22 Mitigation Monitoring Program and we keep that on, you know, it’s a fee that  
23 continues with the mitigation monitoring and it’s a deposit account fee. So as  
24 we’re looking at, especially if we’re looking at some of these things coming up  
25 during construction, there’s a lot of monitoring going on; a lot of items that we’re  
26 still tracking as far as the mitigation measures go. So that’s correct.

27  
28 **COMMISSIONER BARNES** – The deposit base then it gets refurbished as its  
29 used.

30  
31 **SENIOR PLANNER MARK GROSS** – Yeah.

32  
33 **COMMISSIONER BARNES** – So if they’re a gross abuser then they’re paving  
34 their own way.

35  
36 **SENIOR PLANNER MARK GROSS** – Yes.

37  
38 **COMMISSIONER BARNES** – Either construction or operationally.  
39  
40 – Correct and we would have to do that on an individual basis as we’re seeing  
41 that come up, yes.

42  
43 **COMMISSIONER BARNES** – Okay, alright, thank you.

44  
45 **CHAIR LOWELL** – Vice Chair Sims.

46

1 **VICE CHAIR SIMS** – So I’ve really got myself wrapped around the axel on this  
2 one here, so but you know this reminds me of like a Source Control Program in  
3 the waste water business where you have a programatic approach to controlling  
4 discharge. There’s thousands and thousands of discharge that come to a  
5 publically owned treatment works, so there has to be a system in place. And it’s  
6 a programatic approach and the agency that owns the publically owned  
7 treatment works where all the sewer comes to has a programatic approach to  
8 enforcing certain local limits and whatnot that they can go into the treatment  
9 plant. It would seem, all I know is being in the waste water business, that it is  
10 very expensive the source control program is something that’s very expensive. It  
11 takes Staff time. It’s not something that’s a deposit based. I can see during the  
12 mitigation measures for construction that might seem to be a good way to do it.  
13 But ongoing operation that would go on for decades into the future, the project  
14 proposes a great influx of cash benefit to the City long-term of \$11 or \$12 million  
15 per year project, right? I can’t remember the number. I shouldn’t say numbers  
16 but long story short is that I do think that, if you’re going to have a meaningful  
17 monitoring program of vehicles in and out of the facility, the City has to take a  
18 programatic approach and you have to have a fee based way to handle that. So  
19 that goes either by, you know, you have a cost per square foot, a cost per acre, a  
20 cost per truck or something like that that you assess somehow onto the actual  
21 property developer to be able to afford the way to mitigate the measures that  
22 you’re putting into this project. Otherwise, it’s meaningless to have a mitigation  
23 that you can’t enforce. So you just have to have the funds to be able to do that,  
24 however you do that. I know how we do it on the waste water side. I don’t know  
25 how you do it for something like this. I would imagine California Air Resource  
26 Board or AQMD or something like that might be able to provide the City with best  
27 practice model of how to set up a fee structure like that.

28  
29 **CHAIR LOWELL** – I have a few more, actually I have a ton of questions. I could  
30 take up all evening. The City received several letters from various concerned  
31 citizens, residents, business owners. Some that really came to the forefront for  
32 me were various agencies letters and one that stood out in most was the CARB  
33 letter from June 8<sup>th</sup>. Could the City kind of summarize your response and has  
34 CARB (California Air Resource Board) responded to the City’s response?

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – If you hold on a second, we will  
37 locate it.

38  
39 **CHAIR LOWELL** – I have it if you want it. We can move on if you want and  
40 maybe we can address that a little later.

41  
42 **SENIOR PLANNER MARK GROSS** – Yeah maybe if we can just get....we’re  
43 looking for the letter, and I think possibly the consultant who put together some of  
44 the information probably can provide some of this information as well. But were  
45 there any specific-type questions or is it just in general that we’re talking about?

46

1 **CHAIR LOWELL** – It's a pretty pointed letter from the Air Resources Board,  
2 especially the sentence that says unfortunately the ARB finds the FEIR to be  
3 legally inadequate and unresponsive to the comments the ARB provided in its  
4 April 16<sup>th</sup>, 2013 letter regarding the DEIR. That statement sits really heavy with  
5 me. And I read the response, but I was just wondering if you can elaborate on  
6 the response. And has the Air Resources Board responded to the City's  
7 response?  
8

9 **SENIOR PLANNER MARK GROSS** – Let's try to see if I can turn this over to  
10 Kent Norton who actually prepared the EIR and we're looking I think together at  
11 some of these items, so I'll turn that over to Kent.  
12

13 **KENT NORTON** – Mr. Chairman, Commissioner's obviously CARB's comments,  
14 along with the AQMD comments, raised some very strong issues about air  
15 quality impacts of the project. We believe that the analysis in the EIR is  
16 adequate. The health risk assessment was done according to AQMD's  
17 procedures for estimating those kinds of impacts. It seems to me their primary  
18 area of contention, though, is the HEI Study. Would you concur with that?  
19

20 **CHAIR LOWELL** – Yeah, I would concur with that. I tried looking it up, and I  
21 was unsuccessful in doing my research. Granted I didn't give it a whole lot of  
22 time, more than about 15 minutes trying to locate the actual study.  
23

24 **KENT NORTON** – Right.  
25

26 **CHAIR LOWELL** – But I haven't been able to read the HEI Study.  
27

28 **KENT NORTON** – The HEI or the AC Study is on the flash drive of the project  
29 files. Obviously, there are a lot of files. I understand.  
30

31 **CHAIR LOWELL** – Yeah, I printed up as much as I can until my printer ran out  
32 of ink.  
33

34 **KENT NORTON** – But I think the takeaway message that we have from the  
35 analysis though is, even if you disregard the HEI Study, the Air Quality Study/the  
36 Health Risk Assessment that was done using the latest procedures from CARB.  
37 The latest MFAC factors from CARB, using AQMD and OHEI current guidance  
38 on how to do these studies, indicates there is no significant offsite cancer risk  
39 from this project. Now some people have taken that statement to mean there are  
40 no air quality impacts and that's not true. The EIR specifically outlines what air  
41 quality impacts there are from, for example, criteria pollutants. And some of  
42 those have health effects as well. But the conclusion of the EIR was, based on  
43 the revised health risk assessment and taking into account the information that's  
44 available from the HEI Study, there is no significant cancer risk on or off the site  
45 from the project and that includes the 2010 tier 4 control over truck emissions  
46 mainly because those emissions from those trucks those newer engines are

1 much cleaner than older trucks. Now several Commissioners have already  
2 mentioned, you know, older trucks and problems with emissions with that. We  
3 believe that the monitoring of future development can adequately control truck  
4 access in and out and the requirements for these new engines. As even better  
5 technology is available, that would be incorporated whether it's mandated by the  
6 State or whether the City or a future development decides to implement  
7 additional requirements like this project is doing now. These 2010 requirements  
8 don't take effect for a number of years, and this development is being required to  
9 implement those both on construction and operational trucks. And, to my  
10 knowledge, there are no land development projects in Southern California that  
11 have had that done. They may have considered it say at the port, but this is the  
12 only large warehouse project that I'm aware of that's done that level of mitigation.  
13 And, because of that, a lot of these impacts have been significantly reduced.

14  
15 **CHAIR LOWELL** – Okay.

16  
17 **VICE CHAIR SIMS** – Can you just define when you say operational what that  
18 means?  
19

20 **KENT NORTON** – That the trucks going in and out of the project delivering and  
21 taking goods.  
22

23 **CHAIR LOWELL** – Does anybody else have any other questions on the  
24 mitigation monitoring or can we move onto more of the EIR? I have some  
25 questions on the Traffic Analysis. On the third page of the Traffic Impact  
26 Analysis Report, they were showing different paths of travel and different  
27 intersections that were being studied, and I was curious why Reche Canyon  
28 showed up on that study? That is a very windy rural road. Is Reche Canyon  
29 designated a truck route? I know that's outside of the City's jurisdiction, but  
30 there's several intersections on here that look like the World Logistics Center  
31 shouldn't have an effect on those areas yet of a study. And I couldn't quite tell if  
32 those areas were affected specifically by the World Logistics.  
33

34 **SENIOR PLANNER MARK GROSS** – We'll turn that over to Michael Lloyd to  
35 answer that question.  
36

37 **TRAFFIC ENGINEER MICHAEL LLOYD** – Good evening Chair and  
38 Commissioners, I'm Michael Lloyd with Transportation Engineering. The study  
39 intersections were determined based upon traffic modeling results, so the  
40 consultant who prepared the Traffic Study ran the model and the model was able  
41 to distribute the trips according to tractors and generators so evidently at this  
42 particular location the consultant felt there were enough trips from the project  
43 through this area that it warranted studying.  
44

45 **CHAIR LOWELL** – For instance, the study says the study included intersections  
46 where the proposed would add 50 or more peak-hour trips. So we're going to

1 have 50 or more peak-hour trips at some of these remote locations that seem  
2 pretty far away from the project and my instinct says there shouldn't be any  
3 effects, but it looks like there are. And it says any freeway ramps where 100 or  
4 more peak-hour trips were studied. And, like I said, Reche Canyon seems to be  
5 way out of the way and that was actually on page 2. But, on page 3, there's a  
6 map and it's showing intersections were studied all the way down to the City of  
7 Perris along Perris Boulevard. It looks like, according to this Traffic Study, that  
8 trucks are being directed westerly and southerly along Alessandro and Cactus  
9 and southerly along Perris. But, later on in the study, it says Alessandro and  
10 Cactus are not truck routes and Cactus isn't allowing any trucks to go that way  
11 and Alessandro is not being widened. But yet it's being studied in this report as  
12 for having 50 or more trucks going through there so is....

13  
14 **COMMISSIONER VAN NATTA** – Chairman.

15  
16 **CHAIR LOWELL** – Yes Ma'am.

17  
18 **COMMISSIONER VAN NATTA** – If I could insert here I think the total number of  
19 trips is not just the trucks. It would be the people working there, going there for  
20 business, maybe people coming down from San Bernardino through Reche  
21 Canyon to get to work and that sort of trips.

22  
23 **TRAFFIC ENGINEER MICHAEL LLOYD** – That is correct. The trip threshold is  
24 all trips, not just truck trips.

25  
26 **CHAIR LOWELL** – That did not register in my head when I was thinking about  
27 that. Thank you. Then it was also showing the designated truck routes, and let  
28 me see if I can get this map. On page 15, it shows that Alessandro is a  
29 designated truck route. Or, I'm sorry, it says Cactus is a designated, where did  
30 that map go, hang on a second. Bear with me. Where did it go? I'm sorry, it's  
31 on page 40, existing designated truck routes. There's a map, and it shows  
32 Alessandro clear from the 215 Freeway all the way to Gilman Springs is a  
33 designated truck route. Is that going to be taken off the City's designated truck  
34 route if and when this project gets approved?

35  
36 **TRAFFIC ENGINEER MICHAEL LLOYD** – The Specific Plan makes  
37 recommendations in terms of what truck route should be in the future and it  
38 would be taken up with Council at a future date. All truck routes are governed by  
39 the Municipal Code, so it required Council action to make changes to the truck  
40 routes within the City. That is correct.

41  
42 **CHAIR LOWELL** – And the motions that are before us or the recommendations  
43 before us, is that included?

44  
45 **TRAFFIC ENGINEER MICHAEL LLOYD** – It's within the Specific Plan  
46 document itself in terms of recommended truck routes, so at a future date when



1 it's appropriate those truck routes would be adjusted to reflect the project as it  
2 develops.

3  
4 **CHAIR LOWELL** – Okay.

5  
6 **TRAFFIC ENGINEER MICHAEL LLOYD** – I believe on the Specific Plan that's  
7 on page 477, there's some information on the truck circulation and the truck  
8 routes that are included within the Specific Plan documents so.

9  
10 **CHAIR LOWELL** – Thank you. Similarly, along that same line, Alessandro from  
11 the project to Gilman Springs, it shows that it's not...on page 15 there's a map  
12 and it shows red roads are being improved by the tenant, blue roads are being  
13 improved by the tenant, blue are improved by others, and grey is not called out.  
14 Who improves the stretch of Alessandro Boulevard from the project, which looks  
15 like it's the street between Theodore and Gilman Springs and Alessandro? Is  
16 that something that the City would take care of? What was the intent on that?

17  
18 **TRAFFIC ENGINEER MICHAEL LLOYD** – Alessandro, and you're referring to  
19 figure 5 on page 15 is that correct?

20  
21 **CHAIR LOWELL** – Yeah. It says roadway improvements assumed for 2022. I  
22 guess that would be a future improvement?

23  
24 **TRAFFIC ENGINEER MICHAEL LLOYD** – Correct. I believe if I understand  
25 your question correctly.

26  
27 **CHAIR LOWELL** – I've printed these up really small so I'm trying to put them all  
28 together. I'll defer over to the next speaker, Commissioner Van Natta.

29  
30 **COMMISSIONER VAN NATTA** – I just had another question regarding that  
31 route and when it's going to be developed because one of the previous questions  
32 I had was are we maintaining access from the East side of Moreno Valley to  
33 Gilman Springs Road throughout the entire project development to where people  
34 who live in that area will be able to go to Gilman Springs Road without going up  
35 to the freeway?

36  
37 **PLANNING OFFICIAL RICK SANDZIMIER** – The answer to that question would  
38 be yes. With the extension of Cactus up to Alessandro, you would be able to  
39 travel all the way down from the 215 to Gilman Springs Road and get through the  
40 project area. That doesn't necessarily mean it would be a truck route, so there is  
41 traffic so passenger vehicles are allowed to make that route.

42  
43 **COMMISSIONER VAN NATTA** – And that's going to be maintained throughout  
44 the development because I know some of that stuff is planned for, like the  
45 extension of Cactus. When the existing Alessandro is cut off and Cactus is  
46 extended and then you have the new section of Alessandro from the project line

1 over to Gilman Springs Road, is that always going to be open throughout the  
2 development and there's not one time at which you say okay well this is cut off  
3 but that isn't built yet?

4  
5 **TRAFFIC ENGINEER MICHAEL LLOYD** – That would be our intent, yes, that  
6 throughout the course of this project from the date that the disconnect of  
7 Alessandro at Merwin is approved the approval of that disconnection would be  
8 contingent upon Cactus Avenue being extended to Alessandro to maintain the  
9 access that you described and that the intent would be for Alessandro to always  
10 be linked to Gilman Springs throughout the life of the project. It would just be  
11 improved at various stages from the current two lane configuration built out to its  
12 proposed four lane designation.

13  
14 **COMMISSIONER VAN NATTA** – Okay, thank you.

15  
16 **CHAIR LOWELL** – Mr. Sims.

17  
18 **VICE CHAIR SIMS** – So for clarity, is Cactus Avenue currently on the City's  
19 Master Plan to be a four lane all the way from the 215 all the way out to I guess  
20 to Redlands Boulevard?

21  
22 **TRAFFIC ENGINEER MICHAEL LLOYD** – From the 215 to Heacock, it is a six  
23 lane divided roadway and it's currently under construction as you probably  
24 noticed. From Heacock out to Redlands, it is identified on our current General  
25 Plan as a four-lane roadway.

26  
27 **VICE CHAIR SIMS** – Okay and is it designated as a truck route?

28  
29 **TRAFFIC ENGINEER MICHAEL LLOYD** – Currently, the truck route  
30 designation for Cactus Avenue is from the 215 to Perris Boulevard.

31  
32 **VICE CHAIR SIMS** – Okay so....

33  
34 **TRAFFIC ENGINEER MICHAEL LLOYD** – East of Perris Boulevard, Cactus  
35 Avenue is not currently a truck route.

36  
37 **VICE CHAIR SIMS** – Yeah because once it would seem that, if the 60 got fouled  
38 up, that would become the primary path of least resistance then.

39  
40 **TRAFFIC ENGINEER MICHAEL LLOYD** – That's possible. However, as I  
41 mentioned previously, the Specific Plan identifies what the recommended truck  
42 routes are and so as the project develops and the Plot Plans are reviewed, with  
43 each Plot Plan approval there would be recommendations that if we need to  
44 modify the truck routes to accommodate and make sure the trucks are focused  
45 back to the 60. But there's no intent or proposal with the Specific Plan to change

1 the designation to Cactus. That's not a recommendation in the Specific Plan and  
2 I wouldn't envision it being in the future as well.

3  
4 **VICE CHAIR SIMS** – Okay, thank you. I have a couple more, so I was looking  
5 at Table 4.15. It's project trips by vehicles. I'll give you a second to find that. I  
6 think it's in the final programmatic EIR on page 4.15-47. Do you have it Michael?  
7

8 **TRAFFIC ENGINEER MICHAEL LLOYD** – I apologize. I don't have the EIR in  
9 front of me. However, I do have the Traffic Study, which has the same table I  
10 believe.

11  
12 **VICE CHAIR SIMS** – It's the project trips by vehicle type.

13  
14 **TRAFFIC ENGINEER MICHAEL LLOYD** – Yes.

15  
16 **VICE CHAIR SIMS** – And it talks about a.m. in and out totals and p.m. in and out  
17 totals. Then, it goes to passenger car equivalents and so forth. That one?  
18

19 **TRAFFIC ENGINEER MICHAEL LLOYD** – Yes, I do have that in front of me.  
20

21 **VICE CHAIR SIMS** – So is this table, if I was to focus on just the autos and then  
22 they have light, medium, and heavy trucks, those are the specific...if I looked at  
23 just the trucks, not the passenger car equivalents, that's the actual distribution of  
24 in and outs to the project?  
25

26 **TRAFFIC ENGINEER MICHAEL LLOYD** – Yes, that is correct.  
27

28 **VICE CHAIR SIMS** – Okay and that's what all the modeling as done on?  
29

30 **TRAFFIC ENGINEER MICHAEL LLOYD** – That is correct.  
31

32 **VICE CHAIR SIMS** – Okay. Okay, so just to put it in perspective I just did some  
33 quick math just on the trucks. And I don't know where the distribution is, so I  
34 couldn't figure that out. But, just to put it in perspective, the project would have at  
35 build-out approximately 17...in the a.m. the peak would be about 17 trucks in and  
36 out per minute is what that kind of calculates out to and then in the p.m. you get  
37 closely 16 or 17 coming out during the peak a.m. and peak p.m. periods so it  
38 worked out pretty much equivalent. You know, I don't know I know truck traffic is  
39 truck traffic so I don't know if that seems like a lot but it is what it is. So, having  
40 said that, moving over onto page there's a Figure 4.15.5, it's roadway  
41 improvements assumed for 2022. The document that has, it looks like this.  
42

43 **CHAIR LOWELL** – That was the same document I was referring to.  
44

45 **VICE CHAIR SIMS** – Yeah and so there's improvements provided by the World  
46 Logistics project and that's the red projects. The black I assume are already

1 where their at and then the blue is all improvements that are assumed. I went  
2 back really quick. The wording was in here, and it said the blue improvements  
3 are assumptions for the modeling done for the Traffic Analysis for 2022. And  
4 there's a similar document on the next page or whatever page it was for the 2035  
5 phase to build out. So I guess a couple of questions are there was one of the  
6 gentleman in the public comments that talked a little bit about SR-60 going  
7 through the Badlands. So, if I was to take this for face value, what it says is that  
8 there is supposed to be an add of one truck lane in each direction through the  
9 Badlands for the project by 2022. That's the assumption for the modeling. Is  
10 that correct?

11  
12 **TRAFFIC ENGINEER MICHAEL LLOYD** – That is correct. It is an assumption,  
13 and there is a project currently being undertaken by RCTC the Riverside County  
14 Transportation Commission, which they are currently designing and going  
15 through the environmental and right-of-way process. It's a fully funded project,  
16 and the tentative schedule at this point is for construction to be completed by  
17 2019.

18  
19 **VICE CHAIR SIMS** – Okay and what's the approximate amount of traffic, if the  
20 World Logistics project is approved, what would be the truck traffic that would be  
21 going east in the 2022 scenario?

22  
23 **TRAFFIC ENGINEER MICHAEL LLOYD** – Based upon the Traffic Study on  
24 page 99, there's Figure 44 which shows the daily distribution of truck trips. And  
25 to the east, through the Badlands, it identifies the number of trips at 9%.

26  
27 **VICE CHAIR SIMS** – That's the number I, okay, so that's good to hear on the  
28 Badlands. So, just to repeat what you said, is through who is funding that? Is  
29 that a TUMF or is that WRCOG money or?

30  
31 My understanding is they use federal funding. It's called CMAQF (Congestion  
32 Mitigation Air Quality Funds), as well as other funding. I don't know the full  
33 funding package, but it's not a use of local funding per say. It's a package of  
34 federal and I'm guessing, I'm not sure.

35  
36 **VICE CHAIR SIMS** – Who is the lead agency for the improvements?

37  
38 **TRAFFIC ENGINEER MICHAEL LLOYD** – RCTC.

39  
40 **VICE CHAIR SIMS** – Okay. Alright, okay then the other thing....well so that was  
41 good. So I picked the first one that was funded. But if you go down, relatively  
42 speaking, all the red I understand would be on this map would be more or less  
43 interior projects that were being built with the project and funded by the  
44 developer. So all the blue then is assumed to be built by others. Then I counted  
45 up one, two, three interchanges that have to be improved and so forth and  
46 Gilman Springs from Alessandro to Sanderson and so forth. So on this thing it

1 says improvements provided by others. So to kind of cut to the chase, my  
2 questions are, I understand the developer will pay for 100% new development,  
3 should pay for new development and so the impacts of their project interior to  
4 their project they'll build all the facilities associated with that. The impacts of the  
5 project outside of the project boundary will be some kind of a DIF or TUMF fee  
6 that's going to be collected. So has anybody done a full tally of all the impacts  
7 that the project will have on traffic? You know, there's bunches and bunches of  
8 intersections and things and some route ways that are affected that propose, let's  
9 not even worry about the stuff that's outside of what's on this map, just the things  
10 that say these are assumptions in the Traffic Analysis. Have all those costs been  
11 tallied up? Is there a grand total of estimated on 2015 dollars what that would  
12 cost?

13  
14 **TRAFFIC ENGINEER MICHAEL LLOYD** – I'm not aware of any calculation in  
15 terms of determining dollar amounts specific. What I can answer, I think where  
16 you're going with your question is the Traffic Study identified direct impacts. It  
17 also identified what assumptions were made in the existing plus project  
18 conditions, which is what establishes what the project direct impacts are. Those  
19 direct impacts, those assumptions in that analysis, would be the projects  
20 responsibility for doing those improvements. And that would be determined with  
21 each subsequent Plot Plan Traffic Study. We would identify if the direct impact is  
22 occurring with that specific building. If in fact it were, the project would be  
23 conditioned to make that improvement. It would be a condition on that particular  
24 building. Then there's a host of cumulative impacts, which takes into account all  
25 the regional activity in the area. And, in those instances the project and it's a  
26 long list of cumulative impacts, and the project would be responsible for paying  
27 its fair share whatever that percentage is calculated to be applied towards what  
28 the cost of the improvement is. The project would be responsible for that fair  
29 share contribution for that location again predicated on each building as it comes  
30 through.

31  
32 **VICE CHAIR SIMS** – Thank you for that. So let me process that a little bit. So  
33 direct impacts are paid directly by the developer or project proponent and  
34 because this is programmatic it would as CUP's and Plot Plans come through. On  
35 indirect cumulative impacts, is there a list of...let me catch myself here. How is  
36 the fair share determination made on cumulative impacts as if it's not done on a  
37 whole as a master plan community with assumptions for each, we know there's a  
38 proposal for 40 million square feet of warehouse but these are going to be done  
39 in smaller increments. How do we know if you don't collect it in the whole basic  
40 assumptions how are you going to collect it in the increment as each individual  
41 Plot Plan or CUP comes through? Is there an allocation system set up for that?  
42

43 **TRAFFIC ENGINEER MICHAEL LLOYD** – There's not a final dollar amount. I  
44 believe that's what you're alluding to that there's a....  
45  
46

1 **VICE CHAIR SIMS** – It’s not dollars. It’s percent or the methodology.

2  
3 **TRAFFIC ENGINEER MICHAEL LLOYD** – Sure the methodology would again  
4 be building by building and then whatever that incremental cumulative impact  
5 percentage, the projects contribution to the impact above and beyond the  
6 acceptable level of service, their percentage contribution would be their  
7 responsibility and would be calculated at that time for that buildings Traffic Study  
8 and be reported with that Traffic Study. There would also be an improvement for  
9 the mitigation, so we would be able to assign a dollar amount to what that  
10 improvement is and apply that percentage towards that dollar amount and that  
11 would be the assigned fair share contribution. One thing I failed to mention, and I  
12 apologize, the project is responsible for TUMF as well. So the project would be  
13 paying into the WRCOG Regional Fee System for regional improvements.

14  
15 **VICE CHAIR SIMS** – Okay so on the TUMF when you say that the incremental  
16 amount would be calculated by project, that’s a cumulative impact, so they pay a  
17 proportionate share based on impact. Is that in additional to the TUMF, or is the  
18 cumulative cost that’s being paid for by the individual Plot Plan or CUP is that  
19 credited against TUMF?  
20

21 **TRAFFIC ENGINEER MICHAEL LLOYD** – Right so in the analysis, we typically  
22 in review and assignment, we include what TUMF would put into the ground as  
23 an improvement so they would be contributing. That would be their fair share  
24 towards the TUMF covered portion of the improvement. So if there are  
25 improvements above and beyond what the TUMF program provides, so let’s say  
26 the Traffic Study identifies it needs additional turn lanes that’s kind of the typical  
27 mitigation measure above and beyond what TUMF would cover. That would be  
28 what we would apply the fair share calculation towards.  
29

30 **VICE CHAIR SIMS** – So going a little bit further on the TUMF, the TUMF I would  
31 assume that WRCOG or whoever is the lead agency that does the Fee Nexus  
32 Study to establish the TUMF fee they must of done some rigorous Regional  
33 Countywide Study or however they got to the point and they’ve come up with  
34 their smorgasbord of fees based on the land use that’s going to be developed.  
35 When was that TUMF Fee Nexus Report done and did it incorporate the World  
36 Logistics project?  
37

38 **TRAFFIC ENGINEER MICHAEL LLOYD** – We’re currently going through the  
39 process of updating. Their preparing a Nexus Study as we speak. I think they  
40 have a draft ready at this point, and it’s being reviewed at the staff level so that  
41 they can take it forward and approve it. In terms of what’s within the Nexus  
42 Study, I don’t have specific details in terms of what the assumed network would  
43 look like. Off the top of my head, I do know that the Theodore 60 interchange is  
44 included. The Redlands 60 interchange is included. Gilman Springs 60  
45 interchange is included. Those were three items that I am aware of being in

1 there. But, in terms of other specific roadways, I don't have that in front of me  
2 right now.

3  
4 **VICE CHAIR SIMS** – So to repeat back what I think I heard is that the Fee  
5 Nexus Study is being updated and it will include the World Logistics project.

6  
7 **TRAFFIC ENGINEER MICHAEL LLOYD** – I don't have the specific answer and  
8 I apologize I don't have the Nexus Study in front of me, so I don't have it as a  
9 reference. If I need to look it up and I can do and report back once I have that in  
10 front of me.

11  
12 **VICE CHAIR SIMS** – I would like to have that information because just by  
13 definition if the Fee Nexus Report is collecting TUMF fees in the absence of this  
14 project and there could be a potential inequity that this project is not paying its full  
15 fair share of the regional improvements that TUMF is anticipating is needed for  
16 the region. But I can certainly mitigate that, in my own mind is, is what's  
17 dependent upon when collection of the fees are done. If TUMF is paid prior to  
18 Certificate of Occupancy, then the Fee Nexus Study will sort itself out going  
19 forward.

20  
21 **TRAFFIC ENGINEER MICHAEL LLOYD** – I agree with you that those fees that  
22 would be collected with each individual building as it comes through at the time of  
23 occupancy, so there's certainly lead time for probably quite frankly the next  
24 Nexus Study to be in place. And it would obviously reflect, assuming this project  
25 is approved and moves forward, that it would reflect the project at that time.

26  
27 **PLANNING OFFICIAL RICK SANDZIMIER** – If I may Mr. Chairman and  
28 Members of the Commission, with regard to the TUMF program, the executive  
29 director from WRCOG was recently at the City Council and there was a request  
30 made to do a calculation of the TUMF fees that could be paid by this project and I  
31 know that their staff had contacted us to do a rough calculation. I know WRCOG  
32 basically is aware of the project, and they have done an estimation of what the  
33 TUMF fees could be. I don't know what that specific number is. I don't have it in  
34 front of me at this point, but I know they are aware of it. With regard to the  
35 regional infrastructure that Michael has touched on, we know that that's already  
36 being considered or included. With regard to the Development Agreement that is  
37 part of this project and with regard to the mitigation measure that is identified on  
38 page 400 and 401, it outlines very specifically what the requirements of the  
39 project would be with regard to payment of TUMF fees. And, in the Development  
40 Agreement, it is one of the fees that we don't control. And it basically says that  
41 the developer would pay the TUMF fees that are in place at the time and they are  
42 collected at the Certificate of Occupancy. So, as Mr. Lloyd indicated also, if the  
43 Nexus Study that's currently under way doesn't capture the World Logistics  
44 Center project the next time that WRCOG wants to update their Nexus Study  
45 they could include it and this project would be required to pay those fees that are  
46 in place at that time. So there's nothing that we have in the approval that is in

1 front of you, or the mitigations in front of you, that would preclude them from  
2 having to contribute to the appropriate TUMF network.

3  
4 **VICE CHAIR SIMS** – And if you would indulge me if that’s okay, going back to  
5 these figures for the figure 4.15.5 with the roadway improvements assumed for  
6 2022 and then there’s a like on I think it’s 4.15.6, what happens? All the  
7 improvements are assumed. I’m assuming, based on reading this, the Traffic  
8 Impact Analysis assumes all of these improvements are in place to determine the  
9 level of service for the various intersections, roadways, ramps and so forth. Is  
10 that correct?

11  
12 **TRAFFIC ENGINEER MICHAEL LLOYD** – That is correct.

13  
14 **VICE CHAIR SIMS** – And just as a professional, are all of these improvements  
15 by 2022 with unknown funding sources approved at this point? I mean freeways  
16 and onramps we’re only talking seven years from now. I mean 2022, just from  
17 my experience, interchanges move at glacial speed not seven-year speed. So I  
18 guess it kind of goes to the heart of my concerns about the Traffic Analysis is, if  
19 these aren’t all in place by the assumptions, you potentially have a long cul-de-  
20 sac for a big user and it’s going to be hard to get in and out of the cul-de-sac.

21  
22 **TRAFFIC ENGINEER MICHAEL LLOYD** – I understand your concern. The  
23 methodology that was employed here, to my understanding, meets the CEQA  
24 requirements. If this helps alleviate those concerns, please remember that each  
25 individual building will have to have a Traffic Study done tied to that Plot Plan.  
26 And, as we work through those individual buildings, it’s less likely that Staff would  
27 say alright it’s okay to assume these improvements to be in place. We need to  
28 look at the immediate future in terms of what infrastructure is needed to support  
29 that individual building. So, again, this is programatic big picture in terms of what  
30 will probably happen over the course and the life of this project. And these  
31 improvements because we’re talking a long period of time these improvements  
32 are on the books and so it was deemed appropriate to assume at some point in  
33 time the improvements would be there. However, we’ve got the mitigation  
34 measure in place that requires each individual building to have that Traffic Study,  
35 and like I said, it’s less likely Staff would be willing to assume improvements to  
36 be in place because we’re more concerned at that level where at a project level  
37 we need to know what is needed immediately to support that individual building.  
38 So it wouldn’t be prudent to assume certain improvements to be in place if they  
39 are not funded and a construction schedule being established.

40  
41 **VICE CHAIR SIMS** – I understand that. This is just one Planning  
42 Commissioners opinion is that it’s just difficult. I totally get that this EIR is a  
43 programatic approach and I like Master Plans. I think part of Moreno Valley, as a  
44 whole, is it’s an accumulation of communities that were approved in the County  
45 and so you have parts of the city that didn’t have master planning. You have  
46 parts of the city that have been master planned and you see a stark difference in



1 much of it. So I like the master plan and I understand it's programatic. I also,  
2 though, it concerns me that if you don't have mechanisms in place and you make  
3 assumptions for the traffic that are going to be done in a programatic manner for  
4 all the improvements the phase one, which coincides with 2022 is approximately  
5 about 20 million square feet of building, you have I don't know how big each one  
6 of these boxes are going to be but you only might have five maybe six boxes in  
7 the first phase. And so to say well gosh we didn't get 60 built going out then that  
8 really leads for the third guy to come in. The third box, even though it's a big  
9 project 2 million square feet or something like that, in the scheme of things it's  
10 not big enough to do a significant interchange or something like that. So I have a  
11 little bit of concern about the programatic nature and not having that really dialed  
12 up because you could get into a spot where it kind of collapses on itself or the  
13 City suffers from decay of level of service on streets because an individual  
14 project, although large in of itself, isn't large enough to do a major freeway  
15 improvement.

16  
17 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman and Members of the  
18 Commission, if I can, I know that this is a very important topic for not only the  
19 Commission but for the public and for the Staff. I just want to direct the  
20 Commissions attention to the specific language within the Staff Report in order  
21 for you to kind of read along if you'd like. It's on page 399. It is Mitigation  
22 Measure 4.15.7.4A and it outlines very, very specifically almost on two pages, it  
23 goes about at least a page if you go both pages, what the requirements would be  
24 for the subsequent Traffic Impact Analysis at the project level. It also identifies  
25 who has the discretion in determining when the improvements will need to be put  
26 in place. And under the sanctions for noncompliance, and I wanted to make sure  
27 you guys do see that, it says withholding building permits. So that gives the  
28 authority to the City to basically be in the driver's seat to determine, if the Traffic  
29 Analysis is not demonstrating that the development is going to mitigate the  
30 impacts appropriately, there's an opportunity for the City to basically withhold the  
31 building permits. That's also reflected on page 692 of the Staff Report and this  
32 has to do with the Development Agreement itself under provision 4.10. The  
33 City's provision of public infrastructure and services at the top except as  
34 otherwise prescribed in this agreement and are required of the development to  
35 existing and future mitigation measures, development standards, and conditions  
36 of approval. So it's basically saying the City will have the opportunity to reassess  
37 this and apply additional conditions of approval. The city shall provide the public  
38 infrastructure and the services which are not Highland Fairview's responsibility as  
39 determined by the City with the timing at the sole and absolute discretion of the  
40 City. So, if the City says all the obligations are Highland Fairview's, we're not  
41 assuming any additional responsibility so that's all going to take place at the time  
42 of development. And it does ensure that the mitigation measures, the  
43 development standards, and the conditions of approval that we can place all the  
44 subsequent approvals are put in place. I'm just trying to give you some  
45 assurance that, while this is a program level document, we've tried to drill down  
46 with some specificity that can be implemented at the project level. This is not

1 uncommon with large projects. This is a project of significant size. It will be  
2 phased over time. It's nearly impossible to try and pinpoint the exact specific  
3 cost of all the improvements at this time because you don't know exactly where  
4 the buildings are going to be, what roads are going to go in at what particular  
5 time, and how much right-of-way is going to be required and all these things so it  
6 would be some guesswork involved. But, at this level, I feel confident that our  
7 traffic staff, we also have the expertise from the environmental team who did the  
8 Traffic Analysis. I don't know if Don Hubbard wanted to share any particular  
9 information about the Traffic Analysis to give you some more assurances, but I  
10 just want you to know that we appreciate your concerns on this one.

11  
12 **CHAIR LOWELL** – Let me interject real quick before Commissioner Barnes  
13 jumps in here. Let me get my train of thought here, where did it go, where did it  
14 go, where did it go? One of the assumptions in the Traffic Impact Analysis was  
15 the trip generation rates. And I know that the report did a study on 31 buildings  
16 analyzing during peak hours during peak times of the year around December  
17 studying them for a 24-hour period and did the equivalents and math equations.  
18 One of the things that they were saying is that the best match to the proposed  
19 World Logistics buildings is the existing Skecher Building. But it says, in  
20 November 2012 the traffic counts were conducted after the building had been in  
21 full operation for over a year. Is that accurate? Are the buildings currently in full  
22 operation? I was under the impression that building has not been in full  
23 operation yet, so would that mean...well let me get an answer to that question  
24 first. I don't know if Highland Fairview would be willing to answer that? Is  
25 Skechers, as of November 2012, was it at 100% capacity and in full operation?  
26 Yeah, please. Okay since you were not at the microphone, you said the building  
27 was fully functioning and fully operating. But is the building at capacity meaning  
28 there's no vacant space so it's going to be at it's highest demands and highest  
29 trip generation rate? If you can step up to the microphone so everybody can  
30 hear you. The reason why I asked is because it says that the traffic counts were  
31 conducted in November 2012 after the building was in full operation for a year  
32 and it says that the summation of that study was that less than half of the  
33 anticipated traffic actually exists. So I'm hearing rumors that the Skechers plant  
34 is only 50% capacity or it's got room to build out more, so if you could answer  
35 that question it would kind of close some of my concerns.

36  
37 **APPLICANT IDDO BENZEEVI** – So, two fold. I think the most appropriate way  
38 to answer it is to actually have the traffic engineer who conducted the study  
39 because I don't want to speak for the EIR and the City's review. But, from our  
40 perspective, the building was delivered and is operational. Now they have  
41 capacity to increase. You know, they have capacity to actually have more  
42 throughout with the building but it is fully occupied. If you visit, I don't know if any  
43 of you have visited the building, you'll see it's entirely built out on the inside and  
44 they are fully operational. Now all the equipment and the operation in and of  
45 itself probably has more capacity to get more throughout without, but they are  
46 fully operational and they are actually doing extremely well. At this level, I don't

1 know if you're familiar, but Skechers is probably twice or three times what they  
2 were and so the level we see today is pretty much the level we're probably going  
3 to see.

4  
5 **CHAIR LOWELL** – Okay but three years ago when the study was performed, do  
6 you know if that was the highest use?  
7

8 **APPLICANT IDDO BENZEEVI** – I don't know if it's the highest with or with the  
9 highest ever used, but I think the study doesn't rely on Skechers a single point.  
10

11 **CHAIR LOWELL** – No it doesn't. I'm just gazing for comparison.  
12

13 **APPLICANT IDDO BENZEEVI** – Yeah I think to say it's the highest it will ever  
14 be, I can't answer that. I don't know. I think the reality of it is that it is  
15 substantially operating, in other words, it's probably close to what it will be but I  
16 think the traffic engineer could probably respond to more specifics about how the  
17 study was conducted and how much weight was actually put on the Skecher  
18 facility itself in the overall analysis. It could of have been that it's just there and  
19 the total reference point is compared to basing the analysis on the Skecher  
20 facility.  
21

22 **APPLICANT IDDO BENZEEVI** – One thing since I'm here. I think  
23 Commissioner...you mentioned that you calculated the numbers of trucks  
24 coming in and out. You have to be careful confusing because it's easy to  
25 confuse between truck trips and number of trips and the definition of trucks,  
26 which includes the UPS trucks or the Federal Express trucks. I think you're  
27 mostly referring to the heavy trucks, and we went through that in one of my slide  
28 presentations, it's a much, much smaller number. So, if you actually look at the  
29 numbers coming in and out, that's very different and much more significantly  
30 lower than the calculation you made. I don't want to take your time up now, but  
31 we can do that calculation even together if you like through the slides.  
32

33 **CHAIR LOWELL** – Well this specific item was just saying that the general trip  
34 generation rate was substantially less than an anticipated, so that's what brought  
35 the question.  
36

37 **APPLICANT IDDO BENZEEVI** – Yeah I think Staff, maybe the traffic engineer is  
38 here and you can maybe ask him directly.  
39

40 **CHAIR LOWELL** – Okay we'll get back to that then. I had a couple more  
41 questions for Michael Lloyd on the same idea that Mr. Sims was talking about.  
42 On the map that shows improvements assumed for 2022 and the other map for  
43 improvements expected to be completed by 2035, I noticed on the 2022 map it  
44 shows permit numbers RIV120201 for the Badlands expansion of the 60  
45 Freeway. Are there any projects that are improvements provided by others as  
46 stated on this map that are not fully funded and already in the design phase?

1  
2 **TRAFFIC ENGINEER MICHAEL LLOYD** – I don't know the status offhand  
3 immediately for each and every project listed. I can tell you that, the Theodore  
4 interchange at 60, that project is funded through the preliminary engineering and  
5 environmental document phase. That's currently ongoing. Redlands at 60  
6 interchange that is going through the project study report phase, which is kind of  
7 kicking off the project to get it through design. I'm not aware of Gilman at 60 any  
8 work at this point being done on that project. And then over at Moreno Beach  
9 Drive and the 60, I believe plans are complete for that project and we're waiting  
10 for funding for construction. So at least the interchanges along the 60 I'm aware  
11 of those particular, but the other projects I don't know offhand.

12  
13 **CHAIR LOWELL** – Are there any regional improvements that are within the  
14 City's sphere of influence or within our authority that need to be done in order to  
15 make the WLC project a more viable project and have less effect on the traffic in  
16 and around the neighborhood that are unfunded or that aren't mentioned here?  
17 There's quite a few improvements. I was just curious if there is anything that is  
18 out in the outskirts that needs to be addressed but isn't really focused on the  
19 WLC project.

20  
21 **TRAFFIC ENGINEER MICHAEL LLOYD** – Right. I think I understand your  
22 question and the Traffic Study was comprehensive enough that it, as you  
23 probably noticed, there was quite a list of direct impacts and cumulative impacts  
24 so all of those impacts whether they are within the City or outside even on the  
25 periphery those impacts have been indentified and the necessary mitigation  
26 measures to bring them to a satisfactory level of service has also been identified.  
27 I would have to go through the list line item by line item to determine is this a  
28 TUMF facility number one. And, if it's not you know, then what are the  
29 improvements needed to make it work.

30  
31 **CHAIR LOWELL** – What I was going for, I was kind of building up to it, but  
32 there's a project in Corona called Arantine Hills I believe. And it's a pretty large  
33 regional master plan sub-development and one of the key projects is that there is  
34 this major bridge that has to built and it's something like \$17 million or \$20 million  
35 and there is no funding source for that bridge. But the developer agreed and  
36 said hey we'll put in the bridge now. We'll front all the money knowing that at  
37 some future date we will be reimbursed for it. So that's what I was wondering.  
38 Are any of these projects partially funded that, should the developer desire, be  
39 able to front the money in advance and say hey I want to improve Theodore  
40 Street. I want to put in that bridge, the big landmark bridge that we were shown  
41 in the Power Points. I want to fund that just to put our bookmark down and say  
42 this is what we want to do, but we could get funding returned in the future. Is that  
43 something we could put in our plans or in our I don't know in some of this  
44 documentation saying hey if the developer wants to build something advance  
45 should funding become available we could reimburse them?

46

1 **TRAFFIC ENGINEER MICHAEL LLOYD** – The answer is yes. Those  
2 opportunities are there and that would again I hate going back to this mitigation  
3 measure of future traffic studies. But with those individual buildings, as they  
4 come through, we'll identify what those direct impacts are that that will lead us in  
5 the path in terms of what the infrastructure is needed at that time to support that  
6 building. The bigger picture, the big item the bridges at the interchange, there  
7 are definitely opportunities to develop partnerships between the City, as well as  
8 the developer if there's a desire to have an iconic bridge, a statement into the  
9 city. There are opportunities there to work with the developer because obviously  
10 there is a baseline cost in terms of a typical Caltrans Bridge facility. And then, if  
11 we're wanting something above and beyond that, obviously the monies have to  
12 be identified to move the project above and beyond what Caltrans would  
13 normally provide.

14  
15 **CHAIR LOWELL** – Thank you. Mr. Barnes.

16  
17 **COMMISSIONER BARNES** – Alright a couple of questions a little more general  
18 in nature. One of the public speakers had made reference to I think the total was  
19 32 million square feet of big box under construction or approved in this region. I  
20 know the Traffic Study has to account for projects that I think fit in that category.  
21 Is that number accurate? Do we have that number? So what's the amount of big  
22 box in addition to WLC that's in the pipeline that impacts this region.

23  
24 **TRAFFIC ENGINEER MICHAEL LLOYD** – I offhand do not know if that number  
25 is accurate. What I can tell you is the Traffic Study included all foreseeable,  
26 which includes approved projects, projects in the pipeline, projects under  
27 consideration within the region. It was quite exhaustive. If we need to get into  
28 specific details in terms of what project was or was not included, as the Planning  
29 Official stated the traffic engineer who prepared the document is here to answer  
30 that question.

31  
32 **COMMISSIONER BARNES** – And I'm not looking for specifics, just kind of the  
33 order of magnitude. You know, what are we talking about here?

34  
35 **TRAFFIC ENGINEER MICHAEL LLOYD** – And I would again have to call on  
36 the traffic engineer to provide that order of magnitude estimate.

37  
38 **COMMISSIONER BARNES** – Could we get that?

39  
40 **PLANNING OFFICIAL RICK SANDZIMIER** – Don Hubbard, could you come to  
41 the microphone. Is this something that you can touch on. If you need us to  
42 drilldown on some of the TAZ Analysis, we can try and find that for you while  
43 you're at the microphone.

44  
45 **DON HUBBARD** – Thank you. How do I turn this on? Well what we used was  
46 the land use assumptions that are coming from SCAG. Those are the approved

1 sustainable community strategy land uses that were approved for all of the  
2 Southern California Region with the exception of the City of Moreno Valley. In  
3 the City of Moreno Valley, because this was a General Plan Amendment, we had  
4 to assume the full build out of the General Plan. So if you ask what sort of land  
5 uses were assumed, how many big boxes, etc., those are coming out of the  
6 planners and the economists at SCAG based on market analysis and their  
7 assumptions about what will be happening with the economy in the next 20  
8 years.

9  
10 **COMMISSIONER BARNES** – And do you have that number?

11  
12 **DON HUBBARD** – I do not.

13  
14 **COMMISSIONER BARNES** – Okay, alright. Okay.

15  
16 **DON HUBBARD** – If I could get back to one thing. Regarding those numbers  
17 that were listed on that map, those are RTP numbers. So everything that was  
18 shown in blue on those maps is in the approved regional transportation plan and  
19 those are only the projects that were either in the FTIP, which means money has  
20 already been allocated to them, or is in the financially constrained project list  
21 which means they’ve tallied up how much money they expect to get from  
22 different sources, matched it with projects, and then cut off any projects for which  
23 there is no funding. So all of these are for projects for which funding is  
24 reasonably assumed to be available.

25  
26 **COMMISSIONER BARNES** – Okay. Thank you. Next question: There has  
27 been a fair amount of discussion on TUMF and it’s my understanding that  
28 Moreno Valley gets back from TUMF about \$0.75 on the dollar as opposed to  
29 Riverside which gets \$1.10. I did some rough calculations, and I get TUMF fees  
30 in the neighborhood of \$45 million. If we were to only get 75% of that back, that’s  
31 a pretty big hit. Is there a way for this project to address that shortfall because  
32 that doesn’t seem appropriate, especially on a project of this magnitude? That’s  
33 a lot of money and that equates to a fairly substantial shortfall in improvements  
34 so could you enlighten us on that?

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – I’m not sure I quite understand, if  
37 what I’m hearing is, if the developer pays 100% of the TUMF obligation?

38  
39 **COMMISSIONER BARNES** – Yes.

40  
41 **PLANNING OFFICIAL RICK SANDZIMIER** – But the City only gets maybe 75%  
42 of that money back then are you suggesting that the developer would then have  
43 to pay an additional 25% so that we could shore it up?  
44

1 **COMMISSIONER BARNES** – No I wasn't suggesting that he pay the difference,  
2 I'm just concerned with the fact that the City is getting back less than they  
3 contribute. You know, I'm not talking about him specifically doing it.

4  
5 **PLANNING OFFICIAL RICK SANDZIMIER** – We don't want to be a donor City.  
6 I mean, if what you're saying is we're paying more and not getting as much  
7 back....

8  
9 **COMMISSIONER BARNES** – Yes.

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – Then we need to continue to work  
12 with the Western Riverside Council of Governments, to figure out how they make  
13 their allocations, and we would like them to make the allocations to those  
14 improvements within Moreno Valley. We have identified a trend, kind of along  
15 the lines that you're saying, that a lot of the money seems to be going elsewhere.

16  
17 **COMMISSIONER BARNES** – Correct.

18  
19 **PLANNING OFFICIAL RICK SANDZIMIER** – I mean how can we get them to  
20 focus their attention on what we need here? Well one way might be to put some  
21 landmark projects in place, so say it's in the southern part of the city. If we're  
22 trying to attract some good tenants, if we bring in some great residential  
23 development and now we're bringing in new projects and then we're over on the  
24 east end and now we're bringing in maybe the World Logistics Center we've  
25 identified some additional tenants that are coming in and we're starting to create  
26 some synergy of some good job production; maybe we'll get some attention.  
27 Maybe if we get that kind of attention maybe there will be some regional dollars  
28 coming our way. But to compel the regional agencies to give us more money is  
29 going to take some effort just based on our staff continuing to work with the staff  
30 from those other agencies or our political leaders working with the political  
31 leaders that are making the decisions. But I'm not certain that we should be  
32 saddling any particular developers, whether it's for this project or any other  
33 project, setting a precedent where we're asking them to pay more into a program  
34 because we don't get as much back.

35  
36 **COMMISSIONER BARNES** – Well I'm not suggesting that at all.

37  
38 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay.

39  
40 **COMMISSIONER BARNES** – I wouldn't see that as being appropriate. My  
41 concern is the shortfall in return on investment and it seems like it's a project in  
42 excess of \$3 billion would warrant some attention from WRCOG and maybe this  
43 is unique enough that an agreement could be structured that would forestall that  
44 happening. It seems like a big enough deal and unique enough that something  
45 like that should be considered. You know, walking away from a rough  
46 calculation, walking away from \$10 million that just doesn't seem fair to either the

1 developer or the citizens. And I don't know what WRCOG's options are but that's  
2 my concern.

3  
4 **PLANNING OFFICIAL RICK SANDZIMIER** – I don't have a solid answer for  
5 you. I mean there would be risk involved if we asked the developer to front the  
6 money with the expectation that they would get a reimbursement agreement set  
7 up so that they get first dibs at reimbursement. I don't know if that would be  
8 possible. I can work with our Public Works staff a little bit more and talk with  
9 Ahmad and see what he sees as an opportunity to maybe help us improve our  
10 return on the dollars. But I don't have an answer for you this evening.

11  
12 **COMMISSIONER BARNES** – I'm not suggesting at all that it come out of the  
13 developer's pocket. This is I think a little more general in scope that Moreno  
14 Valley should be getting their proportionate share of TUMF and you know.

15  
16 **APPLICANT IDDO BENZEEVI** – We would be paying to the tune of tens of  
17 millions of dollars in fees to the region, and I agree with you that Moreno Valley  
18 needs to get its fair share. We will be able I think to negotiate in conjunction with  
19 the City and the regional authorities to see that the money that we spend is  
20 actually creating improvements where they are needed and certainly that the  
21 project, the area, and the region will need. I also just want to put in a general  
22 observation. Moreno Valley taxpayers, the whole 200,000 of us, have  
23 contributed a tremendous amount of dollars to the region. If you notice on the  
24 215, a lot of improvements where they have industrial developments along  
25 Meridian and others. There is Alessandro Boulevard improved. Cactus  
26 Boulevard is improved. Van Buren improved. The 215 is improved. They are all  
27 outside of Moreno Valley. Those are approximately estimated at \$400 to \$500  
28 million of infrastructure. A lot of it comes from Moreno Valley taxpayers who are  
29 paying. We pay in gas taxes and everything else. All these improvements are  
30 going it seems like everywhere else and not in Moreno Valley, so I would agree  
31 and I think that if the project gets approved that we should form some type of a  
32 committee sort of a regional look into what is Moreno Valley getting. We are the  
33 second largest city and are we really getting our fair share of regional  
34 improvements. I think we've been lagging for a really long time. It's interesting  
35 that as soon as it comes to Moreno Valley you get to Day Street all the way from  
36 Riverside. By the way, all the 91 and a lot of those freeways that get somehow  
37 improved through Riverside and everywhere else, these are not paid by just  
38 Riverside folks. A lot of it is paid by Moreno Valley taxpayers as well, so we're  
39 contributing a huge amount of money over the years to regional improvements.  
40 We haven't really gotten a lot of it in Moreno Valley. I hope its time that we do  
41 get our fair share. We are the second largest city.

42  
43 **COMMISSIONER BARNES** – Well that's my point and it would be nice if we  
44 could somehow confirm that with some agreement/some process. It seems  
45 unfortunate to leave it up to the whim of WRCOG that that money come back, so  
46 alright, off my soapbox.



1  
2 **CHAIR LOWELL** – Well I know the EIR is not going to be something that’s going  
3 to be easily...this isn’t going to be the end of the questions for the EIR, but we  
4 have quite a few things in front of us tonight. Would anybody be opposed to  
5 moving on to other items like the General Plan Amendment or the Change of  
6 Zone or Specific Plan?  
7

8 **COMMISSIONER VAN NATTA** – Yes.  
9

10 **CHAIR LOWELL** – And all of these items still refer back to the EIR, but we can  
11 kind of focus our comments on these specific items.  
12

13 **COMMISSIONER VAN NATTA** – Well there’s some specific things on the EIR  
14 that we hadn’t really gotten to yet. You were kind of hitting certain specific things  
15 and I know other people had things to say on it too. But I wanted to just go  
16 through some things that were brought up in the Public Comments regarding the  
17 EIR and maybe taking a couple of shots at trying to figure out where some of  
18 these comments are coming from so may I?  
19

20 **CHAIR LOWELL** – By all means.  
21

22 **COMMISSIONER VAN NATTA** – Okay. We had a lot of speakers at our last  
23 meeting and a lot of them coming from a lot of different places, and having been  
24 in the business somewhat of sales for better than half of my life, I quite often look  
25 at what people are saying and try to figure out where they’re coming from and  
26 what they’re underlying agenda is so that I can better understand how to relate to  
27 them. And some of the questions that came up and some of the comments that  
28 came up were a little puzzling to me on that way. For example, we have  
29 Laborers International Union of North America, Local Union No. 1184, etc. with  
30 quite a large packet with a bunch of exhibits about how our EIR for this project is  
31 inadequate. So I was reading through this and it says well this wasn’t addressed  
32 sufficiently, this wasn’t addressed sufficiently, this wasn’t addressed sufficiently  
33 without any specifics about how it should have been addressed. They seemed to  
34 be quite concerned about things like avian flight paths and the burrowing owl and  
35 some little thing called the pocket mouse, although they are saying in this report  
36 that the pocket mouse probably is not affected, so I’m wondering why they are  
37 bringing it up. But I guess what my thought process is here is why would this  
38 Laborers Union out of Oakland who I’m sure has a number of people working for  
39 them in this area be so concerned about all of these other things when they are  
40 not really giving us anything specific. I know that’s not really a question. It’s a  
41 comment. But I’m seeing this again in other issues that we got on the  
42 environmental impacts people talking about it. Environmental Justice, for  
43 example, made kind of a fuzzy logic here when they said that people with low  
44 income levels have increased sensitivity for pollution and that Moreno Valley has  
45 one of the highest minority population and highest unemployment and saying that  
46 the EIR should address potential blighting effects from an oversupply of logistics

1 warehousing in the city. So are they trying to say that we would be providing too  
2 many jobs for people who are underemployed or unemployed and that's a  
3 blighting effect? I didn't get the logic on that. The other group that I was a little  
4 curious as to why they were so concerned was when the Community  
5 Development Department for City of Riverside is saying that there are a lot of  
6 problems with our EIR and that it's going to bring too many truck trips and so  
7 forth and so on when at the same time they are busy developing similar projects  
8 within their own city. Those were my comments on the Environmental Impact  
9 Report.

10  
11 **CHAIR LOWELL** – Anybody else have any comments or should we move onto  
12 other aspects of the EIR, well not the EIR but the General Plan or Change of  
13 Zone or Specific Plan? Can we move on down the line and keep referring back  
14 to the EIR as we go? Okay. Anybody want to talk about the General Plan  
15 Amendment? I have way too much paper up here. If you're ready, go for it.

16  
17 **COMMISSIONER VAN NATTA** – Okay not off specific notes but just kind of  
18 some general comments on the General Plan Amendment. Once again referring  
19 to my background in real estate, one of the reasons why I wanted to be on the  
20 Commission and one of the focus points that I'm coming from is I think it's a lot  
21 easier to sell real estate in a town where people want to live. And one of the big  
22 things that people look for is what direction is the City going. Is this a growing  
23 City? Is it going to be a good place for me to raise my family? Is it going to be  
24 some place where I can work and so forth. And many, many times I've sold  
25 properties to people who say well yeah I know I'm commuting to Long Beach  
26 now but I'm hoping soon to be able to get a job out here where I don't have to  
27 drive so far. And there is in the Real Estate Committee, under the Realtors Code  
28 of Ethics, one of the first lines there is under all is the land. And in the country  
29 that we're in where entrepreneurship is valued and the investment that we can  
30 make for our future is valued, there is a certain assumption that when someone  
31 makes an investment they should have the ability to use that investment for its  
32 highest and best use. But everybody has that same right with their property  
33 whether it is somebody who owns 4000 acres or somebody who owns one-  
34 quarter of an acre, so everybody has the right to full enjoyment and using it for  
35 the best use that they can. So you have then this balance between what one  
36 person's rights are and when they infringe on another persons rights. It's kind of  
37 like when you say well your rights stop when my nose begins and that you can  
38 do what you want to do as long as it's not adversely affecting me. And this is  
39 where I've had quite a bit of struggle with the fact that okay the individual people  
40 who have properties either within in the Specific Plan or close to the Specific  
41 Plan and are they going to be negatively impacted if this plan goes forward? And  
42 that's what this whole General Plan Amendment is about is changing the use of  
43 that land. So I took a look at a lot of the comments and I also took into account  
44 some of the things that the applicant said. And he brought up one thing that I  
45 didn't agree with, and I thought well I've got to do some research on this. And  
46 that was where he showed on one of his slides that properties within the area of

1 Skechers went up in value a lot more than properties on the other side of town.  
2 And I thought no there's too many other things involved here, other than just  
3 location. And it could be that that is where the larger half acre properties were  
4 and that there was more demand or whatever it was. So I did a little research  
5 myself and I pulled from each one of the zip codes in Moreno Valley and I  
6 restricted it to similar houses so we had apples to apples and to properties that  
7 were built prior to 2012 when the Skechers project was in full swing. And I found  
8 that beginning on January 1<sup>st</sup>, 2012 until now there was an average of about 70%  
9 increase in value across the entire City of Moreno Valley in single-family  
10 residences. But the lowest increase in that specific type of home, which I pulled  
11 up just between 1500 and 2000 square feet built before 2012. The lowest  
12 percentage not by a whole bunch was in the 92555 zip code, which is the zip  
13 code that Skechers is in. But I felt that that was a better determination of value  
14 than just pulling one specific area on one side of town and one specific area on  
15 the other side of town. The difference was no more than 10% in the difference  
16 between the increases in value. But it was across the entire city, which means  
17 that it doesn't have anything to do with the fact that there was a Skechers built  
18 there. There's a lot more that's involved like lower interest rates, the economy  
19 getting better and so forth and so on. So then okay, for me, that kind of put that  
20 aside that building a house right next to Skechers isn't going to make it worth  
21 more or make it worth less, and there are really no houses really close to  
22 Skechers anyway. Some of the other warehouse projects, as we noted on the  
23 Southside of town, have houses closer to them and they did not seem to be  
24 negatively affected as far as the increase in value. The increase in value was  
25 very similar across the entire city. So then I looked at okay now who are the  
26 people who are most specifically affected by this project and that would be the  
27 seven or so households that are within the Specific Plan, which means that they  
28 are going to have a zoning change. They are going to be changing from  
29 residential to some type of commercial zoning and so I did a little search on that  
30 also. And one of the things I noticed when I was reading the letters from a  
31 couple of those people is that they said several times this is going to ruin the  
32 value of our property as a residence. And I'm like, yeah, as a residence. Is it  
33 going to negatively affect you in the long run. And so I went and I looked. I took  
34 for that same period of time January 1<sup>st</sup>, 2012 to the present and I took  
35 residential zoning versus nonresidential zoning and looked at the price per  
36 square footage over that period of time. And the price per square foot for  
37 nonresidential zoning is approximately double what it is for residential zoning. So  
38 the people who are saying my property will not be worth anything as a residence  
39 are not necessarily going to be negatively impacted in the long run. You have to  
40 look at when someone is negatively impacted. Let's say, for example, you  
41 bought a house with a beautiful view on the ocean and somebody built a property  
42 in front of you that devalued yours because it was an eyesore or because it cut  
43 out your view or something like that. If there is a monetary change in the value of  
44 your property, then you are harmed by the person who built that eyesore in front  
45 of you. But can we say that somebody is monetarily damaged with a property  
46 that is changing from residential zoning to commercial zoning of some type and

1 the value of their property goes up? They may need to change their plans. A lot  
2 of people change their plans, especially if they've been living in a property for a  
3 longtime. The kids are grown, they've moved out, and they've decided okay now  
4 I'm going to move to another area. I'm going to buy a newer home. I'm going to  
5 downsize. Whatever it is, they can do that and it doesn't mean that they are  
6 going to lose their quality of life because of this change. So, when I'm looking at  
7 the General Plan Amendment, that's what I'm looking at. Is it going to negatively  
8 affect Moreno Valley as a whole? I don't think so. Is it going to bring as many  
9 jobs as what are expected? Maybe not. But how many jobs is the vacant land  
10 bringing right now? And so when you're looking at it and you're looking at all the  
11 traffic studies and everything else like that, it's like okay you're having traffic  
12 studies how much it's going to increase the traffic compared to what? Vacant  
13 land? Yeah. But compared to other types of development, maybe not. So that's  
14 kind of my comments on the General Plan Amendment is looking at it in terms of  
15 is it going to be of value to the City of Moreno Valley? Yes. It's going to increase  
16 tax revenue. It's going to increase jobs, and it's not going to negatively impact  
17 the value of the residential properties or the value of the properties that are being  
18 changed in zoning.

19  
20 **CHAIR LOWELL** – Mr. Barnes.

21  
22 **COMMISSIONER BARNES** – I have a question of Staff since we're talking  
23 about the General Plan. To give everybody a little background information, could  
24 you give a little detail as to what the current General Plan is, what we're going  
25 away from? And obviously we know what we're going to. I look at the General  
26 Plan and the Zoning Map, you know pre WLC, and it's a mixed bag out there.  
27 Could you kind of quantify the various uses and what we're going away from.

28  
29 **SENIOR PLANNER MARK GROSS** – Yes and it may be helpful if the media  
30 staff can bring up the presentation that we did on the actual different aspects of  
31 the project. If we can get that up on the screen, we can maybe talk about it a  
32 little bit more in depth. Is there a way to make that happen?

33  
34 **COMMISSIONER BARNES** – IT to the rescue.

35  
36 **SENIOR PLANNER MARK GROSS** – We can try to go through some things  
37 without the maps, but I think...yeah if we can just show starting off with the  
38 existing General Plan Map and then there's a proposed General Plan Map, and  
39 we can kind of look at the differences of the land uses there. Okay it looks like,  
40 okay great.

41  
42 **COMMISSIONER VAN NATTA** – Can we get that on our screen so we can look  
43 at it?

44  
45 **SENIOR PLANNER MARK GROSS** – Okay that probably starts, I don't know if  
46 this is one your screens as well?

1  
2 **COMMISSIONER BARNES** – Yeah. Yes it is.

3  
4 **SENIOR PLANNER MARK GROSS** – Okay good. This is the existing General  
5 Plan Land Use Map and what you’re really looking at here is a lot of the land use  
6 in the area, it has a number of mixed uses as you can see based on the colors  
7 and the different designations as they’re provided. I mean there’s anything from  
8 business park, single-family/multiple-family residential, commercial retail.  
9 There’s some mixed use, as well as open space and public areas. A lot of that  
10 area that you can see with the green, which is the open space, is actually  
11 designated golf course areas and a lot of this was part of the Moreno Highlands  
12 Specific Plan. This is looking at the land use. That’s the existing. If we go to the  
13 proposed, the proposed is showing basically changing to business park and  
14 that’s going to allow for it’s business park/light industrial for the majority of the  
15 Specific Plan as you can see with the kind of a purple color there on the map.  
16 Within the Specific Plan Boundaries, there is also on the Southwest corner all the  
17 way at the bottom, there is a little area actually it’s a 74 acre parcel of open  
18 space which is provided. It’s part of Mount Russell, which is included in the  
19 Specific Plan Boundary Areas. Then you have areas that are south of the  
20 designated 2610 acre Specific Plan that is again outside of the development area  
21 and it’s changing land uses as well. What we’re looking at there is it’s changing  
22 from, again a number of those different uses that I mentioned before, to all open  
23 space. There is the San Diego Gas and Electric Company property I believe  
24 that’s showing with the P there, which is the public. But all of the other areas  
25 below and south of the Specific Plan Boundary are changing over to open space  
26 and that’s for buffer purposes. There’s a lot of existing public utility uses that are  
27 currently there. There is the San Jacinto Wildlife Area there as well, so a lot of  
28 those uses those are all permitted uses within the OS or Open Space Zone. I  
29 mean when we get into uses we can get into a little bit more of what can be done  
30 in those areas. But I’m just kind of keeping it right now at a land use perspective  
31 and what could be provided.

32  
33 **COMMISSIONER BARNES** – Right. I did some rough calculations or found  
34 some numbers somewhere in these 40,000 pages of stuff. There’s actually  
35 about 1300 acres of residential, 780 acres of open space, and 600 acres of  
36 business park or commercial. Do you have any idea if those numbers are  
37 accurate?

38  
39 **SENIOR PLANNER MARK GROSS** – Well in just looking at the acreages and  
40 since we’re talking about...there are acreages in the Moreno Highland Specific  
41 Plan, which covers most of that area.

42  
43 **COMMISSIONER BARNES** – That may have been where I found that, those  
44 numbers I think.  
45

1 **SENIOR PLANNER MARK GROSS** – Yeah. It’s actually under, I think it’s  
2 under the project description there is some information that shows land uses and  
3 acreages.

4  
5 **COMMISSIONER BARNES** – Okay.

6  
7 **SENIOR PLANNER MARK GROSS** – And I mean I can kind of go through a  
8 rough sketch just what is being changed in the Moreno Highland Specific Plan  
9 because again part of what we’re doing tonight, if this were to be looked at  
10 favorably, the recommendation would be to repeal the Specific Plan that’s  
11 currently out there, which is the Moreno Highland Specific Plan. There really is in  
12 that Moreno Highland Specific Plan two different components that are included  
13 within that Specific Plan. There is what is called the residential community  
14 component, which includes about roughly 1359 acres of residential and I think  
15 that equated to about 7763 dwelling units.

16  
17 **COMMISSIONER BARNES** – I missed by an acre, so that must have been  
18 where I got the number.

19  
20 **SENIOR PLANNER MARK GROSS** – Yeah, yeah. Then there is parks and  
21 open space, which was about 701 acres. There is neighborhood commercial,  
22 which is about 10 acres. There is cemetery, which is about 16.5. And the public  
23 facility uses, which was about I believe 347 acres. And then there was another  
24 component, as you can see along the areas that are adjacent to Gilman Springs  
25 Road, there is a lot of business park that was included within the existing Moreno  
26 Highlands Specific Plan. And so you had a fairly large component of planned  
27 business center area, which included business park which is about 360 or 361  
28 acres. There was a mixed use component of about 80 acres. There was  
29 community commercial of about 16 acres. Parks and open space I think came  
30 out to about 77 or 78 acres. And public facilities, which was about 67 acres. And  
31 it all totaled, the Moreno Highland Specific Plan, was 3,038 acres is what we’re  
32 looking at there. So you can see the differences of the changes of what, you  
33 know again, we had a number of uses that are showing up on our existing Land  
34 Use General Plan Map. And then of course with the proposed project, that is the  
35 change of what would be included. And we can kind of drill down even further  
36 once we talk a little bit more about the zoning aspects of it.

37  
38 **COMMISSIONER BARNES** – Well I guess that’s kind of the point that I was  
39 trying to dramatize that we’re not going from one extreme of the spectrum all the  
40 way to the other. What we have now is a mix of uses, so it’s not from all of one  
41 to all of another. It’s a mixed bag so....

42  
43 **SENIOR PLANNER MARK GROSS** – Okay.

44  
45 **COMMISSIONER BARNES** – Thank you.

46

1 **SENIOR PLANNER MARK GROSS** – Sure.

2  
3 **CHAIR LOWELL** – Along the same lines as what Commissioner Van Natta said,  
4 the last meeting we had a list of everybody that attended the first meeting and  
5 the second meeting who wanted to speak. We had 165 people on the docket to  
6 speak last meeting plus the 6 that spoke the first night, which was 171 speakers.  
7 Actually, I think that makes 173 because we had one that wasn't on the list. So  
8 out of 173 speakers, we only had 71 actually speak. So 102 people said they  
9 wanted to speak, made the effort to show up, but didn't stand up to speak. Of  
10 those number of people, the majority of them were for the project. A minority  
11 were against the project. Some of the reasons said he should go take his jobs to  
12 China. One of them said it was bad air. They are anti-litigation, which I don't  
13 understand. And they said there is a drought involved so we don't need to do  
14 any ground improvements. One person says that they don't really care about the  
15 project. They just want the EIR recirculated. They said that they don't want  
16 Alessandro Boulevard messed with. The ARB letter, the CARB letter, they want  
17 all the cost to be on Highland Fairview yadda, yadda, yadda. I mean it just keeps  
18 going down. They said the EIR is flawed that it understates the effects. The said  
19 the Badlands aren't good enough. I mean countless, countless numbers of  
20 comments. Similarly, this binder right here, is 483 letters individually addressed  
21 to me at my home address. I ran for City Council last year and I went out and  
22 knocked on, with my team, nearly 4000 doors. Of those 4000 doors of the  
23 people that answered, an overwhelming majority are in support of the World  
24 Logistics Center. These letters came in fairly regularly for the last year. I have  
25 read every single one of these. These letters are legitimate. I have actually  
26 cross-referenced a good portion of this letters with the Register of Voter's list  
27 from when I ran for City Council. Can you hold your applause so we can kind of  
28 keep the momentum going? I actually called several of these people in here just  
29 to verify and the comments that are in these letters are 100% legitimate. They  
30 do reflect the person who signed the piece of paper. Granted they are all typed.  
31 There is not one handwritten, but every single one of these comments reflect an  
32 actual person's opinion. And each one of these are all in District 3. Not each  
33 and every one of them but a majority of them are District 3, which is the District I  
34 live in. Furthermore, I do believe that if you own a piece of land you should be  
35 able to develop it to your desires. If you went out and bought, again please stop  
36 the applause. Let's just keep it simple here. If you went out and bought a one  
37 acre piece of land say off Theodore and Redlands and you wanted to build your  
38 dream house there but your land owners around you said no we want to build  
39 multiunit apartment complexes there. They are going to be fighting back and  
40 forth. But if you own a one acre piece of land, you have every right to build your  
41 house there as long as you meet the City's regulations and rules. Similarly,  
42 Highland Fairview, they own a good chunk of land. If they want to develop it,  
43 that's their privilege, which is why we're here today. As far as the General Plan  
44 goes, I think that this would be a good use of the land. I don't really have any  
45 additional comments on the Specific General Plan, and that's pretty much the

1 way I stand on the General Plan. Anybody else have any other comments on the  
2 General Plan?

3  
4 **COMMISSIONER KORZEC** – I have one comment. When I reviewed the video,  
5 my numbers weren't quite as definitive as yours. I saw that it was pretty much  
6 more even of how many people were for and against so for me can you just give  
7 me your numbers because did you add these up?

8  
9 **CHAIR LOWELL** – I didn't add them up.

10  
11 **COMMISSIONER KORZEC** – Okay mine we're pretty much neck and neck, so if  
12 you give me a moment I just want to add yours up. And also what about all the  
13 packets that we received that had all those other letters because that last packet  
14 that we got had quite a few letters not in support of the project that were very well  
15 articulated. So do we have a number? I'm just trying to be fair to everybody that  
16 if we're going to talk numbers....

17  
18 **COMMISSIONER BARNES** – Can I make a comment? Not that I disagree with  
19 any of Commissioner Van Natta's or Chairman Lowell's comments, it seems a  
20 little early to be giving closing statements. So I think if we could stay focused on  
21 the specifics of the project that would better serve our time.

22  
23 **COMMISSIONER VAN NATTA** – I think it's very germane to the whole idea of  
24 rezoning and whether or not rezoning is appropriate.

25  
26 **COMMISSIONER BARNES** – Should we move on to the Specific Plan?

27  
28 **COMMISSIONER KORZEC** – I think it's a little closer than we thought.

29  
30 **CHAIR LOWELL** – It's fairly well split but the numbers that I have it is more in  
31 favor than against but that's just a poll of 71 people that actually had the  
32 gumption to speak. The letters that I have are specific to the project in its  
33 entirety. The letters that we have been receiving up here on the dais and in our  
34 packets are about the EIR specifically saying the EIR is flawed or the EIR is  
35 wonderful and it should be decorated with sprinkles. But the letters that I was  
36 referring to say this project specifically would be a welcome addition to the City.  
37 And I wasn't referring to the EIR letters. Those are a different topic. With that  
38 said, the General Plan Amendment I think is a pretty straight forward item. I  
39 don't see there's too many Commissioner Comments on that.

40  
41 **VICE CHAIR SIMS** – I do have one. Just, as far as the opinions that are being  
42 expressed here about quality of life and so forth and so on about peoples rights  
43 to develop their property and so forth, and I absolutely do agree with that.  
44 People should have the right to accumulate property and go through the  
45 entitlement process in a fair and above-board process that meets all the  
46 appropriate guidelines. And so I think that's what we're trying to go through here



1 today. I also do want to say that quality of life is an individual thing that's  
2 meaningful to each individual. And if a person, one of those seven homeowners  
3 that are within the World Logistics, they are significantly impacted. And, if they  
4 didn't want to have to move, that's a tough decision to do. They may have not  
5 been prepared. Regardless if whether the property may go up or down. That's  
6 being in this place does not something, if we were doing an internet domain,  
7 you'd have to do a resolution of necessity and find out you know that the public  
8 harm is less than the greater good or so forth. All I'm saying is it's a peculiar and  
9 particular thing, the quality of life and I think that goes kind of when you step back  
10 from the seven individuals that are specifically impacted significantly. I think, if  
11 you take a step back and you look at a General Plan Amendment, that would  
12 propose change of use of a massive amount of property. And, I believe, it's 10%  
13 of our entire city that goes to a quality of life for each and every person that lives  
14 within the city because we all breathe the air. We all drive the streets and so you  
15 have to feel comfortable at the end of the day is the quality of us all. There are  
16 some that will be impacted more than others individually. The people that live  
17 within the boundary that have residential homes, their life is different. They are  
18 going to have a little gizmo, a little air filter in their house potentially per the  
19 Development Agreement because of the potential air impacts in there. So if for  
20 instance this General Plan Amendment goes through, the EIR goes through and  
21 so forth, and the improvements don't get done to the roadways, the traffic/the  
22 streets, all of us will be sitting on the streets all going hey what happened here?  
23 We're all sitting on the 60 now or we're all sitting on the 91. What's going on  
24 here? And you'll say well really now my quality of life is really bad because now  
25 I'm waiting for 25 years for this project to build out to bring these jobs. So all I'm  
26 just saying is this is truly one of the hardest decisions because the jobs are very,  
27 very valuable and Moreno Valley needs to get some so this is a very difficult  
28 decision. So that's just my editorial.

29  
30 **CHAIR LOWELL** – Back to the traffic that you were mentioning. One of my key  
31 things I was trying to decipher out of this Traffic Impact Analysis and all the  
32 reports in front of us is what would the City be like should the World Logistics  
33 Center have never been brought to the table and the existing Moreno Highlands  
34 Specific Plan be built out to its capacity? And the Traffic Report says that, should  
35 the Moreno Valley Highland Specific Plan be built out to its entirety, it predicts an  
36 average daily trip or traffic generation rate of 178,606 vehicle trips per day.  
37 That's a lot of cars. That's a lot of trucks. That's a lot of vehicles on the road. It  
38 says if you compare that to the World Logistics, which is anticipating 69,502  
39 average daily trips. Then they are saying assuming zero truck trips are  
40 generated through the existing Specific Plan of Moreno Highlands, and  
41 comparing apples to apples doing some math, the existing Specific Plan would  
42 generate more than double the amount of traffic proposed by the World Logistics  
43 Center. So, if we're concerned about traffic, status quo would generate more  
44 traffic than what we are proposing tonight. Anyway, do you want to move on to  
45 the Specific Plan.

46

1 **COMMISSIONER KORZEC** – Can we take a short break?  
2

3 **CHAIR LOWELL** – Sure let's take a 10 minutes break and come back at 8:50.  
4

5 **COMMISSIONER KORZEC** – Yeah, I said it's early.  
6  
7

8 **MEETING BREAK**  
9

10 **CHAIR LOWELL** – Welcome back ladies and gentleman. Thank you for  
11 allowing us to take a quick recess. We are moving on to the third item, which is  
12 the Change of Zone of Specific Plan. This by no means precludes discussion of  
13 any other items, but we're going to try to focus on the Change of Zone, the  
14 Specific Plan, and the annexation. It's all kind of grouped together. So, for the  
15 Change of Zone, does anybody have any specific questions they would like to  
16 start off with? I have one on the Staff Report. On the second where as on page  
17 one it says whereas approval of the proposed applications would effectively  
18 replace zoning regulations currently in place as the Moreno Valley Highland  
19 Specific Plan and there by repeal Moreno Valley Specific Plan. What does the  
20 term effectively replace? Shouldn't it just be replace or is there some specific  
21 reason why it says effectively? Is there something I'm missing?  
22

23 **SENIOR PLANNER MARK GROSS** – In trying to answer that question, as far  
24 as the wording I can't say exactly how the wording is provided but it is essentially  
25 everything that is here before you tonight. I mean what you're seeing as the map  
26 that's up on the screen, which is the existing Zoning Map, shows what is included  
27 in the Moreno Highland Specific Plan. And, if this project were to be approved,  
28 then it would be the entirety of the Specific Plan that would go away. Some of  
29 the areas actually are not just within the World Logistics Center Specific Plan  
30 Area, it's actually areas that are included below it. So all of that area, this may  
31 show it a little bit better with the proposed zoning here, all of that area below it is  
32 also part of the Moreno Highland Specific Plan. So it includes part of the World  
33 Logistics Center proposed Specific Plan, as well as some of those properties to  
34 the south of that Specific Plan.  
35

36 **CHAIR LOWELL** – Just for clarity, is there any portion of the Moreno Highland  
37 Specific Plan that is not covered or replaced by the World Logistics Specific  
38 Plan? Is there any error with it? Let me rephrase that. When you overlapped  
39 the World Logistics Specific Plan on top of the Moreno Valley Highland Specific  
40 Plan, is there any portion of the Moreno Highland Specific Plan that is not directly  
41 covered by with World Logistics Specific Plan that could theoretically be not  
42 falling into a Specific Plan anymore?  
43

44 **SENIOR PLANNER MARK GROSS** – No I mean all of the areas that are  
45 included up in the map are part of the, I mean everything that you see in green  
46 and in blue is all part of the original Moreno Highland Specific Plan. There is one

1 parcel I believe on the Southside of Gilman Springs, which we will be coming  
2 back with an inconsistency but that is already a land use of open space. So  
3 that's pretty much all of what you're seeing there of the Specific Plan Area.

4  
5 **CHAIR LOWELL** – The outline of the Moreno Highland Specific Plan is 100%  
6 encapsulated by the World Logistics Specific Plan?

7  
8 **SENIOR PLANNER MARK GROSS** – No, no, no. That's not what I'm saying.  
9 There's some areas down below the Specific Plan, which are part of the some of  
10 the utility areas, the San Jacinto Wildlife Area. All of those areas in green that  
11 you see below, that is not within the Specific Plan Area.

12  
13 **CHAIR LOWELL** – So then let me extrapolate a little bit further. By repealing  
14 the Moreno Highland Specific Plan, would there by any piece of land that's  
15 developable that wouldn't fall under Specific Plan anymore that would just fall  
16 back to the general zoning?

17  
18 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes.

19  
20 **CHAIR LOWELL** – Easy answer. Is it a lot of land, a little land? Is it just.....

21  
22 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay, so the Moreno Highland  
23 Specific Plan is a larger area than the World Logistics Center Specific Plan.

24  
25 **CHAIR LOWELL** – That's what I was going for.

26  
27 **PLANNING OFFICIAL RICK SANDZIMIER** – So the World Logistics Center  
28 Specific Plan is about 2610 acres where the Moreno Highland Specific Plan is  
29 3038 acres.

30  
31 **KENT NORTON** – 3038 acres.

32  
33 **PLANNING OFFICIAL RICK SANDZIMIER** – 3038 acres, so the World  
34 Logistics Center Specific Plan is slightly smaller. Now the one parcel that is not  
35 included in the entire new Specific Plan or in the Zone Change is, if you look at  
36 this map here, to the east side of Gilman Springs Road you'll see a little triangle  
37 that's basically white. That is an area on the Moreno Highland Specific Plan that  
38 was identified as a 16 acre cemetery. Now, by state law, we have time after we  
39 take an action of General Plan Amendment, Change of Zone, adopt a new  
40 Specific Plan if there's anything that falls outside of being consistent in the zoning  
41 we can within a reasonable time come back and correct that. We've identified  
42 that specific nuance in your Staff Report from the June 11<sup>th</sup> report, so that was  
43 what was identified in there if that's what you're speaking to that covers all of the  
44 land that was either in the Moreno Highland Specific Plan or in the World  
45 Logistics Center Specific Plan.

1 **CHAIR LOWELL** – That little triangle is the same area that’s being annexed?

2  
3 **PLANNING OFFICIAL RICK SANDZIMIER** – No. The area that’s being  
4 annexed is slightly south on Gilman Springs Road, north of Alessandro  
5 Boulevard, and west of Gilman Springs Road. And if we have another exhibit up  
6 there it might, what other exhibits do we have? Right there, right there. Go back  
7 to that one. The white triangle piece over to the east side of the map there has a  
8 purple dotted line.

9  
10 **CHAIR LOWELL** – That’s the area being annexed and the green area is the  
11 area that you’re talking about. That’s the cemetery?

12  
13 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes.

14  
15 **SENIOR PLANNER MARK GROSS** – Yeah that 16 acre parcel really is the only  
16 parcel in the City of Moreno Valley that’s north and east of Gilman Springs Road.  
17 I mean there are some areas that are in the sphere of influence in those areas  
18 but that is the actual parcel that’s in the City itself.

19  
20 **CHAIR LOWELL** – So by repealing the Moreno Highland Specific Plan, the only  
21 portion of land that would be taken out of the Moreno Highland Specific Plan  
22 that’s not currently included in the World Logistics Site Plan or Specific Plan is  
23 that little tiny cemetery spot? It sounds like there were a couple hundred acres  
24 that are falling short.

25  
26 **PLANNING OFFICIAL RICK SANDZIMIER** – Within what we’ll call the World  
27 Logistics Center Project, that little triangle is the only thing that’s not within the  
28 World Logistics Center project, which includes the General Plan Amendment,  
29 Specific Plan, and Change of Zone elsewhere. The Moreno Highland Specific  
30 Plan does drop down into what’s shown up there are green open space. If you  
31 looked at the zoning and the Specific Plan for the Moreno Highland Specific Plan,  
32 you would see some uses down there, which is the property owned by the  
33 California Department of Fish and Wildlife.

34  
35 **CHAIR LOWELL** – Correct. We’re kind of dancing around. What I was trying to  
36 get at is, by repealing the Highland Specific Plan and imposing the Specific Plan  
37 for the World Logistics Specific Plan, is there any developable land that is now  
38 not part of either Specific Plan that was originally part of the Moreno Highland  
39 Specific Plan?

40  
41 **PLANNING OFFICIAL RICK SANDZIMIER** – Just the 16 acre....

42  
43 **CHAIR LOWELL** – That’s what I was going for.

44  
45 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes.

46

1 **CHAIR LOWELL** – Thanks. Sorry for that long route to go down, but I was just  
2 trying to clarify it. Thank you. Mr. Sims.

3  
4 **VICE CHAIR SIMS** – On the Specific Plan, is there any reference to the berm  
5 and the setbacks along Redlands Boulevard that go from the 60 south towards, I  
6 don't know what that street is at....

7  
8 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes.

9  
10 **VICE CHAIR SIMS** – Where is that specifically?

11  
12 **SENIOR PLANNER MARK GROSS** – Well yeah there is quite a bit of  
13 information on the berm itself, which is if you go on page and I don't have the  
14 actual because I'm looking exactly from the Specific Plan. Actually the Specific  
15 Plan, it's page 2-12 that talks about all of the edge treatments. I think that's what  
16 you're referring to?

17  
18 **VICE CHAIR SIMS** – Yeah.

19  
20 **SENIOR PLANNER MARK GROSS** – There's actually four different edge  
21 treatments that are included in the Specific Plan itself. You have the western  
22 edge, which is towards the western part of the Specific Plan and that area is  
23 adjacent to where some of the residential areas are on the other side of  
24 Redlands Boulevard. There's the SR60 edge, which is up to the north of the  
25 freeway. There's the San Jacinto Wildlife Area edge, which is to the south of the  
26 property. Then, you have Gilman Springs Road edge, which is to the east and all  
27 of it is....

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** – It would be on page 489 in the  
30 Staff Report. Page 489 of the big Staff Report from June 11<sup>th</sup> will take you  
31 directly to exhibit 2-3, which is special edge treatment areas which Mr. Gross is  
32 talking about.

33  
34 **SENIOR PLANNER MARK GROSS** – Thank you very much.

35  
36 **CHAIR LOWELL** – Some of the confusion is that the document that the Staff  
37 prepared, that Specific Plan only has the odd pages in some sections so 2-12 is  
38 missing. So I printed up a colored version, which I don't have the Staff numbers  
39 on.

40  
41 **VICE CHAIR SIMS** – Well so I, can you just generally tell us what the screening  
42 wall is? In essence can you just describe it, what the height of it is and so forth?

43  
44 **SENIOR PLANNER MARK GROSS** – Let's see.

45  
46 **VICE CHAIR SIMS** – So where's 2-3?

1  
2 **PLANNING OFFICIAL RICK SANDZIMIER** – You guys are welcome to pass  
3 that around if anybody needs to look at the color exhibits. That’s the full Specific  
4 Plan document that was included in the Staff Report.

5  
6 **SENIOR PLANNER MARK GROSS** – Just to give you some ideas of the area  
7 as we’re talking and then we can maybe get into more specifics of the area. I  
8 think it’s section 2.55 of the Specific Plan that calls for a Concept Plan for the  
9 entire edge area that we would have to take a look at. Actually, it’s going to be  
10 submitted and approved.....it would be submitted and then approved by the  
11 Planning Official prior to any approval of any subdivision or Plot Plan including or  
12 adjacent to any special edge treatment areas. And the buffer areas will be  
13 constructed as the projects or the individual Plot Plans are proposed. And, as far  
14 as the height of the....I’m not certain if there is a specific height.

15  
16 **VICE CHAIR SIMS** – Well I’m looking in the packet at page 501. If you are a  
17 person standing on the west right-of-way of Redlands Boulevard looking east,  
18 you’d have.....I don’t know how high that is. The maximum you’d see is 15 feet  
19 of the top of the building I guess is what, so it varies is what you’re I guess trying  
20 to say. The berm will vary so that you only see 15 feet of the top of the buildings  
21 along Redlands Boulevard.

22  
23 **PLANNING OFFICIAL RICK SANDZIMIER** – If you look at the Specific Plan  
24 document that I gave, those that have your Staff Report, if you look on the Staff  
25 Report page 501 or if you are within the Specific Plan document itself, it’s 4-8. In  
26 that area and those few pages around there, you’ll see all the cross-sections  
27 particularly for Redlands Boulevard. It will show the berm condition along  
28 Redlands Boulevard.

29  
30 **COMMISSIONER BARNES** – I did some math on it. If you just do the  
31 trigonometry, you get about 35 feet high with a six foot fence on top. That’s what  
32 depicted in this section.

33  
34 **PLANNING OFFICIAL RICK SANDZIMIER** – It also goes into more detail  
35 starting on page 4-6 of the Specific Plan. There’s another color exhibit that gives  
36 you some more detail on the special edge treatment areas. So, all within that  
37 area, the Specific Plan gets specific.

38  
39 **VICE CHAIR SIMS** – So I guess my question I would have is, regardless of the  
40 height, there is going to be some special edge treatments along these boundary  
41 conditions. And specifically I’m more concerned about the Redlands one  
42 because of the interface where there is residential development once you get to  
43 Eucalyptus going south. On there, there’s residential going all the way down to  
44 the south there. So, you know, I don’t know. I haven’t talked to the neighbors  
45 around there. But I don’t know how the interface will be but probably a lot of  
46 those people moved out there with the intent that they were going to have more

1 of a large lot, you know third of an acre/half acre kind of residential setting. So I  
2 do support having the berm there so there is some bifurcation of the residential to  
3 the industrial type land use that we're considering today. So the only question  
4 that comes with that is this will be acres and acres of maintained slopes and  
5 special edge treatment. How is the City proposing to maintain that? Who pays  
6 for it? How's it paid for and is there an endowment by the development or is it  
7 just dedicated that the City picks up that? Is there going to be a special  
8 assessment area to pay for it, or how is that handled?  
9

10 **PLANNING OFFICIAL RICK SANDZIMIER** – Within the Specific Plan, if you go  
11 to Section 9-1, it will talk about property maintenance proposed for the onsite  
12 common area improvements and parkways. What you're going to find in there is  
13 a requirement for I believe it's property association. I'm trying to remember the  
14 language.  
15

16 **SENIOR PLANNER MARK GROSS** – The property of the association.  
17

18 **PLANNING OFFICIAL RICK SANDZIMIER** – The property of the association,  
19 yeah.  
20

21 **SENIOR PLANNER MARK GROSS** – Or maintenance district.  
22

23 **VICE CHAIR SIMS** – So I guess the maintenance district, I know the City has a  
24 variety of street lighting maintenance districts and so forth throughout. This  
25 would be particular though to the World Logistics Boundary Specific Plan?  
26

27 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm going to defer to Candace  
28 Cassel, our expert in this area.  
29

30 **SPECIAL DISTRICTS DIVISION MANAGER CANDACE CASSEL** – What  
31 would happen is the property owners could determine whether or not, or they  
32 could elect to form a property owners association that would maintain that  
33 ongoing landscaping (the maintenance of the ongoing landscaping) or they could  
34 annex into the City's CFD for the maintenance services. So that will be up to the  
35 election of the property owners as the option they have.  
36

37 **CHAIR LOWELL** – That 250 foot buffer zone, is that City owned or is it privately  
38 owned?  
39

40 **SPECIAL DISTRICTS DIVISION MANAGER CANDACE CASSEL** – We would  
41 only take care of it if it is within the public right-of-way. If it is onsite, then they  
42 would be responsible for maintaining that.  
43

44 **CHAIR LOWELL** – Okay but that land would still....I guess what I'm asking is  
45 the right-of-way. Does the right-of-way go back 250 feet from the center line or

1 from whatever that measurement is? Or is that to the right-of-way and then  
2 whatever the difference is, like 200+ feet, does that remain privately owned?

3  
4 **SPECIAL DISTRICTS DIVISION MANAGER CANDACE CASSEL** – Rick do  
5 you know that specifically?

6  
7 **PLANNING OFFICIAL RICK SANDZIMIER** – I don't know it off the top of my  
8 head. I'd have to look at the exhibit. On this one, I might actually defer to the  
9 developer. He probably has the answer more off the tip of his fingers so.

10  
11 **APPLICANT IDDO BENZEEVI** – Yes that property will still be within the World  
12 Logistics Center, our property, and we will be maintaining it. What was  
13 suggested is, whether it's a maintenance district or property owners association.  
14 Nonetheless, the property owners of the World Logistics Center, us mainly, the  
15 district is just a financial mechanism to ensure long-term maintenance but  
16 property owners association does the same. Skechers, for example, all the  
17 slopes and all the things that are on the freeway in the front are all maintained by  
18 the property owner association, which essentially is us. We're the property  
19 owners. It will be the same thing. We are responsible for maintenance of all  
20 those berms and slopes and landscaping and so forth. One question was asked  
21 about the berm. The height of the berm is 15 feet along Redlands, so there is a  
22 minimum 15 foot height. It isn't a wall that comes up, it's sort of angulated but it  
23 is at the peak 15 feet high. So it starts out with about 15 feet. As you're driving  
24 along the street, there will be substantial landscaping along the road. I think we  
25 had an animation one time that we showed that was actually calibrated with GPS  
26 to essentially see what you will see driving in a car so.

27  
28 **CHAIR LOWELL** – I didn't notice in the Specific Plan, but it seems like such a  
29 large swath of land is being set aside for landscape buffer to make things look  
30 pretty. That's fine and it's a great idea. Is there an option to utilize that land for  
31 an additional purpose like maybe a regional park or a pocket park or something  
32 that would benefit the people that live in and around that area? Instead of just  
33 having this piece of land that's landscaped and essentially useless, maybe put  
34 like a little wandering trail through there, maybe put a couple slides, or just  
35 something that would give it a dual purpose instead of just having land sitting  
36 there for no other good reason than people just don't want to see a big building.

37  
38 **PLANNING OFFICIAL RICK SANDZIMIER** – It's not specifically spelled out in  
39 the Specific Plan to date. Does that preclude it? No. We could revisit it. In  
40 terms of it becoming a public improvement, there would be, you know,  
41 maintenance and other responsibilities. I can tell you that I worked on a large  
42 project in another jurisdiction, which had a 300 foot swath that was identified as  
43 an open space spine. It was intended to connect the coast all the way into the  
44 foothills. It's a very nice amenity that ended up being developed in the City of  
45 Irvine. If you ever wanted to go online and look up the Jeffrey Open Space  
46 Spine, it's a very established open space improvement. But it costs a lot of



1 money and there's maintenance responsibility, but things can be done with that  
2 kind of space.

3  
4 **APPLICANT IDDO BENZEEVI** – I just want to add, if I may, that there's a whole  
5 system of trails within the World Logistics Center and a lot of them go through the  
6 berm, so there will be a trail going on the berm side of Redlands Boulevard all  
7 the way down that connects you eventually to the existing trails up at Cactus and  
8 also to the State Fish and Game area, you know the open space to the south.  
9 And there's a big loop you can actually go on several miles of trails that we have  
10 worked out with the Trails Commission Committee at the City. So there is a  
11 recreational use if you can call it within that berm area and it's actually a fully built  
12 out trail system that also is going to be maintained by the project.

13  
14 **SENIOR PLANNER MARK GROSS** – And just to add besides the berm that  
15 we're talking about and the trails and such, I mean just to give you an idea and  
16 so everybody is aware what can and cannot go on in that specific 250 foot berm  
17 area. There would be no buildings, truck courts, loading areas, employee visitor  
18 parking, truck circulation areas or truck or trailer storage uses that would be  
19 permitted within the area. And this is Section 2.5.1 and 2.5.4 of the Specific  
20 Plan. What can be allowed in that specific area is emergency access,  
21 landscaping itself, drainage facilities, and property maintenance access, which I  
22 think some of these things were touched upon.

23  
24 **CHAIR LOWELL** – One of the other things that I had questions on. On setback  
25 criteria, it says building setbacks minimum. It says on the World Logistics side of  
26 things, the buildings must be set back a minimum of 60 feet from any public  
27 street, which is fine. From other property lines, there is no minimum. So as long  
28 as it abutting an internal property line that's not a right-of-way, even zero foot set  
29 back is perfectly acceptable?

30  
31 **SENIOR PLANNER MARK GROSS** – That's correct.

32  
33 **CHAIR LOWELL** – Okay. It says from residentially occupied property within the  
34 WLC, all buildings shall be set back a distance equal to or greater than the height  
35 of the proposed buildings. So it's residentially occupied. But, later on, it says  
36 from residentially zoned property 250 feet measured from the City Zoning  
37 Boundary. So we have legally noncompliant land, which was once originally  
38 zoned residential that is now zoned commercial. So aren't they kind of in a grey  
39 area where the setbacks theoretically should be 250 feet but we're telling that it's  
40 only going to be 60 feet because we're changing the zone on them?

41  
42 **SENIOR PLANNER MARK GROSS** – I would think to answer, a quick answer  
43 would be no. I mean it would not.

44  
45 **CHAIR LOWELL** – So the minimum setback from the residences inside the  
46 WLC area is 60 feet from building to building? Well, actually, no it doesn't say 60

1 feet. It's the height of the building. So if there is a 60-foot building it would be 60  
2 feet. Or if it's a 20-foot building, it's 20 feet. So, if you had a short building, you  
3 theoretically could be right up against it. Is that...what if the building has mixed  
4 heights? What if you have a really tall 60-foot warehouse, but you have an office  
5 space that the portion that is closest to the residence, and it's only a 20-foot tall  
6 structure on that point in time, are we using an average height? Are we using the  
7 biggest height, the maximum height or the minimum height? It kind of needs a  
8 little clarity because those heights vary. I kind of want to get a little more clarity  
9 on that. And that we have seven residences, or 12 residences that are in that  
10 area that are going to immediately affected by this should this go through.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm having a hard time  
13 understanding you're question to be honest with you.

14  
15 **CHAIR LOWELL** – Alright let me try that again. It says building setbacks: From  
16 residentially occupied property within the WLC, all buildings shall be set back a  
17 distance equal to or greater than the height of the proposed building. What if you  
18 have a WLC building that varies in heights? So you have a portion of the  
19 building that is 60 feet tall but then tapers down and you have a low spot that's  
20 20 feet tall, what would the setback be in that situation?

21  
22 **PLANNING OFFICIAL RICK SANDZIMIER** – The intent would be, the setback  
23 should be, at the closest point of the building, the height of the building at that  
24 particular point. So, if you had a building that was 60 feet tall and it transitioned  
25 down to 50 feet at some other part of the building that was further away, then the  
26 setback should be 60 feet. If the building was 40 or 50 feet but it grew to 60 or  
27 80 feet in another portion further away from the residential area, then the setback  
28 would be interpreted for the portion of the building closest to the residential. That  
29 would be my off-the-cuff interpretation at this point until we solve some specifics,  
30 but that seems to be a fair application.

31  
32 **CHAIR LOWELL** – Could we add some verbiage that it would refer to the  
33 maximum height, so if we do have a tall building the building will be set back  
34 further regardless of how tall it is next to the houses?

35  
36 **SENIOR PLANNER MARK GROSS** – That's definitely something we could look  
37 at, but I mean it's not part of the Specific Plan I don't believe as it stands.

38  
39 **COMMISSIONER BARNES** – Is that 1:1 ratio, is that common or customary?  
40 Okay.

41  
42 **PLANNING OFFICIAL RICK SANDZIMIER** – That's why we have attorneys.  
43 Mr. Early has convinced me in a different way to look at it. If the building was to  
44 grow in height or shrink in height, the setback would be established based upon  
45 any distance from the property line to the height of the building at that particular  
46 point should achieve the setback equal to the height of the building.

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**CHAIR LOWELL** – So if you had a wedge-shaped building, the setbacks would vary theoretically?

**PLANNING OFFICIAL RICK SANDZIMIER** – Basically you’re keeping that distance from the height of the building to the property line is always the height of the building at minimum.

**CHAIR LOWELL** – And then it says maximum lot coverage is none. But then it says you have to have a 10% minimum lot coverage for landscaping, so shouldn’t we have a 90% maximum lot coverage or am I just parsing words?

**SENIOR PLANNER MARK GROSS** – I think you’re referring to is that is that H under landscape coverage where it talks about logistic uses 10% minimum?

**CHAIR LOWELL** – Exactly.

**SENIOR PLANNER MARK GROSS** – I mean that’s the minimum requirement. There’s no exact maximum requirement, but I mean again 10%.....

**CHAIR LOWELL** – Yeah, I mean maximum lot coverage is none but then we have a minimum lot coverage of landscaping. So it seems like we’re saying you can cover 100% of the land with the building, but oh you’ve only got to have 10% landscaping minimum.

**PLANNING OFFICIAL RICK SANDZIMIER** – That’s specific to high cube use. If you look further down to the next bullet point number 2: All other uses would have no minimum, so it also is based on the use. And high cube logistic use, just so we’re clear on what that is, that’s the buildings that are within the logistics development area that are 500,000 square foot buildings or bigger. Then you also have logistics support uses within the logistics development area, which could be the fueling of the retail-type components or other smaller developments.

**CHAIR LOWELL** – I think I skipped over you, I’m sorry. Commissioner Barnes.

**COMMISSIONER BARNES** – I have a question on the truck pullouts. Those are proposed in the public right-of-way. What’s the advantage of that versus designated parking areas for them that would be off the streets? Fill me in on that.

**TRAFFIC ENGINEER MICHAEL LLOYD** – Based upon observation, whether we provide the opportunity for trucks to park, we’re going to find that trucks are going to park. So it was determined in the development of the Specific Plan that it was appropriate to provide the opportunity for trucks to park along the roadways. However, in a manner so that it’s not affecting the flow of traffic and other trucks trying to get through the area. So that was the thought behind it is

1 that, whether we provide it or not, it's going to happen so the best position to take  
2 is let's provide something that fits within the overall master plan so that it  
3 functions.

4  
5 **COMMISSIONER BARNES** – Okay, thank you.

6  
7 **CHAIR LOWELL** – Mr. Sims.

8  
9 **VICE CHAIR SIMS** – Okay this is probably digressing away from the Specific  
10 Plan, but I want to talk a little bit about the buffers and setbacks specifically  
11 referring to the letter from the State of California Fish and Wildlife Service from  
12 June 11<sup>th</sup>. The conclusion I read out of that was that they indicated that the  
13 project proponent never consulted with Fish and Wildlife Services and that the  
14 proposed 250 foot setback along the south is an inadequate buffer to mitigate the  
15 project impacts because it includes project facilities or water quality basins and  
16 detention basins. They are proposing 850 undeveloped setback along the  
17 Southern boundary. Anyhow, they go on and on and. So I guess I'm a little  
18 confused when we heard the presentation from the developer about the Fish and  
19 Wildlife it seems like is it being accounted for? Is that just a done deal that the  
20 land that was sold to Fish and Wildlife for the habitat area that can't have a  
21 double count as far as project credits or to the environment or any kind of offsets  
22 that the project may have. I don't know if there is a consultation process for  
23 Streambed Alteration Agreements or if that is done on an individual type as the  
24 CUP's and Plot Plans come through. But to get my rambling bouts here to more  
25 pointed questions is, does this project have any ability to use any of the property  
26 that was bought by the State of California as credits towards any impacts the  
27 project has environmentally? That would be my first question.

28  
29 **SENIOR PLANNER MARK GROSS** – No we're not aware of that. No.

30  
31 **VICE CHAIR SIMS** – Okay and then the second the thing that caught my eye,  
32 as I was reading through that, is that the whole San Jacinto Wildlife Area is a  
33 fairly robust repairing area for the birds and whatnot through there and they are  
34 proposing the 250 foot. So I guess what I kind of got from the June 11<sup>th</sup> letter  
35 from State Fish and Wildlife is they have concerns that there would be potentially  
36 endangered species from the birds that would want to nest and so forth. And I  
37 kind of got the sense that they were questioning the validity of having the 250  
38 feet was sufficient along the Southern boundary adjacent to the San Jacinto  
39 Wildlife Habitat Area that's already been purchased because their questioning  
40 that value for habitat potentially for endangered species because there would be  
41 manufacturer detention basins and water quality that would potentially deem the  
42 habitat inadequate for support of endangered species. So I guess for you guys I  
43 don't know if you responded to them in a comment letter to address that or not  
44 but you know from Staff level what was your opinion on that June 11<sup>th</sup> letter?

45

1 **SENIOR PLANNER MARK GROSS** – As far as the letter goes, I don't have a  
2 specific opinion. I mean those are concerns I think of the agency. I can tell you  
3 that just in looking at the Specific Plan and what is in that particular document  
4 you're looking at a 250 foot area. But then, of course, you're going to have  
5 additional setback of any buildings in there for I think it's a minimum of 400 feet  
6 from the San Jacinto Wildlife Area Boundary. So there is going to be some  
7 additional, in a sense, mitigation to where the buildings are set back further. I  
8 don't know if that particularly answers the question but maybe from kind of a  
9 side.....

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – I'd like to ask Kent Norton, our  
12 environmental consultant to address that particular issue.

13  
14 **KENT NORTON** – Mr. Chairman and Commissioners: Mark already indicated  
15 some of it. Some of this harkens back to the Environmental Impact Report, so I  
16 apologize but there were a number of mitigation measures that specifically  
17 addressed the Southern buffer area including 250 feet initial setback area that  
18 does include drainage facilities and then there's an additional 150 foot setback  
19 for buildings. So 400 feet from the San Jacinto Wildlife Area Boundary would  
20 have no building improvements within it. A number of the mitigation measures  
21 also specified how that was going to be managed possibly as habitat but that  
22 would have to be in cooperation with the resource agencies. The EIR went into  
23 quite a bit of detail analyzing if it was an adequate setback and the relationship of  
24 that potential setback with the San Jacinto Wildlife Area and the original purpose  
25 for that entire area. If you want more information on that, we can discuss that.  
26 But I think we've moved on from that. But we will be responding in writing to Fish  
27 and Wildlife's letter. We believe the analysis in the EIR was adequate and does  
28 provide an adequate setback from the wildlife area. Thanks.

29  
30 **CHAIR LOWELL** – Commissioner Barnes.

31  
32 **COMMISSIONER BARNES** – When Commissioner Sims and I attended the  
33 briefing from the Applicant, that was one of the items that was discussed in some  
34 detail. And my recollection is we were shown a letter that I think was on City  
35 letterhead that specifically identified that 1100 acres, or whatever it was. That  
36 went to the State as a buffer zone to the wildlife area. Now was that  
37 documentation the City suggesting to the State that this is a buffer and the State  
38 refusing to acknowledge it as that or was it originally a buffer in everybody's mind  
39 and the State has now changed their mind and it's no longer a buffer, it's wildlife  
40 area and we need more buffer? Can you clarify that please?

41  
42 **KENT NORTON** – I think I can answer that. The area in question is the area in  
43 green on the map on the wall. That area was originally part of the Moreno  
44 Highlands Specific Plan, and it was purchased by the State as part of the San  
45 Jacinto Wildlife Area but one of the reasons for purchasing it was specifically to  
46 act as a buffer between the more wetland resources of Mystic Lake and provide

1 an upland buffer area between development to the north. Now, at the time,  
2 development to the north meant the remainder of the Moreno Highlands Specific  
3 Plan. Now that area to the north could be the World Logistics Center. We  
4 analyzed that original purpose, in addition to the 250 foot setback plus the 150  
5 foot building setback, and determined that those three items together  
6 represented an adequate setback or buffer from the San Jacinto Wildlife Area.  
7 There has been a lot of discussion about what to call that area, whether it's a  
8 buffer area or not. I really don't want to get into that kind of discourse tonight. As  
9 I said, we will be responding to Fish and Wildlife's letter. We believe the purpose  
10 of that area was the act as some type of buffer between the more wetland-  
11 oriented resources of Mystic Lake area and future development, and that area is  
12 actually being dry funded right now similar to the World Logistics Center property  
13 immediately north of it. It does provide some wildlife resources. That is true.  
14 But we believe that area plus the buffer area that is being proposed as part of the  
15 World Logistics Center, including the mitigation measures that specify exactly  
16 how that area will be treated and maintained, are adequate to protect the  
17 resources of the wildlife area.

18  
19 **APPLICANT IDDO BENZEEVI** – If I may since you've seen it in our  
20 presentation, it is not a City document. That is a State document. The document  
21 you have seen that's part of the EIR it's in the document itself. That was the  
22 State document when they approved the purchase. The language as you read  
23 and I'm not going to paraphrase it but essentially what it says is that they are  
24 adding that property to the Wildlife San Jacinto Wildlife Area to buffer it from  
25 development to the north. And so the purpose of the acquisition is a buffer but  
26 nonetheless it belongs to the wildlife area now. And the City indicated they  
27 purchased a portion of the Moreno Highland Specific Plan that was governed by  
28 Development Agreement for 20 years, so it wasn't that they bought some open  
29 land not knowing it was to be developed. They actually bought into the Moreno  
30 Highland Specific Plan and they bought developable areas. Ever since they  
31 bought it, we were involved in it from the beginning without going through the  
32 history. But they've been farming it and disking it ever since the property was  
33 purchased sometimes in conjunction with the same farming operation we have.  
34 So they have been doing this since the acquisition.

35  
36 **PLANNING OFFICIAL RICK SANDZIMIER** – If I may, Mr. Chairman. This was  
37 one that I looked into specifically in our General Plan and our General Plan does  
38 specifically address this purchase in 2002 by the California Department of Fish  
39 and Wildlife. This is actually right out of our General Plan. It's consistent with  
40 what Mr. Benzeevi just described. Our General Plan also goes into some  
41 discussion about the separate energy company's purchase of 178 acres, which is  
42 around the gas company property. But what it says here, which is interesting to  
43 me, is that neither of the aforementioned land purchases are likely to be  
44 developed as envisioned in the original Specific Plan and are likely to remain  
45 sustainably vacant. That's identified here. However, in that the Moreno  
46 Highlands Specific Plan Development Agreement precludes the City from making

1 any unilateral changes to the Specific Plan land uses. No changes were  
2 recommended for the Moreno Highlands Specific Plan as part of the General  
3 Plan update. So when the General Plan was actually updated, they didn't make  
4 any changes to the Moreno Highlands Specific Plan so it still remains as a  
5 potential development area. And the California Fish and Wildlife, I believe, did  
6 send us a letter on the draft Environmental Impact Report saying that they liked  
7 the idea of the Moreno Highlands Specific Plan having greater opportunities for  
8 development. I'm paraphrasing what I believe that letter, as I recall, said. So, in  
9 one case, you can't say in a letter that you like that there's opportunities to  
10 develop it but at the same give us another letter that says oh by the way it's part  
11 of our wildlife area, which is going to remain as open space. So it's a little  
12 inconsistent some of the stuff that I researched on it, so in terms of being a buffer  
13 or being part of the wildlife area that's important but I wouldn't spend too much  
14 time on it. I think the fact that the Specific Plan has identified a buffer in addition  
15 to that of 250 feet plus another 150 feet before you can get to the development is  
16 addressing that we're putting 400 feet of space between any development and  
17 that edge.

18  
19 **CHAIR LOWELL** – Yeah, it appears that some of their objection is the fact that  
20 the 250 foot setback is a maintained area and that maintenance would disturb  
21 natural resources that would be there for nesting and foraging and whatnot. So it  
22 seems like they want more and more and more and it doesn't seem as though  
23 you'll ever be able to give them enough to make them happy.

24  
25 **COMMISSIONER BARNES** – It seems they've changed their mind. It's no  
26 longer a buffer.

27  
28 **CHAIR LOWELL** – Yeah, it says that in the letter. It says the FEIR identifies  
29 910 acres of the wildlife area plus the minimally proposed setback of 250 feet to  
30 the buffer. And then it says mitigation measures provides for 250 foot setback  
31 from the Southerly property line as area includes maintained engineered facilities  
32 required by the development. It cannot be considered as a setback or buffer  
33 from development as it certainly cannot be considered to provide mitigation to  
34 compensate for the loss and yadda, yadda, yadda, yadda, yadda. They basically  
35 are saying we want more and more and more and they want you to change it  
36 from feet to meters and it's yeah....I think the open space that is being provided,  
37 which is in excess of a mile width from the existing wildlife refuge area. I think  
38 that adequately buffers plus what the Specific Plan is doing. I think that we're  
39 doing the right job on that. Anybody else?

40  
41 **COMMISSIONER VAN NATTA** – I'm looking at this that says 2610 acres. How  
42 come everybody keeps referring to this as being 4000 acres?

43  
44 **SENIOR PLANNER MARK GROSS** – The 2610 acres is actually the World  
45 Logistics Center Specific Plan. Anything that is in the blue area is considered as  
46 the World Logistics Center Specific Plan. The project area because there are

1 Changes of Zones and General Plan Amendments that are going on with areas  
2 south of the World Logistics Center, proposed World Logistics Center Specific  
3 Plan. That's where that additional square footage is coming from because it  
4 includes the 2610 acres plus the area to the south of the World Logistics Center  
5 Specific Plan. So you add those two areas up and that's what you're looking at  
6 as far as the square footage goes.

7  
8 **PLANNING OFFICIAL RICK SANDZIMIER** – Just one clarification. In terms of  
9 all the blue area up on the map, it's actually the area defined with the purple  
10 dotted line. There actually are some blue areas north of the Eucalyptus, which  
11 are not part of the Specific Plan. And then all of the green area below the purple  
12 dotted line on the south part is the area that is the additional acreage, so  
13 between those two pieces.

14  
15 **COMMISSIONER VAN NATTA** – One of the people who had an objection to  
16 this WLC plan said that we would be removing too much residential zoned land  
17 and that we would be sorry for it later on because we wouldn't have any place to  
18 build houses. Do you have any idea how much vacant residential zoning there is  
19 within Moreno Valley like for example north of the freeway in acreage?  
20

21 **PLANNING OFFICIAL RICK SANDZIMIER** – I don't have a specific acreage  
22 amount for you, but there is a considerable amount of land if that's a fair  
23 characterization. That's what I would offer.  
24

25 **COMMISSIONER VAN NATTA** – Yeah, I know there's a lot of vacant land north  
26 and most of that is zoned residential isn't it north of the freeway? North of  
27 Ironwood?  
28

29 **PLANNING OFFICIAL RICK SANDZIMIER** – R5 zoning and then also hillside  
30 residential and some RA2 and RA3 I believe.  
31

32 **COMMISSIONER VAN NATTA** – Alright, okay.  
33

34 **CHAIR LOWELL** – Anyone else have comments on the Change of Zone,  
35 Specific Plan, or Annexation? Anybody raising their hand? Okay, so I guess  
36 we'll just keep plowing on down this. We're going to go over to the Tentative  
37 Parcel Map I guess is the next one. Anybody have any comments on the  
38 Tentative Parcel Map besides those two general notes that need to be  
39 renumbered to 17 and 18? By all means, Commissioner Barnes.  
40

41 **COMMISSIONER BARNES** – Oh thank you. I have eight or nine questions but  
42 let's just start with the first couple. The map only covers 1539 acres. Highland  
43 Fairview owns 2250 plus or minus. Why are they not mapping the entire 2250?  
44 I'm just curious as to what drove the limits of the map.  
45



1 **PLANNING OFFICIAL RICK SANDZIMIER** – There’s actually some areas that  
2 are already previously mapped. I’d like to ask Wayne Peterson to possibly  
3 address that particular issue.

4  
5 **HIGHLAND FAIRVIEW WAYNE PETERSON** – Good evening, Wayne Peterson  
6 with Highland Fairview. Mr. Sandzimier is exactly right. Part of that land, which  
7 is owned by Highland Fairview, was already subdivided. Only the 1500 acres is  
8 what is left to be subdivided.

9  
10 **COMMISSIONER BARNES** – Okay. Are those previously subdivided pieces  
11 also financing mechanism parcels similar to the map?

12  
13 **HIGHLAND FAIRVIEW WAYNE PETERSON** – No. They are....

14  
15 **COMMISSIONER BARNES** – They are buildable.

16  
17 **HIGHLAND FAIRVIEW WAYNE PETERSON** – Buildable lots.

18  
19 **COMMISSIONER BARNES** – Okay.

20  
21 **HIGHLAND FAIRVIEW WAYNE PETERSON** – But they clearly predated the  
22 World Logistics Center....

23  
24 **COMMISSIONER BARNES** – Right.

25  
26 **HIGHLAND FAIRVIEW WAYNE PETERSON** – Not necessarily designed for  
27 that but primarily large agricultural subdivision.

28  
29 **COMMISSIONER BARNES** – Okay, yeah. I was just curious. Thank you.  
30 Anybody else? I have more.

31  
32 **CHAIR LOWELL** – I have one. The Tentative Map shall expire three years after  
33 approval date of this Tentative Map unless extended as provided by the City of  
34 Moreno Valley Municipal Code. What are the extensions and how many  
35 extensions are you granted? So when would the theoretical ultimate expiration  
36 date be if this never gets recorded?

37  
38 **COMMISSIONER BARNES** – Actually that’s one of my questions also. The  
39 Development Agreement would supersede the expiration of the map, so I would  
40 think that there should be a condition in the map that ties its expiration to the  
41 Development Agreement so that they are not in conflict with one another.

42  
43 **KENT NORTON** – If I might. That happens automatically. The reason it’s set  
44 up this way, the Development Agreement is a discretionary contract item. If for  
45 some reason that didn’t go forward, you would want the standard Subdivision  
46 Map Act requirements to apply and so the three-year term you’re noting there. If

1 and when the Development Agreement would be executed, it would become  
2 effective. The map would be coexistent with the term of the Development  
3 Agreement, so it had the first 15-year phase or term and then, if qualified, you get  
4 the extension for 10 years. It would go to lockstep with that, so it's set up as a  
5 failsafe either way.

6  
7 **COMMISSIONER BARNES** – Well that then goes back to my I think first  
8 question of the night the fact that there's not a conditional tie between the  
9 Development Agreement and the map as it relates to your scenario. It seems  
10 like there should be.

11  
12 **KENT NORTON** – That certainly could be. That could be one of your  
13 recommendations to the Council because that, what I just described, tracks State  
14 Law. We don't usually, or it's not common or required, to recite State Law into  
15 the approval but it can be. There's no difficulty with that.

16  
17 **CHAIR LOWELL** – Alright. I'm not 100% familiar with the Subdivision Map Act.  
18 I'm pretty familiar with it but I'm not 100%. This is a Tentative Parcel Map. And,  
19 should the Tentative Parcel Map be approved, it moves onto the Parcel Map.  
20 We actually have to record it, create a map. In order for the map to be recorded,  
21 you have to go out and set monuments. Is there anything in the Subdivision Map  
22 Act or there's nothing in the Specific Planning Conditions of Approval....let me  
23 back up. Is there anything in the Subdivision Map Act or in these paperwork in  
24 front of us that would require the removal of the existing monuments that are  
25 being vacated because there are a lot of parcels out there that are being merged  
26 into single lots and there is going to be a ton of abandoned monuments. It just  
27 seems like, if you're going out there to try to retrace or set new monuments, you  
28 could be sitting one right next to one that has been abandoned. And, when  
29 you're trying to retrace your steps, it could be confusing for a surveyor in the field  
30 to try and figure out where you are.

31  
32 **COMMISSIONER BARNES** – There's no requirement in the Map Act that  
33 that.....

34  
35 **CHAIR LOWELL** – I didn't think so, but you're looking at the underlying map and  
36 there are hundreds of parcels that are being merged.

37  
38 **COMMISSIONER BARNES** – Yeah, I'm supposed to be an expert on that, and I  
39 would say it's not an issue.

40  
41 **CHAIR LOWELL** – Issue?

42  
43 **COMMISSIONER BARNES** – No, not an issue.

44  
45 **VICE CHAIR SIMS** – Obliterated.

1 **COMMISSIONER BARNES** – Yeah.

2  
3 **VICE CHAIR SIMS** – It would be obliterated?

4  
5 **COMMISSIONER BARNES** – Yeah.

6  
7 **CHAIR LOWELL** – Anybody else have any questions?

8  
9 **COMMISSIONER BARNES** – Yeah, LD4. Parcel of land shall have access from  
10 the public road or public accesses, both feasible and required for approval of the  
11 proposed map. You look at the map, and it appears and since they are just  
12 financing parcels maybe it doesn't matter, but it looks like 715 and 717 don't  
13 have access to public roads partially because of the fact that the map vacates all  
14 the underlying streets that are contained within the distinctive border. So again I  
15 don't know how important it is. But it seems to be a conflict between the  
16 conditions and the map.

17  
18 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm going to see if we've got our  
19 Land Development Staff in the conference room, so I'll be right back.

20  
21 **COMMISSIONER BARNES** – Do you think they are eating cookies?

22  
23 **PLANNING OFFICIAL RICK SANDZIMIER** – They could be. I think I ate the  
24 last two cookies, so.

25  
26 **COMMISSIONER BARNES** – Oh, okay, alright. And while we're getting them,  
27 LD5 references street dedications, but I poured over the map and I couldn't find  
28 any, so.

29  
30 **SENIOR PLANNER MARK GROSS** – That'd be a good question for our  
31 representative when he comes out.

32  
33 **COMMISSIONER BARNES** – That's what I'm thinking.

34  
35 **SENIOR ENGINEER GUY PAGAN** – Good evening. My name is Guy Pagan.  
36 I'm with Land Development, Senior Engineer. That's a similar question that we  
37 had asked Highland Fairview when we looked at the map and they came back  
38 and said that they do have independent access to those various slots. So it's  
39 something that I think, if the engineer from Highland Fairview is here, he can  
40 identify what those accesses are.

41  
42 **HIGHLAND FAIRVIEW BRIAN HIXSON** – Commissioners and Chairman, Brian  
43 Hixson of Highland Fairview. I'm not the engineer of record, but I am a licensed  
44 civil engineer with Highland Fairview and my belief is that any parcels that do not  
45 abut a legal street. On the map, I believe they are showing an access easement  
46 through an adjacent parcel to give them legal access.

1  
2 **CHAIR LOWELL** – Yeah, I think I see them on there. It’s just kind of hard to  
3 read on the scale. It says it’s a 50 foot access easement and it’s running east to  
4 west between lots 5 and 8 on the Southerly side of lots 5 through 8. Similarly,  
5 running north/south between 15, 17, and 19 on the Westerly property line of 15,  
6 17, and 19. I didn’t see that the first time either. And I don’t see the street  
7 dedication that you’re asking either unless they are talking about on Redlands. It  
8 might be along Redlands and maybe Eucalyptus. I have a question on the  
9 Conditions of Approval MVU1. I know this isn’t single-family subdivisions, but in  
10 the Parcel Map that recently got approved through the City they are no longer  
11 requiring the three foot utility easements. Is that something that is still being  
12 required now? I know it says single-family subdivision but it’s still in here. It  
13 seems like these conditions were dated....

14  
15 **PLANNING OFFICIAL RICK SANDZIMIER** – I’m hoping that Jeanette whose in  
16 the other room or is already in here.

17  
18 **ELECTRIC UTILITY DIVISION MANAGER JEANNETTE OLKO** – I’m sorry. I  
19 was walking in here. Can you repeat the question?  
20

21 **CHAIR LOWELL** – It says MVU1. It says for single-family subdivisions, which  
22 this isn’t, but it’s referring to a three foot easement along each side yard for utility  
23 easement. Is that still something we’re requiring? I know this isn’t a residential  
24 development, but I think that requirement has gone away hasn’t it?  
25

26 **ELECTRIC UTILITY DIVISION MANAGER JEANNETTE OLKO** – We are  
27 actually in the process of rewriting that particular condition.  
28

29 **CHAIR LOWELL** – Okay. Okay, I think that’s pretty much it. Does anybody  
30 else have any other questions on the Parcel Map?  
31

32 **COMMISSIONER BARNES** – I have a question and I’m not sure that it is totally  
33 pertaining to the Parcel Map. I had it actually under the section on Specific Plan.  
34 One of the speakers, Edward Pauw was concerned about some property that his  
35 family owns that I think crossed or straddled Eucalyptus Avenue in a portion of  
36 the map is not within Highland Fairview’s ownership. He was concerned about  
37 the lack of specifics as to how it affects his property. And, you know, maybe this  
38 applies more to the Specific Plan, but its not come up this evening. I think some  
39 more specifics as it relates to his property would be appropriate. Is there more  
40 information as to...  
41

42 **PLANNING OFFICIAL RICK SANDZIMIER** – Yeah, if I may address that. Mr.  
43 Pauw and actually his brother left me a message. I have not been able to close  
44 the loop with them before the meeting this evening. It’s our intention, Mr. Gross  
45 has already met with Mr. Pauw once. We do intend to sit down with them. We  
46 intend to sit down with them before this gets to the City Council. Hopefully we

1 will have a little bit more detail before it gets there, but unfortunately we do not  
2 have anymore information for you this evening. The alignment of the road, which  
3 may bisect his property is what the issue might be, but that final alignment of the  
4 road is still subject to some refinements down the road so if there is an  
5 opportunity for us to work with them. In fact, I believe we spoke with Mr.  
6 Benzeevi or someone on his team who indicated that they are open to us  
7 working with them on that. They recognize that there is still flexibility in the land  
8 planning, particularly the infrastructure alignments to possibly work that out and  
9 so I think Mr. Benzeevi may have actually had a conversation with Mr. Pauw as  
10 well.

11  
12 **APPLICANT IDDO BENZEEVI** – Just for clarification, that is sort of Eucalyptus,  
13 the extension of Eucalyptus between Theodore and Gilman Springs Road. It  
14 actually is not on our property. It is something that is within the World Logistics  
15 Specific Plan that has been described before. It’s a larger area than what  
16 Highland Fairview owns, so it’s really something that the City can work with them.  
17 We as an adjacent property owner have no issue with how they want to align the  
18 road. Currently, Eucalyptus as it is designed bifurcates the property. They have  
19 parcels on both sides of future Eucalyptus. I think they may have an idea that  
20 they want to move Eucalyptus so they don’t have two parcels but one. But that’s  
21 really something we have no objection to, but that is something the City can work  
22 out with them and see what development plans they have. You know, people  
23 think they want to have one big parcel but then as they think it through they say  
24 gee maybe we want to have two sides of the streets for different uses. They’ll  
25 have an idea for the development and I’m sure the City will work with them. As  
26 far as we are concerned or Highland Fairview, we have no issue with whatever  
27 outcome the City thinks is best for that piece of property.

28  
29 **CHAIR LOWELL** – Going back to the Tentative Map expiration date, did we  
30 ever get an answer to that? I don’t think there was a definitive answer on when  
31 the extensions expire.

32  
33 **PLANNING OFFICIAL RICK SANDZIMIER** – I believe what the attorney was  
34 indicating is the Municipal Code has certain provisions in it. But because the  
35 Development Agreement, if you go forward and you approve the Development  
36 Agreement. It in itself identifies that any of the underlying approvals end up  
37 having the same life as the Development Agreement. So it would be a 15 year  
38 period and then, if it is extended for an additional 10, it would be a total of 25  
39 years. And I believe what Mr. Curley indicating is that it is tied to some State  
40 Law provisions.

41  
42 **CHAIR LOWELL** – So if we approve this Tentative Map and approve the  
43 Development Agreement, theoretically nothing could happen for the next X  
44 amount of years, 15 or 20 years, no development or nothing but yet this  
45 Tentative Parcel Map would still be alive and not officially recorded.

46

1 **PLANNING OFFICIAL RICK SANDZIMIER** – It’s a map for financing and  
2 conveyance purposes and it also identifies, or to do any development, a  
3 subsequent map would also be required anyways so.

4  
5 **CHAIR LOWELL** – Thank you. Any other comments on the Tentative Map?  
6

7 **COMMISSIONER BARNES** – Well just that normally I thought conditions would  
8 specify the number of extensions ignoring the Development Agreement.  
9 Normally it would say, you know, you’re eligible for three 2-year extensions or 1-  
10 year extensions and I don’t see that here.

11  
12 **CHAIR LOWELL** – That’s kind of what I was going for. I’m trying to figure out if  
13 that was....

14  
15 **COMMISSIONER BARNES** – I think normally the agency should specify that.  
16

17 **SENIOR PLANNER MARK GROSS** – I believe it’s a five year extension period  
18 is how it’s looked at in the Code, and I think you could look at it from I think it’s  
19 three and two is how it’s looked at usually how we would allow for extensions of  
20 those maps. But, again, I think there’s the Development Agreement aspect of it  
21 as well as what we are discussing here.

22  
23 **PLANNING OFFICIAL RICK SANDZIMIER** – We’d be happy to look at that and  
24 put a condition together as this moves forward. In the event the Development  
25 Agreement is not approved, and in the event the Development Agreement is  
26 approved but subsequently is changed. It wouldn’t hurt I don’t believe to have  
27 that condition in the resolution.

28  
29 **COMMISSIONER BARNES** – Thank you.  
30

31 **CHAIR LOWELL** – Okay, I guess that makes us moving on to the Development  
32 Agreement, which I have quite a few comments. Would somebody like to go  
33 first? Let me see what my notes say. Go for it.  
34

35 **COMMISSIONER BARNES** – At the very first meeting, I had asked the question  
36 about Section 1.5, which basically said that the term development impact fees  
37 didn’t include arterial streets, traffic signals, interchange improvements, and fire  
38 facilities. And it was explained that because of the large amount of infrastructure  
39 that’s being constructed by the project that cost would more than cover what  
40 those fees would normally be. But, after that meeting, I got to thinking about it.  
41 And I have a question about I guess the timing of construction, and the fire facility  
42 is the best example. If we go through and approve multiple buildings and they  
43 get constructed and they don’t pay the fire fee because they are exempt from it  
44 based on the Development Agreement and then at some point the economy kills  
45 the project or something, the fire station doesn’t get built, they’ve not paid the fire  
46 fee, and the facility has not been provided that was supposed to be an offset for

1 that fee. So is that scenario addressed in here so that that can't happen? Does  
2 that make sense?

3  
4 **PLANNING OFFICIAL RICK SANDZIMIER** – Well to the extent that  
5 development occurs that our fire marshal does not believe triggers a need for the  
6 fire station, then there is a scenario that it would be I believe minimal amount of  
7 development that doesn't trigger the need for a fire station and would we have  
8 collected fees on that development otherwise? I guess the answer to that would  
9 be yes. The tradeoff in terms of negotiations on the Development Agreement  
10 assumes that the development is going to proceed and that, as the development  
11 proceeds, the assurance is that the fire marshal has say in when the  
12 development of that fire station will have to take place and it is outlined in term  
13 4.9 of the Development Agreement. On page 692, it says you essentially have to  
14 give us a turnkey fire station. And I talked with our Finance Staff who was  
15 involved with negotiating this Development Agreement. When they were looking  
16 at the development impact fees the station itself was somewhere in the  
17 neighborhood of \$8 million, and then with a turnkey condition where you're  
18 actually providing the trucks and all the equipment, it goes up between \$10  
19 million and \$11 million is what we believe this provision within the Development  
20 Agreement calls for. So we thought it was a fair trade in the negotiations. But  
21 your scenario that you outlined, could there be some minimal amount of  
22 development that doesn't trigger the need for a fire station and then all of a  
23 sudden the bottom falls out? The answer would be yes.

24  
25 **COMMISSIONER BARNES** – And I'm not suggesting that it's not a fair trade.  
26 What I'm suggesting is that we just eliminate the loophole so that there is no  
27 downside in whatever scenario transpires. Is there a way to do that with these  
28 fees or is that too big a problem to solve?

29  
30 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm sure that we could work it out.  
31 I mean we spent hours and hours negotiating this. I'm sure we can spend more  
32 hours and figure out a way to do it.

33  
34 **COMMISSIONER BARNES** – I guess that's my question.

35  
36 **APPLICANT IDDO BENZEEVI** – I might be able to maybe just clarify some  
37 things. The way it's working is that at the first instant that the fire marshal  
38 decides it needs a fire station, as you heard and I'm actually a little bit shaken up  
39 by the number you just gave me, \$11 million. I thought it was \$6 million or \$7  
40 million, so the price doubled on this fire station turnkey and so we may have to  
41 put it years in advance of what our fair share may have been on that station. In  
42 other words, if the fire marshal says after the first building or half a building you  
43 need a whole fire station, we will be obligated to put it up. But the reality is that  
44 there's always an exercise, there's a study done. There could never be a  
45 situation where we will build a building that should have had a fire station and  
46 one wasn't built. So, if we build one building and the fire marshal decided there

1 wasn't a need for a fire station, there wouldn't have been one there anyways. So  
2 a fee would have been collected, but the demand for that fire station wouldn't be  
3 there. On the other hand, if you look at the fiscal side of it, we're paying the fees  
4 in the City. And the Fiscal Analysis shows not only are we building the fire  
5 station at no cost to the City, but we'll be paying approximately \$1.5 million to \$2  
6 million in fees, right, that are in excess of the cost to operate. In other words,  
7 there is a net gain for the City of making about \$1.5 million to \$2 million in a  
8 sense profit by the fact that we are paying the fire fees in addition to constructing  
9 the station.

10  
11 **COMMISSIONER BARNES** – But if I read the DA correctly, you're not paying  
12 the fire fees. You're exempt.

13  
14 **APPLICANT IDDO BENZEEVI** – I guess it's not called a fee. Help me out with  
15 the term of it. Fire tax, sorry, fire tax. What is the actual term in the City for that  
16 portion of...development impact fee? A separate property tax that goes to the  
17 fire fund. You may want to explain what that is from the City Finance point of  
18 view. I know we pay the tax, but he could probably explain how it works.

19  
20 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – Rick Teichert, Chief  
21 Financial Officer for the City. I think you're referring to a portion of the property  
22 tax. The City gets two components to the general fund. One is for the general  
23 fund itself, which is about 5.5% of the base 1% levee done on properties. Yet  
24 between 5.5% and 6% for what used to be the fire tax, which the City got once it  
25 incorporated. So, the two combined, come to the City at about 11.5% to 12% of  
26 the total assessed value. So what's being referenced is we're collecting that fire  
27 tax, which goes towards operating the fire services, the operations. Referring to  
28 the DIF question that you had raised, my concern would be the reverse. If we  
29 were collecting DIF fees, we would not collect enough DIF fees until the project  
30 was almost built out. To build a fire station and talking with the fire chief, the  
31 need for this will be in the early stages probably around 4 to 5 million square feet.  
32 So, in our negotiations, we benefitted by having the developer/the property owner  
33 build sooner in the project when the fire chief says it's needed now. They've  
34 agreed they will build it then. We're guaranteed to have it when it's needed,  
35 rather than waiting until late in the process figuring out how to build it when we  
36 haven't collected all the fees.

37  
38 **COMMISSIONER BARNES** – Well and I understand all that and I appreciate his  
39 willingness to build a fire station. That's terrific. My concern is that in the  
40 scenario where we don't get to that threshold and normally a building would pay  
41 both the fire fee and they would pay the tax assuming no special Development  
42 Agreement. In this situation, those initial few buildings would not pay the fire fee  
43 or the other DIF components mentioned. And, again, if something were to not  
44 take place then there would be a loss of funds. Now on other projects that I've  
45 been involved in, there is DIF fee reimbursement all the time for building streets  
46 and things. So couldn't the scenario move forward in exactly that way? When



1 you get to the point where he is building the fire station that's a DIF funded  
2 improvement, so the three buildings that have paid the fire fee prior to that, that  
3 money comes back against the \$6 million fire station that he's building or the \$11  
4 million fire station that the City wants. Wouldn't that be a feasible scenario? And  
5 then there's no risk to the City for a loss of fee collection.

6  
7 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – That's a feasible  
8 scenario. We would have to go back and talk about that and negotiate that.

9  
10 **APPLICANT IDDO BENZEEVI** – Yeah, I just want to say we spent a lot of time  
11 negotiating. If you look at the total picture, we're spending hundreds of millions  
12 of infrastructure for the benefit of the public with no reimbursement whatsoever.  
13 At some point, we can make burden our project so much that we will become  
14 uncompetitive out there. If you look at who we're competing with, that's on the  
15 West side of the 215. The public has paid for widening the 215. The public has  
16 paid for the Alessandro interchange, for the Cactus interchange, for the Van  
17 Buren interchange. All these other improvements, including some hundreds of  
18 millions of dollars of onsite infrastructure for a similar project across Meridian and  
19 others, that have hundreds of millions of dollars literally of public infrastructure  
20 provided. And we're literally carrying a similar size burden, \$700 million (almost  
21 \$500 million in infrastructure) with no reimbursements. So, at some point, the  
22 question is you know where is the limit? And I think what we have, we've come  
23 up to an arrangement with the City where there's a tremendous amount of  
24 benefits and remember the fire station only gets triggered when it's needed. Like  
25 you said, I'd rather pay the fee. But, like the City said, the tradeoff was that you  
26 wait collecting the fee per building. Here even at the first, again we said 5 million  
27 square feet. We haven't had that discussion with the fire chief but, assuming it's  
28 5 million square feet, 35 million square feet ahead of when you would've paid all  
29 the fees we would of built out I'm hearing today \$11 million fire station, including  
30 paying the tax to operate it. So the tax gets paid whether there's a fire station or  
31 not. That goes to the benefit of the City, so I think in the overall picture we have  
32 a lot invested. We continue to invest a lot, and if we didn't fulfill our agreements  
33 you know or anything at all, there will not be additional permits. And, you know, if  
34 the fire station was needed at the 39 million square feet I'd say gee we could get  
35 to the last one and not build it but it's needed so early on and such and  
36 remember in finance early expenditures is a case of death they say, right?  
37 There's no more destructive force in the universe than compound interest. When  
38 you load a project with high costs in the beginning, you're doing tremendous  
39 financial hardship on a project to be successful. So we have to make sure in  
40 Staff, which had advisors and financial advisors to make sure that we structure  
41 something that's very beneficial for the City but also makes the project that can  
42 be implemented in the real world. One that actually can be executed. And the  
43 lesson is from Moreno Highlands Plan that was a Planning Development  
44 Agreement that, even during the economic boom times, could not be executed.  
45 You know, and everybody was building everywhere, but that piece of property  
46 could not be developed. Anyhow, I think a lot of things can be tweaked but like

1 anything else there's a lot of pieces and in the big picture I think there usually  
2 benefit. For example, the City, like you said \$11 million maybe \$6 million in  
3 surplus to the benefit. There is millions of dollars for education. There's an  
4 additional millions of dollars to the benefit of the City, and I seriously doubt that  
5 the City will end up holding the bag on the fire station, not to mention the millions  
6 of dollars of property taxes we've already been paying on this vacant land that  
7 required no services that has been collected all these years. With that it's about  
8 \$14.7 million. It's an overall equation but I don't feel that anyone is coming out  
9 on the short end of that relationship. I think, at this point, there is an equitable  
10 arrangement that protects both the City and also enables us to proceed with  
11 development. But if there are some tweaks or adjustments that have to be  
12 made, it could probably be made on both sides. We're pulling, for example,  
13 electric infrastructure. It may cost \$68 million and then paying retail for  
14 electricity. Right? So it's like if you want to eat pizza, they say build my store  
15 and I'll sell you pizza retail. So there's a lot of benefits and the profit to the  
16 electric utility is estimated between \$11 million to maybe \$18 million. So there's  
17 money coming into the City to cover any potential, it's just a general statement.  
18 But there's a lot of things within the agreement. Thank you.

19  
20 **CHAIR LOWELL** – Along that same thread of the fire station, we recently built a  
21 fire station in the City off Morrison. I can't remember if it's Station 99 or Station  
22 91, but we built the station state of the art, turnkey ready to go. It was open for  
23 about three months and then the City said, wait a minute, we don't have any  
24 money to fund this thing to actually staff it so we're going to close it. So, if we get  
25 a turnkey fire station, what does the City have as far as budgeting purposes go  
26 for making sure that this new free fire station is manned? Is that something we're  
27 allocating a budget for to make sure that we can finance the employees of that  
28 fire station?

29  
30 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – That would be part of the  
31 financial planning we'll be doing as this project, once it's approved, will be  
32 incorporated as part of our long range financial plan. We'll be updating that by  
33 the end of 2015 for presentation to Council by December or January.

34  
35 **CHAIR LOWELL** – Comments Commissioner Barnes? This is kind of an  
36 ambiguous question. I will see if I can put a little point on this. On the  
37 Development Agreement, which is packet page 681, which is page 2 of the  
38 Development Agreement. It says Item H: The City has previously adopted an  
39 Economic Development Action Plan. The WLCSP responds to a portion of the  
40 EDAP yadda, yadda, yadda. The Eastern portion of the City of Moreno Valley is  
41 deficient in the infrastructure necessary to support and implement the City's  
42 EDAP to allow for the development of the World Logistics Center on the WLCSP.  
43 Highland Fairview is willing to provide and assist the City in the development of  
44 infrastructure in support of the City's economic plan, which may be in excess of  
45 HF's fair share and therefore may provide broader benefits. I know the  
46 developer is responsible for 100% of the improvements along their property

1 frontage and all their own infrastructure, so what are we referring to that Highland  
2 Fairview would have to pay, or be willing to pay, in excess of their fair share and  
3 what specifically would they be doing to be helping the City?  
4

5 **PLANNING OFFICIAL RICK SANDZIMIER** – During the negotiation of the  
6 Development Agreement, there was some acknowledgment that whenever you  
7 put in initial infrastructure improvements for a project you're usually overbuilding  
8 that infrastructure whether you put it in the initial electric utilities, the sewer  
9 connection, the water services, or roads. You can't just build on a road, for  
10 example, part of a lane. And so, if you're only using up.....if your volume of  
11 traffic is only equal to a fraction of what the capacity of a lane is, you couldn't just  
12 ask them to build that one-third of a lane. You would ask to build a whole lane or  
13 one lane in each direction. So when you extrapolate that out on all the  
14 infrastructure that would have to go in to the area, the Highland Fairview team  
15 believes that when you put in all that infrastructure other people within the City  
16 will be able to drive through and use the facilities and may be able to tap into  
17 some of the electric utilities or the water or those sorts of things. So what they  
18 are interested in negotiating with us was an opportunity to be reimbursed. Well  
19 our Municipal Code does allow for a developer who puts in that sort of  
20 infrastructure, overbuilds the infrastructure, an opportunity to enter into a  
21 Reimbursement Agreement with the City that would basically assure that  
22 developer that there is a mechanism for them to try and recapture some of that  
23 cost from the other beneficiaries of those improvements. So it may be later  
24 phases of the Highland Fairview World Logistics Center Project. They may sell  
25 some of the property off. There may be another developer, another property  
26 owner who comes in and builds pieces of it. There may be a scenario where a  
27 development on the outside fringes of the World Logistics Center Specific Plan  
28 Area may be able to connect to some of the infrastructure and benefit from there  
29 and so those are some of the scenarios that were being discussed. That's  
30 essentially what that is.

31  
32 **CHAIR LOWELL** – Now is that sort of what the Press Enterprise has been  
33 referring to when they say the Development Agreement could cost the City \$100  
34 million? Is that what they are referring to or is that something else that the Press  
35 Enterprise is referring to? It was kind of a vague comment, and I didn't really  
36 have any specifics when I read it.  
37

38 **PLANNING OFFICIAL RICK SANDZIMIER** – I really don't know what the Press  
39 Enterprise is referring to overall. I don't, I don't read all the articles in the Press  
40 Enterprise. I've heard some of the suggestions so I don't want to, I guess, speak  
41 to that. The reimbursement is intended to be reimbursed from subsequent  
42 development. The reimbursement from the City, which I think has sometimes  
43 come across in the Press that the City is going to shore up the infrastructure.  
44 There is no obligation or no commitment that the City has to shore up any  
45 overbuild or any reimbursement. I'll ask our attorney possibly to maybe reflect on  
46 that from a legal standpoint if there's anything there. I don't know.

1  
2 **KENT NORTON** – Well we don't reflect much in law. But your question to the  
3 numbers from the Press, those numbers were being published before the  
4 document was finally negotiated, so we have no idea where they came from.  
5 Secondly, as it progressed as was noted, there are a number of provisions, the  
6 turnkey fire station, local hiring program, education training, library funding things  
7 that wouldn't otherwise be granted to the City under your standard due process,  
8 a Conditional Use Permit or some other approval. The Development Agreement  
9 is the one opportunity that isn't linked to Nexus. It isn't a benefit driven type of  
10 approval. It's what can be negotiated. And the developer gets vesting and they  
11 get the assurance of this particular project as described for an extended period of  
12 time even as we talked about the maps. In exchange for that extraordinary  
13 vesting, the City seeks benefits that go beyond Nexus, go beyond the standard  
14 due process norm. That's what's reflected in there. The particular section about  
15 the Economic Development Program that was included just to note that this  
16 Development Agreement doesn't exist in a void, that it's part of the General Plan  
17 and your larger City Programming to advance where the City's long range vision  
18 takes us. You can take that language out. It wouldn't hurt the Development  
19 Agreement at all. It just would remove some of the explanation.  
20

21 **CHAIR LOWELL** – Thank you. Going to page 9 where it says City Cooperation  
22 Section 3.6 Sub-Item A: It says in addition to the effort necessary to facilitate the  
23 timely processing and permitting of project improvements, Highland Fairview may  
24 request the City to designate a mutually agreeable individual (the City's World  
25 Logistics Coordinator) who shall have authority to facilitate and coordinate  
26 development services within the City. Is this a City employee? Is this an outside  
27 consultant? Who would the World Logistics Center Coordinator be?  
28

29 **PLANNING OFFICIAL RICK SANDZIMIER** – It would be a City employee. In  
30 the past, if you're familiar with Denise Bagley who used to work here. She has  
31 now since retired. She was referred to as an ombudsman out of our Economic  
32 Development Division and her role was to help facilitate resolution of issues for  
33 development of projects. So it's kind of a coordinator. In the past, we've had  
34 actually designated employees to large development projects that this  
35 coordinator is envisioned to be particularly dedicated to the World Logistics  
36 Center development, so it would be a City employee but it would be focused on  
37 this specific project rather than roaming around to a lot of different types of  
38 projects.  
39

40 **CHAIR LOWELL** – So would you envision this as being a full-time position or  
41 just kind of an on-call kind of position above and beyond your regular services?  
42

43 **PLANNING OFFICIAL RICK SANDZIMIER** – Well I would hope honestly that it  
44 could be more than one position. If we get enough development activity out  
45 there that spikes the need for additional staff to help support, you know robust  
46 development activity, the obligation is that you have a coordinator. But if you

1 have to have more than one, the provision the way it's outlined in the  
2 Development Agreement, it's funded by the developer. But they report to the  
3 City, so the City controls the work flow and basically the assignment of tasks and  
4 so there is a checks and balances and the developer benefits. It's a win-win  
5 situation to help expedite that development, so if there's not that much  
6 development then it could be ratcheted down.

7  
8 **CHAIR LOWELL** – And then going to page 13 in Section 4.11, the Local Hiring  
9 Program. I really like the idea of the Local Hiring Program, but how long is the  
10 Local Hiring Program going to be in effect? Is it indefinitely? Similarly, on  
11 Section 4.12A, they are talking about the education innovation of training and  
12 library funding. Does that funding pay for the Local Hire Program and how is that  
13 funding allocated? I know how it's received, but is there a general clearing house  
14 saying that the money coming from Highland Fairview can only be used on the  
15 few items that are listed meaning new library, education and that kind of stuff?

16  
17 **PLANNING OFFICIAL RICK SANDZIMIER** – The first part of your question with  
18 regard to the Local Hiring Program, if Mike Lee is still in that back room I'm going  
19 to give him an opportunity to come out and answer that question while I try and  
20 tackle the other one. The funding for the education, the library, the training  
21 program, the program itself is not yet defined. The influx of money does become  
22 immediate 90 days after the Development Agreement, if it is approved, becomes  
23 the effective date. The first infusion of cash would be \$100,000 payment and  
24 then another \$100,000 comes in on the anniversary date for the first six years.  
25 Then, the seventh year and beyond, that increases to \$125,000 per year. So  
26 that's a constant flow of money that's coming in that we have to define a program  
27 for. A bigger chunk of money that will come in, which we believe was an  
28 excellent benefit for the City and actually I'd like to give credit to the developer  
29 because the developer was very interested in this program himself. This was not  
30 a one-sided negotiation item. It was pleasant and refreshing to have the  
31 developer step up and offer some of this other stuff, which is the \$1 million  
32 contribution, which comes in at the first building permit that is issued and then  
33 \$0.11 per square foot contribution that comes in. And, what that would go into,  
34 would be trying to develop education and training programs that are geared  
35 towards the logistics industry. We included the library fund because we do have  
36 some money on hand to develop a library and a library is considered kind of a  
37 public benefit and so the way it's kind of all grouped together it gives us lots of  
38 flexibility and up to possibly \$7 million worth of money for a program that still  
39 does not have all the ideas and provisions defined yet. But it would be a work in  
40 progress. I will give it to Mike Lee.

41  
42 **MIKE LEE** – Thank you. Chairman and Members of the Planning Commission,  
43 thank you for the question. It is the goal of the City on this provision to  
44 incorporate this Local Hire Program more sustained with the World Logistics  
45 Center and the potential business pertaining to those particular tenants. We do  
46 currently have a Hire Moreno Valley Program and we also have the Moreno

1 Valley Employment Resource Center, which those are resources that the City  
2 currently has, which when this project does come on board we are able to  
3 coordinate the hiring program with the future tenants of this project.

4  
5 **CHAIR LOWELL** – Okay. On the education funding, one of the items it says is  
6 the library and I’ve been going to the library with my kids for the last few months  
7 now, and I’ve noticed that our library is undersized for the size of city we have.  
8 Would the funding go towards improving the existing structure? Would we have  
9 a second library going in? Do we have any broad strokes of what the funding  
10 would be used for?

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – Well, like I said, it’s not totally  
13 defined yet. But I see Rick Teichert walking up in terms of the library funds that  
14 we have on hand and what we might be able to do with the money.

15  
16 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – Members of the  
17 Planning Commission, we have some money on hand, a little over \$4 million, in  
18 Development Impact Fees for a new library currently. We also will be getting  
19 TUMF money back that Council has earmarked toward a library to be about \$1  
20 million per year for the next 11 years. So we will have some resources available  
21 for a library facility. This would be something we could marry with that existing  
22 funding to potentially build a library structure and be a center to house the  
23 training programs. We want to work with the property owner to make sure we’re  
24 getting the kind of training out of that facility that’ll benefit the businesses coming  
25 in training the workers. There’s a plan to work with the local college and possibly  
26 University of California at Riverside to make some of this money available to  
27 training programs and leverage of what they can do with us as partners. So this  
28 is somewhat of a work in progress. This is a significant funding source that can  
29 provide what we see as a joint facility, something that would benefit residents of  
30 the East End with a new facility, as well as provide space to do training programs  
31 and provide materials and resources for the kind of training these jobs will  
32 require.

33  
34 **CHAIR LOWELL** – So what I’m hearing is that we have a lot of money set aside  
35 current and future funds for expansion of the library or a new library?

36  
37 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – This would be new.

38  
39 **CHAIR LOWELL** – That’s what I was hoping to hear.

40  
41 **CHIEF FINANCIAL OFFICER RICHARD TEICHERT** – I wouldn’t say a lot. A  
42 new library of about 14,000 square feet would take about \$15 million or in that  
43 ballpark to build, so I think we’re getting to where we could make that happen  
44 and not make it just a library but turn it into a significant training opportunity and  
45 training center for the logistics industry as well.

1 **CHAIR LOWELL** – Thank you. I appreciate that. Moving on to page 14. It's  
2 Item 4.14, the air filtration systems. It was talking about a series of homes that  
3 are within the World Logistics Area, and they are being offered air filtration  
4 systems but it's only for a short amount of time. It says the stated property owner  
5 shall have 24 months to accept or reject the offer. Should this project be  
6 approved today, say it takes a year to actually implement, so we theoretically  
7 could have 24 to 36 months before this option would expire. However, in the  
8 Statement of Overriding Considerations, it says the highest annual average  
9 diesel particulate matter concentration was determined throughout the air  
10 disbursement modeling was 1.04 mcg per cubic meter in 2021 and that's when  
11 the height of construction, when the curve of the construction window plus the  
12 traffic window, they overlap and meets the ultimate peak. I would like to ask to  
13 expand this to either terminate in 2021 or in 2030 when the construction is  
14 theoretically scheduled to be completed. I think the 24 month window gives  
15 these people false hope saying oh it's only 24 months and we haven't really  
16 noticed anything so we don't really need an infiltration system. It's such a minor  
17 cost in the grand scheme of things that I think being able to float these funds, or  
18 at least having reserve funding, to allow the affected homeowners the option of  
19 having air filtration systems, especially 2021 when the proposed pollution is  
20 going to be at its worst. Does anybody have any comments on that?

21  
22 **APPLICANT IDDO BENZEEVI** – That would be fine. You know, to the extent  
23 that they need it, we can open it up for 30 years. But to the extent that it gets to  
24 the date is perfectly fine with us.

25  
26 **CHAIR LOWELL** – Okay and it's such a small money amount. It says \$25,000  
27 per property is going to be paid to the City and then after a certain amount of  
28 time that money will come back to you, so it's such a small amount of money I  
29 don't think it would be that big of a deal.

30  
31 **APPLICANT IDDO BENZEEVI** – Yeah, you know, the whole issue there was to  
32 give extra....it's all belts and suspenders. There's really no air impact to those  
33 homes. This is an extra benefit...

34  
35 **CHAIR LOWELL** – Correct.

36  
37 **APPLICANT IDDO BENZEEVI** – And we're willing to extend it to the extent that  
38 the date, you know or whatever point that is reasonable, we are definitely willing  
39 to do.

40  
41 **CHAIR LOWELL** – I think at a minimum 2021 since that is the date that the  
42 pollution could be the worst.

43  
44 **APPLICANT IDDO BENZEEVI** – That is fine.

45  
46 **CHAIR LOWELL** – I think that'd be an optimal date.

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**PLANNING OFFICIAL RICK SANDZIMIER** – What was the date?

**APPLICANT IDDO BENZEEVI** – 2021.

**CHAIR LOWELL** – It was 2021; 2021 is the peak of the construction pollution or construction exhaust plus auto exhaust.

**PLANNING OFFICIAL RICK SANDZIMIER** – Okay.

**APPLICANT IDDO BENZEEVI** – We’re fine with it.

**CHAIR LOWELL** – I think, yeah, and then also it says....

**PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman.

**CHAIR LOWELL** – Yes, Sir.

**PLANNING OFFICIAL RICK SANDZIMIER** – On this particular issue, I did want to bring to the Commission’s attention a conversation we had with one of the property owners who did come in, and spoke last meeting. It was, I believe it was Mrs. Newkirk and she was the lady working up at the board with Mr. Benzeevi about the impact to her property. She is not identified as one of the homes in this area.

**CHAIR LOWELL** – That was my next question.

**PLANNING OFFICIAL RICK SANDZIMIER** – But she had asked if there could be some consideration to include that. We had a conversation with Highland Fairview earlier today. They didn’t give us a solid answer, but it sounded like they were open to the suggestion. I would just like to throw it out there that it was a request since we’re talking about this issue. I don’t know. Hopefully Highland Fairview has made a determination on that or not.

**CHAIR LOWELL** – That was actually my next comment I was going to go to. It says specified homes are to be offered air filtration systems at no charge. It says there’s three homes that are being offered the filtration system, but there’s seven homes immediately affected by that.

**PLANNING OFFICIAL RICK SANDZIMIER** – Well...

**CHAIR LOWELL** – I’m wondering if we can expand that from three to seven homes at least.

Minutes Acceptance: Minutes of Jun 30, 2015 6:00 PM (APPROVAL OF MINUTES)



1 **PLANNING OFFICIAL RICK SANDZIMIER** – I just want to make it real clear  
2 also that this is something that was negotiated for the betterment of those  
3 residents. It was not identified as an impact.

4  
5 **CHAIR LOWELL** – Correct.

6  
7 **PLANNING OFFICIAL RICK SANDZIMIER** – It was not a mitigation. This is not  
8 something that was an obligation. This was something...

9  
10 **CHAIR LOWELL** – It was a nice thing for them to do.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – It was a nice thing for us to try and  
13 get for them. So to expand it to all seven, since it's a negotiated agreement, I  
14 think it'd be fair to make sure that the developer was engaged in that discussion.

15  
16 **APPLICANT IDDO BENZEEVI** – It's perfectly fine with us. Some of those  
17 homes are ours, but it's perfectly fine.

18  
19 **CHAIR LOWELL** – Okay.

20  
21 **APPLICANT IDDO BENZEEVI** – Yeah.

22  
23 **CHAIR LOWELL** – I think that's the end of my comments on the Development  
24 Agreement. I'll open it up. It looks like Commissioner Barnes is up. Your  
25 microphone is off.

26  
27 **COMMISSIONER BARNES** – Sorry. My question is, since this is not the final  
28 agreement, what does our approval of this really constitute?

29  
30 **KENT NORTON** – We'll put it, I guess, in the context. First, as far as was  
31 negotiated, we think this is the final agreement subject to these last few little  
32 discussions on air filtration and that. What you are doing is making a  
33 recommendation to the Council either to support it as is or with changes or  
34 oppose it, whatever your collective decision is. But, as far as your City Staff  
35 negotiations, this is final. So maybe you could help me understand why you  
36 were commenting it may not be final.

37  
38 **COMMISSIONER BARNES** – Well because it says draft.

39  
40 **KENT NORTON** – Just because it says draft on it. We will take draft off for you.

41  
42 **COMMISSIONER BARNES** – Normally draft means draft.

43  
44 **KENT NORTON** – Correct.

45

1 **COMMISSIONER BARNES** – If it says final, then I would assume that the one  
2 that gets signed would match.

3  
4 **KENT NORTON** – It will. From Staff’s position, this is the final subject to those  
5 changes. I think that probably just was the result of copying that included that in  
6 there.

7  
8 **PLANNING OFFICIAL RICK SANDZIMIER** – Well I’d like to clarify real quick. If  
9 you recall when we released the final EIR, it included a draft of the Development  
10 Agreement. It was an earlier draft, which is subsequently modified, considerably  
11 modified. We had put out a press release to the public, which indicated that the  
12 Development Agreement is in the state of negotiation up until the City Council’s  
13 approval. So it was intentionally stamped with confidential draft on it for the  
14 exact purpose that just took place. I mean it was our Staff recommendation to  
15 you guys tonight, but it seems like there’s been a couple of refinements with  
16 regard to the air filtration system. We’re happy to take those recommendations  
17 forward to the City Council, and when we get to the City Council if they want to  
18 make some additional adjustments or refinements, we’re not going with anymore  
19 recommended changes. But it doesn’t mean you guys can’t come up with some  
20 recommended changes and that’s where we are at today, so it will be a final  
21 document when it is actually approved by the City Council. But, right now as Mr.  
22 Curley has indicated, we put our best foot forward and so just a little adjustment  
23 we’re willing to work with and I appreciate the developer stepping up and saying  
24 he’s willing to consider it.

25  
26 **COMMISSIONER BARNES** – Alright, thank you.

27  
28 **CHAIR LOWELL** – Commissioner Van Natta.

29  
30 **COMMISSIONER VAN NATTA** – I haven’t read a lot of developer agreements,  
31 but I’ve heard about a lot of them and like I’ve heard about the Development  
32 Agreements that went in for the businesses that located just west of Bay Street in  
33 Riverside and how many concessions were given to the developers to convince  
34 them to come in. But, in reading this one, it almost seems to me as though  
35 there’s an awful lot of concessions by the developer. It’s almost like it’s reversed.  
36 Like Riverside was trying to get people to come in and develop and build up that  
37 area and yet our we trying to keep somebody from coming in and developing and  
38 so we’re requiring all these massive influxes and cash payments up front and  
39 paying for things before the fees? Why is this one so lopsided to that direction or  
40 have I just not seen enough Development Agreements to know that this is the  
41 way it’s supposed to be?

42  
43 **PLANNING OFFICIAL RICK SANDZIMIER** – I don’t think it’s lopsided. I think it  
44 was a fair negotiated Development Agreement. I’ll point to the overhead that’s  
45 up here on the screen, the fourth bullet point down. Highland Fairview’s principle  
46 interest is for longer vesting and some assurances on the process and

1 regulations. That's a considerable, considerable benefit to the developer to lock  
2 in entitlement for 15 years with an opportunity for a 10 year extension having  
3 some certainty on what the development regulations that they have to work  
4 under will be. It gives them some comfort and some confidence in how they can  
5 move forward. What we believe we negotiated was what Mr. Curley indicated  
6 earlier. There's no Nexus requirements and so what we're looking for is some  
7 benefits to the community. We know the community is looking at us very closely  
8 on this. We know that this is a substantial project with some substantial changes  
9 to our General Plan and already established Specific Plan in that area. I think it  
10 was a fairly negotiated agreement, and I think both parties feel comfortable with  
11 it.

12  
13 **COMMISSIONER VAN NATTA** – Okay, thank you.

14  
15 **CHAIR LOWELL** – Any other questions or comments? Anybody have any  
16 questions or comments on anything we've spoken about today? Okay, we can  
17 go to summations. I was just curious if we had any specific comments that we  
18 hadn't had time to address yet. Okay, we'll start down there with Commissioner  
19 Ramirez.

20  
21 **COMMISSIONER RAMIREZ** – Well overall I think that it's a great project.  
22 Obviously, there are a lot of benefits and some impacts of course. But I believe  
23 that the benefits outweigh those impacts, and this is something that's going to put  
24 Moreno Valley in the good position moving forward. It's going to help in many  
25 areas, education, infrastructure, public services, jobs so I like the project.

26  
27 **CHAIR LOWELL** – Commissioner Korzec.

28  
29 **COMMISSIONER KORZEC** – When I moved to Moreno Valley 10 years ago,  
30 people criticized me for moving to a community that was full of gangs. And we  
31 knew 10 years ago there weren't gangs here any longer, but it was a public  
32 vision. And, today, people still refer to that. Now we have some craziness that  
33 does go on in this city, but we don't have gangs here anymore. Now the thing  
34 that's out there in the public is we're becoming a city of warehouses. We're  
35 building big boxes. We see them along the freeway. We have a whole area  
36 designated for warehouses, and now we're looking at a project that's going to  
37 add to that impression to the public. And I think the people out there holding up  
38 the signs, they are beautiful signs. They are well made. They are well designed  
39 just like Mr. Iddo Benzeevi's presentation. I can't find fault with those beautiful  
40 pictures of buildings. They are not actual buildings that are going to be built, but  
41 they are great designs, well done. However, are these the kind of jobs we want  
42 to bring to the city? Do we not have....would you please. I won't be bullied so  
43 you can shout all you want. I'm just saying that we have to look at the big picture  
44 of the types of jobs that we want to bring. We have warehouse jobs. We have  
45 empty warehouses that are starting to be full. Are these the types of things we  
46 want to continue to bring for your children or do we....

1  
2 **CHAIR LOWELL** – Hey!! That’s enough!! I will ask you to leave if I hear  
3 anymore outbursts. Thank you.  
4

5 **COMMISSIONER KORZEC** – Are these the types of jobs that we want to  
6 continue to add to our community to build a healthy community? There are other  
7 types of jobs. There are other types of developments. All I’m saying is looking at  
8 the big picture, we’re going to take about one-tenth of the city and turn it into  
9 another large big block development. Is this the image you want of the city you  
10 live in? Is this the legacy you want to leave for your children? The question I  
11 have is we have a developer here that hasn’t finished Aquabella yet. Where is  
12 Aquabella? Where are the promises of that project? To me, this project has a lot  
13 of red flags and a lot of inconsistency. I feel it’s a forced vision for the city. I’m  
14 up here to try and be as fair as I can but to also look at the big picture. It’s really  
15 easy to promise jobs. Every politician in this country when they’re running for  
16 office, they are going to increase jobs. It’s a mantra of everyone. But you have  
17 to ask the question, are those the jobs that you want? Are you willing to give up  
18 the traffic, the other things for that balance in your lives? And, if you are, then  
19 just keep those signs held up there because I’m sure we can print more.  
20

21 **CHAIR LOWELL** – Commissioner Barnes.  
22

23 **COMMISSIONER BARNES** – I want to compliment the Applicant on a vision.  
24 It’s a tremendous undertaking. I mean we’re talking in excess of \$3 billion, which  
25 is a huge investment. Now that area had a prior developer who had a vision and  
26 obviously nothing came of it, so there’s a tremendous amount of risk. But he’s  
27 the one taking the risk, and I think at a certain level that needs to be appreciated  
28 because what was there before didn’t come to pass. So you’ve got somebody  
29 who is willing to actually put something on the ground or at least propose to do  
30 that. I think overall the project is well thought out, well conceived. I see a few  
31 risks to the City that in my mind could be mitigated with no real cost to the  
32 Applicant. At some point, I suppose, there’s a little bit of a leap of faith on both  
33 sides that we move forward. We took a leap of faith with the previous Specific  
34 Plan. That didn’t pan out, so we know that we can’t foresee the future. But I  
35 think what’s proposed is good for the City. Yeah, I’d have to say that I’m in favor  
36 of the project, and I wish the Applicant and the City well. And, one more thing I’d  
37 like to add, there’s been a lot of passion on both sides of the equation. The  
38 people that are in favor of it think that it will, you know, bring prosperity and  
39 quality of life and all that to the City. The people that are opposed think it will  
40 bring ruin of the City. I think we all know that the truth is going to be somewhere  
41 in the middle, and I think that it’s time to move forward and let’s make the best of  
42 that process.  
43

44 **CHAIR LOWELL** – Commissioner Baker.  
45

1 **COMMISSIONER BAKER** – We’ve been working with this for a number of  
2 years, and I think we’re very fortunate we’ve got an organization that’s willing to  
3 come to Moreno Valley and invest. I see ads on the newspaper, on the TV  
4 where New York is offering, you know, move there for 10 years with no taxes,  
5 and I don’t understand that. But I think we’ve got a developer here, and  
6 everything isn’t perfect on this. But I think it’s as good of a scenario as we’re  
7 going to get right now. I like the overall layout of the project and I think we need  
8 to move forward with it. And we are really lucky to have them.

9  
10 **CHAIR LOWELL** – Commissioner Van Natta.

11  
12 **COMMISSIONER VAN NATTA** – There is a lot of passion on both sides, and I  
13 would kind of appreciate it if maybe you wouldn’t show your passion until I finish  
14 talking one way or the other just because it’s easier for me to keep focused on  
15 what I’m saying if I’m not interrupted. Thank you. Both sides are concerned  
16 about the children of Moreno Valley. On one hand, they are saying our children  
17 are going to need jobs. The jobs of the future are in technology. My daughter is  
18 a school teacher. She teaches the STEM classes (science, technology,  
19 engineering, and mathematics) and two of my grandkids are in that program  
20 because that’s where the jobs are and that’s where the jobs are coming and  
21 that’s where this type of development is going to have jobs in technology. It’s not  
22 the standard warehousing that we’re used to from many years ago, the big box  
23 where there’s just a bunch of stuff put in and a bunch of material handlers  
24 moving it around. It is high-end technology. Yeah that may mean fewer jobs, but  
25 it can also mean better jobs. Better jobs for those who are trained and prepared  
26 for it. These are not going to be jobs for tomorrow. They are going to be jobs for  
27 several years down the line, so they are not jobs for people who are looking for  
28 work right now perhaps but maybe for their children or for people who are willing  
29 to get trained and go for it. So you have on one side the people who say yes our  
30 children need jobs. On the other hand, you have people who say this is not good  
31 for our children because look what it’s going to do to the air quality and the diesel  
32 particulates and everything else like that. And they are going to have asthma  
33 and they are going to be sick and everything like that. And they provided reports  
34 and statistics and everything to that extent, and I looked at those reports. And I  
35 read those reports, and I noticed that a lot of the reports were written about the  
36 particulate matter in the diesel exhaust and everything from a number of years  
37 ago and the damage that it had done. But I also read, in those same articles,  
38 how California has really been in the forefront of pushing for cleaner diesel  
39 emissions and working on reducing it by 75%, by 85%. By the time this project  
40 gets built out, it will probably be reduced even more. Then those same people  
41 are saying yeah, but we don’t want those trucks on our freeways. We don’t want  
42 them on our streets. Keep them away from Moreno Valley. But I tell you from  
43 what I’ve read, not from just what the developer has said, but I’ve done a lot of  
44 research on this. The logistics industry is strong and it’s growing and it’s going to  
45 be the wave of the future for quite some time. That’s where the jobs are going to  
46 be and that old thing about if you build it they will come. Well, you know what,

1 they are going to build it. It's going to be built somewhere. There is a demand  
2 for this type of facility, and if it's not built in Moreno Valley where else is it going  
3 to be built? It's going to be built in Riverside or it's going to be built in Beaumont  
4 or it's going to be built in Redlands or somewhere else around here. And, guess  
5 what, they are still going to go down the 60 Freeway. They are still going to be  
6 on our roads. They are still going to be adding whatever pollution they might be  
7 adding. The only difference is they are not going to be getting off on Theodore  
8 and they are not going to be coming into Moreno Valley with the jobs, with the  
9 taxes, with the benefits, with the money for education, and all the other  
10 infrastructure. It's going to go somewhere else. So, yes, we need jobs in  
11 Moreno Valley. It may not be a whole bunch of jobs. It may not be the number  
12 of jobs that were promised, and it may be more high-tech jobs and those are  
13 going to be good jobs. Now, at the same time people are talking down about  
14 warehouses, they are saying oh well look what good things are coming. We got  
15 this restaurant coming in. We've got that restaurant coming in. We've got this  
16 retail space and that retail space is being filled up and so forth and so on. You  
17 want to talk about low-end jobs, talk about the dishwasher and the busboy and  
18 the sale clerk and the cashier and so forth and so on. Those are the dead-end,  
19 low-end jobs. The ones where you can get trained and you can advance yourself  
20 are not going to be found bussing tables at a new restaurant that came into town.  
21 So that's one area that we're looking at. The other area is what benefit is this  
22 going to be for Moreno Valley outside of just the jobs? Well, as you heard,  
23 there's going to be through the Development Agreement a lot of money being  
24 pumped in to Moreno Valley but also the tax base. The opponents are saying oh  
25 well we can do something better. We have better projects. We can put  
26 something better there. And I've been hearing this for month's people saying oh  
27 we can do better than warehouses. You can do something better but nobody  
28 has come up with anything that says this is better. And, if they did, if there was a  
29 project that was better then by all means bring it forward and bring forward  
30 somebody who is willing to put their money behind it and somebody who is  
31 willing to put it together. In looking at the projections and the drawings for this  
32 project, even though some people are saying oh it isn't a real project. It's not  
33 going to get built, it's just fantasy. Well everything is fantasy until it gets started.  
34 It starts with an idea. Walt Disney started with an idea. It was a fantasy. A lot of  
35 people didn't believe him. You know, but he went forward with it because he had  
36 a vision. So it is a fantasy until it gets put into production, until it actually hits the  
37 ground and becomes a real project. But what I saw of it with the landscaping  
38 berms, with the fact that being clear out on the East side of town, it's not  
39 surrounded by housing like the projects down on the south along the 215. It's  
40 somewhat isolated. Yes it does affect a few houses out there. There are a few  
41 houses that are being rezoned and that is a tragedy for those people. That is  
42 unfortunate. That may be what you want to call collateral damage. Yes a few  
43 people are going to be negatively impacted in their lifestyle and what they wanted  
44 to do. Financially, they may not be impacted negatively. It may be a good  
45 financial outcome for them, but sometimes you do have to weigh the good of the  
46 many versus the desire of the few. Sometimes you have to look at how it's going

1 to be in the big picture for the entire City. So with all of those things in there and  
2 all of the benefits that this brings, I can't see that Moreno Valley would be wrong  
3 in going forward with this project.  
4

5 **CHAIR LOWELL** – Thank you. Vice Chair Sims.  
6

7 **VICE CHAIR SIMS** – Well I have to follow that. I see how this goes. You know,  
8 I've faced a lot of difficult decisions throughout my career and the two years that  
9 I've been on the Planning Commission and this by far has been a very, very  
10 challenging issue to look at. Again, as I said at the beginning tonight, I do greatly  
11 respect the project proponent for doing a massive amount of work to try to get  
12 this to the point where it's at. I appreciate all the Staff's work to work through all  
13 this and all the consultants associated with it. I also appreciate the opponents.  
14 You know, everything in life has to have checks and balances and if you play,  
15 you know, you always want to stay within the 40 yard line at some point to be  
16 moderate in your analysis of things. I truly like the idea of more jobs for Moreno  
17 Valley. When I had my initial....I have concerns about the warehouse. I'll be  
18 very frank about this. I worry about, similar to Commissioner Korzec, about we  
19 are becoming, every entry into our city is going to be warehouse. You come in  
20 from the south, it's warehouse. You come in from the west, you're coming out of  
21 warehouses. You're coming into an blighted area. You're coming in now, if this  
22 project is approved, you're going to be coming in from the east and it's all  
23 warehouse. I don't know. Personally, I think the mitigation that the developer  
24 has proposed for the adjacent properties along Redlands Boulevard is probably  
25 sufficient. They provide buffering. I do feel that for the few homeowners in there  
26 that this project would be a significant impact. What I have a great concern  
27 about and I still at this particular moment, I'm going to have to cast a vote here  
28 very shortly. I have grave, grave concerns about the Traffic Study. I think the  
29 assumptions that go into this thing are, if you look through the Traffic Analysis,  
30 there are assumptions that things will be in place by 2022 that are very unlikely to  
31 take place. And I would hate to see us all in a decision that we go and start  
32 building a whole bunch of square footage of warehouses and we're all sitting  
33 here staring behind a big diesel truck because we don't have the infrastructure to  
34 move them out. I would like in it almost in the absence of the traffic  
35 improvements you almost have a long cul-de-sac to Moreno Valley with people  
36 coming in and out. It would be like putting a shopping center at the very end, a  
37 mall-type thing, and then everybody coming in and out and there's nowhere to  
38 go. It would just be a cluster if the traffic improvements are not improved. So,  
39 anyhow, that's my thoughts.  
40

41 **CHAIR LOWELL** – Thank you all for bearing with us for the last three meetings.  
42 It has been a arduous task and I want to commend Staff for doing a phenomenal  
43 job. I know the Applicant has spent a tremendous amount of money. From what  
44 I've heard, they've spent \$23 million from inception to date on the EIR and all the  
45 reports, the Development Agreement, the General Plan Amendment, the Specific  
46 Plan. I know Staff has done a tremendous job. One of the key points I'd like to

1 point out is, I already mentioned it once, but the existing Moreno Highlands  
2 Specific Plan predicts nearly 180,000 vehicle trips a day. And everyone is  
3 complaining about traffic on the freeway and the Westbound lanes are a  
4 nightmare. I drive the Westbound lane on the 60 Freeway every morning to my  
5 job in Riverside. I work about 12 miles away from where I live and it takes me  
6 about 45 minutes in the morning, which is ridiculous. With that said, if we build  
7 out the existing Specific Plan, 180,000 additional vehicle trips will be added to  
8 that freeway, which would increase congestion and not do a whole heck of a lot  
9 for our economic bottom line for the City. By allowing this project to go through,  
10 we're going to be reducing our average daily trips by nearly 100,000 trips. We'd  
11 also be adding a lot of money to the City's coffers. A lot of internal improvements  
12 would be made. Infrastructure would be made or would be improved. This  
13 project sits fairly remote compared to the rest of the city, and I would rather see  
14 this type of a project come to fruition as a Master Plan idea as opposed to the  
15 ones we've seen in the past; these little pockmarked piece-mealed projects. Not  
16 to downplay the previous projects but one warehouse here and one warehouse  
17 there doesn't make as good of a project as somebody who has taken the time  
18 and effort to make a Master Plan Project with an end goal in mind with the  
19 ultimate desire to make the city a better place for everybody. The additional tax  
20 revenue coming in is wonderful. The Hire Moreno Valley Program is outstanding.  
21 I can see a few downsides to this project. However, as quoted in the Staff's  
22 report, it says "If the benefits of a proposed project outweigh the unavoidable  
23 adverse economic or environmental effects, the adverse environmental effects  
24 may be considered acceptable as allowed for under CEQA." That's the  
25 Statement of Overriding Consideration that I think paints this project perfectly.  
26 This project, although, will produce a fair amount of pollution believe it or not.  
27 But the economic benefit will far outweigh the environmental effect it will have. I  
28 have a bunch of other things to say. I'm going to try and keep it semi-short. In  
29 doing some research on this project, I've learned that the Inland Empire fills 16.9  
30 million square feet of warehouse space annually. This project, if every square  
31 footage of logistical space was filled, could be filled in two-and-a-half years.  
32 That's is going to happen whether or not Highland Fairview builds. So 16.9  
33 million square feet in our Inland Empire every year regardless of this  
34 development. We can either say no we don't want to do this, we want to have  
35 180,000 more car trips and for residences and Burger Kings and In-N-Out and  
36 Starbucks. Or we can say, you know, enough is enough. We have enough  
37 traffic. We have enough bedrooms. We need jobs. So we can either stand up  
38 and say yes...the gentleman and the company in front of us has put a countless  
39 amount of time and effort into this. They've already purchased the property, so  
40 it's not like it's a pie in the sky project. So we can either stand up and say yes we  
41 want this project. We want our fair share and we want our City to be better  
42 because everybody says we want a City like Irvine. Irvine is a great place to live,  
43 a great place to work. Well, that's because they have jobs. They have logistical  
44 warehouses. They have large facilities. We don't. So, like I said, we could  
45 either have the work come to us or we can wave our thumbs in the air and say no  
46 and just wave it right on by. I'm kind of getting side tracked from what I was



1 going to say but I really think that....oh yeah, I know what I was going to say.  
2 Some of the people that spoke over the last few days have said that this project  
3 is a dream project. It's never going to actually happen so we should vote no.  
4 Well, to those people I say, if they are really against this project what better way  
5 of not letting it happen then by saying go for it if they don't think that Highland  
6 Fairview has a good building reputation. So, with that said, I would like to  
7 entertain a motion. Would anybody like to motion? If not, I will.  
8

9 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Excuse me. Chair, before a  
10 motion is made. I've identified what I believe to be three possible amendments  
11 to the Staff recommendation that had been brought up by the Commissioners  
12 over the course of the deliberation that you may want to include in whoever is  
13 making any particular motion. So if I could just identify those for you and then  
14 whoever is making the motion can decide whether they want to include those or  
15 not.  
16

17 **CHAIR LOWELL** – Okay.  
18

19 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Looking at the Staff  
20 recommendations on the Staff Report, under the first recommended action that  
21 would be to certify the Environmental Impact Report. One of the things that was  
22 mentioned that could added to the end of that would be to recommend  
23 certification subject to modification of the mitigation measures set forth in Section  
24 4.3.6.3B.  
25

26 **CHAIR LOWELL** – Can you talk a little slower on that. It's kind of hard to follow.  
27

28 **ASSISTANT CITY ATTORNEY PAUL EARLY** – I'm sorry. I have it written  
29 here. So subject to modification of mitigation measures set forth in Section  
30 4.3.6.3B...right I was just giving the overview and then I will see if you want that  
31 or not. Section 4.3.6.3B.  
32

33 **CHAIR LOWELL** – B as in bravo.  
34

35 **ASSISTANT CITY ATTORNEY PAUL EARLY** – B as in boy. Changing the  
36 sanctions for noncompliance to include the revocation of any related entitlement.  
37 This was the discussion where it only was subject to the CUP. This would allow  
38 Plot Plans or other such entitlements be considered. The other one that...of any  
39 related entitlement. The other ones are shorter.  
40

41 **COMMISSIONER VAN NATTA** – Thank you. Do you want me to read it back to  
42 make sure I have it right?  
43

44 **ASSISTANT CITY ATTORNEY PAUL EARLY** – If you'd like.  
45

1 **COMMISSIONER VAN NATTA** – Subject to modification of mitigation measures  
2 set forth in Section 4.3.6.3B changing the sanctions for noncompliance to include  
3 the revocation of any related entitlement.

4  
5 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Yes. That was the one  
6 amendment that I heard discussed. The other would be related to item 4, the  
7 approval of the Tentative Parcel Map. That would add the phrase to the end of it,  
8 subject to clarification of the property subject to the annexation condition. That  
9 would be subject to clarification of the property subject to the annexation  
10 condition.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – Condition P8.

13  
14 **ASSISTANT CITY ATTORNEY PAUL EARLY** – P8. This was the ambiguity  
15 that was set forth of whether or not the entire Parcel Map failed if the annexation  
16 did not occur. That would mean the intent was not for that to be so.

17  
18 **COMMISSIONER VAN NATTA** – Did that have a number or something in  
19 there?

20  
21 **ASSISTANT CITY ATTORNEY PAUL EARLY** – P8.

22  
23 **COMMISSIONER VAN NATTA** – Subject to the annexation condition P8.

24  
25 P8.

26  
27 **COMMISSIONER VAN NATTA** – Okay and then we also had the modification  
28 on 5?

29  
30 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Yes. The last one I had was  
31 with respect to the No. 5, the Development Agreement.

32  
33 **PLANNING OFFICIAL RICK SANDZIMIER** – Hold on. On the Parcel Map, we  
34 also want to add one additional condition to clarify the five years for the  
35 extensions, or was that a no?

36  
37 **SENIOR PLANNER MARK GROSS** – That was just State Law. I don't think we  
38 needed that.

39  
40 **PLANNING OFFICIAL RICK SANDZIMIER** – To address your comment  
41 Commissioner Barnes about extensions. Did you want us to put something in  
42 there?

43  
44 **CHAIR LOWELL** – Your microphone.  
45

1 **COMMISSIONER BARNES** – I suggested that it’s standard practice to both  
2 identify the initial approval term and the number and duration of extensions.

3  
4 **CHAIR LOWELL** – I know the Development Agreement could supersede that  
5 because the Development Agreement could be null and void if we vote no on it,  
6 but the Parcel Map would still be approved.

7  
8 **ASSISTANT CITY ATTORNEY PAUL EARLY** – The Municipal Code sets forth  
9 that they can be additional three year periods but not to exceed a total of five  
10 years, so that’s already set forth in the Municipal Code as far as the extensions  
11 go.

12  
13 **CHAIR LOWELL** – And the extensions....

14  
15 **ASSISTANT CITY ATTORNEY PAUL EARLY** – If there was no Development  
16 Agreement in play.

17  
18 **CHAIR LOWELL** – That specific item says extensions pursuant to the City of  
19 Moreno Valley’s Municipal Code I believe, so it’s covered in the Code anyway.

20  
21 **COMMISSIONER BARNES** – That’s fine. That was my concern.

22  
23 **ASSISTANT CITY ATTORNEY PAUL EARLY** – It is, yeah. We checked that  
24 while the discussion was occurring.

25  
26 **COMMISSIONER BARNES** – Okay.

27  
28 **ASSISTANT CITY ATTORNEY PAUL EARLY** – So the other modification  
29 would be to the Development Agreement Part 5: Subject to modifications in the  
30 paragraph 4.14: Extending the acceptance term to 2021 and to relate to all  
31 seven homes in the project area. Subject to modifications to paragraph 4.14  
32 extending the acceptance term to 2021 and to relate to all seven homes in the  
33 project area. This was the discussion on the air filtration systems.

34  
35 **COMMISSIONER VAN NATTA** – Okay.

36  
37 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Those are the ones that I noted  
38 that seemed to have a consensus.

39  
40 **CHAIR LOWELL** – Before we make a motion, I need to point one thing out real  
41 quick. Where did it go? Just give me a second. Never mind. There was an  
42 option in here where we had three different motions where we could make one. I  
43 was trying to find that, but I’ll let Commissioner Van Natta go ahead.

44  
45 **COMMISSIONER VAN NATTA** – Okay so we’re going to do them all together?  
46 Okay, I move that we approve Resolutions Nos. 2015-12, 2015-13, 2015-14,

1 2015-15, and 2015-16 thereby recommending that the City Council certify the  
2 Environmental Impact Report P12-016 including approval of the Mitigation  
3 Monitoring Program and adoption of the Statement of Overriding Considerations  
4 Exhibits A and B of Resolution 2015-12 for PA12-0010 General Plan  
5 Amendment, PA12-0011 Development Agreement, PA12-0012 Change of Zone,  
6 PA12-0013 Specific Plan, PA12-0014 Pre-Zoning Annexation, PA12-0015  
7 Tentative Parcel Map pursuant to the California Environmental Quality Act  
8 (CEQA) Guidelines subject to modification of mitigation measures set forth in  
9 Section 4.3.6.3B changing the sanctions for noncompliance to include the  
10 revocation of any related entitlement. Approve General Plan Amendment PA12-  
11 0010 to change the land use designations for the project area to business  
12 park/light industrial (BP) and open space (OS) and the amend general plan goals  
13 and objectives text and map in the respective community development circulation  
14 parks, recreation and open space; safety and conservation elements identified in  
15 Exhibits A through M of Resolution 2015-13. Approve Change of Zone PA12-  
16 012 and Specific Plan PA12-013 and Annexation PA12-0014, which would repeal  
17 the current Moreno Highland Specific Plan No. 212-1 would establish the World  
18 Logistics Center Specific Plan, including Change of Zone on the City Zoning  
19 Atlas to logistics development (LD), light logistics (LL), and open space (OS) for  
20 areas within the proposed WLC Specific Plan Boundary would establish Pre-  
21 zoning Annexation for an 85 acre site at the northwest corner of Gilman Springs  
22 and Alessandro Boulevard and authorize Change of Zone on the City Zoning  
23 Atlas to open space (OS) for those project areas outside and southerly of the  
24 new WLC Specific Plan Boundary Exhibits A, B, and C of Resolution 2015-14.  
25 Approve Tentative Parcel Map No. 36457, PA12-0015 for a Tentative Parcel Map  
26 that includes 26 parcels for financing and conveyance purposes Exhibit A and B  
27 of Resolution 2015-15 subject to clarification of the property subject to the  
28 Annexation Condition PA8. Approve Development Agreement PA12-0011  
29 covering properties controlled by Highland Fairview Exhibit A of Resolution 2015-  
30 16 subject to modification to paragraph 4.14 extending the acceptance term to  
31 2021 and to relate to all seven homes in the project area.

32  
33 **CHAIR LOWELL** – Did you push the mover button on your screen? The screen  
34 right in the middle. Commissioner Baker, if you switch over to the...push the  
35 button over here.

36  
37 **COMMISSIONER BAKER** – Okay, got it.

38  
39 **CHAIR LOWELL** – And if you're seconding, push the second button on the  
40 green screen.

41  
42 **COMMISSIONER BAKER** – Okay, I'm sorry.

43  
44 **CHAIR LOWELL** – And although we have this lovely voting thing, I would still  
45 like to do a rollcall vote, and we can kind of fill in our votes as we go. Ms.  
46 Halstead, if we could have a rollcall vote and we'll just vote as we go.

1  
2 **CITY CLERK JANE HALSTEAD** – Okay.

3  
4 **COMMISSIONER BAKER** – Yes.

5  
6 **COMMISSIONER BARNES** – Yes.

7  
8 **COMMISSIONER KORZEC** – No.

9  
10 **COMMISSIONER RAMIREZ** – Yes.

11  
12 **COMMISSIONER VAN NATTA** – Yes.

13  
14 **VICE CHAIR SIMS** – Yes.

15  
16 **CHAIR LOWELL** – Yes and if you could also push. With that said, we have a  
17 motion by Commissioner Van Natta. We had a second by Commissioner Baker.  
18 The vote passed 6-1. Do we have Staff wrap-up on the item?

19  
20  
21 Opposed – 1

22  
23  
24 **Motion carries 6 – 1**

25  
26 **PLANNING OFFICIAL RICK SANDZIMIER** – You are, certainly as an advisory  
27 body to the City Council, all of....

28  
29 **CHAIR LOWELL** – Please keep it down.

30  
31 **PLANNING OFFICIAL RICK SANDZIMIER** – All of the project applications you  
32 have taken an action on will be forwarded to the City Council with your  
33 recommended modifications.

34  
35  
36 **OTHER BUSINESS**

37  
38 **CHAIR LOWELL** – Thank you and with that we move on to Other Business and  
39 Staff Comments. I don't believe we have any Other Business?

40  
41 **PLANNING OFFICIAL RICK SANDZIMIER** – We have no other business.

42  
43  
44 **STAFF COMMENTS**

45  
46 **CHAIR LOWELL** – Do we have any Staff Comments?

1  
2 **PLANNING OFFICIAL RICK SANDZIMIER** – No Staff Comments.

3  
4  
5 **COMMISSIONER COMMENTS**

6  
7 **CHAIR LOWELL** – Do we have any Commissioner Comments?

8  
9 **VICE CHAIR SIMS** – Have a happy 4<sup>th</sup> of July.

10  
11 **COMMISSIONER VAN NATTA** – And come to the parade.

12  
13 **CHAIR LOWELL** – I had a couple comments for Staff real quick. On the City's  
14 website, I think it's just a technical thing. It shows Commissioner Sims as being  
15 the Chair and me being the Vice Chair, so I think that should get flipped around.  
16 Also, we haven't had any Minutes to approve in quite some time. Are those still  
17 coming? Are we still doing the approval of Minutes?

18  
19 **PLANNING OFFICIAL RICK SANDZIMIER** – I will look into that for you, yes.

20  
21 **CHAIR LOWELL** – And last, but not least, I'd like to see if we could possibly  
22 arrange some of the Commissioners to tour some of the facilities like the  
23 Prologis, the ALDI, maybe Amazon or Skechers or something so we can see  
24 what these facilities look like when they are implemented so we have a better  
25 idea moving forward what we are or are not approving.

26  
27 **PLANNING OFFICIAL RICK SANDZIMIER** – I'd be happy to do that.

28  
29  
30 **ADJOURNMENT**

31  
32 **CHAIR LOWELL** – With that, I wish everybody a happy 4<sup>th</sup> of July. I do believe  
33 the Applicant has a couple comments still.

34  
35 **APPLICANT IDDO BENZEEVI** – First of all, I want to thank...

36  
37 **CHAIR LOWELL** – Could you turn on his microphone please?

38  
39 **APPLICANT IDDO BENZEEVI** – I want to thank you for the opportunity...it's not  
40 working?

41  
42 **CHAIR LOWELL** – There we go. Now it's on.

43  
44 **APPLICANT IDDO BENZEEVI** – I want to thank you for the opportunity and the  
45 many hours that you have accommodated the process. This is the third hearing  
46 and it's still finishing pretty late, so I appreciate it very much and the diligence. I

1 know how much work we put into it. Literally three-and-a-half years of a  
2 tremendous amount of work, not just of our and our Highland Fairview family but  
3 the entire Staff. I have to say that I know that many of them have read literally  
4 every single word in these documents. There's thousands of pages. I have done  
5 a tremendous amount of work and very diligent work, and I can say I am very  
6 proud of our City. We think of ourselves as members of this community. A lot of  
7 people sometimes refer to us as someone from the outside. We've been here for  
8 many, many years. We live in Moreno Valley. Our office are in Moreno Valley,  
9 and we're members of this community and we do listen to everybody. In fact,  
10 thoughts, ideas, and concerns a lot of the provisions, a lot of the elements you  
11 see in the project, are the result of us communicating with a tremendous amount  
12 of people in the community. I thank those who were considering themselves  
13 opponents. I feel that everyone who has a concern is a true concern. It may or  
14 may not be fact, based on facts. You know, sometimes it's like a religion with  
15 those things. For those who believe, no explanation is necessary. For those  
16 who don't believe, no explanation will do. And that is on all sides, but I do  
17 appreciate the amount of dedication and the attention. A lot of people came out  
18 on both sides to voice their concerns, which we take to heart and take very, very  
19 seriously. In the end, I would like to say that we appreciate this tremendous  
20 opportunity. I want you to know some people refer to Aquabella. We've spent  
21 hundreds of millions of dollars in this community. City Staff knows we've paid  
22 millions of dollars in fees. We've never been late a day on anything. We don't  
23 owe the City a dime on anything. We never received any reimbursements for  
24 anything. And, yes, it's true the market has went away. It took many years to  
25 approve Aquabella. We actually started construction and grading at Aquabella  
26 but the market went away, and so thank god we don't owe money on the  
27 property so we can wait until the opportune time and do a good job in Moreno  
28 Valley unlike some other unfortunate entities and companies that actually  
29 collapsed during the recession. We're still here with the property, and when the  
30 time is right, we will build all of them just like we built Skechers. So I thank you  
31 for the opportunity. I want you to know we are very committed to this community,  
32 and there will be no one that will work harder for this community than us. Thanks  
33 again.

34  
35 **CHAIR LOWELL** – And before we adjourn, when is the next regular meeting?  
36 Mr. Sandzimier, when would the next meeting be?  
37

38 **PLANNING OFFICIAL RICK SANDZIMIER** – July 23, 2015.  
39

40 **CHAIR LOWELL** – Okay, so this concludes our meeting. The meeting is  
41 adjourned to our next regular meeting of July 23, 2015. Thank you very much.  
42 Have a great night.  
43  
44  
45  
46

1 **NEXT MEETING**

2 *Next Meeting: Planning Commission Regular Meeting, July 23<sup>rd</sup>, 2015 at 7:00*  
3 *PM, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street,*  
4 *Moreno Valley, CA 92553.*

5  
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14  
15  
16 \_\_\_\_\_  
17 Richard J. Sandzimier  
18 Planning Official  
19 Approved

\_\_\_\_\_ Date

20  
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26  
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29  
30  
31 \_\_\_\_\_  
32 Brian R. Lowell  
33 Chair

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of Jun 30, 2015 6:00 PM (APPROVAL OF MINUTES)



1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 REGULAR MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Thursday, July 23<sup>rd</sup>, 2015, 7:00 PM

6  
7  
8 CALL TO ORDER  
9

10 CHAIR LOWELL – Good evening ladies and gentleman. Sorry for the delay.  
11 We had a little technical issue. I'd like to call the July 23<sup>rd</sup>, 2015 Regular Meeting  
12 of the Planning Commission to order. The time is 7:12 PM. Grace, may we have  
13 rollcall please? Could we also verify that the alternate Commissioners are here?  
14

15  
16 ROLL CALL  
17

18 Commissioners Present:

19 Commissioner Baker  
20 Commissioner Barnes  
21 Commissioner Ramirez  
22 Commissioner Korzec  
23 Commissioner Van Natta  
24 Vice Chair Sims  
25 Chair Lowell  
26 Alternate Commissioner Gonzalez  
27 Alternate Commissioner Nickel  
28

29 Staff Present:

30 Claudia Manrique, Associate Planner  
31 Chris Ormsby, Senior Planner  
32 Paul Early, Assistant City Attorney  
33 Allen Brock, Community Development Director/Building Official  
34 Grace Espino-Salcedo, Clerk  
35 Vince Giron, Associate Engineer  
36 Michael Lloyd, Senior Engineer  
37

38  
39 PLEDGE OF ALLEGIANCE  
40

41 CHAIR LOWELL – It was brought to my attention before the meeting that we  
42 actually have two Commissioners on separate items that are going to have to  
43 recuse themselves, so I believe we will be utilizing alternate Planning

1 Commissioner Gonzalez tonight for Item No. 2 and Item No. 3. So, with that  
2 said, could Commissioner Barnes lead us in the Pledge of Allegiance please?  
3  
4

### 5 APPROVAL OF THE AGENDA

6  
7 **CHAIR LOWELL** – Thank you. Would anyone like to motion to approve  
8 tonight’s Agenda?  
9

10 **COMMISSIONER RAMIREZ** – I so move.

11  
12 **COMMISSIONER BAKER** – I second.

13  
14 **CHAIR LOWELL** – Okay, we have a mover and a second. All in favor, I.  
15

16 **COMMISSIONER VAN NATTA** – I

17  
18 **COMMISSIONER KORZEC** – I

19  
20 **VICE CHAIR SIMS** – I

21  
22 **COMMISSIONER BAKER** – I

23  
24 **COMMISSIONER BARNES** – I

25  
26 **COMMISSIONER RAMIREZ** – I  
27  
28

### 29 CONSENT CALENDAR

30  
31 *All matters listed under Consent Calendar are considered to be routine and all*  
32 *will be enacted by one rollcall vote. There will be no discussion of these items*  
33 *unless Members of the Planning Commission request specific items be removed*  
34 *from the Consent Calendar for separate action.*  
35  
36

37 **CHAIR LOWELL** – So that moves us on to our Consent Calendar. I don’t  
38 believe we have any items on the Consent Calendar tonight.  
39  
40

### 41 APPROVAL OF MINUTES

- 42  
43
  - **Planning Commission - Regular Meeting - March 12, 2015, 7:00 PM**
  - **Planning Commission - Regular Meeting - March 26, 2015, 7:00 PM**

44  
45  
46

1 • **Planning Commission - Regular Meeting - April 23, 2015, 7:00**  
2 **PM**  
3

4 **CHAIR LOWELL** – We are going to move on to the approval of the Minutes from  
5 the previous meetings. We have the Minutes from the March 12<sup>th</sup>, 2015,  
6 meeting. We also have the Regular Meeting from March 26<sup>th</sup>, 2015, and the  
7 Regular Meeting from April 23<sup>rd</sup>, 2015. Anybody want to motion to approve them,  
8 or are there any comments or questions on it before we motion?  
9

10 **COMMISSIONER VAN NATTA** – I think that we should do them separately  
11 since not all people were present for each one.  
12

13 **COMMISSIONER BAKER** – I agree.  
14

15 **CHAIR LOWELL** – Let's verify who was here.  
16

17 **COMMISSIONER VAN NATTA** – I believe on Thursday March 12<sup>th</sup>, 2015,  
18 Commissioner Sims was absent.  
19

20 **CHAIR LOWELL** – Okay, so do you want to motion to approve the March 12<sup>th</sup>,  
21 2015 meeting?  
22

23 **COMMISSIONER VAN NATTA** – Yeah, I'll move to approve the Minutes of the  
24 Meeting of Thursday, March 12<sup>th</sup>, 2015.  
25

26 **COMMISSIONER BAKER** – I'll second that.  
27

28 **CHAIR LOWELL** – So I guess we're going to vote on these individually, so we  
29 have a motion by Commissioner Van Natta and a second by Commissioner  
30 Baker. All in favor, I.  
31

32 **COMMISSIONER BAKER** – I  
33

34 **COMMISSIONER VAN NATTA** – I  
35

36 **COMMISSIONER KORZEC** – I  
37

38 **COMMISSIONER RAMIREZ** – I  
39

40 **COMMISSIONER BARNES** – I  
41

42 **CHAIR LOWELL** – Anybody oppose? No. Okay.  
43

44 **VICE CHAIR SIMS** – I abstain.  
45

46 **CHAIR LOWELL** – We have one abstention.

1 **GRACE ESPINO-SALCEDO** – We have two abstentions also with  
2 Commissioner Korzec.

3  
4 **COMMISSIONER VAN NATTA** – Oh yeah. Sorry.

5  
6 **CHAIR LOWELL** – Should we do rollcall vote or should we just raise our hands  
7 and say I?

8  
9 **GRACE ESPINO-SALCEDO** – Let’s go ahead and do a rollcall vote.

10  
11 **CHAIR LOWELL** – Okay, so for the March 12<sup>th</sup>, 2015 Meeting Minutes we’re  
12 going to do a rollcall vote.

13  
14 **COMMISSIONER RAMIREZ** – Yes.

15  
16 **COMMISSIONER VAN NATTA** – Yes.

17  
18 **COMMISSIONER BAKER** – Yes.

19  
20 **COMMISSIONER BARNES** – Yes.

21  
22 **GRACE ESPINO-SALCEDO** – And we have two abstentions, Commissioner  
23 Korzec and Vice Chair Sims.

24  
25  
26 **Motion carries 6 – 0 – 2, with two Abstentions**

27  
28 **CHAIR LOWELL** – So that moves us onto the March 26<sup>th</sup>, 2015 meeting.  
29 Approval of the Minutes from March 26<sup>th</sup>, 2015. Do we have a motion?

30  
31 **VICE CHAIR SIMS** – I’ll approve that. I’ll make a motion to approve the Minutes  
32 from March 26<sup>th</sup>, 2015.

33  
34 **CHAIR LOWELL** – We have a motion by Vice Chair Sims. Do we have a  
35 second?

36  
37 **COMMISSIONER VAN NATTA** – I second.

38  
39 **COMMISSIONER BARNES** – I second.

40  
41 **CHAIR LOWELL** – Oh, we have a race.

42  
43 **VICE CHAIR SIMS** – Wow. Flip a coin.

44  
45 **COMMISSIONER VAN NATTA** – Second.

1 **CHAIR LOWELL** – So we have a motion by Commissioner Sims and a second  
2 by Commissioner Van Natta. May we have a rollcall vote please?

3  
4 **COMMISSIONER BARNES** – Yes.

5  
6 **COMMISSIONER BAKER** – Yes.

7  
8 **COMMISSIONER VAN NATTA** – Yes.

9  
10 **COMMISSIONER RAMIREZ** – Yes.

11  
12 **VICE CHAIR SIMS** – Yes.

13  
14 **CHAIR LOWELL** – Yes.

15  
16 **GRACE ESPINO-SALCEDO**– And we have one abstention with Commissioner  
17 Korzec.

18  
19 **Motion carries 6 – 0 – 1, with one Abstention**

20  
21 **CHAIR LOWELL** – That moves us onto the April 23<sup>rd</sup>, 2015 meeting. I’m getting  
22 feedback. I don’t know if I’m leaning too close to the microphone, but I’m hearing  
23 pulsing. I don’t know if IT can deal with that? So the April 23<sup>rd</sup> meeting, anybody  
24 want to comment? I have one question. It says Commissioners present: It has  
25 Chair Lowell and Commissioner Lowell. I’m in there twice. I don’t know if that’s  
26 just normal or not normal?

27  
28 **GRACE ESPINO-SALCEDO** – We’ll go ahead and make that correction.

29  
30 **CHAIR LOWELL** – Awesome. Was there anybody present that isn’t showing up  
31 on here? Was Korzec at this meeting?

32  
33 **GRACE ESPINO-SALCEDO** – Yes.

34  
35 **CHAIR LOWELL** – Because she was sworn in, so that would be the revision. I  
36 don’t see any other revisions. Anybody else have any comments?

37  
38 **VICE CHAIR SIMS** – I make a motion to approve the Minutes from April 23<sup>rd</sup>,  
39 2015.

40  
41 **CHAIR LOWELL** – So we have a motion by Vice Chair Sims. Do we have a  
42 second?

43  
44 **COMMISSIONER BAKER** – I’ll second.

45

1 **CHAIR LOWELL** – We have a second by Commissioner Baker. Can we have a  
2 rollcall vote please?

3  
4 **COMMISSIONER RAMIREZ** – Yes.

5  
6 **COMMISSIONER KORZEC** – Yes.

7  
8 **COMMISSIONER VAN NATTA** – Yes.

9  
10 **COMMISSIONER BAKER** – Yes.

11  
12 **COMMISSIONER BARNES** – Yes.

13  
14 **VICE CHAIR SIMS** – Yes.

15  
16 **CHAIR LOWELL** – Yes.

17  
18  
19 **PUBLIC COMMENTS PROCEDURE**

20  
21 *Any person wishing to address the Commission on any matter, either under*  
22 *Public Comments section of the Agenda or scheduled items or public hearings,*  
23 *must fill out a “Request to Speak” form available at the door. And I believe we*  
24 *have an electronic kiosk that is either up and running tonight or in the process of*  
25 *working. The completed form must be submitted to the Secretary prior to the*  
26 *Agenda item being called by the Chairperson. In speaking to the Commission,*  
27 *members of the public may be limited to three minutes per person, except for the*  
28 *applicant for entitlement. The Commission may establish an overall time limit for*  
29 *comments on a particular Agenda item. Members of the public must direct their*  
30 *questions to the Chairperson of the Commission and not to other members of the*  
31 *Commission, the applicant, the Staff, or the audience. Additionally, upon*  
32 *request, this Agenda will be made available in appropriate alternate formats to*  
33 *persons with disabilities in compliance with the American Disabilities Act of 1990.*  
34 *Any person with disabilities who requires a modification or accommodation in*  
35 *order to participate in a meeting should direct their request to Guy Pagan, our*  
36 *ADA Coordinator at (951) 413-3120 at least 48 hours before the meeting. The*  
37 *48-hour notification will enable the City to make reasonable arrangements to*  
38 *ensure accessibility to the meeting.*

39  
40 **CHAIR LOWELL** – That moves us to the Public Comments portion. With that  
41 said, the Public Comments are hereby open. Do we have anybody wanting to  
42 speak on something that is not an Agenda item?

43  
44 **GRACE ESPINO-SALCEDO** – We don’t have anybody who signed in for them.

45  
46

1 **NON-PUBLIC HEARING ITEMS**

2  
3 None

4  
5 **CHAIR LOWELL** – Okay, so the Public Comment portion is now closed, which  
6 moves us on to the Non-Public Hearing Items, which we don't have any.

7  
8  
9 **PUBLIC HEARING ITEMS**

- 10
- 11 1. Case: PA14-0031 (TTM 36761) and P14-059 (Variance)
- 12
- 13 Applicant: Right Solutions, LLC
- 14
- 15 Owner: Right Solutions, LLC
- 16
- 17 Representative: Blaine Womer, Civil Engineering
- 18
- 19 Location: 24329 Dunlavy Court
- 20 (west of Indian Street and east of Davis Street)
- 21
- 22 Associate Planner: Claudia Manrique
- 23
- 24 Council District: 1
- 25
- 26 Proposal: PA14-0031 (TTM 36761) and P14-059 (Variance)
- 27
- 28

29 **STAFF RECOMMENDATION:**

30  
31 Recommend the Planning Commission **APPROVE** Resolution No. 2015-10 and  
32 Resolution No. 2015-11 and thereby:

- 33
- 34
- 35 1. **CERTIFY** that the proposed Variance (P14-059) and Tentative Tract Map
- 36 36761 (PA14-0031) are exempt from the provisions of the California
- 37 Environmental Quality Act (CEQA), as a Class 32 Categorical Exemption,
- 38 CEQA Guidelines, Section 15332 (In-Fill Development); and
- 39
- 40 2. **APPROVE** Variance (P14-059) based on the findings contained in Planning
- 41 Commission Resolution 2015-10; and
- 42
- 43 3. **APPROVE** Tentative Tract Map 36761 (PA14-0031) based on the findings
- 44 contained in Planning Commission Resolution 2015-11, subject to the
- 45 conditions of approval included as Exhibit A of the Resolution.
- 46

1 **CHAIR LOWELL** – So, by default we move to the Public Hearing Items. The  
2 first Item is Case No. PA-140031 Tentative Tract Map 36761 and P14-059, A  
3 Variance. The owner and applicant are Right Solutions, and the Associate  
4 Planner is Claudia Manrique. Do we have a Staff Report on this item? Thank  
5 you.  
6

7 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Good evening. I’m Claudia  
8 Manrique, the Associate Planner. The Applicant is proposing to subdivide one  
9 parcel into seven single-family lots. The proposed project is located on the south  
10 side of Dunlavy Court west of Indian Street and east of Davis Street. The aerial  
11 is shown. The Applicant has also submitted a Variance to allow for a minimum  
12 lot width of Lot No. 1 to be approximately 59.3 feet instead of the minimum 70  
13 feet required by the Residential Site Development Standards for Residential 5.  
14 As noted, the site is zoned Residential 5, and there are currently three  
15 abandoned structures on the parcel. The project site is in an area that is zoned  
16 predominantly Single-Family R5, and this project would be an In-Fill to finish out  
17 the balance of the tract development. Here is a map of the zoning. As you can  
18 see, all the way around the parcel is R5. The proposed subdivision includes  
19 seven single-family lots ranging in size from 10,292 square feet to 10,306 square  
20 feet. The minimum lot standard for R5 is 7200 square feet, and in the west  
21 corner of the site is a litter lot for an infiltration water quality basin; Tentative Tract  
22 Map layout. Variances to the zoning regulation may be granted in respect to  
23 development standards such as lot width. Reducing the lot width from the  
24 required 70 feet to the 59.3 feet will not constitute a grant of a special privilege to  
25 the Applicant. The surrounding subdivisions were built out at the old County of  
26 Riverside’s R1 standard, which had a lot width minimum of 60 feet instead of the  
27 current 70 feet. There is also a unique condition affecting the proposed project.  
28 The two lots to the west of the proposed project, 11806 and 11810 Davis Street  
29 both have their existing rear fences and some structures on the property owned  
30 by the Applicant. On this aerial, you can see the houses on Davis are in red.  
31 The property tonight for the proposed map is in yellow, and there is a slight  
32 overlap of what the property owner owns and where there is an existing, garage,  
33 shed, and some fencing. The Applicant is proposing to transfer approximately  
34 1500 square feet to each of the existing residences to the west allowing the  
35 structures in the rear yard to remain. The loss of the acreage to the properties to  
36 the west, in order to maintain good neighbor relations, impacts the subdivisions  
37 ability to meet the current residential site standards of R5. And, thus, we’re  
38 asking for the Variance for the lot width of Lot No.1. Staff believes that the scope  
39 and the scale of the project is comparable to the properties in the surrounding  
40 neighborhood. The project was submitted in June 2014, and we’ve been working  
41 with the Applicant and the Applicant’s representative to clear up the issues with  
42 the property and who owns what. Documents have been provided proving the  
43 land ownership and were reviewed by Land Development Staff clearing up the  
44 ownership issue and allowing us to schedule the project for the Planning  
45 Commission. Again, the Applicant is willing to give up or transfer ownership of  
46 approximately 1500 square feet to each of the existing residences to the west on

Minutes Acceptance: Minutes of Jul 23, 2015 7:00 PM (APPROVAL OF MINUTES)



1 Davis Street and thus allowing the structures to remain. Condition Land  
2 Development LD54 requires a lot line adjustment to be recorded prior to Final  
3 Map, and this will ensure that the Final Map configuration is consistent with the  
4 approved Tentative Tract Map. Planning Staff has determined that the project  
5 will not have an impact on the environment and therefore is exempt under CEQA  
6 as in In-Fill. And, according to the Municipal Code Section 9.02.200, public  
7 notification was mailed out to owners within 300 feet, as well as published in the  
8 Press Enterprise Newspaper on July 10<sup>th</sup>. As of tonight, I had one phone call.  
9 One of the owners along Dunlavy was asking if the street was going to be  
10 widened. The street improvements will be done with the development of the tract  
11 and that will widen the street somewhat because right now the Southern half of  
12 Dunlavy is undeveloped. Then, we have on the tan paper, there are two  
13 changes to the Conditions of Approval from Special Districts. Special Districts  
14 used to be under Financial Services Department, and they are now back under  
15 Public Works. Therefore, there are some changes to the wording in the  
16 conditions, as well as a change from Community and Economic Development  
17 Department to just Community Development Department. Staff recommends the  
18 certification that the proposed Variance and Tract Map are exempt under CEQA,  
19 approve Variance P14-059 based on the findings in Resolution 2015-10, and  
20 approve Tentative Tract Map 36761 based on the findings contained in  
21 Resolution 2015-11, including the Conditions of Approval as amended. Thank  
22 you.

23  
24 **CHAIR LOWELL** – Thank you for that. Are, my brain just locked up on me. Do  
25 we...

26  
27 **COMMISSIONER VAN NATTA** – Well we can ask questions first before we go  
28 to the Applicant.

29  
30 **CHAIR LOWELL** – My brain just locked up on me. Any Commissioners have  
31 any questions for Staff?

32  
33 **COMMISSIONER VAN NATTA** – Yeah that’s why my name is up on your  
34 screen there. Okay. That little finger of land that goes, well you can’t see where  
35 I’m pointing, but I’m looking at the Tentative Tract Map where you said that’s like  
36 a drainage basin there.

37  
38 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Yes, that is correct.

39  
40 **COMMISSIONER VAN NATTA** – I’m looking at the Tentative Tract Map and  
41 seeing where it’s showing the drainage going to the south. What water gets  
42 drained into there? Is that supposed to be water draining off of these parcels  
43 going there?

44  
45 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – The front of the parcels will  
46 all drain towards the street and then towards Lot A, which is the basin. The

1 arrows on the rear of the lot or the Southern sections, yes, they'll drain to the  
2 potential drain.

3  
4 **COMMISSIONER VAN NATTA** – Yes, okay but there's not like a channel or  
5 anything across the back to divert any of that water so it doesn't go onto the  
6 other properties that face on Grove?  
7

8 **ASSOCIATE ENGINEER VINCE GIRON** – Good evening Chair and fellow  
9 Commissioners, Vince Giron with Land Development Division. The way the  
10 project site is being proposed to be graded is that the northerly half of the site will  
11 drain towards the street and the southerly half, as you indicated, will continue to  
12 drain in its natural drainage pattern. And there is no proposed channel along the  
13 rear property lines. It will continue to drain in its natural drainage pattern. The  
14 difference is that currently the entire site drains southerly, so this proposed site  
15 would actually take in effect half of the lots and drain them towards the street  
16 thereby reducing the drainage that goes towards the south.  
17

18 **COMMISSIONER VAN NATTA** – Well maybe I don't understand all about  
19 drainage, but I thought the purpose of putting the additional drainage and  
20 everything is that once you've built out a lot and you've got concrete and  
21 everything else that that increases the amount of water that runs off the  
22 property?  
23

24 **ASSOCIATE ENGINEER VINCE GIRON** – That's correct, it does increase. On  
25 single-family residential lots, the increase on each lot is minimal. But that is  
26 correct and that portion that increases is going to drain towards the street and not  
27 towards the back or the rear of the lot. Is that clear?  
28

29 **COMMISSIONER VAN NATTA** – So is that center area there that divides the  
30 north and the south. That is a difference in grade then?  
31

32 **ASSOCIATE ENGINEER VINCE GIRON** – That's correct. You see the little  
33 symbols that look like a Y if you will?  
34

35 **COMMISSIONER VAN NATTA** – Yeah.  
36

37 **ASSOCIATE ENGINEER VINCE GIRON** – That indicates that there is a slope  
38 there.  
39

40 **COMMISSIONER VAN NATTA** – Um-hum.  
41

42 **ASSOCIATE ENGINEER VINCE GIRON** – And that slope is pointing, or I  
43 should say, facing the south. So half the site is raised and draining towards the  
44 street and that little strip that you see there with the Y's, that's a slope. And,  
45 everything from the point on, is drained towards the rear.  
46

1 **COMMISSIONER VAN NATTA** – So everything from there south then drains  
2 into the other properties?

3  
4 **ASSOCIATE ENGINEER VINCE GIRON** – That’s correct, yes.

5  
6 **COMMISSIONER VAN NATTA** – Okay, that was my question. Thank you.

7  
8 **CHAIR LOWELL** – Mr. Sims.

9  
10 **VICE CHAIR SIMS** – I just looked through the Conditions of Approval and there  
11 is a structure that is on the existing property that says it’s going to be removed.  
12 But I noticed on there that there’s an existing, it appears there is a septic system  
13 on the site. I didn’t see any kind of condition in there that the abandonment of  
14 that septic system would be approved by County Department, Environmental  
15 Health, or....

16  
17 **COMMUNITY DEVELOPMENT DIRECTOR/BUILDING OFFICIAL ALLEN**  
18 **BROCK**– Building and safety would require permits along with the demo permits  
19 that would be required for those two structures to also abandon that septic  
20 system. That septic system would be inspected by City Staff, not Environmental  
21 Health, yeah.

22  
23 **VICE CHAIR SIMS** – Okay.

24  
25 **CHAIR LOWELL** – Commissioner Barnes.

26  
27 **COMMISSIONER BARNES** – In regards to the drainage of the portion of the  
28 site that’s being undisturbed, is there a building restriction on that so that they  
29 couldn’t put in a basketball court and basically make the whole south half  
30 impervious because that would alter?

31  
32 **ASSOCIATE ENGINEER VINCE GIRON** – From Land Development’s  
33 perspective, there have been on restrictions that have been placed on there so.

34  
35 **COMMISSIONER BARNES** – Okay, so that should be considered or do we not  
36 care? I mean I understand that it’s natural terrain and you’re reducing drainage  
37 there by half. So I don’t have any issue with that, but there could be alternation  
38 that would contradict that in the future.

39  
40 **ASSOCIATE ENGINEER VINCE GIRON** – There could be yes, that’s correct.  
41 As I mentioned earlier, currently the entire site is draining towards the south and  
42 the northerly half of the site now is being proposed to drain towards the street.  
43 So it is, in fact, reducing the runoff that those properties to the south will  
44 experience. So, if additional impervious area was added, I don’t think it will be an  
45 issue. A basketball court, or even if they put a tennis court back there, I don’t  
46 think the increase in runoff would be substantial.

1 **COMMISSIONER BARNES** – It will probably just restore it to where it is now  
2 when the whole lot is draining that way.

3  
4 **ASSOCIATE ENGINEER VINCE GIRON** – Potentially restore it.

5  
6 **COMMISSIONER BARNES** – Yeah.

7  
8 **ASSOCIATE ENGINEER VINCE GIRON** – But it would be...we're talking about  
9 very minimal, minimal flows or an increase in flow.

10  
11 **COMMISSIONER BARNES** – Okay.

12  
13 **ASSOCIATE ENGINEER VINCE GIRON** – Runoff I should say.

14  
15 **COMMISSIONER BARNES** – Okay, yeah, alright. I don't disagree. Thank you.

16  
17 **ASSOCIATE ENGINEER VINCE GIRON** – You're welcome.

18  
19 **CHAIR LOWELL** – I have some issue with the drainage also. In light of last  
20 weekend when he had the tremendous 100-year or 1000-year storm depending  
21 on how you analyze it, we have various portions of the city washed out by mud.  
22 I've gotten calls from several residents complaining about the mud. Specifically,  
23 over in Sunnymead Ranch, there was one actually just around the corner from  
24 here off Hubbard that every time it rains they get mud. And, this last time, they  
25 got almost a foot of mud in their living room. I am slightly disappointed in this  
26 Tentative Tract Map because, although they take half the lot and drain it north  
27 towards Dunlavy, they still leave half the lot draining south to cross into  
28 neighbor's yards. Granted it is the existing condition, but I would like to propose  
29 some sort of mitigation measure, i.e., a v-ditch along the southerly property line  
30 to help collect and direct the flow more directly as opposed to just letting the  
31 natural course take its way and find a better solution for this water that is coming  
32 off the southerly property line. That's my question and it's not really a question  
33 on that. But the question that would piggyback on it is, if these flows flow to the  
34 south and to the west, where does it ultimately go? Does it get collected and  
35 draining over towards the southwest corner, which is parcel APN475 what is that  
36 25041? Is that where all the drainage goes through or does it uniformly cross the  
37 south lot line?

38  
39 **ASSOCIATE ENGINEER VINCE GIRON** – I'm going to defer to the engineer  
40 who designed the property. I know there is a challenge in getting the drainage  
41 from the rear of the lot to the street, towards the north, only because of the  
42 difference in grades. If there were a channel that was constructed and collected  
43 and concentrated the flows, it would need an outlet and that would in all  
44 probability require easements through properties in which there is no guarantee  
45 that we could obtain or that the developer can obtain. In regards to the more

1 specifics, if it would be possible for the engineer to comment on that during their  
2 time, I'll defer.

3  
4 **CHAIR LOWELL** – Okay. I guess we'll ask the same question when the  
5 Applicant comes up. Do we have any other questions for Staff?  
6

7 **VICE CHAIR SIMS** – I just, as a side note, I mean I think there is greater  
8 protection of the downstream lots here with the development as proposed. It's  
9 going to be taking the street drainage that coming from the east going to the  
10 west, and it's going to be curbed over probably there's going to be some type of  
11 inlet structure to this drainage basin. So you're probably taking some of the  
12 street flow that otherwise would have got off this property down to the  
13 downstream, as well as you got half the lot that's going to be back-drained going  
14 in its unnatural way. I would say this protects, has greater protection, than they  
15 otherwise would.  
16

17 **CHAIR LOWELL** – Yeah. But, if they get a foot of mud in their backyard versus  
18 2 inches now, they still get mud in their yard. That's something we can talk about  
19 in a minute. Any other questions for Staff? Do we want to invite the...I'm totally  
20 spaced right now. My notes got all disheveled, so I'm kind of....  
21

22 **COMMISSIONER VAN NATTA** – It's Public Comments, but the Applicant goes  
23 first.  
24

25 **CHAIR LOWELL** – I'd like to invite the Applicant up. Thank you.  
26

27 **APPLICANT BLAINE WOMER** – Mr. Chairman, Members of the Commission,  
28 my name is Blaine Womer of Womer Engineering, 41555 East Florida Avenue  
29 Suite G in Hemet. First off, I just want to take a moment to thank Claudia and the  
30 rest of Staff for working with us on this project. The challenge of the property  
31 ownership and that type of thing created a little unique situation that we had to  
32 work through and they did a nice job of helping us through that. I was just going  
33 to come up and say that we've read the Staff Report. We concur with the  
34 findings, we agree to the conditions, and I'm happy to answer any questions. But  
35 I think I know what the question is, so I would like to reiterate what Vince said.  
36 The entire project did drain to the south in a sheet-flow fashion, and it has been  
37 that way forever. It drains to the properties to the south and then ultimately gets  
38 intercepted by the street that they take access from. Our proposal, because of  
39 the topography, was to drain the front portion where the houses are going to be,  
40 where the driveways are going to be. The impervious surfaces of that, by law,  
41 we need to clean up from the standpoint of water quality mitigation to go out front  
42 into the street and drain into the basin there. The purpose of leaving the natural  
43 area in the back portion of the lots were...quite frankly because of the depth of  
44 the lots, if we tried to grade all of it to Dunlavy, we're not sure that the people to  
45 the south would ever see sunlight in the backyard. The retaining wall ended up  
46 being humungous, like 8 feet or something like that. So we came up with a

1 concept to reduce the flow that gets there substantially, at least in half, and drain  
2 the front portion to Dunlavy and let the remainder continue on. It's not an  
3 unusual situation by any stretch. Offsite flows like that are pretty common. The  
4 concern I would have with concentrating it is, is there no acceptable outlet. We  
5 are an In-Fill piece of property here. Our options are kind of limited, both south,  
6 east, and west. So we thought that the sheet-flow option was the best. We think  
7 that, certainly the fact that it's less than half, it's going to slow down the water  
8 and receding water in a sheet-flow fashion like that is always better than trying to  
9 concentrate it. So I hope that answers your question, but I'm certainly happy to  
10 try to enumerate further if needed.

11  
12 **CHAIR LOWELL** – Thank you. Do we have any questions for the Applicant?  
13

14 **COMMISSIONER VAN NATTA** – Um-hum.  
15

16 **CHAIR LOWELL** – By all mean, Commissioner Van Natta.  
17

18 **COMMISSIONER VAN NATTA** – So was it considered maybe some sort of a  
19 channel across the back of the property there, and in exchange for the 1500  
20 square feet of land that you're giving to those two properties get the agreement  
21 of one of them you'll give them the extra land in the back if they'll allow you a  
22 channel down the side that you can redirect the flow?  
23

24 **APPLICANT BLAINE WOMER** – Well we did not pursue that again because I  
25 still believe as the engineer of record that the sheet-flow fashion is the better way  
26 to go. However, we haven't done a survey of parcel. I can't see it without my  
27 glasses, but I do not believe that there is sufficient room to provide an easement  
28 and a channel that would go out to Davis Street. There's just not sufficient room  
29 given the constraints of the existing home and the improvements.  
30

31 **COMMISSIONER VAN NATTA** – Okay.  
32

33 **APPLICANT BLAINE WOMER** – Again, we're very constrained east and west  
34 and south because we're an In-Fill property.  
35

36 **COMMISSIONER VAN NATTA** – Thank you.  
37

38 **CHAIR LOWELL** – Have you guys spoken with the Silas family to see if they  
39 would be willing since it seems to be the location where most of this drainage  
40 flows through? I was wondering if you had spoken with them if they would be  
41 willing to give you an easement to actually improve that lot, so they wouldn't have  
42 unmitigated water just flowing right through their yard and washing out their  
43 backyard.  
44

1 **APPLICANT BLAINE WOMER** – Well Mr. Chairman, no we haven't. We really  
2 didn't think this was an issue mainly because we thought we came up with what  
3 we, and I believe the City agreed, was the best solution.

4  
5 **CHAIR LOWELL** – Well I agree that it is a better situation that what was original,  
6 but I'm sure you saw the news where we had bridges washed out. We had two  
7 feet of mud in people's backyards.

8  
9 **APPLICANT BLAINE WOMER** – Right.

10  
11 **CHAIR LOWELL** – It's an issue that is only an issue when it rains, and it doesn't  
12 rain here often so people forget about it. But before I harp on you too much, are  
13 any of these residents to the south here tonight? Okay, well we will get to you in  
14 a couple moments because I have a couple questions for you and then I can let  
15 the Applicant respond to them.

16  
17 **APPLICANT BLAINE WOMER** – Right and I would just like to point out that  
18 most of the damage you see from rain storms certainly are from concentrated  
19 flow like we're talking about and larger tributaries than what we see here. So  
20 that's why we came up with what we did, but I'll be happy to come back up.

21  
22 **CHAIR LOWELL** – Before you head out, does anybody else have comments for  
23 the Applicant? Okay, I thank you very much.

24  
25 **APPLICANT BLAINE WOMER** – Thank you.

26  
27 **CHAIR LOWELL** – So I believe that brings us to the Public Comments portion of  
28 this Item. It looks like we have Daniel Alberto. He would like to speak. Is he  
29 here tonight? Come up to the microphone please. Thank you.

30  
31 **SPEAKER DANIEL ALBERTO** – Hi, my name is Daniel Alberto. I, right now,  
32 the property I live in is 11810 Davis Street. For me and our part, we don't have  
33 any problems with them building houses in the back. We do....as long as they  
34 do not take any property from our land already because from what we were told  
35 there was going to be 20 feet that we were in their property, which from the plans  
36 that we have, it's 162 as it already measures and that's basically what we're  
37 paying right now for taxes or for the house that 162. But, my point is, as long as  
38 they don't touch the land, we don't have anything against it. So, if they're willing  
39 to work on the land that they already have and create the houses, then that's fine  
40 for us as well. But that's pretty much it on our part.

41  
42 **CHAIR LOWELL** – Thank you. Have you experienced any issues with the  
43 drainage?

44  
45 **SPEAKER DANIEL ALBERTO** – With the drainage, no not recently. We do  
46 make ourselves, along with it, we carve a way so that it goes through the side of

1 our house so it goes through drainage that we have right there on the side of it.  
2 So we have not experienced any issues as of right now.

3  
4 **CHAIR LOWELL** – How long have you lived there?

5  
6 **SPEAKER DANIEL ALBERTO** – For about 10 years.

7  
8 **CHAIR LOWELL** – Ten years? Okay.

9  
10 **SPEAKER DANIEL ALBERTO** – Any other questions?

11  
12 **CHAIR LOWELL** – Thank you very much.

13  
14 **SPEAKER DANIEL ALBERTO** – Thank you.

15  
16 **CHAIR LOWELL** – We have Carol Hollinger.

17  
18 **SPEAKER CAROL HOLLINGER** – Hi. My name is Carol Hollinger. I live at  
19 11806 Davis Street. I am speaking in favor of the Variance. On behalf of my  
20 mother and myself who both live in the house, we have absolutely no problem  
21 with him building houses on his property provided it does not affect our property.  
22 We noticed that the description that Claudia read is not what we were told and is  
23 not what we agreed to. I would really like to have that reviewed. I would also like  
24 to point out that the houses on the other side of Dunlavy are I believe 67 feet  
25 wide lots and our two houses, our two lots on Davis Street, are each 65 feet  
26 wide. And, so even at 68 or 69 feet wide, the lots that would be built there would  
27 be the widest in the area. I have on problem with that. We've had no problems  
28 with drainage. Our only concern is that the lot line adjustment would put the  
29 property lines set in stone and we do not want our property affected. That's our  
30 only concern. Thank you.

31  
32 **VICE CHAIR SIMS** – Can I ask a question?

33  
34 **CHAIR LOWELL** – By all means.

35  
36 **VICE CHAIR SIMS** – So if I understand what this project proposes is that they  
37 would do a lot line adjustment that would add on to your property because it  
38 appears from the Staff Report....

39  
40 **SPEAKER CAROL HOLLINGER** – No.

41  
42 **VICE CHAIR SIMS** – Okay.

43  
44 **SPEAKER CAROL HOLLINGER** – The owners of the development are claiming  
45 that we are encroaching on their property. We don't believe so.  
46



1 **VICE CHAIR SIMS** – Okay.

2  
3 **SPEAKER CAROL HOLLINGER** – The property line dispute was settled back in  
4 1970 between the owners that owned the property back then. Our fence is sitting  
5 where that court case decided it would be. It's still standing there to this day. So  
6 we would just like the lot line adjustment to solidify where the property lines are.

7  
8 **CHAIR LOWELL** – And, if I'm not mistaken, that's what this Tentative Map is  
9 proposing.

10  
11 **SPEAKER CAROL HOLLINGER** – Okay, thank you.

12  
13 **VICE CHAIR SIMS** – Yeah, it appears that at the end of this that you'll have like  
14 15 feet or more. You know, where you fence is now, the new property line would  
15 be 15 feet to the east.

16  
17 **CHAIR LOWELL** – No. The fence would stay where it is.

18  
19 **SPEAKER CAROL HOLLINGER** – No.

20  
21 **CHAIR LOWELL** – The new property line would be right on the fence. They are  
22 giving you zero. There's a building here.

23  
24 **VICE CHAIR SIMS** – Oh, okay.

25  
26 **CHAIR LOWELL** – So the new property line would just basically go right where  
27 the fence is.

28  
29 **VICE CHAIR SIMS** – Okay, alright, well I guess I....

30  
31 **CHAIR LOWELL** – They are also going to be doing, I think it's a Variance for  
32 zero setback too.

33  
34 **COMMISSIONER BARNES** – It's going to put the property line where the line of  
35 occupation is.

36  
37 **VICE CHAIR SIMS** – Oh, okay.

38  
39 **COMMISSIONER BARNES** – It's essentially going to match what's on the  
40 ground. That's the goal of this correct?

41  
42 **SPEAKER CAROL HOLLINGER** – Yes.

43  
44 **VICE CHAIR SIMS** – Okay, well that's, you know....you're good with the line  
45 where it's proposed to go?

46

1 **CHAIR LOWELL** – You're happy where your fence is?

2  
3 **SPEAKER CAROL HOLLINGER** – Yes.

4  
5 **VICE CHAIR SIMS** – Okay, yeah, alright.

6  
7 **SPEAKER CAROL HOLLINGER** – Yes.

8  
9 **CHAIR LOWELL** – Okay. Any questions for her besides what we just talked  
10 about? Okay, thank you very much.

11  
12 **SPEAKER CAROL HOLLINGER** – Okay, thank you.

13  
14 **CHAIR LOWELL** – And I don't have anymore Public Speaker Slips. I do have a  
15 hand raised. Did you happen to fill out a slip, Sir?

16  
17 **AUDIENCE MEMBER** – I did not.

18  
19 **CHAIR LOWELL** – I'm okay with it if everybody else is okay with it.

20  
21 **COMMISSIONER VAN NATTA** – Sure.

22  
23 **CHAIR LOWELL** – By all means, come on up and introduce yourself please.  
24 And can you fill out a green slip when you're done just so we can keep record of  
25 who you are? You can do it after the fact.

26  
27 **SPEAKER WILLIAM GREGORY STAPLETON** – My name is William Gregory  
28 Stapleton. I live at 24266 Groven Lane. The property is behind me. My  
29 apologies for being late. I didn't get to hear what project is being proposed. My  
30 concern is the drainage. Just this last rain that we had over last weekend did  
31 flow into my property. There was no damage. There was a lot of water flowed  
32 out, but because of the ditching and elevated pad that I have, it wasn't a major  
33 problem. But I do know that the topography of this site that, when they built the  
34 houses on the north side of Dunlavy, there was excess dirt. And the owner at  
35 that time was Bob Trobaugh, and he allowed them to put the fill on the proposed  
36 parcel site and it's elevated. They did a good job of leveling it, and it slopes  
37 down onto my property and so my concern is, is there going to be a drainage  
38 system of some sort? Is there going to be what type of a wall on what would be  
39 the south side of the project site? Can I come up and point at the picture here?

40  
41 **CHAIR LOWELL** – Can you go back to the microphone? Thanks.

42  
43 **SPEAKER WILLIAM GREGORY STAPLETON** – My concern was I didn't hear  
44 if they are going to be single story or two story, and I would have a real objection  
45 if they are two-story houses because of the being elevated and looking down on  
46 to those of us to the south side of this project for privacy concerns.

1 **CHAIR LOWELL** – Thank you very much.

2  
3 **COMMISSIONER VAN NATTA** – I have a question.

4  
5 **CHAIR LOWELL** – Okay.

6  
7 **COMMISSIONER VAN NATTA** – Is there, in your opinion, room between your  
8 property and the one directly to the west to where a drainage channel could be  
9 placed?

10  
11 **SPEAKER WILLIAM GREGORY STAPLETON** – If it was necessary, I would  
12 work with the City and the builder about an easement for drainage through there.  
13 The property at 24262, I believe. I can't speak for them, but I know that....can I  
14 approach the map again?

15  
16 **CHAIR LOWELL** – Yeah, go ahead just speak louder so we can hear you.

17  
18 **SPEAKER WILLIAM GREGORY STAPLETON** – Alright. No one is maintaining  
19 this easement. It's full of weeds and some people were growing marijuana back  
20 there because no one was there to keep eye on it or maintaining it, so it was a  
21 free for all. So, this area here, is kind of messy. And I don't know about what  
22 kind of easement there is here for utilities. I know that Edison and Verizon, and I  
23 don't know what other kind of cable company is using this pole line here. The  
24 utilities do need to have access to these utilities because the poles are getting  
25 old, and there have been quite a few on Davis that have been splintering and  
26 have fallen and had to be replaced. But I don't know about the status of that.  
27 That would probably have to be checked out with Edison and Verizon. But, with  
28 my property here, my concern is drainage and the privacy. And I don't know  
29 what type of fencing or wall there would be on the south side. I'm sorry for being  
30 late, but I didn't get to hear what they had proposed.

31  
32 **CHAIR LOWELL** – Okay, thank you. You can turn it off. That's fine. They'll  
33 come get it. Thank you. Can you just fill out one of these green papers for us?  
34 Thank you. With that said, I don't think anymore people want to speak on this on  
35 the public side of things. Any other Speaker Slips? I'm going to close the Public  
36 Comments portion, which moves us on to our Commissioner Discussions.

37  
38 **COMMISSIONER VAN NATTA** – Could we have the Applicant come back and  
39 maybe discuss whether or not this other proposal regarding the drainage might  
40 be something that could be considered?

41  
42 **CHAIR LOWELL** – Yeah, we can do that. Do we have any other questions or  
43 discussions beforehand? Please come up.

44  
45 **APPLICANT BLAINE WOMER** – Mr. Chairman, Members of the Commission,  
46 the other point probably worth making is there is some offsite flows that come to

1 us from the east down Dunlavy. Because there are no curb and gutter  
2 improvements in front of the property, and at some point I do remember when we  
3 were out surveying that at some point, they can break over as well. We've  
4 calculated the 100-year flow to be 4.4 cubic feet per second, so this project  
5 would also reduce those flows because they are going to intercept them and  
6 continue them west on Dunlavy to the already constructed City-owned and City-  
7 maintained Storm Drain System there at the intersection of Davis and Dunlavy.  
8 So, any of those offsite flows, will also be taken away from any of the owners that  
9 are impacted from offsite flows on Grove. So, again, I guess I just want to  
10 reiterate that we've significantly reduced those flows and again I prefer to keep  
11 them in a sheet-flow fashion mainly because anything we put together in the way  
12 of a channel is a lot-to-lot-to-lot drainage and then to somebody else's lot that my  
13 client would have to go negotiate with to get it out to Grove. And, anytime we do  
14 something like that, then there's the issue of maintenance. There is no  
15 maintenance associated with this. We're reducing the flow significantly, and we  
16 just think it's the better solution.

17  
18 **COMMISSIONER VAN NATTA** – And what about the continuance of the utility  
19 easement that's coming in from the east?  
20

21 **APPLICANT BLAINE WOMER** – Well I noticed there are a couple power poles  
22 down there, but I think those must be on the property to the south because it  
23 didn't show up in our title report. So I don't know who, it obviously probably  
24 would be an Edison easement but it doesn't show up on our title report.  
25

26 **COMMISSIONER VAN NATTA** – Okay.  
27

28 **VICE CHAIR SIMS** – Could you address what the housing product is on these  
29 lots?  
30

31 **APPLICANT BLAINE WOMER** – As the engineer, I don't know yet. My client is  
32 in the audience here. He may be able to address it if he's made those kind of  
33 decisions yet. If you would like him to come up?  
34

35 **CHAIR LOWELL** – Yes, please.  
36

37 **APPLICANT WALID ABID** – My name is Walid Abid. I'm the owner of the  
38 Dunlavy project. We are planning on building, if you approve this, the seven lots.  
39 And the Variance of the seven lots are single-story units on all seven lots. There  
40 will not be any two-story units built.  
41

42 **CHAIR LOWELL** – Okay. Any other questions or comments?  
43

44 **COMMISSIONER BAKER** – I had one here. On the block wall to the south, how  
45 tall is that going to be?  
46

1 **SPEAKER** – I am not sure uh....

2

3 **COMMISSIONER BAKER** – No wall? Would there be one?

4

5 **CHAIR LOWELL** – No.

6

7 **COMMISSIONER BAKER** – Why not?

8

9 **COMMISSIONER BARNES** – Well.....

10

11 **COMMISSIONER VAN NATTA** – Not if you're going to have flow.

12

13 **COMMISSIONER BARNES** – Yeah, if I could address the drainage issue a little  
14 bit. I happen to live across the street from the Dunlavy area that has the major  
15 mud situation that has occurred in previous rainy seasons, and the issue is  
16 partially caused by the fact that there is a drainage structure on the upstream  
17 side of the wall. The water comes down against the wall. The structure is  
18 insufficient. The water breaks out of the structure because its been collected  
19 there, and then it goes to an area that's not designed at all to handle the water.  
20 So, the downside of putting a drainage ditch along the south property line, is that  
21 you collect all the water and you take it to the southwest corner of the site. Then,  
22 if we get a 1000-year storm like we had before, you've suddenly taken all of that  
23 drainage issue, which would be distributed equally amongst the six lots to the  
24 south. You've now put it all in the southeast corner, and that's a much greater  
25 problem than if you had one-sixth of a 1000-year storm at the rear of each lot.  
26 So there's a downside of improving that south line, and that's putting all of the  
27 potential failure in one small spot. So I would caution against that living across  
28 the street from a situation that's almost identical to this but about 100 times larger  
29 in scale, so there is some good science to what they are proposing.

30

31 **VICE CHAIR SIMS** – I would tend to agree. In my younger years, I designed a  
32 couple of tracts with rear-yard drainage and it was complicated. You'd have  
33 these conveyance and restrictions that were downstream for all the benefit but  
34 the upstream guys would have to do this, that, and the other thing. It just puts a  
35 lot of trust that each of the owners would maintain the drainage, the V-ditch or  
36 whatever it would be. And then wherever this thing pops out through private  
37 property, it creates quite a challenge. And this, what strikes me, is the reduction  
38 in the flow coming from the east that you're not getting from the street flow. It's  
39 going to be controlled and then you have half or more of the lots that it's tilted  
40 back forward. So you should, I haven't seen the Hydrology Study, but it would  
41 seem to me that there would be a significant reduction in what would be the  
42 undeveloped flow.

43

44 **CHAIR LOWELL** – Has a Hydrology Study been prepared for this yet? What  
45 was this tributary area beforehand? I mean is it tens of acres or are we talking  
46 like a couple acres?

1 **APPLICANT BLAINE WOMER** – Are you talking about the offsite tributary to  
2 the east?

3  
4 **CHAIR LOWELL** – I’m talking about all the water that could possibly flow to the  
5 southwest corner of this property. What would be tributary upstream from it  
6 offsite and onsite?  
7

8 **APPLICANT BLAINE WOMER** – It’s, again, I don’t know the acreages. But it  
9 goes from the northeast corner of our property, and it goes upstream all the way  
10 to the next major north/south street. You’ll have to help me out with that one.  
11

12 **COMMISSIONER BARNES** – Indian.  
13

14 **APPLICANT BLAINE WOMER** – Indian. And then it’s our property. That’s the  
15 entire tributary. That’s why we have, in the 100-year condition, 4.4 cfs to our  
16 northeast corner. And then the bulk of our flow, of course, is going north and  
17 having to be routed through our water quality mitigation basin. And then the  
18 smaller area is sheet flow to the south.  
19

20 **CHAIR LOWELL** – I believe you said it, but I don’t remember it. You said it was  
21 4.4 cfs in the existing condition. What was the flow after the fact for just the area  
22 from the slopes to the south property line in the developed condition?  
23

24 **APPLICANT BLAINE WOMER** – That I just don’t recall. I’m sorry. I don’t  
25 recall.  
26

27 **CHAIR LOWELL** – Thank you. Any other comments?  
28

29 **COMMISSIONER BARNES** – No.  
30

31 **COMMISSIONER VAN NATTA** – I was just going to say that I did have a  
32 concern. I think my concerns have been met as far as the drainage goes with  
33 half of it now draining to the front and the collection basin over there and  
34 everything. I think it will be an improvement.  
35

36 **VICE CHAIR SIMS** – I just wanted to, just as a Commissioner Comment, I think  
37 this is really a nice In-Fill project. I think it’s designed sensitive to the existing  
38 surroundings. I think it addresses the issues of the property line and structures  
39 along Davis, and I think it will be an enhanced situation for the property owners  
40 that south of this. They’ll get less drainage coming into the property. Then, you’ll  
41 have the full improvements along Dunlavy that finishes off the project.  
42

43 **CHAIR LOWELL** – I have a couple questions. On the Conditions of Approval,  
44 P15, it’s one of the last bullet points. It’s saying all lots designated for water  
45 quality basins shall be dedicated and maintained by an HOA. That HOA shall  
46 contract yadda, yadda, yadda. Basically, they are saying we’re establishing a

1 homeowner's association to maintain this basin. Are seven home capable of  
2 generating reasonable HOA revenues to maintain this basin? I'm part of an  
3 HOA. I pay \$70.00 a month, and I'm part of a 200 house HOA. We have a  
4 couple basins, and do we know what the expenses would be to maintain this  
5 basin and can seven homes feasibly share that? And, if not, should this go to a  
6 CFD instead of an HOA?

7  
8 **SENIOR PLANNER CHRIS ORMSBY** – Well I believe we would need a little  
9 input from the Applicant as well. As far as my experience, we have some very  
10 small tracks that do have HOA's that are successful. I can't say that there's one  
11 that is seven lots, but I am familiar with some that are 15 or 20 lots. So I think  
12 the Applicant, I don't know if they've weighed in on that before, but it would be  
13 good to get their input.

14  
15 **CHAIR LOWELL** – Does the Applicant have any insight to that?

16  
17 **APPLICANT BLAINE WOMER** – As far as the...no financials have been run for  
18 the cost of maintaining the basin. It's a very small basin because there are only  
19 seven lots tributary to it, and it's going to be landscaped with drought tolerant  
20 plants. And I don't think it's going to be heavy lifting by any stretch and the  
21 seven lots would certainly, at least in my mind, be able to handle that. But  
22 sometimes, I mean the better thing and I don't know that the City has this, but  
23 would be LMD or something like that that we could annex to. But, if that's not  
24 something that the City has available, then the HOA is the only option.

25  
26 **CHAIR LOWELL** – That's kind of what I was referring to. I was wondering if the  
27 financing of the monthly maintenance would be too much for seven lots to handle  
28 on their own. I mean these basins, once they are built, they don't last forever.  
29 They have to be rejuvenated every few years. The monthly maintenance of  
30 pulling weeds and mowing lawns, if there is grass on it, that's inconsequential.  
31 But the every other year maintenance where they have to dig up the bottom and  
32 reinstall it, that's kind of expensive. So, I was wondering, do you think seven lots  
33 can handle that?

34  
35 **APPLICANT BLAINE WOMER** – Well if it's an HOA, we'll have to make it  
36 handle it. But the.....

37  
38 **CHAIR LOWELL** – I just don't want to approve this and all of a sudden you have  
39 a \$250 a month HOA payment for seven homes. That would be ridiculous.

40  
41 **APPLICANT BLAINE WOMER** – Right. Yeah, and I don't foresee anything like  
42 that. But I would certainly be willing to work with Staff to see if there are some  
43 options other than the HOA. Like I said, like an LMD or something that...

44  
45 **CHAIR LOWELL** – Are there options? Is this something that we've looked into?

1 **ASSOCIATE ENGINEER VINCE GIRON** – Good evening, Vince Giron with  
2 Land Development. As far as annexing or making it part of an LMD, that's not a  
3 practice. We don't have a policy or any procedure on including it. Up to date,  
4 every tract that has had a water quality basin has been required to form an HOA  
5 and to enter into a Maintenance Agreement with the City thereby the City would  
6 be maintaining it. And, this particular tract, it's a little bit different in the language.  
7 It's smaller. It's, as you pointed out Chairman, it's unique. But, at this point, we  
8 don't have that in place for the City to include it into an LMD. It would be the  
9 HOA's responsibility to either maintain it through their HOA or to enter into an  
10 agreement with the City for the City to maintain it. The City would then ballot,  
11 which is related to the Special Districts Condition 12 that you received today,  
12 where they would ballot and they would ballot for a rate in accordance with the  
13 size of the basin. I don't have those rates. It's a Special District Division Table,  
14 but it would be assessed accordingly. You know, if I might add, one of the  
15 reasons why the HOA's are required is that there is no recourse for the City to  
16 assess all the individual lots should maintenance fail or should they fail to  
17 perform. An HOA is sort of a belt and suspender, if you will, so HOA laws are  
18 very different legally as opposed to the City placing liens on properties. That is  
19 not an option for the City when it comes to maintenance of the basin if we do not  
20 enter into an agreement.

21  
22 **CHAIR LOWELL** – Okay, thank you.

23  
24 **APPLICANT BLAINE WOMER** – It would seem for this size project that it would  
25 make more sense to establish the HOA for the funding mechanism and enter into  
26 the agreement with the City. Thank you.

27  
28 **CHAIR LOWELL** – Any other comments or questions? Would someone like to  
29 make a motion?

30  
31 **VICE CHAIR SIMS** – I'll make a motion.

32  
33 **CHAIR LOWELL** – Okay, I just started the voter so you can be the mover Mr.  
34 Sims.

35  
36 **VICE CHAIR SIMS** – Okay. Alright.

37  
38 **CHAIR LOWELL** – We have a motion by Mr. Sims.

39  
40 **VICE CHAIR SIMS** – Let me get to the right place. Let me get my glasses.

41  
42 **CHAIR LOWELL** – We have a second by Commissioner Van Natta. Let's  
43 please vote on our screens.

44  
45 **VICE CHAIR SIMS** – Alright, do we have to read the motion?  
46



1 **CHAIR LOWELL** – Ah, yes. I’m sorry, we do. Commissioner Van Natta needs  
2 to make the motion.

3  
4 **VICE CHAIR SIMS** – I’ll do it. I make a motion that the Planning Commission  
5 approve Resolution No. 2015-10 and Resolution 2015-11 (1) certifying that the  
6 proposed Variance P14-059 and Tentative Tract Map 36761 are exempt from the  
7 provisions of CEQA as a Class 32 Categorical Exemption CEQA Guidelines  
8 Section 15332 In-Fill Development, and (2) approve Variance P14-059 based on  
9 the findings contained in Planning Commission Resolution 2015-10, and (3)  
10 approve the Tentative Tract Map 36761 Planning No. PA14-0031 based on the  
11 findings contained in Planning Commission Resolution 2015-11 subject to the  
12 conditions of approval included as Exhibit A of the Resolution.

13  
14 **ASSISTANT CITY ATTORNEY PAUL EARLY** – As amended.

15  
16 **VICE CHAIR SIMS** – As amended.

17  
18 **CHAIR LOWELL** – As amended. So we have a motion by Commissioner Sims  
19 and we have a second by Commissioner Van Natta. Please vote on your  
20 screens.

21  
22 **COMMISSIONER VAN NATTA** – You don’t have to vote Jeff because yours is  
23 already automatically yes.

24  
25 **CHAIR LOWELL** – But he can option out of it if he didn’t want to.

26  
27 **VICE CHAIR SIMS** – I could change my mind all of a sudden.

28  
29 **COMMISSIONER VAN NATTA** – You could still abstain.

30  
31 **CHAIR LOWELL** – Okay, with that said, we have all the votes in. I’m closing the  
32 voting in three, two, one. The motion passes, 6 yay and 1 nay.

33  
34  
35 **Motion carries 6 – 1**

36  
37 **CHAIR LOWELL** – Do we have a Staff wrap-up on this item?

38  
39 **SENIOR PLANNER CHRIS ORMSBY**– Yes. This action will be final unless an  
40 appeal is filed within 15 consecutive calendar days.

- 41  
42  
43 2. Case: PA15-0008 (Conditional Use Permit)  
44  
45 Applicant: Verizon Wireless  
46

1 Owner: Strong Tower Church of God (Pastor John Ooten)  
2  
3 Representative: Core Development Services (Henry Castro)  
4  
5 Location: 24771 Iris Avenue  
6  
7 Associate Planner: Claudia Manrique  
8 Council District: 4  
9  
10 Proposal: Conditional Use Permit (PA15-0008) for a new  
11 wireless communications facility with a 55 foot  
12 monopalm tree.  
13  
14

15 **STAFF RECOMMENDATION:**

16  
17 Recommend the Planning Commission **APPROVE** Resolution No. 2015-20.

- 18  
19 1. **CERTIFY** that the proposed Verizon wireless telecommunications facility is  
20 exempt from the provisions of the California Environmental Quality Act  
21 (CEQA), as a Class 3 Categorical Exemption, CEQA Guidelines, Section  
22 15303 for New Construction or Conversion of Small Structures; and  
23  
24 2. **APPROVE** Conditional Use Permit PA15-0008 based on the findings  
25 contained in Planning Commission Resolution 2015-20, subject to the  
26 conditions of approval included as Exhibit A of the Resolution.  
27

28 **CHAIR LOWELL** – Thank you. That moves on to Case No. 2, which is PA15-  
29 0008, a Conditional Use Permit for a Verizon Wireless cell tower. If I’m not  
30 mistaking, we do have a Commissioner that needs to recuse themselves.  
31

32 **COMMISSIONER KORZEC** – Yes, I’d like to recuse myself. March Field Air  
33 Museum has a cellphone tower there. I am the administrator of the lease with  
34 Verizon. We’re doing some negotiations right now and I would naturally be  
35 biased towards the project, so I think we should seat someone that’s a little more  
36 neutral.  
37

38 **CHAIR LOWELL** – Thank you. In her place, we are going to be having alternate  
39 Commissioner Gonzalez. If you give us a moment, we’re going to shuffle some  
40 chairs around. Give him a chance to login. So, the second case is PA15-008,  
41 it’s a Conditional Use Permit. The Applicant is Verizon Wireless. The owner is  
42 the Strong Tower Church of God. The representative is our Core Development  
43 Services, and the Associate Planner again is Claudia Manrique. Do we have a  
44 Staff Report on this item?  
45

1 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Good evening. Verizon  
2 Wireless is proposing a wireless communications...

3  
4 **CHAIR LOWELL** – Commissioner Korzec, could you step outside the Council  
5 Chambers please? Thank you. Sorry about that. Thank you very much. Please  
6 continue.  
7

8 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Again, Verizon Wireless is  
9 proposing a wireless communication facility consisting of a 55 foot monopalm.  
10 The facility is proposed to be located at 24771 Iris Avenue, which is the Strong  
11 Tower Church. The design of the monopalm is intended to mask its appearance  
12 as a tower in attempt to blend with the matching existing palm trees that are  
13 existing on the site. All equipment will be painted to help blend in with the  
14 monopalm. And, in addition, the tower will contain a fake palm frond skirt and  
15 this is going to help hide the attached antenna that's further down on the  
16 monopalm from view. The Verizon new modular-controlled equipment designs  
17 do not require the equipment shelter and allows for a smaller footprint than they  
18 have in the past. The equipment will be enclosed and surrounded by a block wall  
19 within a 900 foot lease area. The proposed 50 foot monopalm will fill in the gap  
20 in cell coverage capacity. The design of the monopalm again is to blend in with  
21 the existing tree species on site, and Verizon will provide two additional 24-inch-  
22 box palm trees. Here we have an aerial of the project site. Here's a map of the  
23 existing zoning. The site is R5 surrounded by R5 to the west and the south.  
24 North there is some R30, as well as commercial. On the northeast corner of Iris  
25 and Perris, there is a Home Depot. To the northwest, is the March Middle School  
26 and Rainbow Ridge Elementary School. The location of the palm on the site is  
27 approximately 173 feet from the nearest house to the west and 227 feet from the  
28 backyard fence of the track homes to the east. Access to the site will be off Iris  
29 Avenue through the existing church parking lot to the lease area. This project is  
30 exempt under CEQA as a Class 3, Section 15303, New Construction. The Site  
31 Plan for the project. Here you have the monopalm structure itself, and again it's  
32 showing the detail of the skirt. This one shows the new palms that will be planted  
33 along with the monopalm. Here are some site photos generated to show how it's  
34 going to look out in the real world. This site is from Emma Lane, which is located  
35 on the west side of the property. This is the current coverage map. There is an  
36 existing pole off Heacock. This shows the coverage with the new monopalm.  
37 Public notification was sent to property owners within 300 feet of the project, as  
38 well as published in the Press Enterprise on July 10<sup>th</sup>. As of this evening, I  
39 received two phone calls from residents both to the west on Emma who had  
40 some issues with the design and questions of why they were allowed to have a  
41 cell tower at this site. In our Code, churches even within residential  
42 neighborhoods, are allowed to have the wireless facilities as long as they meet  
43 the setback which is the height of the tower, which would be 55 feet. And, again,  
44 the closest resident to this tower is 173 feet. Staff recommends the certification  
45 that this project is exempt under CEQA and approve Conditional Use Permit  
46 PA15-0008 based on the findings in Resolution 2015-20. Thank you.

1 **CHAIR LOWELL** – Thank you. Do any of our Commissioners have questions  
2 for Staff? Commissioner Ramirez.

3  
4 **COMMISSIONER RAMIREZ** – Did Staff work with the Applicant, as well as the  
5 property owner to select the specific location for this proposed tower? The  
6 reason why I’m asking is because it looks like the owner owns that entire  
7 property and it’s obviously a church. So, in the event that they decide to develop  
8 the entire property, now what happens to the tower? Is it moved? Who pays for  
9 the cost of moving it or relocating it?

10  
11 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – When the project came in,  
12 the site was selected. The location of the tower was actually a little further south  
13 than where it is tonight. We had them move it closer to the building one to help  
14 bring the equipment and the block wall, as well as it was closer to the existing  
15 palm trees. There is on palm tree on site that is actually taller than the proposed  
16 tower, and then it wouldn’t impact the southern half of this project at all.

17  
18 **SENIOR PLANNER CHRIS ORMSBY**– Just a follow on to that with regard to  
19 generally those kinds of locations. I mean, I think it would ultimately it could stay  
20 at the location its at if the rest of the site were developed. I mean, we have other  
21 sites where they are centralized to a complex of sorts. Based on where it’s  
22 located, it actually is in a location where it would lend itself to be out of the way of  
23 further expansion on the site. So, we feel, it provides a flexibility to remain there  
24 long-term.

25  
26 **CHAIR LOWELL** – Commissioner Van Natta.

27  
28 **COMMISSIONER VAN NATTA** – I was looking at the pictures and trying to find  
29 a picture of the building itself, and I’m only seeing parts of it. Am I missing a  
30 picture of what the church building is that this is sitting behind or next to?

31  
32 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Unfortunately, the photo  
33 simulations do not have a picture of the whole front of the church, which is an  
34 existing single-family house that was converted for church use.

35  
36 **COMMISSIONER VAN NATTA** – Okay, and this is and has been used as a  
37 church for some time? It’s not just recently been converted to church use?

38  
39 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Right, it has been an active  
40 church since at least 1999.

41  
42 **COMMISSIONER VAN NATTA** – Okay.

43  
44 **CHAIR LOWELL** – Okay, any other questions for Staff or can we call up the  
45 Applicant? No one is raising their hand, so I say can the Applicant come up  
46 please?

1 **APPLICANT HENRY CASTRO** – Good evening Chair and Members of the  
2 Commission, my name is Henry Castro. I'm here on behalf of Verizon Wireless.  
3 We've been working with Staff to come to a design that both Staff is okay with  
4 and the property owner. To kind of add to what Claudia was saying, the church  
5 currently does have plans for future development and this actually is in a place  
6 that allows for that to occur. Any other questions you have, I would be happy to  
7 answer.

8  
9 **CHAIR LOWELL** – If this site wasn't available, what would be the next best  
10 location?

11  
12 **APPLICANT HENRY CASTRO** – We looked to the east, I want to say along  
13 Perris where the Home Depot is. The search ring we're working with is right in  
14 the middle of residential, so we did go east a little bit. We looked at six other  
15 properties, including the Home Depot. I believe there was a Walgreens, a Water  
16 District there and a couple others that there were either issues with the lease,  
17 limitations to the property itself (not enough space/not being able to meet  
18 setbacks) so that's how we came to this actual property.

19  
20 **CHAIR LOWELL** – Gotcha. Any other questions for the Applicant? Okay, thank  
21 you.

22  
23 **APPLICANT HENRY CASTRO** – Thank you.

24  
25 **CHAIR LOWELL** – With that said, I think I'd like to open up the Public  
26 Comments portion. We have a couple Speaker Slips. We have Alfredo  
27 Gonzalez.

28  
29 **SPEAKER ALFREDO GONZALEZ** – I'm Alfredo Gonzalez, and I'm on 16110  
30 Emma Lane. I'm directly south of this property where this project is being  
31 proposed, and I completely disagree on putting it in there. One of them is this is  
32 a residential area, and there's a lot of properties north of that area that can be  
33 developed. And I think also my son actually maintains part of this project and  
34 actually every time they do any work of them they always do it at night. That's  
35 when they bring the sites down to go ahead and do it. And then another thing is  
36 the noise. You know, they are constantly making noise. And also I can't believe  
37 that it's being proposed in a residential area. You know, actually what is the  
38 residue of the rays being emitted by these things and being around this area and  
39 I am directly next door to it, south of it.

40  
41 **CHAIR LOWELL** – Do you share a property line?

42  
43 **SPEAKER ALFREDO GONZALEZ** – Yes, I do.

44  
45 **CHAIR LOWELL** – Okay, thank you.

1 **SPEAKER ALFREDO GONZALEZ** – Thank you.

2  
3 **CHAIR LOWELL** – The next speaker is Rhonda Allen.

4  
5 **SPEAKER RHONDA ALLEN** – Rhonda Allen, 16085 Emma Lane. I'm to the  
6 west, back west of the property. This is my view of it, and it will be right here  
7 along with the other gorgeous palm trees he has as you can see. And I look at  
8 the Big Bear Mountain and I don't like that being obstructed. According to  
9 antennasearch.com, there are like 72 cell towers in a three mile radius of my  
10 home. There is one right at the Extra Storage, which is 0.07 miles from me.  
11 Why can't they go share that tower? You know, I hear that they do share on  
12 occasion. I heard that there is a buzzing noise or a humming that comes from  
13 these towers, and my bedroom window faces that and everything echoes across  
14 the field there. I hear Home Depot's phone. I hear the beeping of the, you know,  
15 forklifts and everything in the wee hours of the morning, so that is one concern.  
16 And the maintenance like Al said, you know, in the wee hours of the morning. I  
17 don't think we need to be disturbed like that. It's totally an eyesore. I think it will  
18 lower our property value, which that's not very good, and possible health risks.  
19 I'm a breast cancer survivor, so that kind of freaks me out. I know there are pros  
20 and cons to everything, but there was with cigarettes also and now the Surgeon  
21 General says, right? So that's really all I have to say, so just please don't allow  
22 it. Don't allow it. Thank you.

23  
24 **CHAIR LOWELL** – Thank you very much. Any Commissioner questions or  
25 comments?

26  
27 **COMMISSIONER VAN NATTA** – I would like a response from someone about  
28 whether or not there is actually a buzzing sound that comes from the tower when  
29 it's in use.

30  
31 **SENIOR PLANNER CHRIS ORMSBY**– Well I think we will want to call in the  
32 Applicant as well, but I can tell you from my experience I actually wrote the  
33 telecommunications section of the Municipal Code. So I'm very familiar with the  
34 research in that area. I'm not aware that these towers are supposed to generate  
35 any sort of noise. If there was any noise, I assume it would be from the  
36 equipment as opposed to the array. But we can inquire as to the Applicant. I  
37 have never had that come up in many, many years of dealing with these.

38  
39 **COMMISSIONER VAN NATTA** – Then the other question, which would also be  
40 for the Applicant would be to respond to the concern about any health risks from  
41 the towers.

42  
43 **APPLICANT HENRY CASTRO** – To address the question regarding the noise, I  
44 think some of the concerns may have been associated with wireless facilities that  
45 had equipment enclosures that require AC units to be running. With this new  
46 design, it's just an equipment cabinet. There is a standby generator, which only

1 runs in the event of any emergency, so there is no known noise associated with  
2 it. As far as the maintenance, a tech will be there about once every two weeks.  
3 As far as the hours the tech will be out, we can work with Staff to limit those  
4 hours so that they are not after a certain time and not also not too early in the  
5 morning. For the safety concerns, we get that one a lot, Verizon and all these  
6 cell sites are regulated by the FCC. They operate well below the established  
7 guidelines that they are required to. In addition to that, the way these antennas  
8 work is they project toward the horizon, so normally the homes immediately  
9 surrounding them they have no impact on at all.

10  
11 **COMMISSIONER VAN NATTA** – Would it be reasonable for this location  
12 because it is so close to housing to not have maintenance done after 10:00 PM  
13 or prior to 6:00 AM?

14  
15 **APPLICANT HENRY CASTRO** – I believe that is something that could be  
16 conditioned that Verizon would be fine with.

17  
18 **CHAIR LOWELL** – We have a couple more questions. We have Commissioner  
19 Barnes please.

20  
21 **COMMISSIONER BARNES** – Question on the generator. That has a noise  
22 limitation applied to it that it has to meet I'm assuming?

23  
24 **APPLICANT HENRY CASTRO** – Typically the generators that are proposed, we  
25 work with Staff so that they do meet the requirements of the City's Noise  
26 Ordinance, and again they only run in the event of an emergency.

27  
28 **COMMISSIONER BARNES** – Correct, I understand.

29  
30 **ASSISTANT CITY ATTORNEY PAUL EARLY** – There are general noise  
31 limitations for equipment such as generators in the Municipal Code that govern  
32 citywide, not just as a condition on the project.

33  
34 **COMMISSIONER BARNES** – Okay. Is there anything that we make specific to  
35 this type of an application over and above the general Citywide Noise  
36 Ordinance?

37  
38 **SENIOR PLANNER CHRIS ORMSBY**– I think the Noise Ordinance should  
39 cover the issue based on my experience, and I haven't really heard of it being an  
40 issue at all so.

41  
42 **COMMISSIONER BARNES** – I understand it's only in emergencies. I was just  
43 curious. Thank you.

44  
45 **CHAIR LOWELL** – Commissioner Gonzalez.  
46

1 **COMMISSIONER GONZALEZ** – Hello Mr. Castro. What are the benefits to  
2 Moreno Valley customers that have Verizon Wireless for having one more cell  
3 tower in this area? If you can explain what this would do.

4  
5 **APPLICANT HENRY CASTRO** – Okay. Well first thing to go back to another  
6 concern is why are we in residential? Again, this is where we need the coverage.  
7 With the amount of phones and other devices that are using a signal from these  
8 towers, we're able to actually extend our coverage and increase the reliability of  
9 it, especially during peak hours. So that is definitely an added coverage to the  
10 surrounding homes and especially if there is a school nearby, things like that,  
11 communication reliability. These rings are established based on studies where  
12 it's determined there is a lack in coverage where experiencing dropped calls or  
13 experiencing other issues with data transfer, so that is the main added benefit.

14  
15 **CHAIR LOWELL** – Thank you. Would 600 feet to the east make that much of a  
16 difference in coverage?

17  
18 **APPLICANT HENRY CASTRO** – I mean, I'm not an ARF engineer. I know the  
19 closest, from what I looked up, we're about 180 feet to the property line of the  
20 adjacent home. Looking at the Propagation Map, we do have to be within a  
21 certain distance of the existing wireless facility. Now this search ring, we're able  
22 to extend to try to propose it at the Home Depot in that intersection and that  
23 would've been okay. But, as I mentioned, we weren't able to come up with  
24 anything feasible in that area.

25  
26 **CHAIR LOWELL** – What were the limitations? Why couldn't you come up with  
27 something?

28  
29 **APPLICANT HENRY CASTRO** – Different properties had different issues  
30 whether it came to leasing, the landlord just not having interest. We do have to  
31 have a landlord that's interested and that is willing to allow the cell tower. Certain  
32 properties that have parking requirements were not able to locate in the parking  
33 lot. There were parking or other setback limitations that we're stuck with due to  
34 the fact that we have to meet the setback requirements and look at the existing  
35 development of each property.

36  
37 **CHAIR LOWELL** – Were there any limitations on the Home Depot site? Did you  
38 actually discuss this with the Home Depot?

39  
40 **APPLICANT HENRY CASTRO** – It would have been feasible there, but Home  
41 Depot did not have any interest. So, without the interest, we cannot move  
42 forward.

43  
44 **CHAIR LOWELL** – Do you know if Home Depot owns that property or if they  
45 lease it?

46



1 **APPLICANT HENRY CASTRO** – I believe they own the property. I would have  
2 to confirm that though. I'm not involved with the leasing end as much.

3  
4 **CHAIR LOWELL** – It's kind of hard to see it, but on the Zoning Map it looks like  
5 there is a small little parcel in the Home Depot parking lot. My personal thought  
6 is that this is....I like cell towers because everybody uses cellphones, but I think  
7 the location is questionable. If you had to fall back on a second location, is it  
8 feasible? Or is this pretty much it or nothing?

9  
10 **APPLICANT HENRY CASTRO** – From what we've experienced in looking at  
11 this area, this was our only option. Staff also had concerns with that being that  
12 it's around residential, but we were able to rule out every other property that was  
13 within the proximity that we actually need it. I believe there is another church  
14 along Iris. That would've possibly given us another option. However, we have  
15 the same issue. It is surrounded by single-family homes.

16  
17 **CHAIR LOWELL** – Gotcha, thank you. Anybody else? Commissioner  
18 Gonzalez, oh nope. Anybody else want to speak? Does anybody else have  
19 questions?

20  
21 **COMMISSIONER BARNES** – Yeah.

22  
23 **CHAIR LOWELL** – Go ahead Commissioner Barnes.

24  
25 **COMMISSIONER BARNES** – Well I guess my question is, is this cell tower  
26 more impactful than the church on Sunday mornings or the school across the  
27 street every morning and every afternoon with the traffic and the noise?

28  
29 **CHAIR LOWELL** – I'm trying to determine the size of the congregation of this  
30 church because it is a converted residential house. I don't envision we're going  
31 to have more than a handful of people attending this church, and if you do, we're  
32 running into a fire occupancy issue. So is anybody here from the church?  
33 Nobody can attest as to how big the congregation is?

34  
35 **COMMISSIONER VAN NATTA** – That was the reason for the question as to  
36 how long the church had been there as to whether it was a permanent fixture,  
37 and it seems as though its been there for a long time.

38  
39 **CHAIR LOWELL** – Well now that we've opened up that can of worms, the  
40 person in the audience said that there has been a lot of cars showing up on the  
41 weekends. Do you know what the occupancy rating of the building is? Does the  
42 fire marshall has any input on that? It's just out of my curiosity. It's totally off  
43 topic.

44  
45 **FIRE MARSHALL ADRIA REINERTSON** – No. I was unaware of the facility.  
46 We could certainly look at it.

1 **CHAIR LOWELL** – I appreciate that. Thank you.

2  
3 **FIRE MARSHALL ADRIA REINERTSON** – Yeah, we can look into it.

4  
5 **CHAIR LOWELL** – Any other questions or comments? The Public Comment  
6 portion is already over, sorry. With that said, would anybody like to make a  
7 motion?

8  
9 **COMMISSIONER VAN NATTA** – Well I did just want to comment that I know  
10 this happens a lot on churches and that churches rely quite a bit on the type of  
11 additional income they can get from these kinds of facilities to keep themselves  
12 open and going. Actually I think if we were to include that restriction regarding  
13 the maintenance not being performed, except between 6:00 AM and 10:00 PM I  
14 would be more comfortable in going forward with this one.

15  
16 **CHAIR LOWELL** – I personally think there are other alternatives. If we can get  
17 this thing moved forward to Perris Boulevard, I think it will make a lot of people  
18 happier.

19  
20 **COMMISSIONER VAN NATTA** – You mean like maybe in the City yard?

21  
22 **CHAIR LOWELL** – Sure, or I mean there's a Home Depot. There are other  
23 commercial sites. I mean that entire intersection is nothing but commercial.  
24 There are alternatives. If we can shoehorn a cell tower in the middle of this  
25 residential church lot, I'm sure we could shoehorn it in another commercial lot  
26 that's more applicable.

27  
28 **COMMISSIONER BARNES** – Only 900 square feet. I don't really call that  
29 shoehorning.

30  
31 **CHAIR LOWELL** – Bigger than my apartment was. With that said, are there any  
32 other Commissioner Comments or Discussion before I move to motion?

33  
34 **COMMISSIONER VAN NATTA** – I would like to ask a question regarding the  
35 wording on putting that restriction into motion. Would that go in Item No. 2 and  
36 would it be sufficient to say subject to the restriction that maintenance be  
37 performed only between 6:00 AM and 10:00 PM except in an emergency?

38  
39 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Yes. You can phrase it that  
40 way and then it'll be incumbent on planning and coming up with the actual  
41 language that's consistent with what the Commission adopts.

42  
43 **COMMISSIONER VAN NATTA** – And that would go at the end of paragraph 2?

44  
45 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Correct.

46

1 **COMMISSIONER VAN NATTA** – Okay then I would like to make a motion.

2  
3 **CHAIR LOWELL** – Click the button.

4  
5 **COMMISSIONER VAN NATTA** – I clicked the button. That makes it me. Okay,  
6 I move that we approve Resolution No. 2015-20 and certify that the proposed  
7 Verizon Wireless telecommunications facility is exempt from the provisions of the  
8 California Environmental Quality Act (CEQA) as a Class 3 Categorical Exemption  
9 CEQA Guidelines Section 15303 for New Construction or Conversion of Small  
10 Structures and approve Conditional Use Permit PA15-0008 based on the findings  
11 contained in Planning Commission Resolution 2015-20 subject to the Conditions  
12 of Approval included as Exhibit A of the Resolution and subject to the restriction  
13 that maintenance be performed only between 6:00 AM and 10:00 PM except in  
14 an emergency.

15  
16 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta. Do we have  
17 a second? We have a second by Commissioner Barnes. Please vote. Okay,  
18 anybody else left to vote? Nope. Okay, we are done voting. Again, the motion  
19 passes 6-1. Do we have a Staff wrap-up on the item?

20  
21  
22 **Motion carries 6 – 1**

23  
24 **SENIOR PLANNER CHRIS ORMSBY**– The action is final unless an appeal is  
25 filed within 15 consecutive calendar days.

26  
27 **CHAIR LOWELL** – Thank you very much.

28  
29 **SENIOR PLANNER CHRIS ORMSBY**– Thank you.

30  
31  
32 3. Case: PA15-0010 (Tentative Tract Map No. 36882)  
33  
34 Applicant: FHII, LLC  
35  
36 Owner: Wheeler Lane Investors  
37  
38 Representative: Darren Asay, Frontier Communications  
39  
40 Location: South side of Brodiaea Avenue, approximately 600  
41 feet west of Moreno Beach Drive  
42  
43 Associate Planner: Chris Ormsby, AICP  
44  
45 Council District: 3  
46

1 Proposal: TENTATIVE TRACT MAP 36882 TO SUBDIVIDE 9.4  
 2 GROSS ACRES INTO 40 SINGLE-FAMILY  
 3 RESIDENTIAL LOTS  
 4  
 5

6 **STAFF RECOMMENDATION:**

7  
 8 Staff recommends that the Planning Commission **APPROVE** Resolution No.  
 9 2015-19, and thereby:

- 10  
 11 1. **ADOPT** a Mitigated Negative Declaration and Mitigation Monitoring and  
 12 Reporting Program for PA15-0010 (Tentative Tract Map 36882), as included  
 13 in Exhibits A and B; and  
 14  
 15 3. **APPROVE** PA15-0010 (Tentative Tract Map 36882), subject to the attached  
 16 Conditions of Approval included as Exhibit C.  
 17

18 **CHAIR LOWELL** – Let’s move this on to Agenda Item No. 3, which is PA15-  
 19 0010 Tentative Tract Map No. 36882. The Applicant is FHII, LLC Wheeler Lane  
 20 Investors. The Associate Planner is Mr. Chris Ormsby. And, with that said, we  
 21 do have another conflict of interest I believe.  
 22

23 **COMMISSIONER BARNES** – Yes. My employer and the Applicant have a  
 24 professional relationship, and that requires that I recuse myself.  
 25

26 **CHAIR LOWELL** – Okay, with that said, alternate Commissioner Gonzalez is  
 27 going to take your seat and Commissioner Korzec can return. I think we have  
 28 another Speaker Slip. We see it. We’ll get it from you. Okay, Mr. Ormsby  
 29 please.  
 30

31 **SENIOR PLANNER CHRIS ORMSBY**– Chair Lowell and Members of the  
 32 Planning Commission, the proposed Tentative Tract is a 40 lot single-family  
 33 subdivision on 9.4 acres located west of Moreno Beach Drive on the Southside of  
 34 Brodiaea Avenue. The site is roughly 600 feet westerly of Moreno Beach Drive  
 35 immediately adjacent to the recently-constructed Renaissance Village Assisted  
 36 Living Project. The project is, of course, located right at the southwest corner of  
 37 Moreno Beach and Brodiaea, although it’s not reflected on the aerial because it  
 38 was recently constructed. There are existing residential homes to the immediate  
 39 west and south of the proposed tract. The proposed zoning is R5 allowing for a  
 40 maximum of five dwelling units per acre. It’s consistent also with the tract to the  
 41 west and south. The proposed Tentative Tract is consistent with all the  
 42 applicable development standards. The proposed density is 4.3 dwelling units  
 43 per acre. The minimum lot size, based on the zoning, is a minimum of 7200  
 44 square feet. All of the lots are at least 7200 square feet or larger. The project  
 45 will complete a key segment of Brodiaea Avenue providing street improvements  
 46 consistent with City requirements, which will allow for improved vehicular and

Minutes Acceptance: Minutes of Jul 23, 2015 7:00 PM (APPROVAL OF MINUTES)

1 pedestrian access on Brodiaea Avenue. The project will also complete the  
2 balance of street improvements on Tradewinds Place and the extension of Sand  
3 Dollar Way to the east of the tracts, so Tradewinds is immediately on the west  
4 edge of the tract. Special attention was also given to designing the bioretention  
5 basin to address the site hydrology and, at the same time, provide an  
6 aesthetically pleasing basin. This is just a land division. There is no requirement  
7 for review of any specific housing product at this time. That would be addressed  
8 according to the City's Development Review through a model home complex,  
9 which is an administrative process. The Applicant has assured Staff that the  
10 project can readily fit on any of the proposed lots. An Initial Study was prepared  
11 for the project to assess potential impacts of the environment. Based on the  
12 Initial Study, Staff determined that the project will not have a significant impact on  
13 the environment. However, mitigation measures have been included to ensure  
14 compliance with regional policies and regulations. Therefore, a Mitigated  
15 Negative Declaration is recommended. Just a couple of notes on the Conditions  
16 of Approval: You have on the dais a memorandum from Special Districts with  
17 today's date. It's an update to the language of one of their conditions. It's on  
18 yellow paper. It's SD8. The purpose of this change is to include a reference to  
19 the National Pollution Discharge Elimination System or NPDES. So it's basically  
20 just a change to their standard condition. It doesn't seem to have any material  
21 impact on the project. It has been provided to the Applicant as well. The  
22 Applicant did also have a request of Planning Staff to modify one of Planning's  
23 conditions and that would be P17, which is a correction which Planning would  
24 like to make, and that language pertains to basically including an easement. It's  
25 referring to the HOA in regards to an easement. So we would be deleting the  
26 words "included as an easement" and instead replace it with "shall be conveyed."  
27 And the Applicant, I think, is going to touch base on that as well so we can make  
28 sure that language is correct. But Staff concurs with that change. And so, then  
29 Staff recommends that the Planning Commission approve Resolution No. 2015-  
30 19 adopting a Mitigated Negative Declaration, a Mitigation Monitoring and  
31 Reporting Program for PA15-0010, which is Tentative Tract 26882 and to  
32 approve the project subject to the Conditions of Approval. So, with that, I'll open  
33 it up to questions of Staff.

34  
35 **CHAIR LOWELL** – Thank you. Anybody have any questions of Staff? Okay,  
36 then I guess I'd like to bring up the Applicant.

37  
38 **APPLICANT JD ROWEBERRY** – My name is JD Roweberry for the Applicant  
39 Frontier Communities. We do request, as Staff mentioned, that in Condition P17  
40 we make the change so that the Homeowners Association has actually conveyed  
41 the property that it's required to maintain. That's how we've planned to have the  
42 CC and R's read and that's how the map has been set forth. Other than that,  
43 we're excited to be in Moreno Valley and building new homes in the community.

44  
45 **CHAIR LOWELL** – Thank you very much. Anybody have any questions for the  
46 Applicant? No hands are going up. Thank you very much. With that, I'd like to

1 open up the Public Comments portion. I know a gentleman issued a Public  
2 Speaker Slip?

3  
4 **GRACE ESPINO-SALCEDO** – I do have one Speaker and that is Jeri Roberts.

5  
6 **CHAIR LOWELL** – Thank you. Jeri Roberts please.

7  
8 **SPEAKER JERI ROBERTS** – I'm Jeri Roberts. I was dealing with this company  
9 a few months ago on a project on Cottonwood, and it was a horrible experience.  
10 I've never been treated so bad in my entire life by this company. It put street  
11 against street. They brought in a public relations person who went to several  
12 streets and lied about what we, the people on our street, were requesting. And it  
13 made a war between us until we had a meeting and all got together. All seven  
14 streets in our area that are altogether because we got together because of the  
15 lies they were telling you guys, and I don't think we need this company anymore.  
16 They already have a project. It's not finished and it probably won't be. I've got  
17 six pages of complaints, law cases, against the owner of this company. I'll be  
18 happy to bring those in anytime you'd like me to, and that's only from San  
19 Bernardino County. I could not get Riverside because it cost too much per line  
20 item to get them. I couldn't get Orange County because they cost that much too.  
21 I could get San Bernardino County, and it was for free. Your new attorney could  
22 look that up for you also if you guys would like to look at that information. It is  
23 really relevant, I feel, to our City and what they've done in the past in other cities.  
24 So I would like to say please reconsider this or take this under reconsideration.  
25 Don't vote yes on this tonight. Really do some studying on it and this  
26 corporation. And I know that some of you here have dealt with them before. So  
27 have I, and it's not been easy. So I am very, very afraid what will happen to the  
28 people around that area where they are going to do their project. What they  
29 were doing to us was horrible.

30  
31 **CHAIR LOWELL** – Thank you very much.

32  
33 **SPEAKER JERI ROBERTS** – Thank you.

34  
35 **CHAIR LOWELL** – Do we have anymore Speaker Slips, Grace? Thank you  
36 very much. The Public Comments portion of this hearing is now closed. Moving  
37 onto Commissioner Discussion. Does anybody have any questions or  
38 comments?

39  
40 **COMMISSIONER VAN NATTA** – I was just going to say it looks like the natural  
41 extension of the tract that's already there continuing streets that have already  
42 started finishing off Brodiaea. It looks like it would be a good project for the area.

43  
44 **CHAIR LOWELL** – I actually had the same concerns that, I forgot your name. It  
45 wasn't on the screen but that the citizen had about Frontier Homes and their  
46 history. I actually spoke pretty in depth with Mr. Sandzimier, and he said that

1 Frontier Homes this time around I guess they've had new direction and they've  
2 been absolutely wonderful to work with. So, I'm taking you guys on your word  
3 that there's not going to be too many issues. I know last time we met, it was a  
4 different story. But this project looks like a natural in-fill. I like it, and I wish you  
5 guys the best. With that said, Brodiaea, we have a few homes that are going to  
6 be facing north and fronting onto Brodiaea. What is the speed limit of that street?

7  
8 **SENIOR ENGINEER MICHAEL LLOYD** – I would have to investigate because I  
9 don't have the data in front of me. I would speculate typically for a collector like  
10 this it is usually set at 35, but I do not know that for fact only because the  
11 roadway hasn't been completed as a continuous roadway from Oliver to Moreno  
12 Beach. But, speculation, it's either 35 or 25.

13  
14 **CHAIR LOWELL** – Okay, and with that said, I appreciate that because that was  
15 one of my concerns. I wanted to be sure it wasn't a super fast street because  
16 houses are going to be fronting along it. And I do know that one of my fellow  
17 Commissioners mentioned that this Renaissance Village is having some issues  
18 with people trying to make a right turn on Moreno Beach. Is there going to be  
19 any alternative access from Renaissance Village into that site? I didn't see it, but  
20 I'm trying to figure out how this Renaissance Village could get a second point of  
21 access to help the elderly drivers that are not quite capable of driving 100%  
22 perfectly a safe egress out of the property.

23  
24 **SENIOR ENGINEER MICHAEL LLOYD** – When the project was approved, it  
25 was approved where there is access to what I would call the Stater Brother's  
26 Shopping Center. So there are two points of access shared between  
27 Renaissance Village and the shopping center, so that either residents or visitors  
28 could take access to the traffic signal that provides access to the shopping  
29 center.

30  
31 **COMMISSIONER VAN NATTA** – Those gates are never opened.

32  
33 **CHAIR LOWELL** – That's what I was going to mention. I know this is not on  
34 topic with this project, but it's close so it's kind of an issue.

35  
36 **SENIOR ENGINEER MICHAEL LLOYD** – Staff has met with representatives of  
37 Renaissance Village, and we confirmed that the gates can be opened. And there  
38 is a process so that, if a visitor goes there, they can request exit as well as  
39 residents. So we've been assured at least at the Staff level with Renaissance  
40 Village. We've gone out and inspected. They've shown us that the gates are  
41 operable and can be opened through a process that they've got internal for either  
42 visitors or residents to take access to the shopping center.

43  
44 **CHAIR LOWELL** – Is there any mechanism where we could ensure or ask Staff  
45 to go out and visit to make sure that is instead of a secondary exit a more  
46 primary exit? It just seems to be for some of the elderly drivers that don't have

1 the quick reflexes, or they have diminished eyesight, or they are good drivers but  
2 they just don't make the best judgment call that having a stoplight allowing them  
3 to turn left or right is safer.

4  
5 **SENIOR ENGINEER MICHAEL LLOYD** – I can commit to you that we'll  
6 continue to monitor the situation.

7  
8 **CHAIR LOWELL** – That's all I can ask.

9  
10 **SENIOR ENGINEER MICHAEL LLOYD** – And, if there are issues, we have an  
11 established relationship with Staff there and we'll continue to have a dialogue to  
12 make sure that that access is available.

13  
14 **CHAIR LOWELL** – I appreciate it Michael. Back onto topic, we have  
15 Commissioner Gonzalez.

16  
17 **COMMISSIONER GONZALEZ** – This is directed back to Staff. During the  
18 design phase, was there any consideration given to promote walkability, access  
19 from the Stater Brothers site to the proposed development instead of someone  
20 getting in their car and going around? Was that ever considered?

21  
22 **SENIOR PLANNER CHRIS ORMSBY**– That was not. You mean like a cut-  
23 through somewhere?

24  
25 **COMMISSIONER GONZALEZ** – Yeah.

26  
27 **SENIOR PLANNER CHRIS ORMSBY**– Oh okay. Yeah that wasn't something  
28 that the Applicant felt that they wanted to do. We could get their input, but it  
29 wasn't something that we felt was really necessary in this case.

30  
31 **COMMISSIONER GONZALEZ** – Thank you.

32  
33 **CHAIR LOWELL** – Any other comments or questions? Would anybody like to  
34 make a motion?

35  
36 **COMMISSIONER VAN NATTA** – Okay, then I'll move.

37  
38 **CHAIR LOWELL** – You're on a roll tonight. Anyone second?

39  
40 **COMMISSIONER VAN NATTA** – Okay, now I'll read it. I move that we approve  
41 Resolution No. 2015-19 and thereby adopt a Mitigated Negative Declaration and  
42 Mitigation Monitoring and Reporting Program for PA15-0010 Tentative Tract Map  
43 36882 as included in Exhibits A and B and approve PA15-0010 Tentative Tract  
44 Map 36882 subject to the attached Conditions of Approval included in Exhibit C  
45 as amended.



1 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta. Do we have  
2 a second?

3  
4 **ASSISTANT CITY ATTORNEY PAUL EARLY** – I just want to clarify that the  
5 amendment is both proposed amendments. The two conditions SD8 and P17.  
6

7 **COMMISSIONER VAN NATTA** – Accepted to that motion?  
8

9 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Yes.  
10

11 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta. Anybody  
12 want to second? We have a second by Commissioner Baker. Let's vote. So the  
13 only two waiting are Commissioner Barnes and Nickel's, so are good to go. The  
14 vote passes 7-0. Do we have a Staff wrap-up?  
15

16  
17 **Motion carries 7 – 0**

18  
19 **SENIOR PLANNER CHRIS ORMSBY**– The action of the Planning Commission  
20 will be final unless an appeal is filed within 10 calendar days.  
21

22  
23 **OTHER COMMISSION BUSINESS**

24  
25 **CHAIR LOWELL** – Thank you very much. That moves us onto Other Business,  
26 which I don't think we have any.  
27

28  
29 **STAFF COMMENTS**

30  
31 **CHAIR LOWELL** – Staff Comments?  
32

33 **SENIOR PLANNER CHRIS ORMSBY**– Just a real quick comment. The next  
34 Planning Commission Meeting is scheduled for August 27<sup>th</sup>, 2015. The only  
35 scheduled item at this time is a 266 unit multi-family project located on the  
36 Southside of Box Springs Road in the vicinity of Clark Street. The project will  
37 also include a revised Tentative Tract Map for condominium purposes. It is a site  
38 that you have seen before. As you may recall, the Planning Commission  
39 recommended approval of a General Plan Amendment and a Change of Zone to  
40 R30 on the site a little more than six months ago. The City Council approved that  
41 change, so that project will be coming forward and that concludes Staff  
42 Comments.  
43

44  
45 **PLANNING COMMISSIONER COMMENTS**  
46

1 **CHAIR LOWELL** – Thank you very much. Do we have any Planning  
2 Commissioner Comments? I do. It was actually quite a pleasure working with  
3 you Commissioner Gonzalez. It was nice seeing you up here for the first time.  
4

5  
6 **ADJOURNMENT**  
7

8 **CHAIR LOWELL** – With that said, this concludes the July 23<sup>rd</sup>, 2015 Regular  
9 Planning Commission Meeting. The meeting is now adjourned to our next  
10 Regular Meeting, which is August 27<sup>th</sup>, 2015 at 7:00 PM right here in the City  
11 Council Chambers. Thank you very much and have a good night.  
12  
13  
14

Minutes Acceptance: Minutes of Jul 23, 2015 7:00 PM (APPROVAL OF MINUTES)

1 **NEXT MEETING**

2 *Next Meeting: Planning Commission Regular Meeting, August 27<sup>th</sup>, 2015 at 7:00*  
3 *PM, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street,*  
4 *Moreno Valley, CA 92553.*  
5  
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16

17 \_\_\_\_\_  
18 Richard J. Sandzimier  
19 Planning Official  
20 Approved  
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29  
30  
31

\_\_\_\_\_ Date

32 \_\_\_\_\_  
33 Brian R. Lowell  
34 Chair  
35

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of Jul 23, 2015 7:00 PM (APPROVAL OF MINUTES)

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 REGULAR MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Thursday, August 27<sup>th</sup>, 2015, 7:00 PM

6  
7  
8 **CALL TO ORDER**  
9

10 **CHAIR LOWELL** – Good evening ladies and gentleman. I would like to call the  
11 August 27<sup>th</sup>, 2015 Regular Meeting of the Planning Commission to order. The  
12 time is currently 7:05 PM. Grace, may we have rollcall please?  
13

14  
15 **ROLL CALL**  
16

17 **Commissioners Present:**

18 Commissioner Ramirez  
19 Commissioner Korzec  
20 Alternate Commissioner Nickel  
21 Commissioner Van Natta  
22 Commissioner Baker  
23 Commissioner Barnes  
24 Alternate Commissioner Gonzalez  
25 Chair Lowell  
26

27 **Staff Present:**

28 Rick Sandzimier, Planning Official  
29 Paul Early, Assistant City Attorney  
30 Grace Espino-Salcedo, Clerk  
31 Gabriel Diaz, Case Planner  
32 Julia Descoteaux, Case Planner  
33 Michael Lloyd, Traffic Engineer  
34  
35

36 **GRACE ESPINO-SALCEDO** – Vice Chair Sims is excused absent today.  
37

38 **CHAIR LOWELL** – Correct. So, because we have an excused absence, we are  
39 seating alternate Commissioner Lori Nickel to fill his seat and she is already at  
40 the dais. I would like to ask Commissioner Nickel to lead us in the Pledge of  
41 Allegiance please.  
42  
43

44 **PLEDGE OF ALLEGIANCE**

1 **APPROVAL OF THE AGENDA**

2  
3 **CHAIR LOWELL** – Thank you. Would anyone like to motion to approve the  
4 Agenda for tonight’s meeting?

5  
6 **COMMISSIONER VAN NATTA** – I move to approve the Agenda for tonight’s  
7 meeting.

8  
9 **COMMISSIONER BAKER** – I’ll second.

10  
11 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta and a  
12 second by Commissioner Baker, and I don’t know that we can vote on that. I  
13 don’t have the voting option, so let’s just do a rollcall vote please.

14  
15 **COMMISSIONER RAMIREZ** – Yes.

16  
17 **COMMISSIONER KORZEC** – Yes.

18  
19 **COMMISSIONER NICKEL** – Yes.

20  
21 **COMMISSIONER VAN NATTA** – Yes.

22  
23 **COMMISSIONER BAKER** – Yes.

24  
25 **COMMISSIONER BARNES** – Yes.

26  
27 **CHAIR LOWELL** – Yes. So tonight’s Agenda passes 7-0 thankfully.

28  
29  
30 Opposed – 0

31  
32  
33 **Motion carries 7 – 0**

34  
35  
36 **CONSENT CALENDAR**

37  
38 *All matters listed under Consent Calendar are considered to be routine and all*  
39 *will be enacted by one rollcall vote. There will be no discussion of these items*  
40 *unless Members of the Planning Commission request specific items be removed*  
41 *from the Consent Calendar for separate action.*

42  
43 **CHAIR LOWELL** – There is no Consent Calendar.

44  
45 **APPROVAL OF MINUTES**

1 None

2  
3 **CHAIR LOWELL** – I don't believe we have any approval of Minutes, so we're  
4 moving on to the Public Comments portion of the meeting tonight.

5  
6  
7 **PUBLIC COMMENTS PROCEDURE**

8  
9 *Any person wishing to address the Commission on any matter, either under*  
10 *Public Comments section of the Agenda or scheduled items or public hearings,*  
11 *must fill out a "Request to Speak" form available at the door and towards the side*  
12 *and rear of the room. The completed form must be submitted to the Secretary*  
13 *prior to the Agenda item being called by the Chairperson. In speaking to the*  
14 *Commission, member of the public may be limited to three minutes per person,*  
15 *except for the applicant for entitlement. The Commission may establish an*  
16 *overall time limit for comments on a particular Agenda item. Members of the*  
17 *public must direct their questions to the Chairperson of the Commission and not*  
18 *to other members of the Commission, the applicant, the Staff, or the audience.*  
19 *Additionally, there is an ADA Disclaimer: Upon request this Agenda will be made*  
20 *available in appropriate alternate formats to persons with disabilities in*  
21 *compliance with the Americans with Disabilities Act of 1990. Any person with a*  
22 *disability who requires a modification or accommodation in order to participate in*  
23 *the meeting should direct such a request to Guy Pagan, our ADA Coordinator.*  
24 *His phone number is (951) 413-3120. Please make your request at least 48*  
25 *hours before the meeting. The 48 hour notification will enable the City to make*  
26 *reasonable arrangements to ensure accessibility to the meeting.*

27  
28  
29 **CHAIR LOWELL** – Moving on to the Non-Public Hearing Items, which I don't  
30 believe we have any tonight. That moves us on to the Public Comments portion  
31 of the Agenda. This is the portion where any member can speak to the  
32 Commission on any item not on the Agenda. Do we have any Public Comment  
33 Speaker Request forms?

34  
35 **GRACE ESPINO-SALCEDO** – We have six speakers signed in today.

36  
37 **CHAIR LOWELL** – Wow, we do. Okay, so the first up would be Tom Jerele  
38 followed by Thomas Jerele, Sr. I have two Jerele's in here.

39  
40 **GRACE ESPINO-SALCEDO** – Our first speaker would be Thomas Hines.

41  
42 **CHAIR LOWELL** – Okay, so we'll have Tom Jerele first and then Thomas Hines  
43 second.

44  
45 **SPEAKER TOM JERELE** – Tom Jerele, Sr. I'm speaking on behalf of myself  
46 and on this case behalf of the Sundance Center where I've spent a little bit of

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1 time. My boss was out here today and got to sit in on the mayor’s address to the  
2 state of the city and was very impressed with all the good things happening in  
3 Moreno Valley, so he asked me to share some kind words. Chairman Lowell,  
4 Commissioners, Staff and the public: Simply the main reason I’m here tonight is  
5 to thank the Commission and the Staff for some very well conducted hearings on  
6 the WLC. It’s no secret what a challenge that project was, you know, from many  
7 sides. However, the way the Commission handled it, the setup, and especially  
8 the courtesy to the speakers on all sides. I really liked that. The courtesy of  
9 taking a whole night to hear many, many speakers. It was all good. And, like I  
10 said, it was a very well conducted set of hearings. I’m not thanking you so much  
11 for your voting though. I was in favor of approval of the project. But, like I said,  
12 the way the whole meeting was conducted, especially for one of this magnitude.  
13 I have a full respect for all sides. I even concede that Commissioner Korzec,  
14 your comment about wall-to-wall warehouses, was accurate. It’s something I  
15 took into consideration and it was why I was a little late coming to the party  
16 because I had to deal with that mentally. But it’s something that when I look at it  
17 in the long view and what may be practical at this time, you know, I wanted to  
18 support the project. And I especially want to give some thanks to Mark Gross for  
19 an excellent Staff Report. I know many people, Mr. Sandzimier, had sat through  
20 two long hearings on this and was a great go-to guy and got a lot of pointed  
21 questions but gave some very clear and direct information and the other  
22 consultants. It was really, really well done, so those are my comments. I thank  
23 you for taking time to hear me.  
24

25 **CHAIR LOWELL** – Thank you Mr. Jerele. Up next is Thomas Hines I believe.  
26

27 **SPEAKER THOMAS HINES** – Thank you very much. I really appreciate how  
28 this Committee stood tall during all the torment that went on in the city, and I  
29 really do appreciate the 5-1 vote that you guys came up with. It was almost  
30 unanimous. And, after listening to our City Councilmen speak, I thought we were  
31 going to have a unanimous vote from them also it appeared because of the way  
32 they had changed their song I guess trying to sound like they were in the middle.  
33 But, anyway, I have been....the next stage of this project is the environmental  
34 lawsuits. And we have been told in the paper that the Jurupa Valley Center for  
35 Community Action and Environmental Justice was going to be leading one of  
36 those charges. I happen to know who they are. I know Penny Newman. She’s a  
37 nice lady, but she is an environmentalist who funds her activities by shaking  
38 down businesses so that she can get money to pay for her staff and the things  
39 that she does so that she can sue other businesses. The more she sues, the  
40 more money she gets, the more businesses she can sue in the future. Now, I  
41 was familiar with the Lake Matthews Conservancy and how they shook down my  
42 previous boss at the Dos Lagos project, and we ultimately had to pay them \$1  
43 million to endow all of their lawsuits in the future against other businesses. I  
44 hope, any my belief is, that I have seen the World Logistics Center and the  
45 gentleman in charge of that and he doesn’t take to blackmail very well. Mike  
46 Greos tried to blackmail him and another gentleman, his associate, was also in

1 on that blackmail. And he has a pretty good spine, and he just doesn't take to  
2 that type of blackmailing. But, in order to get his project through, he may have to.  
3 But, if he does, then there will be more lawsuits paid by the money that would be  
4 put forth. Deep pockets: This is a tactic that was brought forth by Jesse Jackson  
5 who uses it for racial lawsuits, such as what he did for the Texaco thing. And, as  
6 soon as Texaco paid the money, Jesse Jackson and all of his protestors went  
7 away. Thank you for standing tall.

8  
9 **CHAIR LOWELL** – Thank you Mr. Hines. Up next is Rafael Brugueras.

10  
11 **SPEAKER RAFAEL BRUGUERAS** – Good evening. What a great pleasure it is  
12 to stand before you again. On behalf of the City, the thousands of men and  
13 women and myself, we say thank you very, very much to you seven and the Staff  
14 for standing tall, for doing your homework, for turning all boulders (not just little  
15 rocks but boulders) to make sure that the project was safe and beneficial for the  
16 City of Moreno Valley because that was very important. Again, today's ceremony  
17 was great. And we got to learn that not only is the World Logistics Center is part  
18 of Moreno Valley, but we have others. It's not just one basket with all the eggs.  
19 There's many things in that basket that creates Moreno Valley, so we just don't  
20 rely on one big project. We have other projects that we unite together to hold our  
21 city together. I'm deeply grateful for that. I want to talk about warehouses  
22 because many of our parents, grandparents and great grandparents started out  
23 at a warehouse or a factory to get us where we are at today. You're here  
24 because they worked hard to get you to go through school, to be well educated,  
25 and to be in the position that you're in. I didn't do that when I was growing up in  
26 Harlem. I chose a different route, but I thank my mother who kept me together  
27 and taught me to work very, very hard. I started at \$1.85 an hour when I first  
28 worked, and I ended with \$25.00 an hour in 2009, and I worked for Ralph's Food  
29 for Less for 25 years. I'm deeply grateful for my union who fought for me to get  
30 pay raises every year, even if it was only \$0.15, but it was a pay raise. It would  
31 be nice to get the whole thing, but I had to share that with my fellow workers, so  
32 \$0.15 is \$0.15. But what I want to say because she inspired me to talk about my  
33 job because, without it, I wouldn't have what I have today. So I want to share  
34 with you the future because warehouses do pay well, very well. In 2006, I made  
35 \$62,000. In 2007, I made another \$62,000. In 2008, I made \$49,000. May last  
36 year, I made \$80,000 working for Ralph's Food for Less. So dreams can come  
37 to warehouses. Not everybody has to have a college degree to work hard. So, if  
38 you have a college degree, work hard. Work from the bottom and work your way  
39 up and use that degree to go into management. Thank you so much.

40  
41 **CHAIR LOWELL** – Thank you very much. Up next is Robert Harris followed by  
42 Chris Baca.

43  
44 **SPEAKER ROBERT HARRIS** – Commissioners and Staff: I would just like to  
45 thank you all for your hard work and your diligence evaluating the World Logistics  
46 Center. The years that the Staff took that were involved in creating the EIR



1 (40,000 pages) and the consultants obviously that you used. And, together, you  
2 guys have made history for Moreno Valley and you've helped to make a better  
3 future for our City. Thank you very much.

4  
5 **CHAIR LOWELL** – Thank you very much. Chris Baca please. I saw him.  
6 Where did he go? Last call for Chris Baca. Okay, we can sit tight for a second. I  
7 think he might have changed his mind. Okay, I appreciate it. Thank you. Chris  
8 Baca didn't show up, so that concludes the Public Comments portion of this  
9 meeting.

10  
11  
12 **NON-PUBLIC HEARING ITEMS**

13  
14 None

15  
16  
17 **CHAIR LOWELL** – Moving on to the Non-Public Hearing Items, which I believe I  
18 called out of place a minute ago. I don't believe we have any Non-Public Hearing  
19 Items. So we are going to go on to the Public Hearing Items. So the first item is  
20 P14-072 an Amended Conditional Use Permit. The owner is Time Warner, and  
21 the Case Planner is Gabriel Diaz. Do we happen to have a Staff Report for this  
22 item?

23  
24  
25 **PUBLIC HEARING ITEMS**

- 26  
27 1. Case: P14-072 Amended Conditional Use Permit  
28  
29 Applicant: Mansour Architecture Corporation  
30  
31 Owner: Time Warner Cable Pacific West, LLC.  
32  
33 Representative: Tony Mansour  
34  
35 Location: 24541 Fir Avenue  
36  
37 Case Planner: Gabriel Diaz  
38  
39 Council District: 1  
40  
41 Proposal: P14-072 Amended Conditional Use Permit  
42

43  
44 **STAFF RECOMMENDATION:**

45  
46 Recommend the Planning Commission:

- 1  
2 1. **CERTIFY** that the proposed Time Warner Communications building addition  
3 is exempt from the provisions of the California Environmental Quality Act  
4 (CEQA), as a Class 1 Categorical Exemption, CEQA Guidelines, Section  
5 15301 (e.2) for Additions to Existing Facilities; and  
6  
7 2. **APPROVE** Amended Conditional Use Permit P14-072 based on the findings  
8 contained in Planning Commission Resolution 2015-23, subject to the  
9 conditions of approval included as Exhibit A of the Resolution.

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – We do. Good evening, Chairman  
12 Lowell. Gabriel Diaz, as you mentioned, will be giving the Staff presentation.  
13

14 **CASE PLANNER GABRIEL DIAZ** – Thank you. Chairman and Commissioners:  
15 The project is located at 24541 Fir Avenue on the northeast corner of Indian and  
16 Fir Street. You can see the aerial on Attachment 1. The zone is Specific Plan  
17 204 Village Office/Residential. It allows for office and residential housing. It's  
18 located within Council District 1. The owner is Time Warner Cable Pacific West,  
19 LLC. The Applicant is Mansour Architecture. The Amended Conditional Use  
20 Permit application will add 1498 square feet to an existing 1301 square foot  
21 unmanned Time Warner Communications facility. The existing facility was  
22 previously approved by the Planning Commission back on March 14<sup>th</sup>, 2002, this  
23 is the facility you see in Attachment 1, as Conditional Use Permit No. PA01-0085.  
24 So the proposed building addition consists of a new equipment room, new  
25 battery room, and a new generator enclosure. The generator enclosure will not  
26 have a roof above it. That's the elevations of existing and proposed. Let me get  
27 you a Site Plan. Here's the Floor Plan of the proposal. The design of the Time  
28 Warner facility will have a residential appearance to fit into the existing  
29 neighborhood. The building will have cream-colored stucco walls and white trim  
30 color around the windows, doors, and garage door. The roof is mansard and will  
31 have an asphalt roof shingle in the brown wood color. The building height is 19  
32 feet and 2 inches. The existing building is about 17 feet. The majority of the new  
33 building addition is within the rear yard and side yard areas behind the existing  
34 fence and will not encroach into the front yard or street side setbacks. The new  
35 building addition will not have much effect on the existing mature landscaping.  
36 Noise from the proposed generator and condenser units was a concern to the  
37 Planning Department. The Applicant submitted an Acoustical Report that  
38 indicated noise levels below the 60 dBA noise levels allowed under the Municipal  
39 Code at the property lines. The adjacent properties to the project to the north,  
40 east and west include single-family residences and are zoned Specific Plan 204  
41 Village Office/Residential. Properties to the south and southwest are also single-  
42 family residences and are zoned Specific Plan 204 Village Residential. The  
43 project has been reviewed and meets or exceeds the Development Standards for  
44 a communications facility in the Specific Plan 204 and is consistent and does not  
45 conflict with the goals, objectives, policies, or programs of the general planner or  
46 Municipal Code. Access to the property will be off Fir Avenue through an existing

1 driveway where service trucks are able to park. No additional driveways or  
2 parking areas are required or being proposed. Public notification was sent to all  
3 property owners of record within 300 feet of the project. The Public Hearing  
4 Notice for this project was posted onsite and published in the local newspaper. I  
5 do have one Public Comment to report. The owner just to the north of the  
6 property had some concerns about the noise and maintenance of the existing  
7 facility. I did explain the current project to him. I let him know that the generator  
8 is being moved further south away from his property and closer to Fir Street and  
9 will also be enclosed. There was a Noise Study that the Applicant submitted that  
10 meets our current Noise Standards. He did seem fine with the new addition. He  
11 did not seem to have any issues with the new proposal, but I did let him know  
12 that he could call if the project was approved or if there are any existing issues  
13 with noise or maintenance to the property. On the environmental part, Planning  
14 Staff has reviewed the project and determined that this item will not have  
15 significant effect on the environment and qualifies for an exemption under  
16 provisions as a Class 1 Categorical Exemption under CEQA Guidelines Section  
17 15301 (E2) Additions to Existing Facilities. Staff recommends the Planning  
18 Commission certify that the proposed Time Warner Communications building  
19 addition is exempt from the provisions of the California Quality Act as Class 1  
20 Categorical Exemption CEQA Guideline Section 15301 (E2) for the additions to  
21 the existing facility and approve Amended Conditional Use Permit P14-072  
22 based on the findings contained in the Planning Commission Resolution 2015-23  
23 subject to the conditions of approval included as Exhibit A of the Resolution.  
24 This concludes Staff presentation. I believe we do have the Time Warner  
25 representative here. Let me give you the elevations. Here's the cross section of  
26 the inside and how things are hidden and there is the materials color board. The  
27 Applicant also did provide some colored renderings and the real color board for  
28 your review. Thank you.

29  
30 **CHAIR LOWELL** – Thank you very much. Does anybody have any questions  
31 for Staff? I have a couple questions. On the materials board, is there any  
32 particular reason why we are utilizing shingles as opposed to tile for the roofing  
33 material?  
34

35 **CASE PLANNER GABRIEL DIAZ** – That's pretty consistent with the  
36 neighborhood.  
37

38 **CHAIR LOWELL** – Okay. Also, on the conditions, I didn't see anything about  
39 fire sprinklers. Since they are building onto the building, do they have to bring  
40 that current structure up to Code? Or is there a Code that this type of structure,  
41 since it mimics residential but it's really a commercial or industrial facility, it  
42 doesn't need sprinklers?  
43

44 **CASE PLANNER GABRIEL DIAZ** – I'm not too sure if the building will have  
45 sprinklers or not. Maybe the Applicant can speak on that, but it will go through  
46 the building process and everything will be built per Code.

1  
2 **CHAIR LOWELL** – Okay I was just curious because most of the time in the  
3 conditions of approval it says must have fire sprinklers, but I didn't read that in  
4 here so okay. I have a couple more questions, but I'll push them off until later.  
5 At this time, if there are no other questions for Staff, could we have the Applicant  
6 come up?  
7

8 **APPLICANT STEPHEN SLATER** – Hello Chairman and Members of the  
9 Commission. My name is Stephen Slater. I'm here representing Time Warner  
10 Corporation. I wanted to just start off and say that, this project, we took a lot of  
11 time on this. We've worked closely with Richard and with Gabriel. We spent a  
12 lot of time going through the design. What we've really worked closely to do is to  
13 make it a better project, a better facility than it is today. It does have a residential  
14 look. There are things like a garage door, a portico for the entry. Those are all  
15 intentional to make it blend in a little bit more with the neighborhood. As far as  
16 the front of it and the landscaping area, it's going to be the same and the  
17 additions are on the back. And the most significant thing is the existing  
18 generator, which only is used in the event of a commercial power failure, is  
19 outside right now. So, by doing this, Time Warner is able to take the generator  
20 inside the building and that's just going to be a much better situation for the  
21 neighborhood. I do have representatives here from Time Warner and the project  
22 architect to answer any specific questions you might have. And, the Applicant,  
23 we're in concurrence with the Staff Report as submitted. Again, we have spent a  
24 lot of time working closely with the Planning Department, and we're in  
25 concurrence with the conditions as submitted. Thank you.  
26

27 **CHAIR LOWELL** – I have a quick question for you. What triggered the  
28 modification of this building? Were you trying to expand the site for better or  
29 more utility or more usage or?  
30

31 **APPLICANT STEPHEN SLATER** – It's generally...well part of the reason for  
32 the expansion is to bring the generator inside and then for future growth for  
33 equipment, for additional services that are being provided by Time Warner.  
34

35 **CHAIR LOWELL** – I really like what's proposed. I really like the way it looks. I  
36 think this is a good example of what should be done throughout the City so.  
37

38 **APPLICANT STEPHEN SLATER** – And it does have a specific fire suppression  
39 system within the building and the project architect is here if you have a particular  
40 question about that.  
41

42 **CHAIR LOWELL** – Okay, I'll ask that in a moment.  
43

44 **APPLICANT STEPHEN SLATER** – Okay.  
45

1 **CHAIR LOWELL** – I appreciate it. Do we have any other questions for the  
2 Applicant? Okay.

3  
4 **APPLICANT STEPHEN SLATER** – Thank you.

5  
6 **CHAIR LOWELL** – I think it is pretty simple also. Do we have any Speaker  
7 Slips?

8  
9 **GRACE ESPINO-SALCEDO** – We do not have any. Thank you.

10  
11 **CHAIR LOWELL** – Oh, we have Tom Jerele. He sneaks in under the wire. You  
12 can just come up to the podium and we'll get the green paper from you in a  
13 minute. I guess I should formally open the Public Comments portion. It's open.

14  
15 **SPEAKER TOM JERELE** – Thank you, Chairman Lowell. I didn't plan on  
16 speaking but then I've spoken before about any type of communication device  
17 not only in this area because I work close to it, but throughout the city,  
18 communications are evolving so rapidly. I mean, we're going into a whole  
19 different world and we have been for the last 10 years. And it's probably going to  
20 continue to evolve, and they are vital. And we all know how we have a bad  
21 earthquake and all of a sudden nothing works, so I'm all for anything that'll keep  
22 our communications up and running. And it's a tasteful building. It's a nice  
23 addition, but it's also an essential service. You know, it could save somebody's  
24 life in an emergency situation. So, you know, I support it. We're actually  
25 negotiating with Time Warner on an easement on our property to bring in  
26 services, so that's not why I want to speak for it. It's just that we need good  
27 communications, not only in this area but throughout the city. So that's all I  
28 wanted to say. Thank you. I'll submit my slip and I'll save one for the next item.  
29 Thank you.

30  
31 **CHAIR LOWELL** – Thanks Tom. Okay, with that, I don't see anymore Public  
32 Comments. The Public Comments portion is now closed. Moving onto  
33 Commissioner Discussion. Do we have any questions for Staff or the Applicant  
34 or comments in general? Go for it.

35  
36 **COMMISSIONER VAN NATTA** – I'd like to make a motion.

37  
38 **CHAIR LOWELL** – Oh, oh.

39  
40 **COMMISSIONER VAN NATTA** – Oh. Were you going to do that?

41  
42 **COMMISSIONER BARNES** – No. I wasn't going to do that. That's all you Meli.

43  
44 **COMMISSIONER VAN NATTA** – Go ahead and say something.  
45

1 **COMMISSIONER BARNES** – I was just going to say that it's a simple clean  
2 project and a nice relief after the last time we had to vote.

3  
4 **COMMISSIONER KORZEC** – I agree.

5  
6 **CHAIR LOWELL** – But, before we get to the motion, I just had a couple quick  
7 questions on the fire items.

8  
9 **COMMISSIONER VAN NATTA** – Okay.

10  
11 **CHAIR LOWELL** – We're proposing to put batteries in the building. Is there any  
12 spill contingency. I know from my personal experience, if you leave a battery in a  
13 remote too long, it starts to corrode or leak fluid. A 1000-pound battery has quite  
14 a potential for having a spill if something should break it or rupture it, especially if  
15 it's a liquid battery.

16  
17 **CASE PLANNER GABRIEL DIAZ** – There are conditions from the Fire  
18 Department on the containment of the different types of batteries.

19  
20 **CHAIR LOWELL** – Okay. It just says it needs to get a battery permit. I was just  
21 curious what those were?

22  
23 **PLANNING OFFICIAL RICK SANDZIMIER** – Unfortunately, our fire marshall  
24 was not able to attend this evening. But I can attest that, as Mr. Diaz has  
25 indicated, there are conditions in the project approval that require consideration  
26 of that before they get the building permit. So, if it's important to the  
27 Commission, we can bring that answer back.

28  
29 **CHAIR LOWELL** – It's not that important. I was just curious.

30  
31 **PLANNING OFFICIAL RICK SANDZIMIER** – I do have a request out to our  
32 building official to see if he can give me any input, but I haven't heard back yet.

33  
34 **CHAIR LOWELL** – Okay. I appreciate it. That was pretty much it. Would  
35 anyone like to make a motion?

36  
37 **COMMISSIONER VAN NATTA** – Yes.

38  
39 **CHAIR LOWELL** – Okay, let's go vote. You can officially make your motion by  
40 clicking the button.

41  
42 **COMMISSIONER VAN NATTA** – Okay. Click on the button that says mover,  
43 huh? Okay. I move that the Planning Commission certify that the proposed  
44 Time Warner Communications building addition is exempt from the provisions of  
45 the California Environmental Quality Act (CEQA) as a Class 1 Categorical  
46 Exemption CEQA Guidelines Section 15301 (E2) for Additions to Existing

1 Facilities and approve Amended Conditional Use Permit P14-072 based on the  
2 findings contained in the Planning Commission Resolution 2015-23 subject to the  
3 conditions of approval included as Exhibit A of the Resolution.

4  
5 **CHAIR LOWELL** – So we have a motion by Commissioner Van Natta, and it  
6 looks like we have a second by Commissioner Barnes. I now opened up the  
7 voting. Please vote. We are good to go. So, last call, does anyone want to  
8 change their votes? Voting is now ending. The motion passes 7-0. I do want to  
9 say that this is a great project. I love what’s being done. I think this is a good  
10 example of what needs to be done throughout the City where you’re blending  
11 something into the existing. If you drove by, you wouldn’t even realize it’s a Time  
12 Warner facility so I really compliment Staff on this project. Thank you very much.  
13 Is there a Staff wrap-up on this item?

14  
15  
16 **Motion carries 7 – 0**

17  
18  
19 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes there is. Thank you for the  
20 compliments also. We did work very hard with this applicant, and I want to  
21 commend the Applicant for taking the time to work with us. The action that you  
22 did take this evening is appealable to the City Council. Any interested party has  
23 15 days to file an appeal. That appeal would be filed through the Community  
24 Development Department to the Director of Community Development and would  
25 be agendized for a hearing before the City Council within 30 days if such an  
26 appeal is filed.

27  
28 **CHAIR LOWELL** – Thank you very much. Moving onto the second item tonight,  
29 which I believe is PA15-0002 which is a Plot Plan and P15-003 which is a  
30 Revised Tentative Tract Map for Tentative Tract Map 35414. The Applicant is  
31 Oak Parc Partners. The Case Planner is Julia Descoteaux.

- 32  
33  
34 2. Case: PA15-0002 Plot Plan  
35 P15-003 Revised Tentative Tract Map 35414  
36  
37 Applicant: Oak Parc Partners, LLP  
38 Paul Reim  
39  
40 Owner: Garry Brown, Trustee  
41  
42 Representative: Trip Hord Associates, Trip Hord  
43  
44 Location: SECONDARY Box Springs Road/Clark Street  
45  
46 Case Planner: Julia Descoteaux

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Council District: 2

Proposal: PA15-0002 Plot Plan and P15-003 Revised Tentative Tract Map 35414

**STAFF RECOMMENDATION:**

That the Planning Commission **APPROVE** Resolution No. 2015-21 and thereby:

- 1. **APPROVE** an Addendum to the previously adopted Mitigated Negative Declaration for PA15-0002 (Plot Plan) pursuant to the California Environmental Quality Act (CEQA) Section 15164 (b) as only minor technical changes or additions are required to the prior Mitigated Negative Declaration approved November 26<sup>th</sup>, 2007 for PA07-0016/PA07-0017 (Tentative Tract Map 35414 and Plot Plan). None of the conditions described in Section 15162 calling for preparation of a subsequent negative declaration have occurred and thereby approve PA15-0002 subject to the attached conditions of approval included as Exhibit A and the Mitigation Measures included as Exhibit B of the Resolution; and
- 2. **APPROVE** PA15-0002 (Plot Plan) subject to the attached conditions of approval included as Exhibit A and the Mitigation Measures included as Exhibit B of the Resolution; and

That the Planning Commission **APPROVE** Resolution No. 2015-22 and thereby:

- 1. **APPROVE** an Addendum to the previously adopted Mitigated Negative Declaration for P15-003 (Revised Tentative Tract Map 35414) pursuant to the California Environmental Quality Act (CEQA) Section 15164 (b) as only minor technical changes or additions are required to the prior Mitigated Negative Declaration approved November 26<sup>th</sup>, 2007 for PA07-0016/PA07-0017 (Tentative Tract Map 35414 and Plot Plan). None of the conditions described in Section 15162 calling for preparation of a subsequent negative declaration have occurred and thereby P15-003 subject to the attached conditions of approval included as Exhibit A and the Mitigation Measures included as Exhibit B of the Resolution; and
- 2. **APPROVE** P15 -003 (Revised Tentative Tract Map 35414) subject to the attached conditions of approval included as Exhibit A and the Mitigation Measure included as Exhibit B of the Resolution

**COMMISSIONER BARNES** – Chairman Lowell.

**CHAIR LOWELL** – Yes, Sir.

Minutes Acceptance: Minutes of Aug 27, 2015 7:00 PM (APPROVAL OF MINUTES)



1  
2 **COMMISSIONER BARNES** – I must recuse myself. My employer has a  
3 professional relationship with the Applicant, so I will watch from the lobby.

4  
5 **CHAIR LOWELL** – You’re officially recused. Thank you. With that said, I’d like  
6 to call up alternate Commissioner Erlan Gonzalez. Just give us a moment while  
7 Commissioner Gonzalez logs out and logs back in.

8  
9 **COMMISSIONER GONZALEZ** – What’s the password?

10  
11 **CHAIR LOWELL** – It’s super secret.

12  
13 **PLANNING OFFICIAL RICK SANDZIMIER** – While he’s doing that, I will  
14 introduce Julia Descoteaux is our planner on this. Julia has been involved  
15 thoroughly on this project when it was before the Planning Commission and City  
16 Council late last year so.

17  
18 **CHAIR LOWELL** – I remember this project coming before us last year.

19  
20 **CASE PLANNER JULIA DESCOTEAUX** – Good evening Planning  
21 Commissioners. I’m Julia Descoteaux, Associate Planner. The item before you  
22 is a Plot Plan PA15-0002 and a Revised Tentative Tract Map 35414, P15-003.  
23 The Applicant is Oak Parc Partners, Paul Reim. The owner is Garry Brown and  
24 the representative is Trip Hord Associates, Trip Hord. The project is located at  
25 the southeast corner of Box Springs Road and Clark Street and it’s in Council  
26 District 2. The item before you includes a Plot Plan for a 266 unit apartment  
27 complex with amenities and a Revised Tentative Tract Map for condominium  
28 purposes. The site includes four parcels, which will be consolidated into one  
29 parcel of approximately 13 acres with the approval of the Revised Tentative Tract  
30 Map. The Revised Tentative Tract Map is consistent with the prior-approved  
31 Tentative Map with minor changes to the ingress and egress locations and minor  
32 changes to the Plot Plan for the project. The site was operated as a commercial  
33 desert nursery from approximately 1967 to the early 1980s and has been vacant  
34 since that time, except for numerous unattended trees and shrubs and  
35 vegetation. In addition, there is a telecommunications facility located on the  
36 southeast portion of the site. In 2007, the site was approved for a 240 unit  
37 complex, which included a Condominium Map, a General Plan Amendment, and  
38 a Change of Zone changing the land use designation and the zoning from  
39 Commercial to Residential 20. In October 2014, the land use and zoning was  
40 changed to Residential 30 providing an increase in the density, which allows for  
41 an increase in the number of dwelling units per acre. The surrounding area  
42 includes existing residential and multifamily and single family both to the north  
43 and commercial vacant property to the east and the west. There is an existing  
44 residential unit to the east, which is legal nonconforming. And, to the south, is  
45 State Highway 60. And, further south, is commercial land located in the City of  
46 Riverside. The proposed Plot Plan includes 266 units and is compatible with the

1 Residential 30 Land Use and includes 19 buildings with one, two, and three  
2 bedroom units. The site will include onsite leasing, a recreation building, a pool  
3 and a spa, and a play area, which will be located adjacent to the recreation  
4 building. Each three-story building includes 14 units designed to provide a Santa  
5 Barbara Tuscan feel with several color schemes and building accents, which  
6 includes wall projections, window treatments, tiles, shutters and wrought iron  
7 elements, and clay tile roofs. Each unit will include the required private open  
8 space of 100 square feet for the upper stories and 150 square feet for the ground  
9 units. The main entrance will be off the newly designed Clark Street with two  
10 additional driveways available with limited access. The Internal Circulation  
11 System will provide convenient access for residents and emergency response  
12 teams to all buildings and parking areas. Parking garages and uncovered  
13 parking spaces are available for the residents, which exceed the City's  
14 requirement with a total of 513 required and 521 provided. The Conceptual  
15 Landscape Plan provides for a variety of plant material consistent with the City's  
16 landscape requirements, which will also take into consideration the recent  
17 drought conditions. The design will include trees, onsite trees, and the  
18 integration of drought-tolerant plants; cacti-type plants incorporating the original  
19 site use as a desert nursery into the design. Based on an initial study, it has  
20 been determined that this project is consistent with the requirements for an  
21 addendum to the previously-approved Mitigated Negative Declaration pursuant to  
22 Section 15164 (b) of the California Environmental Quality Act Guidelines. None  
23 of the conditions described in Section 15162 of the Guidelines that calls for a  
24 preparation of a subsequent negative declaration have occurred. The initial  
25 study evaluated the modification of the project, which includes the addition of 26  
26 units and changes to the building layout circulation, landscape and walkway  
27 design, and other minor changes to the Site Plan. Updated technical studies  
28 were prepared and submitted to the City for review to compare the original  
29 project to the modified project. Based on the analysis provided, only minor  
30 technical changes are required to the previously-adopted Mitigated Negative  
31 Declaration and the proposed project would not create impacts not analyzed with  
32 the original project or create new impacts not previously considered with the  
33 original project. The project was submitted in February 2015 with minor  
34 modifications made to accommodate fire emergency ingress and egress to the  
35 site. All requested modifications have been completed and meet both the City's  
36 objectives, as well as the Applicant's. Notice was sent to all property owners  
37 within 300 feet posted on the site and noticed in the local newspaper. To date, I  
38 have received no phone calls or inquiries regarding the project. Staff  
39 recommends that the Planning Commission approve Resolutions 2015-21 and  
40 2015-22 and thereby approve an Addendum to the previously-approved  
41 Mitigated Negative Declaration for PA15-002 Plot Plan and P15-003 pursuant to  
42 the California Environmental Quality Act Section 15164 (b) as only minor  
43 technical changes or additions are required to the prior Mitigated Negative  
44 Declaration with the inclusion of the conditions of approval included as Exhibit A  
45 and the Mitigation Measures included as Exhibit B of the Resolution. This

1 concludes my presentation. I'm available for any questions, as well as the  
2 Applicant is here. Thank you.

3  
4 **CHAIR LOWELL** – Thank you very much. Do we have any questions for Staff?  
5 I don't see anybody raising their hand, so let's move on. Can we have the  
6 Applicant please?

7  
8 **APPLICANT PAUL REIM** – Good evening Commissioners. Thank you for your  
9 time. My name is Paul Reim, the Applicant, and I'd just like to touch on a few  
10 things that Julia mentioned a little bit more about the project. Along with the  
11 project, we're going to be finishing off a big hunk of Box Springs Road adding a  
12 lane, bike lane, sidewalks. I think about 700 feet of Box Springs Road is going to  
13 get finished off, so there won't be very much of Box Springs Road left when we're  
14 done. In addition to that, we'll be upgrading the cabinet in the intersection at  
15 Clark Street into a four-way intersection with turn lanes, so that will help that  
16 intersection. The community will be a gated community; gated access to  
17 residents only. As Julia mentioned, it is going to be done in a drought tolerant  
18 landscape. We're going to have several hundred trees, I think, right Julia? I  
19 think we counted almost 300 trees on the Tentative Conceptual Landscape Plan,  
20 so we're going to be putting a lot of shade on the property. It'll have a leasing  
21 office, a recreation center, a community room, a workout room. The concept in  
22 the recreation area is trying to create several conversation areas to try and  
23 create community within the community. The interiors are going to be completely  
24 furnished with energy efficient appliances, full-size washer/dryers side-by-side  
25 units in each unit, as well as LED lighting inside the units and the building is  
26 complete with sprinklers. So, if there are any questions, I would be happy to  
27 answer them.

28  
29 **CHAIR LOWELL** – I appreciate it. Thank you. Do we have any questions for  
30 the Applicant?

31  
32 **COMMISSIONER GONZALEZ** – I do.

33  
34 **CHAIR LOWELL** – Commissioner Gonzalez.

35  
36 **COMMISSIONER GONZALEZ** – I read in the Staff Report that there is an option  
37 for it, in the future, to be a for rent product and maybe go to a condominium-type  
38 development. Will that be determined by market forces or when is that decision  
39 going to be made?

40  
41 **APPLICANT PAUL REIM** – Yeah, really we have to go to a Tentative Tract  
42 because there are four parcels, so we have to bring those four parcels into one  
43 parcel so the future condominium conversion is kind of a residual of bringing in  
44 the four parcels together into one as a Tentative Tract, yeah.

45  
46 **COMMISSIONER GONZALEZ** – Thank you.

1  
2 **CHAIR LOWELL** – Any other questions for the Applicant? Okay Commissioner  
3 Ramirez.

4  
5 **COMMISSIONER RAMIREZ** – The entryway is off Box Springs Road?  
6

7 **APPLICANT PAUL REIM** – Yes.  
8

9 **COMMISSIONER RAMIREZ** – What is the distance from where the gate is  
10 going to be to the actual street and is there any chance that could get congested  
11 as vehicles are entering through there?  
12

13 **APPLICANT PAUL REIM** – We went through that with Traffic, I think with Mike,  
14 and I can't remember the exact distance but it's the required queueing distance.  
15 It's 60 or 80 feet off Box Springs Road or something like that yeah. It's way back  
16 into the property.  
17

18 **CHAIR LOWELL** – That's going to be an entrance, not just an exit?  
19

20 **APPLICANT PAUL REIM** – Correct. It will be secondary, yeah, but it's  
21 residents only at that entrance. Public is only off Clark.  
22

23 **CHAIR LOWELL** – Thank you. Any other questions? That moves us onto the  
24 Public Comments portion. Do we have any speakers? I believe we have Tom  
25 Jerele. Tom Jerele, you're up Sir. I think we should just give you a permanent  
26 seat over there, Tom.  
27

28 **COMMISSIONER VAN NATTA** – Yeah or a microphone.  
29

30 **CHAIR LOWELL** – Just give you a microphone and you can sit down over there.  
31

32 **SPEAKER TOM JERELE** – Tom Jerele, Sr. again. I'm speaking on behalf of  
33 myself. Chairman Lowell, Commissioners, members of the Staff, and public  
34 watching on TV or on the internet: Thank you for conducting this hearing. You  
35 know, before I go onto my comments on the project, this hearing is a perfect  
36 example of why we needed the alternate system for the Planning Commissioners  
37 and I'm glad to see it coming together. So I just want to give some kudos to the  
38 City as they took that system up. The Applicant and the public get the benefit of  
39 a full Commission Hearing on a project, so I like that. I am here to support the  
40 project. Number (1): It's zone compliant. Number (2): I've seen the man's other  
41 projects and they appear to be first rate apartment complexes, and something  
42 that I noted when I went through the mix that I wasn't aware of until tonight, I  
43 really like the idea of the 57 three-bedroom units. You know, these interest rates  
44 aren't going to last forever. I'd like to think that home values are going to go up  
45 in time, which is a good thing overall, but that can displace a lot of young  
46 couples. I was thinking as I was waiting to speak how before we bought our

1 house, my wife and we ultimately had two kids. We all piled into one little one-  
2 bedroom apartment in Garden Grove. I mean, we didn't start out that way. But,  
3 the kids came, and we were able to keep them in there and luckily we were able  
4 to get a house but that housing went up dramatically. So this affords a quality  
5 housing element in the City. These are people that shop in the city. We know  
6 our commercial element is going to need the additional footprints. I like the idea  
7 of opening up Box Springs because that is a big bottleneck right there. So, even  
8 though it's going to add traffic, it's also going to do something substantial to  
9 remedy it. So I want to endorse the project, and I pray you approve it. Thank  
10 you.

11  
12 **CHAIR LOWELL** – Thank you very much. I don't see any other speakers. I'm  
13 going to close the Public Comments portion. This moves us onto Commissioner  
14 Discussion. Do we have any questions or comments? Commissioner Ramirez?  
15

16 **COMMISSIONER RAMIREZ** – Well I just wanted to say I think it's a great  
17 project once again. It's in an ideal location. It will also support the local  
18 businesses that are there in the area, and I'm ready to vote this project through.  
19

20 **CHAIR LOWELL** – Commissioner Nickel?  
21

22 **COMMISSIONER NICKEL** – My only concern about Clark Street, that's going to  
23 be open to the public? Okay Foothill Baptist Church, and the only reason I'm  
24 bringing it up is that I attended a Traffic Committee Meeting and there was  
25 someone from the church there complaining about a lack of parking and that they  
26 were wanting basically the City to grade them a lot to park. So I was just  
27 concerned that the church may overflow on that street.  
28

29 **CASE PLANNER JULIA DESCOTEAUX** – I'll let Public Works speak more to  
30 the construction of the street, but it will be a public street and it will be open to  
31 parking unless Transportation or Land Development determine that it wouldn't be  
32 allowed to be parked on.  
33

34 **COMMISSIONER NICKEL** – I'm worried it could turn into a nightmare like Saint  
35 Christopher Lane with the congestion of the church traffic, so I don't know if Staff  
36 can mitigate that for Sundays.  
37

38 **CASE PLANNER JULIA DESCOTEAUX** – I can let Public Works talk to the  
39 street improvements.  
40

41 **COMMISSIONER NICKEL** – Thank you.  
42

43 **TRAFFIC ENGINEER MICHAEL LLOYD** – Good evening, Michael Lloyd with  
44 the Public Works Department. With this approval and the improvements that this  
45 project will make, there will be no initial connection between the church and Clark  
46 Street. So I appreciate your concern, and it's certainly something we'll have to

1 look at. But, at least initially, there will be no connection between the church and  
2 Clark Street. Obviously, as the church expands into the vacant lot and develops,  
3 that's when we would look at any potential connections at that time.

4  
5 **COMMISSIONER NICKEL** – Okay, thank you.

6  
7 **CHAIR LOWELL** – Any other questions or comments? Okay, I have a couple. I  
8 remember this project coming before us last year. I see the Revised Tentative  
9 Map in front of me, but I don't really understand what changed. I know you said  
10 there were some minor changes, but was there anything worthy of note or was  
11 this an essentially carbon copied plan that is just coming back for re-approval?

12  
13 **CASE PLANNER JULIA DESCOTEAUX** – It's relatively similar. The only  
14 difference would be the driveway on the western portion of the site was a little bit  
15 different and Clark Street on the original project was a private street at that time,  
16 so it's real minor.

17  
18 **CHAIR LOWELL** – So what triggered this project having to come back in front of  
19 us?

20  
21 **PLANNING OFFICIAL RICK SANDZIMIER** – Mr. Chairman, members of the  
22 Planning Commission: The item that was before you last year was actually a  
23 Change of Zone and a General Plan Amendment, which would allow for a higher  
24 unit count. The unit count on this particular project is higher than the previous  
25 project, so while the map is relatively consistent, the total number of units has  
26 increased.

27  
28 **CHAIR LOWELL** – Gotcha.

29  
30 **PLANNING OFFICIAL RICK SANDZIMIER** – What is the total number of extra  
31 units or additional units?

32  
33 **CASE PLANNER JULIA DESCOTEAUX** – 26.

34  
35 **CHAIR LOWELL** – Thank you very much. Any other questions or comments?  
36 Would somebody like to make a motion?

37  
38 **COMMISSIONER VAN NATTA** – Yes, I'm motioning again.

39  
40 **CHAIR LOWELL** – There we go. Now you can motion.

41  
42 **COMMISSIONER VAN NATTA** – Now I can motion. Okay, I move we approve  
43 an Addendum to the previously adopted Negative Mitigation Declaration for  
44 PA15-0002 Plot Plan pursuant to the California Environmental Quality Act CEQA  
45 Section 15164 (b) as only minor technical changes or additions are required to  
46 the prior Mitigated Negative Declaration approved November 26<sup>th</sup>, 2007 for

1 PA07-0016/PA07-0017 Tentative Tract Map 35414 and Plot Plan. None of the  
2 conditions described in Section 15162 calling for preparation of a subsequent  
3 negative declaration have occurred and thereby approve PA15-0002 subject to  
4 the attached conditions of approval included as Exhibit A and the Mitigation  
5 Measures included as Exhibit B of the Resolution; and approve PA15-0002 Plot  
6 Plan subject to the attached conditions of approval included as Exhibit A and the  
7 Mitigation Measures included as Exhibit B of the Resolution and that the  
8 Planning Commission approve Resolution No. 2015-22 and thereby approve an  
9 Addendum to the previously adopted Mitigated Negative Declaration for P15-003  
10 Revised Tentative Tract Map 35414 pursuant to the California Environmental  
11 Quality Activity (CEQA) Section 15164 (b) as only minor technical changes or  
12 additions are required to the prior Mitigated Negative Declaration approved  
13 November 26<sup>th</sup>, 2007 for PA07-0016/PA07-0017 Tentative Tract Map 35414 and  
14 Plot Plan. None of the conditions described in Section 15162 calling for  
15 preparation of a subsequent negative declaration have occurred and thereby  
16 approve P15-003 subject to the attached conditions of approval included as  
17 Exhibit A of the Mitigation Measures included as Exhibit B of the Resolution; and  
18 approve P15-003 Revised Tentative Tract Map 35414 subject to the attached  
19 conditions of approval included as Exhibit A and the Mitigation Measures  
20 included as Exhibit B of the Resolution.

21

22 **CHAIR LOWELL** – Are you sure you got it all?

23

24 **COMMISSIONER VAN NATTA** – I think so.

25

26 **CHAIR LOWELL** – So we have a motion by Commissioner Van Natta and we  
27 have a second by Commissioner Korzec. Let’s vote. We are waiting on  
28 Commissioner Barnes, but he is absent because he recused himself, so we’re  
29 going to end the vote. Voting has ended. The motion passes 7-0. Do we have a  
30 Staff wrap-up on this item?

31

32

33 **Motion carries 7 – 0**

34

35

36 **PLANNING OFFICIAL RICK SANDZIMIER** – We do. This is another item that  
37 is appealable to the City Council. Any interested party that would be interested in  
38 filing an appeal would file their appeal within 15 consecutive days of this action.  
39 That appeal would be filed with the Community Development Director in the  
40 Community Development Department. And, if such an appeal is filed, it would be  
41 agendized for a City Council Hearing within 30 days.

42

43

44 **OTHER COMMISSION BUSINESS**

45

1 **CHAIR LOWELL** – Thank you very much. That moves us onto Other  
2 Commission Business, which I do not believe we have any Other Business.

3  
4  
5 **STAFF COMMENTS**

6  
7 **CHAIR LOWELL** – Do we have any Staff comments?

8  
9 **PLANNING OFFICIAL RICK SANDZIMIER** – The only Staff Comments that I  
10 have is I did miss the July meeting. It was fun to be back here. I also do  
11 appreciate the efficiency of tonight’s meeting and the efficiency I heard at the  
12 July 23<sup>rd</sup> meeting. My Staff is working very hard to put together good Staff  
13 Reports, and I hope that’s one of the reasons that we’re able to get through these  
14 things. I do appreciate the comments from the public as well tonight on the  
15 efforts of our Staff. And so, with that, I’ll conclude.

16  
17  
18 **PLANNING COMMISSIONER COMMENTS**

19  
20 **CHAIR LOWELL** – That moves us onto Planning Commissioner Comments.  
21 Does anybody have any comments?

22  
23 **COMMISSIONER VAN NATTA** – Our next meeting is?

24  
25 **PLANNING OFFICIAL RICK SANDZIMIER** – Our next meeting is....

26  
27 **GRACE ESPINO-SALCEDO** – That would be Thursday, September 24<sup>th</sup>, 2015.

28  
29 **CHAIR LOWELL** – September 24<sup>th</sup>, 2015, there we go.

30  
31 **COMMISSIONER VAN NATTA** – I just always like it when he says that. It’s kind  
32 of...

33  
34 **CHAIR LOWELL** – One of the questions I had last time, which I was hoping to  
35 get some answers to, is I would like to have the members of the Commission  
36 allowed the chance to tour some of the facilities we’ve approved in the past. For  
37 instance, Aldi Foods. We have the Amazon facility, which I believe is JPA. But  
38 we also have Proctor & Gamble. We have a lot of large warehouses coming into  
39 our area, and because there are going to be more coming to us for approval or  
40 suggestions, I’d kind of like to know better what we’re approving on the inside of  
41 the building. We know what the outside of the building looks like, but the inside  
42 of the building is kind of the important thing. So if we could kind of arrange that  
43 and have maybe the City chaperone the events so we don’t have any Brown Act  
44 violations or whatnot.



1 **PLANNING OFFICIAL RICK SANDZIMIER** – I’d be happy to do that. I will work  
2 with our Economic Development Staff whose worked with a lot of the various  
3 businesses out there and the property owners that are trying to market the  
4 properties. I think that there would be good opportunity to include the  
5 Commissioners, including the alternate Commissioners. I also wanted to  
6 compliment the alternate Commissioners as Mr. Jerele had. I think it’s working  
7 really well.

8  
9 **CHAIR LOWELL** – I think it’s working very well also. And one of the facilities I  
10 would really like to see is the Fisker facility, maybe get a free test drive or  
11 something. I’d also like to comment that our alternate Commissioners did a great  
12 job tonight. Thank you very much.

13  
14 **COMMISSIONER GONZALEZ** – Thank you.

15  
16 **CHAIR LOWELL** – Any other comments?

17  
18 **COMMISSIONER VAN NATTA** – Well I just wanted to say, when you’re  
19 including that list, I think it would be really nice since we just talked about an  
20 enormous warehouse facility that we get to go into the largest one we have in  
21 town which is the Skechers one and get an idea of what it’s like with all the  
22 robotics and everything in place.

23  
24 **CHAIR LOWELL** – Make a nice fieldtrip out of it.

25  
26 **COMMISSIONER VAN NATTA** – Yeah, especially if lunch is included.

27  
28 **PLANNING OFFICIAL RICK SANDZIMIER** – I’ll see what we can do.

29  
30  
31 **ADJOURNMENT**

32  
33 **CHAIR LOWELL** – With that said, this concludes our meeting. The next  
34 meeting is adjourned until our next Regular Meeting, which is September 24<sup>th</sup>,  
35 2015, at 7:00 PM. Thank you very much and have a good night.  
36

1 **NEXT MEETING**

2 *Next Meeting: Planning Commission Regular Meeting, September 24<sup>th</sup>, 2015, at*  
3 *7:00 PM, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick*  
4 *Street, Moreno Valley, CA 92553*  
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17 Richard J. Sandzimier  
18 Planning Official  
19 Approved  
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\_\_\_\_\_ Date

30 \_\_\_\_\_  
31 Brian R. Lowell  
32 Chair  
33

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of Aug 27, 2015 7:00 PM (APPROVAL OF MINUTES)

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 REGULAR MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4  
5

6 Thursday December 10<sup>th</sup>, 2015, 7:00 PM

7  
8  
9 CALL TO ORDER

10  
11 CHAIR LOWELL – Good evening ladies and gentleman. I would like to call the  
12 Regular Scheduled Planning Commission Meeting of December 10, 2015 to  
13 order. The time is 7:07 PM. May we have roll call please?  
14

15  
16 ROLL CALL

17  
18 Commissioners Present:

19 Chair Lowell  
20 Alternate Planning Commissioner Nickel  
21 Commissioner Korzec  
22 Alternate Planning Commissioner Gonzalez  
23 Commissioner Van Natta  
24 Commissioner Baker  
25 Commissioner Barnes  
26

27 Staff Present:

28 Rick Sandzimier, Planning Official  
29 Claudia Manrique, Associate Planner  
30 Mark Gross, Senior Case Planner  
31 Chris Ormsby, Senior Case Planner  
32 Paul Early, City Attorney  
33  
34

35 CHAIR LOWELL – I would like to note that Commissioner Ramirez and  
36 Commissioner Sims are absent and in their place alternate Commissioners Lori  
37 Nickel and Commissioner Erlan Gonzalez are taking their place. With that said, I  
38 would like to invite Shaheed Juarez up to the podium to lead us in the Pledge of  
39 Allegiance tonight.  
40

41  
42 PLEDGE OF ALLEGIANCE

43  
44  
45 APPROVAL OF THE AGENDA

1 **CHAIR LOWELL** – Thank you. I would then like to motion to approve tonight’s  
2 Agenda.

3  
4 **COMMISSIONER VAN NATTA** – So moved.

5  
6 **COMMISSIONER BAKER** – I’ll second.

7  
8 **CHAIR LOWELL** – Perfect. Motion by Commissioner Van Natta; second by  
9 Commissioner Baker. May we have a vote please. A roll call vote? I don’t think I  
10 have the option to vote on here yet. Oh, there we go. Now we can vote. So if  
11 Commissioner Van Natta would like to motion.

12  
13 **COMMISSIONER VAN NATTA** – It’s not coming up on mine.

14  
15 **CHAIR LOWELL** – I’m trying to push it. There we go. Now it should work.  
16 Okay there we go. Technology makes things more difficult I swear. Okay we are  
17 good to go. Looks like we passed the Agenda 7-0; awesome.

18  
19 **COMMISSIONER VAN NATTA** – Wow. That’s a good start.

20  
21 Opposed – 0

22  
23  
24 **Motion carries 7 – 0**

25  
26  
27 **SPECIAL PRESENTATION**

28  
29 Vista Verde Middle School 8<sup>th</sup> Grade STEM Class on WLC

30  
31 **CHAIR LOWELL** – That’s a good start to the meeting. With that said, this  
32 moves us on to a special presentation. This has been something that the City,  
33 myself, and a local school have worked on. This is kind of a neat thing. Vista  
34 Verde Middle School’s 8th grade class, the STEM Class, they have a special  
35 presentation on the World Logistics Center. The synopsis of this is that my wife  
36 is a teacher at Vista Verde Middle School and one of her colleagues, Ms. Jenny  
37 Pramschufer, asked the students to do a project on the World Logistics Center.  
38 In trying to get some background and some research, she invited me to her  
39 class. I extended an invite to Mr. Mark Gross. The two of us went to the  
40 classroom and gave several hours of presentations to the kids. We spent  
41 several hours fielding questions and got the kids on their merry way giving them  
42 some background and that has expanded into a 15 minute presentation that the  
43 kids did. There were eight groups and the best for and against presentations  
44 were picked out of their entire class. We invited them here to give a  
45 presentation, but due to some unforeseen technical difficulties we are not able to  
46 show the presentation so we’re kind of on a change of pace tonight. Instead of

1 the kids giving their full presentations, which they gave at school, we're going to  
2 kind of change gears a little bit. We have Mayor Pro Tem Yxstian Gutierrez here.  
3 He is going to introduce the students, give a little summary, and we're going to  
4 talk a little bit more. Then we'll introduce the kids. So you can come on up.

5  
6 **MAYOR PRO TEM YXSTIAN GUTIERREZ** – Alright well I'm excited to be here  
7 tonight on behalf of Chairman Lowell's invitation. Vista Verde Middle School  
8 students did a great job with this project. They completed a two-week  
9 assignment and group collaboration to review the World Logistics Center; its pros  
10 and cons. The WLC pros and cons, environmental impacts, and community  
11 responses were all taken into consideration before they came up with their  
12 individual opinions on the project. They also went through an information  
13 gathering phase as well, including by collecting background materials. They also  
14 received interviews and conducted those interviews by teachers, neighbors, and  
15 other community members. In some instances the interviews were conducted  
16 with local leaders, including Council Members. All of these tasks assisted the  
17 student groups in defending their final opinion for or against the project. Over 50  
18 students participated in the project. Fifteen minute presentations were  
19 completed to provide an evaluation of project research and possible solutions.  
20 Each of the presentations included verbal and media presentations with videos  
21 and project websites as Chairman Lowell indicated. The students exemplified  
22 great prowess in their ability to comprehend the issues, conduct public outreach,  
23 formulate final determinations, and provide multimedia presentations. Two group  
24 finalists with opposing viewpoints were invited to give their presentation at  
25 tonight's Planning Commission Meeting. I'd like to invite the students to please  
26 come forward to receive their certificate. The City of Moreno Valley, on behalf of  
27 the City Council, we appreciate their efforts and also in being a future leader as  
28 well. I am pleased to present the certificates of recognition to the winning teams,  
29 so without further ado the first one is for Isabel Andres. Is she here tonight? She  
30 couldn't make it? Okay. Kailey Bateman, alright. Congratulations. You can  
31 stand right there. Our next certificate goes to Angela Garcia. Is she here?  
32 Alright. Congratulations. Shaheed Juarez. Gabriel Sagastume. Liliana  
33 Villanueva. Congrats. Alexander Josti. I don't know if I'm saying it correctly.  
34 He's not here today? Okay. And this one is for the teacher who, and I'm just  
35 going to read this. It says awarded this Certificate of Recognition for successfully  
36 coordinating the students problem-based learning assignment to research,  
37 conduct surveys and interviews, and collect data on the economic and  
38 environmental impact of the World Logistics Center. So on behalf of the City  
39 Council, congratulations Ms. Jenny Pramschufer. And, if you want, maybe just  
40 take a little quick photo.

41  
42 **PLANNING OFFICIAL RICK SANDZIMIER** – Thank you Mayor Pro Tem. I'd  
43 like to say a few words. My name is Rick Sandzimier. I'm the Planning Official  
44 for the City of Moreno Valley, and I just wanted to take a quick second here and  
45 recognize the kids personally myself. As the leader of the Planning Department  
46 here in the City, when Planning Commissioner Lowell called me up and talked

1 about this particular project I thought this was an excellent opportunity. It's  
2 something that is inline with what I want our Staff to be doing, which is to get  
3 engaged with the community. I'm happy that Mark Gross, our Senior Planner  
4 who worked on the project, was actually able to get out to the community to meet  
5 with these kids to sit down and share with them some of the thinking that goes on  
6 in how these projects are developed. You should appreciate how much  
7 information you're getting about your community not only by meeting with my  
8 Staff but with your teachers who have offered you the opportunity to learn from  
9 the Commissioner who is an appointed leader in our community and the fact that  
10 you've drawn the recognition from our Mayor Pro Tem this evening to come out  
11 and recognize you for your effort. I think those are all commendable. The fact  
12 that we have outstanding parents that are standing behind these kids is also  
13 something that is important to me as a leader in this community and I don't get  
14 much time to get up here and say these kinds of things, but I used to do Campus  
15 Planning at UC Irvine when I first started in my career. I was a student at the  
16 school at the time when I got engaged, and one of the things that I found very  
17 enjoyable as I was a student was I got involved in the campus planning. I started  
18 appreciating a little bit more about what was going on when I walked around from  
19 classroom to classroom. I got a job at the university and started doing some  
20 Campus Planning and working with the adjacent City. I learned a little bit more  
21 and it just was an ever-growing learning experience since that point. And these  
22 kids who have now have had the opportunity not only to meet with my Staff and  
23 the teachers and gone through this exercise I believe that the developer who is  
24 here this evening, Iddo Benzeevi, I believe his team had some involvement in  
25 providing some information. The students get the opportunity now to see how all  
26 this stuff is kind of brought together and how it's made and how they can  
27 formulate an opinion. Whether it's in favor or against, it's important that our  
28 community from the get go, from young people, start learning about how your  
29 community works. So that is a very exciting thing for me because we have a lot  
30 of people that show up at our Council meetings. A lot of them are adults. We  
31 have some young adults that are showing up, but when we get down to the  
32 young level at 8th grade and you guys now have an opportunity to see how a  
33 large project is put together you can also appreciate that those are the same  
34 pieces that go into how we plan our roadways, how we plan our trail systems,  
35 how we plan our parks, how our Economic Development Team is working with  
36 the different businesses that want to come in here. There are a lot of decisions  
37 that are going on about why somebody wants to come to Moreno Valley and they  
38 all have to make the same choice. Is it a good thing or a bad thing? Is this going  
39 to be good for my future or not so good for my future? And so getting the input  
40 from the community is very important, and I appreciate the opportunity to have  
41 my team work with you and be here with you tonight when you get your  
42 recognitions so thank you very much.

43

44 **CHAIR LOWELL** – I do believe the students still had a small presentation they  
45 wanted to give also, so if you would approach the microphone and introduce  
46 yourself and the floor is yours for a while.

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**SPEAKER ANGELA GARCIA** – Hi. I’m Angela Garcia.

**SPEAKER GABRIEL SAGASTUME** – I’m Gabriel Sagastume.

**SPEAKER KAILEY BATEMAN** – I’m Kailey Bateman.

**SPEAKER LILIANA VILLANUEVA** – I’m Liliana Villanueva.

**SPEAKER SHAHEED JUAREZ** – And I’m Shaheed Juarez.

**SPEAKER ANGELA GARCIA** – And we are part of the 8th grade Junior Scholars Program at Vista Verde Middle School.

**SPEAKER LILIANA VILLANUEVA** – As Angela said, we are part of the Junior Scholars Program, which offers well-qualified students a rigorous Pre-AP, highly structured and cross-curricular environment. It’s intended to prepare us for consideration into the comprehensive high schools that have Scholars programs set out for us. Here we immerse ourselves in challenging and dynamic curricular meanwhile gaining the skills we need to succeed academically. Now we were here to present to you our presentations that we conducted in PBL and PBL is a teaching method that the leaders of our Junior Scholars Program have used. We, the students, work for a period of time to investigate and respond to a strong dynamic and complex question or problem, which Angela will take away.

**SPEAKER ANGELA GARCIA** – When assigned PBL we were given a driving question that we would base our entire projects off of. This question was how do we calculate and counteract the effect of a massive World Logistics Center in Moreno Valley. For the entire assignment we created we were asked to choose whether we were for or against the World Logistics Center. One of our groups has chosen to support while the other has chosen to oppose.

**SPEAKER SHAHEED JUAREZ** – So as part of the PBL project we had to do some sort of assignment for each of the four main subjects. For example, for math we had to come up with survey questions and interview people and our survey questions had to somehow support our argument. For example, do you think pollution is good or bad? Or how do you feel about the City getting these jobs?

**SPEAKER KAILEY BATEMAN** – For science, we had to collect all of our data and write an abstract to display this in a few paragraphs.

**SPEAKER GABRIEL SAGASTUME** – In our ELA class, we had to create a thesis statement, which is the basis and heart of our presentation and our whole project together.

Minutes Acceptance: Minutes of Dec 10, 2015 7:00 PM (APPROVAL OF MINUTES)

1 **SPEAKER LILIANA VILLANUEVA** – Thank you for listening to our  
2 presentation. We did hope to present to you our entire PBL, but this is a basic  
3 synopsis of it and we thank you.

4  
5 **CHAIR LOWELL** – I just want to extend my congratulations to the group of kids.  
6 Between Mark Gross and myself, we spent a couple days at the school helping  
7 the kids, answering questions, giving them information, and it was an amazing  
8 experience for me. I know for me it was an amazing experience. Seeing the  
9 level that these kids were being asked to perform, for instance tonight where we  
10 had the technical issue where their presentations weren't going to be broadcast  
11 these kids just came up with that little speech off the cuff, and I'm quite  
12 impressed at how quickly they were able to come up with something that was so  
13 coherent. I mean they're outshining me right now, but I'm just truly impressed. It  
14 was a heck of a great experience for me. I don't know if Mark Gross will respond  
15 the same.

16  
17 **SENIOR CASE PLANNER MARK GROSS** – Other than this was an impressive  
18 group, and all I can say is these are definitely future leaders of our City. I mean  
19 they have definitely something to bring to the table, and this was a rewarding  
20 experience for Staff to be involved in this type of a project and the presentation  
21 that they provided; great presentations.

22  
23 **CHAIR LOWELL** – And I know that five students were here tonight but six  
24 received certificates. But I want to extend my congratulations to everybody in  
25 your class who did a phenomenal job. Being on the receiving side trying to grade  
26 the projects and pick the best is like trying to pick your favorite kid. It's really  
27 impossible to do. If we had the time, I wish we could have all the kids here and  
28 give them certificates and let them speak, but it was a fantastic experience and I  
29 really appreciate the time. Thank you very much. Do we still want to stop for a  
30 photo?

31  
32 **PLANNING OFFICIAL RICK SANDZIMIER** – I was going to say Chairman,  
33 you're welcome to take a slight break if they want to take some pictures if their  
34 family wants to come up and take pictures. We would just ask that you take a  
35 small recess.

36  
37 **CHAIR LOWELL** – Alright I think we're going to do that. We're going to take a  
38 small recess, so we can allow the parents, students, and Mayor Pro Tem to  
39 come up here and do a nice little photo op. We'll be back in a couple of minutes.  
40 Thank you.

41  
42  
43 **MEETING BREAK**

44  
45  
46 **CONSENT CALENDAR**



1 All matters listed under Consent Calendar are considered to be routine and all  
2 will be enacted by one rollcall vote. There will be no discussion of these items  
3 unless Members of the Planning Commission request specific items be removed  
4 from the Consent Calendar for separate action.

5  
6 **CHAIR LOWELL** – Welcome back everybody. We’re back to our live meeting.  
7 So that was our special presentation. Again I want to thank everybody and  
8 congratulate everybody that received their certificates today. We’re moving on to  
9 our Consent Calendar, which I don’t believe we have any items on the Consent  
10 Calendar tonight.

11  
12  
13 **APPROVAL OF MINUTES**

14  
15 **CHAIR LOWELL** – Moving on to approval of Minutes, which we don’t have any  
16 from previous meetings.

17  
18  
19 **PUBLIC COMMENTS PROCEDURE**

20  
21 *Any person wishing to address the Commission on any matter, either under*  
22 *Public Comments section of the Agenda or scheduled items or public hearings,*  
23 *must fill out a “Request to Speak” form available at the door. The completed*  
24 *form must be submitted to the Secretary prior to the Agenda item being called by*  
25 *the Chairperson. In speaking to the Commission, member of the public may be*  
26 *limited to three minutes per person, except for the applicant for entitlement. The*  
27 *Commission may establish an overall time limit for comments on a particular*  
28 *Agenda item. Members of the public must direct their questions to the*  
29 *Chairperson of the Commission and not to other members of the Commission,*  
30 *the applicant, the Staff, or the audience.*

31  
32 **CHAIR LOWELL** – We now are going to go to the Public Comments portion. I  
33 don’t believe we have any Public Comments. Do we have any Speaker Slips  
34 tonight? No?

35  
36  
37 **NON-PUBLIC HEARING ITEMS**

38  
39 **CHAIR LOWELL** – Alright so that just keeps us moving on down. So we go to  
40 the Non-Public Hearing Items, which I don’t believe we have any.

41  
42  
43 **PUBLIC HEARING ITEMS**

- 44  
45 1. Case: PA15-0009 (CUP)  
46 Applicant: Verizon Wireless

1 Owner: Shinder Kaur and Parmjit Singh  
2 Representative: SAC Wireless (Dail Richard)  
3 Location: 14058 Redlands Boulevard (Farm Market)  
4 Case Planner: Claudia Manrique  
5 Council District: 3  
6 Proposal: Conditional Use Permit (PA15-0009) for a new  
7 wireless communications facility.  
8

9 **STAFF RECOMMENDATION:**

10 Recommend the Planning Commission **APPROVE** Resolution No. 2015-25.

- 11  
12  
13 1. **CERTIFY** that the proposed Verizon wireless telecommunications  
14 facility is exempt from the provisions of the California Environmental  
15 Quality Act (CEQA), as a Class 3 Categorical Exemption, CEQA  
16 Guidelines, Section 15303 for New Construction or Conversion of  
17 Small Structures; and  
18  
19 2. **APPROVE** Conditional Use Permit PA15-0009 based on the findings  
20 contained in Planning Commission Resolution 2015-25, subject to the  
21 conditions of approval included as Exhibit A of the Resolution.  
22

23 **CHAIR LOWELL** – Now we go to the Public Hearing Items, which the first item  
24 number is Case No. PA15-0009, a Conditional Use Permit, which this item I  
25 believe was continued from a few meetings ago. The Case Planner is Claudia  
26 Manrique.  
27

28 **COMMISSIONER VAN NATTA** – And since I was not in on this when they  
29 began, I will be excusing myself from the meeting for this item.  
30

31 **CHAIR LOWELL** – That is correct. Per our rules, whoever is seated at the  
32 original hearing of the item is the body that is going to be present for the rest of  
33 the hearing. Commissioner Ramirez was absent. Commissioner Nickel was in  
34 his place. Again Commissioner Van Natta was absent, so Commissioner  
35 Gonzalez was in her place. You don't have to leave the room if you don't want  
36 to. You can just take a seat.

37 **COMMISSIONER VAN NATTA** – It's a conflict.  
38

39 **CHAIR LOWELL** – Not for this one. It's not a conflict.  
40

41 **PLANNING OFFICIAL RICK SANDZIMIER** – No you don't have to leave the  
42 room. You can actually sit in the room.  
43

44 **CHAIR LOWELL** – Unless you want to go out and get some fresh air. So, that  
45 said, Claudia Manrique is the Case Planner. Do we have the Staff Report on this  
46 item?

1 **PLANNING OFFICIAL RICK SANDZIMIER** – Yeah. This item is an item that  
2 was continued from originally the October 8<sup>th</sup> meeting. There has been a period  
3 of time the item was actually continued to a couple of times since then to give the  
4 Applicant an opportunity to work through some of the issues. Claudia will be  
5 giving the presentation. Staff is available to answer all the questions later.  
6

7 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Good evening. I'm Claudia  
8 Manrique the Case Planner for PA15-0009 Conditional Use Permit for a new  
9 Verizon Wireless Telecommunications Facility with a 60-foot monopine. It was  
10 first heard at the October 8<sup>th</sup> Planning Commission Hearing. The Commission  
11 raised some questions and requested clarification on the CEQA determination,  
12 project location, required setbacks, and what was being considered for the future  
13 widening of Kimberly Avenue. During the Public Comment portion of the  
14 meeting, we had two public speakers who raised concerns with the location near  
15 the residential homes to the east and the south of the project. The Planning  
16 Commission granted a continuance to allow the Applicant time to address the  
17 comments, and it was continued to the October 22<sup>nd</sup> meeting. Requiring  
18 additional time, the Applicant asked for two continuances from November 12<sup>th</sup>  
19 and tonight's hearing December 10<sup>th</sup>. During this time, Staff has been working  
20 with SAC Wireless and Verizon to review the onsite relocation of the proposed  
21 wireless facility further north on the site and away from Kimberly Avenue. We  
22 have the aerial that will show the new location. It's more towards the center of  
23 the site. It's on the actual neighboring parcel. Both parcels are owned by the  
24 same property owner. Unfortunately, on the aerial, we don't have the farm  
25 market on there yet. This is the new Site Plan. Again you'll see the tree has  
26 been moved to the center of the site. It is behind the trash enclosure of the farm  
27 market, and there will be two additional live pine trees to help with the integration  
28 of the wireless facility on the site. This new location provides 154 feet setback  
29 from Kimberly Avenue, which is on the south end of the property, 87 feet from  
30 Alessandro which is on the north, and from the east 117 feet. The minimum  
31 requirement setback from all these three is 60 feet. This is an actual view of the  
32 tree, and in front of the tree you'll see a trash enclosure and there is the farm  
33 market, as well as the two trees that will be planted. This is from the east on the  
34 bottom view. We have some photo simulations. This will be from Alessandro  
35 looking south onto the property. This is from Redlands Boulevard looking east.  
36 This is also on Redlands but looking north from Kimberly Avenue. Right now this  
37 is the coverage at the site. This is with the new proposed monopine. The green  
38 shows the extent of the capacity of the carrier and the coverage that will be  
39 received by the new monopine. This shows with other wireless facilities in the  
40 area. Again Staff has been working with the Applicant to solve the issues of the  
41 prior location and now we meet and exceed the required setbacks and also  
42 moving the tree further north on the site works for any of the future widening of  
43 Kimberly Avenue. The Staff has reviewed the project in accordance to CEQA  
44 Guidelines and determined that the project qualifies as a Category Exemption  
45 under 15303 New Construction or Conversion of a Small Structure. This  
46 exemption includes projects that involve construction in location of limited

1 numbers of new small facilities or structures including electrical, gas, and other  
2 utility extensions. This project consists of a wireless cell facility, which is  
3 intended to improve the wireless coverage to the neighbors. The public notice  
4 for this project was for the October 8<sup>th</sup> meeting and was completed on September  
5 27<sup>th</sup>. Given the prior action of the Planning Commission to formally continue the  
6 hearing to dates certain, no additional public notice was required and Staff  
7 recommends that the Planning Commission certify that the project is exempt  
8 under CEQA as a Class 3 Category Exemption Section 15303 and approve  
9 Conditional Use Permit PA15-0009 based on the findings contained in Resolution  
10 2015-25. Thank you.

11  
12 **CHAIR LOWELL** – Does anybody have any questions for Staff? I don't see any  
13 hands going up, so I would like to invite the Applicant up.

14  
15 **APPLICANT AHMAD SMITH** – Good evening. My name is Ahmad Smith. I live  
16 at 1421 Haddington Drive in Riverside, California. I am here representing  
17 Verizon Wireless and on behalf of Verizon Wireless I would like to thank Staff for  
18 working with us so diligently to put together a project that we think can be  
19 approved by the Planning Commission and that will be a great benefit to the City  
20 of Moreno Valley, its residents, and our customers. My consultant who has  
21 worked with Staff so diligently took ill last night, so I am here on his behalf and I  
22 can answer any questions that Staff or the Commission might have of me and  
23 just let me say that we have reviewed the conditions of approval. We have no  
24 problem with them. We can accept them, and we ask that you guys approve our  
25 project as is.

26  
27 **CHAIR LOWELL** – Thank you. Does anybody have any questions for the  
28 Applicant? No? Okay. Thank you very much.

29  
30 **APPLICANT AHMAD SMITH** – Thank you.

31  
32  
33 **PUBLIC COMMENTS**

34  
35 **CHAIR LOWELL** – I would like to open up the Public Comments portion. It  
36 looks like we have one speaker ready to speak. We have Richard Irvine.

37  
38 **SPEAKER RICHARD IRVINE** – My name is Richard Irvine. I live right next door  
39 to the proposed site, and I represent the residents that are against the project.  
40 My notes are all out of order here.

41  
42 **CHAIR LOWELL** – No worries. You can take your time.

43  
44 **SPEAKER RICHARD IRVINE** – Yeah well I only got three minutes and I timed  
45 it.

1 **CHAIR LOWELL** – We paused it. I won't hold that against you.

2  
3 **SPEAKER RICHARD IRVINE** – I'm missing the very first page. The residents  
4 are supposed to be notified about this, and I heard her say that it wasn't  
5 necessary to do so. I thought that would've constituted reversible error but  
6 leaves to be seen. Verizon points out that 20 years ago our government said  
7 that radiation is not harmful. That was back when there were few cell towers and  
8 hardly anybody had a cell phone. Now there are 200 million in the United States,  
9 which incidentally allows 100 times more radiation than is permitted in some  
10 other countries. In that 20 years dozens of studies have proven the health  
11 hazards of cell towers. California mandates that "every effort should be made to  
12 place these controversial structures away from established residential  
13 neighborhoods." If you agree with the State, you must vote no on this proposal.  
14 There are no above-ground telephone poles, electric or cable lines in this  
15 neighborhood. Is it necessary to force this tower upon us? Construction at the  
16 proposed site has virtually stopped for the last two months possibly due to the  
17 code violations, environmental, and legal issues. This construction has been  
18 ongoing for over five years subjecting neighbors to dust, dirt, dumping, noise,  
19 damages, and violations. This site is simply not a good choice. This exact  
20 historical site dates back to the original start of Moreno in 1891. Should history  
21 be sacrificed to this technology? Studies show this 60-foot structure will have a  
22 negative impact on property values. Is this fair to the homeowners? The  
23 homeowners say no, and they have signed petitions to save their health,  
24 property, and right to quiet enjoyment. Are you going to ignore their signatures?  
25 If no, vote no. Verizon is required by law to prove that no alternative sites are  
26 available. They have not even come close to meeting that obligation requiring  
27 you to vote no. Have all the problems been thoroughly researched and legally  
28 addressed like lot line setbacks, easements, hazards, future development, and  
29 residential rights? Are you sure this project is immune from class action,  
30 violation of civil rights, due process, or other litigation? If you have the slightest  
31 question or reasonable doubt or have answered no to any of the questions that  
32 I've asked, I strongly recommend that you err on the side of caution and vote no  
33 on this proposal to get the cell out of our neighborhood.

34  
35 **CHAIR LOWELL** – Thank you very much Mr. Irvine. Thank you very much. I  
36 don't hear or see any other people wanting to speak, so at this point in time I  
37 want to close the Public Comments portion.

38  
39  
40 **COMMISSIONER DISCUSSION**

41  
42 **CHAIR LOWELL** – That moves us on to Commissioner Discussion. Do we  
43 have any questions or concerns? Anybody have any comments or actually  
44 would the Applicant like to comment on what he just heard? Do you have any  
45 questions or comments? Nothing? Okay. I would like to thank the Applicant.  
46 One of the major concerns we had were some setbacks and a couple of other

1 little items here and there, and I'd like to thank them for taking the time to  
2 address our concerns and come back with a new Site Plan. It looks like on the  
3 Site Plan you have addressed all of our concerns, so I really appreciate it. I  
4 know it took a little bit of effort and it has been continued a couple meetings, but I  
5 appreciate the effort. Thank you very much. Anybody like to motion tonight?

6  
7 **COMMISSIONER NICKEL** – I'll motion.

8  
9 **CHAIR LOWELL** – I'll second. Motion by Commissioner Nickel. Second by  
10 myself. Please vote.

11  
12 **DEPUTY CITY ATTORNEY PAUL EARLY** – Have we established what that  
13 motion is? Is it to approve as set forth in the Agenda?

14  
15 **CHAIR LOWELL** – Microphone.

16  
17 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah you're not on, and you don't  
18 need to necessarily read it all if you just tell us that the motion is to approve as  
19 set forth in the Agenda. That is sufficient too.

20  
21 **COMMISSIONER NICKEL** – Approve Conditional Use Permit PA15-0009.

22  
23 **CHAIR LOWELL** – She's making a motion to approve the Resolution that is  
24 presented tonight. I second it. We will still have the vote. Vice Chair Sims and  
25 Commissioner Van Natta are abstaining because they're not here, so we are  
26 good to go. The vote passes 6-0 with three abstaining because they're not here,  
27 so we're good to go. This voting system is a little confusing because before we  
28 used to read the whole thing and say I motion it, so it's a little bit of a learning  
29 process for me still so.

30  
31 Opposed – 0  
32 Abstentions – Vice Chair Sims  
33 Commissioner Van Natta  
34 Commissioner Ramirez

35  
36  
37 **Motion carries 6 – 0 with three Abstentions**

38  
39  
40 **PLANNING OFFICIAL RICK SANDZIMIER** – If I may, just for interpretation  
41 purposes, by moving the Staff recommendation to approve the project we  
42 assume that certification of the environmental document was included in that?

43  
44 **ASSOCIATE PLANNER CLAUDIA MANRIQUE** – Correct.

45  
46 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay.

1 **CHAIR LOWELL** – I still think we should read the motion to approve item A,  
2 item B. I still think that would be a better way of doing it to alleviate any  
3 confusion.

4  
5 **DEPUTY CITY ATTORNEY PAUL EARLY** – Completely up to you.  
6

7 **CHAIR LOWELL** – I think we'll do that moving forward. Is there Staff wrap-up  
8 on this item?  
9

10 **PLANNING OFFICIAL RICK SANDZIMIER** – This is a Conditional Use Permit.  
11 It is an action by the Planning Commission that is appealable to the City Council  
12 if there are any interested parties that are interested in doing so. Our Municipal  
13 Code outlines that an appeal can be filed to the City Council through the Director  
14 of Community Development. That appeal must be filed within 15 days of this  
15 action, and that's the wrap-up.  
16

17 2. Case: PA15-0035 - Tentative Parcel Map No. 36986  
18 Applicant: Al Rattan  
19 Owner: Continental East Fund VII, LLC  
20 Representative: Charlene Kussner  
21 Location: Southwest corner of Brodiaea Avenue and Moreno  
22 Beach Drive  
23 Case Planner: Mark Gross, AICP  
24 Council District: 3  
25 Proposal: PA15-0035 Tentative Parcel Map No. 36986 -  
26 Finance and Conveyance Map  
27  
28

29 **STAFF RECOMMENDATION:**  
30

31 Staff recommends that the Planning Commission **APPROVE** Resolution No.  
32 2015-32, and thereby:  
33

- 34 1. **CERTIFY** that the project will not have a significant effect on the  
35 environment and is therefore exempt from the provisions of the  
36 California Environmental Quality Act (CEQA), as a Class 15  
37 Categorical Exemption as allowed for Minor Land Division, per CEQA  
38 Guidelines Section 15315; and  
39  
40 2. **APPROVE** PA15-0035 Tentative Parcel Map No. 36986 to subdivide  
41 7.4 gross acres of land located in Assessor's Parcel Number 486-250-  
42 021 into two (2) parcels for finance and conveyance purposes only,  
43 and subject to the attached conditions of approval included as Exhibit  
44 A.  
45

1 **CHAIR LOWELL** – Thank you. That moves us onto item #2, which is Case No.  
2 PA15-0035, a Tentative Parcel Map No. 36986. At this time, I would like to  
3 acknowledge that Commissioner Van Natta is seated again. The Case Planner  
4 on this is Mr. Mark Gross. Do we have a Staff presentation on this item?  
5

6 **SENIOR CASE PLANNER MARK GROSS** – Good evening Chair Lowell and  
7 Members of the Planning Commission. I'm Mark Gross, Senior Planner here to  
8 discuss PA15-0035. The Applicant, Continental East, is requesting approval for  
9 Tentative Parcel Map 36986, which creates a two-parcel subdivision for finance  
10 and conveyance purposes only. The proposed map for the almost 7.4 acre  
11 parcel located on the southwest corner of Moreno Beach Drive and Brodiaea  
12 Avenue does not include any proposed development. Now the first slide that you  
13 see up there is just pretty much a location of where the area is located currently.  
14 I want to talk a little bit about the history behind this site. The Planning  
15 Commission back on December 8<sup>th</sup>, 2011 and then again on August 23<sup>rd</sup>, 2012  
16 approved a Conditional Use Permit and an amended version of such for the  
17 Renaissance Village Moreno Valley Project. It provided for three phases of  
18 development for a 98,700 square foot assisted-living and memory-care facility,  
19 which I did note in the Staff Report, I think there was one indication where it was  
20 listed at 97,000. It actually is a 98,700 square foot site. What I'd like to do is  
21 kind of move to the next slide and this is actually the Finance and Conveyance  
22 Map that is before you this evening. What it shows pretty much is you'll have two  
23 parcels. Again no development is proposed with this particular project, but it  
24 does show what actually has been built in these areas to date. What I want to do  
25 is kind of run through that just a little bit so that you're aware of it. Phase one  
26 includes 73,700 square feet of constructed memory-care and assisted-living  
27 buildings with associated outdoor recreation space and parking facilities. Phase  
28 two includes an exercise pool and phase three calls for two additional assisted-  
29 living buildings totaling 25,000 square feet. Now each of those two phases are  
30 not yet constructed but again the 73,700 square feet of the project has been  
31 constructed to date. Now the land area for the undeveloped pool, which is in  
32 phase two, is within parcel one of the proposed Finance and Conveyance Map.  
33 The 25,000 square feet of additional assisted-living buildings, which is included in  
34 phase three, is located within parcel two of that proposed map. Now in  
35 discussions with the Applicant the purpose of the Finance and Conveyance Map  
36 is to assist Continental East with the financing and completion of the remainder  
37 of the project phases. Again we have the two phases that are still yet to be  
38 developed, which must be in compliance. All of this, the development out there,  
39 is in compliance with the Conditions of Approval of a prior-approved Renaissance  
40 Village Project and in no case is this map modifying any of those conditions.  
41 Those are all stand alone and that is the project as it stands. This again is just a  
42 Finance and Conveyance Map that does not include development. Now any  
43 future proposed modifications to the prior approval would require review and  
44 approval under a separate application. The land division as proposed and  
45 conditioned is consistent with the Subdivision Map Act, the General Plan, and to  
46 requirements and provisions for the Finance and Conveyance Map included in

Minutes Acceptance: Minutes of Dec 10, 2015 7:00 PM (APPROVAL OF MINUTES)



1 Ordinance 894 Chapter 9.14 of the City’s Municipal Code. From an  
2 environmental standpoint, Tentative Parcel Map 36986 will not have a significant  
3 effect on the environment and is therefore exempt from the provisions of the  
4 California Environmental Quality Act (CEQA) as a Class 15 Categorical  
5 Exemption as allowed for minor land divisions per CEQA Guidelines Section  
6 15315. Public notice was sent to all property owners of record surrounding the  
7 site. It was also published in the newspaper and posted on site. Staff did not  
8 receive any public inquiries on the map before you this evening. That leads us to  
9 the recommendation, and I’ll just kind of read it here just so it’s into the record.  
10 Staff’s recommendation is for the Planning Commission to approve Resolution  
11 2015-32, which would certify that the project will not have a significant effect on  
12 the environment. It is therefore exempt from the provisions of the California  
13 Environmental Quality Act (CEQA) as a Class 15 Categorical Exemption as  
14 allowed for minor land divisions per CEQA Guidelines Section 15315, and also to  
15 approve PA15-0035 Tentative Parcel Map 36986 to subdivide 7.4 gross acres of  
16 land located in Parcel No. 486-250-021 into two parcels for finance and  
17 conveyance purposes only subject to the attached Conditions of Approval that  
18 are included in Exhibit A. That concludes Staff’s Report on the project. We’re  
19 here to answer any questions. In addition, I did want to mention that both  
20 Charlene Kussner and Alex Ramirez, representatives from Continental East, are  
21 here in the audience this evening to answer any questions on their proposal a  
22 little later on during the Applicant Comments portion of the hearing. Thank you.  
23

24 **CHAIR LOWELL** – Thank you. Do we have any questions for Staff? I don’t see  
25 anybody’s hand going up, so I’d like to invite the Applicant up.  
26

27 **APPLICANT ALEX RAMIREZ** – Good evening Commissioners and good  
28 evening Staff. We want to thank you for the opportunity to continue to work with  
29 you and we just appreciate taking the time...we want to thank Mark for taking the  
30 time to clearly convey exactly what we’re looking to do, which is just subdivide  
31 the property for financial purposes. We’re not changing. We’re not submitting  
32 anything to change what is currently standing alone and approved. We thank  
33 you for your consideration and your time and we look forward to working with you  
34 on continued projects, as well as this one.  
35

36  
37 **PUBLIC COMMENTS**  
38

39 **CHAIR LOWELL** – Any questions for the Applicant? No. Thank you very much.  
40

41 **APPLICANT ALEX RAMIREZ** – Thank you.  
42

43 **CHAIR LOWELL** – I don’t see anybody in the audience wanting to speak, but I’ll  
44 open the Public Comments portion. Do we have any Speaker Slips tonight?  
45 No? Okay, so we’re going to close the Public Comments portion.  
46

1 **COMMISSIONER COMMENTS**

2  
3 **CHAIR LOWELL** – Do we have any questions or discussions? Am I the only  
4 one talking tonight?

5  
6 **COMMISSIONER VAN NATTA** – You’re doing a fine job of it.

7  
8 **CHAIR LOWELL** – Okay with that said, I’d like to move.....

9  
10 **COMMISSIONER BARNES** – I’ll ask a question.

11  
12 **CHAIR LOWELL** – Make sure everyone’s awake here today.

13  
14 **COMMISSIONER BARNES** – Could Staff clarify to me what’s the next step  
15 beyond this map? This map records it’s for financing purposes. Party A and  
16 party B potentially buy the two parcels, where does it go forward from that point?  
17 Is it replaced by another mechanism. What happens next?

18  
19 **SENIOR PLANNER MARK GROSS** – This will actually have to go through the  
20 Final Map process. As far as the process and how it flows, this particular item as  
21 we indicated is a separate map from the development. The development has its  
22 own approvals. In fact, there are two Conditional Use Permits. I think there was  
23 a Conditional Use Permit and an Administrative Conditional Use Permit, as well  
24 as a couple of amended Plot Plans so those are separate instances. Again I  
25 think, as I mentioned in my presentation, this really is solely for the purpose of  
26 the developer in this case to complete the financing that is required for the  
27 additional phases. There are two phases still to go in the project so that will be  
28 part of what this map will do. But again this map does not guide development but  
29 that will be their next step in the process and possibly Rick would like to indicate  
30 something as well.

31  
32 **PLANNING OFFICIAL RICK SANDZIMIER** – I’ll chime in real quick. As Mark  
33 has indicated there is the underlying approval. If you’ve been out to the  
34 Renaissance Village, it’s an excellent assisted-living facility. There are some  
35 remaining parcels that are yet to be developed. There is also the area in the  
36 back, which is the area where a pool is intended to be built. Those are still the  
37 approvals, so our understanding in talking with Charlene and the team from  
38 Continental East is that this Financing Map gives them the ability to attract the  
39 investment into the property and so it opens up that door so long as the next  
40 developer that comes on board wants to build out the next phase of the  
41 development and doesn’t want to change anything then they have the underlying  
42 approvals to the extent that the map for that particular parcel they’re going to be  
43 developed has to be reviewed. It would be brought in and reviewed as a  
44 Development Map, not a Finance Map but a Development Map. So we would  
45 extend the same Conditions of Development/Conditions of Approval that were  
46 already approved in the underwriting. We’d carry those forward unless the

1 Applicant at that time wanted to make any changes. They can make changes  
2 but those changes would be subject to our review, and they are not automatic.  
3 They are discretionary actions since its part of an already approved application.  
4 If the Applicant wants to give you any additional input in terms of the timing,  
5 we're not aware of if this is going to happen within the next month or within the  
6 next year, but right now the approvals that we grant are good for three years so  
7 that's the rest of the story I guess.

8  
9 **COMMISSIONER BARNES** – So currently all of the development on the site is  
10 approved?

11  
12 **SENIOR PLANNER MARK GROSS** – Everything is approved out there as is  
13 stands. In fact, the last Administrative Plot Plan actually has an ending date of  
14 2017, sometime in 2017, so yes everything is approved and 73,700 square feet  
15 of the 98,700 square foot site is completed right now. It's just the....

16  
17 **COMMISSIONER BARNES** – I guess my question is then what's the hammer  
18 that requires that this map be replaced. Could they just get their funding and the  
19 approved development could be built and this Financing Map could sit here in  
20 perpetuity? What requires that it be replaced by a Development Map? I don't  
21 know that I care, it's just a question to understand the process.

22  
23 **LAND DEVELOPMENT DIVISION VINCENT GIRON** – Vincent Giron with Land  
24 Development Division. Good evening Commission. The map itself would be  
25 required ultimately to be recorded, the Final Map when they come in for  
26 entitlements. So Conditions of Approval for future development on here would  
27 require that map. I think the biggest thing to note is that, if in the future the sale  
28 of property wanted for instance if future owners wanted to sell the property as it's  
29 shown here for parcel one/parcel two, they wouldn't be able to because it's not a  
30 legal lot so this doesn't create a legal lot for the purposes of that.

31  
32 **COMMISSIONER BARNES** – So construction of phase three would require a  
33 map?

34  
35 **LAND DEVELOPMENT DIVISION VINCENT GIRON** – When it came in for  
36 entitlements.

37  
38 **COMMISSIONER BARNES** – It's already entitled though. That was my  
39 question is that all of the development on the property is entitled.

40  
41 **CHAIR LOWELL** – I think if they're trying to sell it to somebody for them to  
42 develop it that's when they have to require the Final Map. If they finance it  
43 internally this map could shrivel up and go away. It depends on what avenue  
44 they take I think is what's going on.

45  
46 **COMMISSIONER BARNES** – Okay.

1 **CHAIR LOWELL** – I think it’s vague.

2  
3 **COMMISSIONER BARNES** – You think? Okay again I just wanted to  
4 understand the process. I’m not sure that I do yet.

5  
6 **CHAIR LOWELL** – The Applicant’s at the podium. Please, Sir.

7  
8 **APPLICANT AL RATTAN** – I just want to clarify that this is for financial  
9 purposes. We have no intention of selling and it is just to obtain the necessary  
10 financing to complete phase three.

11  
12 **COMMISSIONER BARNES** – And I understand that and I’m not in opposition, I  
13 just am not seeing a mechanism in here that requires that this Financing Map be  
14 replaced by a Land Division Map.

15  
16 **APPLICANT ALEX RAMIREZ** – If we were to submit changes or change the  
17 phase three projects that we have currently agreed to then yes we would. But, at  
18 this point, this is strictly just for financial purposes that I don’t believe, Staff would  
19 be better equipped to answer that, but I don’t believe it would require any  
20 additional changes.

21  
22 **CHAIR LOWELL** – I have a question since you’re here. We get a couple of  
23 these in front of us a year, and I always have questions as to how does this map  
24 help you with financing. Could you expand upon how this map is for financial  
25 purposes only?

26  
27 **APPLICANT ALEX RAMIREZ** – Well it’s essentially a mechanism that we use  
28 to either...most of our projects, or depending on the project we’re using, we apply  
29 for EB5 applications which is international investors so to continue the phase out  
30 of the building of a certain phase we have a certain allotment of investors for that  
31 particular phase. So, until that phase is completed, money is kept in escrow  
32 essentially. So, until we have additional funding for an additional phase, we’re  
33 not getting additional investor money because it’s not being released out of  
34 escrow until the completion of construction per federal requirements. So that’s  
35 why we use this mechanism to garner in the money that we need to complete a  
36 phase. Once our projects are completed, the funds are released and then our  
37 investors are compensated or continue to gain their interest or equity into the  
38 project or property.

39  
40 **CHAIR LOWELL** – So, at the end of the day, is your goal to have two distinct  
41 parcels or are they going merge into one?

42  
43 **APPLICANT ALEX RAMIREZ** – No it’s one. It’s all one continuous project. It’s  
44 for financing purposes. With our application through the EB5 projects, that’s why  
45 we have to do it separately because the federal government will not allow us to  
46 use funds that were dedicated for phase one into the phase three project. Even

1 though it's the same lot, it's the same builder, it's all one continuous unit, we're  
2 not allowed federally to do that. It has to be individually.

3  
4 **CHAIR LOWELL** – Any your intent is to get this map approved but never go to  
5 final recordation of this Parcel Map?

6  
7 **APPLICANT ALEX RAMIREZ** – No. We will go to final. It's just right now we're  
8 still doing research in potential changes to phase three in regards to how we're  
9 going to provide services to the residents of those phases.

10  
11 **CHAIR LOWELL** – So, at the end of the day, there will be two parcels?

12  
13 **APPLICANT ALEX RAMIREZ** – Technically yes.

14  
15 **CHAIR LOWELL** – I'm not on the financing team. I can't figure this stuff out, but  
16 okay I'll believe you. My other question is on here that new parcel line that is or  
17 is not illegal. At some point in time in the future would there be any setback  
18 requirements to the north? It looks like that parcel line is going right on the zero-  
19 foot setback. I don't know if it's commercial, if it's medical, if it's residential.

20  
21 **SENIOR PLANNER MARK GROSS** – Are you talking about the shopping center  
22 to the south of the project?

23  
24 **CHAIR LOWELL** – No, no, no. Parcel one to the parcel line.

25  
26 **SENIOR PLANNER MARK GROSS** – Parcel one, okay.

27  
28 **PLANNING OFFICIAL RICK SANDZIMIER** – Yeah the parcel line.

29  
30 **CHAIR LOWELL** – Yeah the Improvement Map. It looks like that parcel line is  
31 crossing right at a zero-foot setback to the phase two and phase three to the  
32 north.

33  
34 **SENIOR PLANNER MARK GROSS** – Well the development I'm not certain.  
35 Everything that you see here is superimposed as it was approved so...

36  
37 **CHAIR LOWELL** – Correct.

38  
39 **SENIOR PLANNER MARK GROSS** – It does include everything the way it was  
40 approved. I don't know how else really to answer that.

41  
42 **CHAIR LOWELL** – Well no but that parcel line, is that a new parcel line for this  
43 map or was it...

44  
45 **SENIOR PLANNER MARK GROSS** – It is a parcel line.

46

1 **CHAIR LOWELL** – A parcel line for some other...

2  
3 **PLANNING OFFICIAL RICK SANDZIMIER** – It's a parcel line for financing  
4 purposes. It's not for development purposes, so we take a setback from that line.  
5 It's not the same as from a developed parcel line where you have the setback  
6 from that property. This is for finance purposes only. That's the distinction.

7  
8 **CHAIR LOWELL** – Okay.

9  
10 **PLANNING OFFICIAL RICK SANDZIMIER** – So all the setbacks would be  
11 required as the underlying map. Now if they change the development and they  
12 wanted to substitute in an actual Development Map then we would evaluate that  
13 future development against the Development Map setbacks, but that's not what  
14 this is.

15  
16 **COMMISSIONER BARNES** – But, if they don't change anything, they don't have  
17 to do a Development Map?

18  
19 **PLANNING OFFICIAL RICK SANDZIMIER** – I believe that is correct, yes.

20  
21 **COMMISSIONER BARNES** – So this Financing Map could sit here in  
22 perpetuity? There's no subsequent process that they are required to do to  
23 replace this Financing Map with a Development Map? And I don't know that  
24 that's a bad thing, I'm just asking the question.

25  
26 **COMMISSIONER VAN NATTA** – Can I say something?

27  
28 **CHAIR LOWELL** – Yes, please.

29  
30 **COMMISSIONER VAN NATTA** – I think the engineers up here are trying to look  
31 at this a little bit more complicated than it needs to be. Their getting the ideas of  
32 parcels and projects mixed up. It would be like if you want to look at it in terms of  
33 residential, I could have two parcels and I could build a house right smack dab in  
34 the middle half of one parcel and half on the other. I own both parcels. I'm  
35 building one house. So they have one project here. They're building one project,  
36 they're just splitting it into two parcels.

37  
38 **COMMISSIONER BARNES** – Actually you couldn't build a house straddling  
39 your line, so...

40  
41 **COMMISSIONER VAN NATTA** – I've seen it done.

42  
43 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay.

44  
45 **COMMISSIONER BARNES** – Not legally.

46

1 **COMMISSIONER VAN NATTA** – I mean it’s just a matter of you’re putting those  
2 two parcels together to make one piece of land. You wouldn’t have to worry  
3 about a setback if you’re putting one building on both.

4  
5 **CHAIR LOWELL** – I guess the confusion for me is the difference between a  
6 Tentative Parcel Map for finance purposes versus land separation.

7  
8 **PLANNING OFFICIAL RICK SANDZIMIER** – There’s a distinction in that and  
9 what we’re approving tonight is for the financing purposes only, so that’s about  
10 as clear as I can make it because...

11  
12 **CHAIR LOWELL** – But in order for this Parcel Map to be approved for financing  
13 and conveyance purposes only, would this Tentative Parcel Map ever go to final  
14 recordation and for an actual land-lot split?

15  
16 **PLANNING OFFICIAL RICK SANDZIMIER** – Not the Financing Map, no.

17  
18 **COMMISSIONER BARNES** – Well it does have to record because it doesn’t  
19 exist until it records.

20  
21 **PLANNING OFFICIAL RICK SANDZIMIER** – Right so I don’t...and it depends  
22 on what the developer wants to use it for. So I don’t know the exact answer.  
23 The one difference in the Financing Conveyance Map is typically you don’t have  
24 an underlying approval already. Typically we’ve had come in, in the last two  
25 Financing Conveyance Maps, is we’ve had underlying approvals already in place  
26 and that’s why we’ve had to kind of structure the approvals the way they are to  
27 recognize that. But normally if somebody has a raw piece of land and they  
28 haven’t actually got a development approval they come up with a Financing Map  
29 to sell off individual parcels and then whoever they sell that parcel to comes in  
30 and wants to do its own map for that particular parcel. That’s the way we  
31 probably all recognize it and understand it the best, but this is new in our City and  
32 Continental East has had some experience with it before. We have worked very  
33 closely with them. We think it’s an excellent opportunity to stimulate some  
34 development opportunities and we’ve seen that twice now in just the last few  
35 months, so we appreciate the fact that we have this tool available to us now.

36  
37 **CHAIR LOWELL** – I like the idea. I’m just trying to get a little education on this  
38 because I’m not familiar with financing and conveyance purpose maps, so  
39 anybody else have questions or comments?

40  
41 **COMMISSIONER GONZALEZ** – I have one question, a straightforward  
42 question. If you obtain your financing the way you envision it, when do you feel  
43 the development will be completely.....

44  
45 **APPLICANT ALEX RAMIREZ** – Complete build-out?  
46

1 **COMMISSIONER GONZALEZ** – Yeah.

2  
3 **APPLICANT ALEX RAMIREZ** – We estimate....well right now we're in the  
4 research process. So we're looking to finalize and submit what phase three will  
5 actually look like and be built out for, so we anticipate probably breaking ground  
6 next year and trying to complete everything as quick as possible within 2017  
7 parameters.

8  
9 **COMMISSIONER GONZALEZ** – Thank you.

10  
11 **CHAIR LOWELL** – Any other questions or comments?

12  
13 **COMMISSIONER BARNES** – I'll make one more comment.

14  
15 **CHAIR LOWELL** – Commissioner Barnes.

16  
17 **COMMISSIONER BARNES** – It seems appropriate that there should be a  
18 mechanism to cause this map at some point in time to be replaced by a  
19 Development Map because what happens heaven forbid that the project tanks  
20 for some reason and now the property is encumbered with a Finance Map and  
21 no Development Map and what does that do to the bank, whoever takes it back,  
22 future property owners? It seems like there should be something in place that  
23 causes this to go away. Not a question, just an observation.

24 **CHAIR LOWELL** – They're consulting each other back there. Any other  
25 questions while we're on this one? No? Sorry for the dead air. Mr. Sandzimier  
26 do you want to have a response or can we move on? I think he just wants to  
27 move on.

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** – If it's a significant interest or a  
30 significant concern for you, I apologize. We don't have a firm answer for you this  
31 evening on this, so if you're not comfortable going forward we would only ask that  
32 you give us the opportunity to come back with an answer. That's the best  
33 answer that Vincent and I right now just discussed so....

34  
35 **COMMISSIONER BARNES** – I want to stress that I'm not opposed at all. It's  
36 strictly a technical issue, but I'm concerned with the unforeseen consequences of  
37 not having a completion mandated by the conditions.

38  
39 **APPLICANT ALEX RAMIREZ** – Unfortunately, there isn't a precedent set for a  
40 project that didn't go through with the Financing Map based on our experiences  
41 and based on previous projects that have been built throughout Southern  
42 California with Financial Maps, so realistically I cannot give you a proper answer  
43 just like Staff. But because it's not a Building Map or a Final Map, we don't  
44 foresee it being an encumbrance to a buyer or a bank who would pick up the  
45 property. If anything, it would bring them additional interest because they could



1 actually sell each individual part of it within the parameters that were already set  
2 on that particular project.

3  
4 **COMMISSIONER BARNES** – If they could sell each individual part then what  
5 differentiates the financing from the Standard Development Map?  
6

7 **APPLICANT ALEX RAMIREZ** – What I mean by sell each individual part is just  
8 for financing purposes or again for investment generation. It's not necessarily for  
9 an actual individual. Nobody is going to go in and buy part of it and build  
10 something completely different that doesn't adhere to it. Usually when you're  
11 involving everything in one Financial Map it's just going to be that set project  
12 because, based on our conditions that we have to meet for that additional  
13 funding or that investor funding, we can't change the project once it's submitted if  
14 that's what it is because we're required by federal law to complete it as we  
15 stated. And they will check before any funds are ever released out of escrow.  
16

17 **COMMISSIONER BARNES** – Can parcels in Financing Maps have separate  
18 owners?  
19

20 **APPLICANT ALEX RAMIREZ** – We haven't seen that ourselves personally. It's  
21 usually a group entity that does it, but I can't see why it wouldn't.  
22

23 **COMMISSIONER BARNES** – I mean can two totally independent parties own  
24 one on parcel one and one on parcel two on a Financing Map? If they can then  
25 what's the difference between a Financing Map then and a standard Subdivision  
26 Map?  
27

28 **LAND DEVELOPER VINCE GIRON** – In light of all the questions that you're  
29 asking, we don't have an answer. That's the short of it, and if answers are  
30 sought, they all are great questions....I would only, as Rick mentioned, if you feel  
31 it needs to be explored more we definitely can do it. I see no harm, no foul. If  
32 we're setting precedents, I may not be such a...well I'll leave it up to you.  
33

34 **APPLICANT ALEX RAMIREZ** – Well unfortunately we haven't had the  
35 experience where somebody who has used the Financial Map that has fallen out  
36 or has divided it and fallen and sold off part of it to a completely different  
37 interested party that it wasn't looking to build out the same exact project they  
38 already had approved, so we are talking about something hypothetical that we  
39 don't know that would actually happen. The reason for the Financial Map is to  
40 make sure that the project goes to full completion that way it's been submitted.  
41 That's the only purpose of the Financial Map. Now, by not having the Financial  
42 Map, it does affect that. So, in essence, it's an essential tool for us to seek the  
43 funding that we need to complete it as we submit it.  
44

45 **COMMISSIONER BARNES** – And I understand that and again I'm not in  
46 opposition. My only question is what requires that the last step be completed?

1 There's nothing in here that requires that. Again I'd be concerned with the  
2 unforeseen consequences of the process not being completed.

3  
4 **APPLICANT ALEX RAMIREZ** – We're required to complete it per our project,  
5 per our investors, per the agreement with the City. I mean we want to make sure  
6 this project gets to completion. Again we are our own entity. I can't say what  
7 future builders are going to do and what experience you'll have with them, but  
8 this is what we need to complete it for what we committed to the City.

9  
10 **COMMISSIONER BARNES** – I have put the question out there and it's  
11 unanswered, so I guess the vote will tell the tale.

12  
13 **CHAIR LOWELL** – And I know Tentative Parcel Maps, Tentative Track Maps  
14 generally have an expiration date with automatic extensions. Do Financing Maps  
15 have the same expirations or do they expire after a certain amount of time?

16  
17 **SENIOR PLANNER MARK GROSS** – It would still be the three years.

18  
19 **CHAIR LOWELL** – With the automatic extensions.

20  
21 **COMMISSIONER BARNES** – But the question is not the expiration of the  
22 Tentative Map, the question is the replacement of the Final Map. Once it's  
23 recorded, it stays, so my opinion is that there should be a condition that requires  
24 that the process be completed at some point in time.

25  
26 **PLANNING OFFICIAL RICK SANDZIMIER** – Let me understand what you  
27 mean by completed. What does that mean, that it be recorded?

28  
29 **COMMISSIONER BARNES** – No.

30  
31 **PLANNING OFFICIAL RICK SANDZIMIER** – Because if that's what it is then  
32 we do have condition P5.

33  
34 **COMMISSIONER BARNES** – Well the Financing Map isn't the end of the  
35 process. At some point there is a Land Development Map that is required,  
36 correct?

37  
38 **PLANNING OFFICIAL RICK SANDZIMIER** – They have an underlying approval  
39 and, as the gentleman said, their intention is to build out that project as  
40 previously approved and as conditioned here. The requirement is to maintain all  
41 the conditions of the development that are already run with that previous  
42 underlying approval, so nothing changes. If they were to change something, they  
43 would have to come back and we would have to do an amendment to the  
44 underlying approval and to the extent that amendment requires a new  
45 Subdivision Map of some sort then we would process the new Subdivision Map

1 at that time. But, right now, the indications we've had are that they intend to go  
2 forward and build out the remaining phases of the project.

3  
4 **COMMISSIONER BARNES** – The project as approved?

5  
6 **PLANNING OFFICIAL RICK SANDZIMIER** – Right, so that's where I'm kind  
7 of....

8  
9 **COMMISSIONER BARNES** – Which means they don't need to replace the  
10 Financing Map. There's no mechanism or process if they complete the project  
11 as proposed that requires that that Financing Map go away.

12  
13 **SENIOR PLANNER MARK GROSS** – That's correct, yeah. And actually P5  
14 and P6 actually talk about just what Rick was mentioning here where you have  
15 the requirements to where they would have to come back if there were changes  
16 to any of the actual project.

17  
18 **COMMISSIONER BARNES** – Right, but if there is no change, the Financing  
19 Map will be the Record Map on this property.

20  
21 **SENIOR PLANNER MARK GROSS** – Right, I mean that's how we see it.

22  
23 **LAND DEVELOPER VINCE GIRON** – Commissioner Barnes, as Mark has  
24 noted on P6 it does read that no additional applications for building or grading  
25 permits shall be accepted for the parcel or parcels created by this map until a  
26 future map or another Conditional Use Permit for this development has been  
27 approved. So you're looking for something that's tied close to that, correct?  
28 Something that gives it a finality.

29  
30 **COMMISSIONER BARNES** – I guess what I'm saying is that if it is legal and  
31 acceptable for a Financing Map to exist on a property forever then I'm fine with  
32 that. I was just asking a question that is it normal that a Financing Map be the  
33 end product of a land division? If it's normally replaced by a Land Division Map, I  
34 think we should require that it be replaced. If it's acceptable that this map stay  
35 for the next 30 years, then I'm fine with it.

36  
37 **APPLICANT ALEX RAMIREZ** – That's been the experience at other cities that it  
38 just stays depending on how it's used. It doesn't affect again unless, like you  
39 stated, there are changes that are made. Then it's a completely different  
40 application with a different Recorded Map.

41  
42 **SENIOR PLANNER MARK GROSS** – Actually Chris Ormsby our Senior  
43 Planner here also worked on the ordinance and possibly he could talk a little bit  
44 about how some of the review was of that ordinance and with other cities.

45

1 **SENIOR PLANNER CHRIS ORMSBY** – I was just going to indicate that, based  
2 on research from other cities, other cities do have it structured in a similar way  
3 that we have it here. So generally any future development on that site is going to  
4 trigger further Plot Plan and Entitlement approvals. But, if in fact you have a site  
5 like this one where there are already entitlements built that way, those cities  
6 didn't have a provision about any further Final Map recordation beyond that.

7  
8 **COMMISSIONER BARNES** – So they were comfortable with the Financing Map  
9 just sitting there and being in place?

10  
11 **SENIOR PLANNER CHRIS ORMSBY** – Yes.

12  
13 **PLANNING OFFICIAL RICK SANDZIMIER** – It's serving its purpose for the  
14 financing actually that is being sought. Again it's not a development activity. To  
15 me, that's the understanding I have.

16  
17 **COMMISSIONER BARNES** – Alright, thank you. Sorry.

18  
19 **CHAIR LOWELL** – Hey, I'd rather get the questions out now than tomorrow.  
20 Okay, with that said, are there anymore questions or comments? Does the  
21 Applicant have anything else to say?

22  
23 **APPLICANT ALEX RAMIREZ** – We just appreciate the concern and we hope  
24 that...we will assist in the process of seeking the right answers for you. But we  
25 are talking about a hypothetical that hasn't been experienced anywhere, and we  
26 hope we're not the first.

27 **CHAIR LOWELL** – Thank you very much.

28  
29 **APPLICANT ALEX RAMIREZ** – Thank you.

30  
31 **CHAIR LOWELL** – Any other questions or comments? No? Would anybody  
32 like to make a motion tonight? Quick button, quick button.

33  
34 **COMMISSIONER BAKER** – I'll second.

35  
36 **COMMISSIONER VAN NATTA** – I move that the Planning Commission approve  
37 Resolution No. 2015-32 as presented.

38  
39 **CHAIR LOWELL** – We have a motion by Commissioner Van Natta. We have a  
40 second by Commissioner Baker. Cast your vote please. Perfect, that's  
41 everything. The motion passes 7-0. Do we have a Staff wrap-up on this item?

42  
43  
44 Opposed – 0

1 **Motion carries 7 – 0**

2  
3 **PLANNING OFFICIAL RICK SANDZIMIER** – Now this item is appealable to the  
4 City Council. If any interested party is interested in appealing, they can file their  
5 appeal within 15 days of your action. The appeal would be filed to the City  
6 Council through the Community Development Director, and I don't think I  
7 indicated it on the last wrap-up, but the item is then agendized for the City  
8 Council Hearing within 30 days.

9  
10 **CHAIR LOWELL** – Thank you very much.

- 11
- 12
- 13 3. Case: PA14-0038 (Municipal Code Amendment)
- 14 Applicant: City of Moreno Valley
- 15 Owner: Not applicable
- 16 Representative: City of Moreno Valley
- 17 Location: City-wide
- 18 Case Planner: Chris Ormsby, AICP
- 19 Council District: City-wide
- 20 Proposal: Destiny Bonus Ordinance Related to Energy
- 21 Efficiency
- 22

23 **STAFF RECOMMENDATION:**

24  
25 Staff recommends that the Planning Commission **APPROVE** Resolution No.  
26 2015-33, and thereby recommend to the City Council:

- 27
- 28 1. **CERTIFY** that the proposed Municipal Code Amendment is exempt
- 29 from the provisions of the California Environmental Quality Act
- 30 (CEQA) Guidelines, per Section 15061 (b)(3); and
- 31
- 32 2. **APPROVAL** of Municipal Code Amendment PA14-0038 based on the
- 33 findings contained in Planning Commission Resolution 2015-33.
- 34
- 35

36 **CHAIR LOWELL** – That moves us on to item #3, Case No. PA14-0038, a  
37 Municipal Code Amendment. The Case Planner Mr. Chris Ormsby and the  
38 Applicant is actually the entire City of Moreno Valley.

39  
40 **SENIOR PLANNER CHRIS ORMSBY** – Good evening Chair Lowell and  
41 Members of the Planning Commission. This Code Amendment is one of the four  
42 tasks under the Southern California Strategic Strategies Program, which is  
43 funded by Southern California Edison. At your November 12<sup>th</sup> meeting the  
44 Commission reviewed and approved Task 4, the General Plan Amendment to  
45 incorporate an energy efficiency section with new language into the General  
46 Plan. The proposal before you this evening implements Task 5 into the program.

1 The Municipal Code Amendment proposes a Density Bonus Incentive for  
2 achieving energy efficiency and incorporating green building measures that  
3 exceed the Building Code. The code amendment will add a new section of the  
4 Municipal Code Section 9.03.055. The incentive will be for a 5% density bonus if  
5 a multifamily project is designed and built to at least the LEED certified level.  
6 The calculation of the bonus is based on the maximum allowable density of the  
7 zone in which the project is located. It will apply to all multifamily zones. And  
8 just a little bit more information about how that calculation works, under the  
9 development standards, the multifamily zones require at least a one acre site  
10 area. Therefore, with a 5% density bonus and the identified provisions for the  
11 rounding, any project within the R10 multifamily zone would be eligible for at  
12 least a bonus of one residential dwelling unit so really any project within any of  
13 the multifamily zones covered by the bonus would receive at least a one unit  
14 bonus. The density bonus of 5% is tied to the LEED green-rating system. LEED  
15 stands for leadership in energy and environmental design. It is the most widely  
16 recognized green building rating system in the world. There is only one LEED  
17 certified building in the city to date based on my research, which is the Skechers  
18 warehouse building, and it is certified at the Gold level. The Code Amendment  
19 was presented at the same public outreach meetings as the General Plan  
20 Amendment that you reviewed last month. As was mentioned, the feedback  
21 regarding energy efficiency at the public meetings was positive. There was some  
22 input from the public encouraging the promotion of energy efficiency and green  
23 building as an economic marketing tool, but just to summarize the density bonus  
24 under this Code Amendment is entirely incentive based. The requirements only  
25 apply if the developer would like to take advantage of the bonus incentive. On  
26 the dais, there is a memorandum dated with today's date as provided for and the  
27 approving documents related to this grant. Southern California Edison had the  
28 opportunity to review the language of the Code Amendment and yesterday they  
29 completed their review concurrent with the Staff Report going forward. They did  
30 have some comments on it more in the way it is organized. There is no  
31 substantive change to the text or what I've described in the presentation, so the  
32 intent is then for Staff recommending approval of Resolution 2015-33 with Exhibit  
33 A as amended by the attachment to this memorandum. With that, I'll open it up  
34 to questions of Staff.

35  
36

37 **COMMISSIONER COMMENTS**

38

39 **CHAIR LOWELL** – Thank you very much. Anybody have any comments or  
40 questions for Staff?

41

42 **COMMISSIONER VAN NATTA** – I do.

43

44 **CHAIR LOWELL** – Commissioner Van Natta, please.

45

1 **COMMISSIONER VAN NATTA** – I remember some previous conversation on  
2 actually it was back when Skechers was being built and they were talking about  
3 the LEED certified and said that LEED certification can't be obtained until after  
4 the construction is complete and they do an inspection, so how can you get the  
5 density bonus and add an additional dwelling unit if you can't get the LEED  
6 certification until after it's built?

7  
8 **SENIOR PLANNER CHRIS ORMSBY** – That's a very good question, and we  
9 did take that into consideration. We actually have structured the ordinance so  
10 that LEED certification itself is not required, but the building will be conditioned  
11 through the entitlement process to be designed and reflected in the building plan  
12 check that, in fact, it meets the LEED certified level. So it will be up to the  
13 developer to actually receive the certification, but we feel that this particular  
14 rating system is the best system to use because it leaves the potential for that  
15 developer to obtain a well recognized designation for their property, which adds  
16 economic value to it. So that's the reason we went with the LEED rating system.

17  
18 **COMMISSIONER VAN NATTA** – So how then and who determines whether or  
19 not this is going to meet LEED certification standards?  
20

21 **SENIOR PLANNER CHRIS ORMSBY** – This language was also reviewed by  
22 our Community Development Director and so it would be done by the Building  
23 Division through the plan check process, so there would be conditions of  
24 approval in the final conditions. There would be a requirement, in fact, that it  
25 meets those provisions that get the design to a LEED certified level.  
26

27 **COMMISSIONER GONZALEZ** – So it's synonymous if these conditions of  
28 approval are abided by then it's synonymous with the LEED certification pretty  
29 much; it's equal.  
30

31 **SENIOR PLANNER CHRIS ORMSBY** – Right, right what really gets you to the  
32 potential for a LEED certification is the design of these various features that are  
33 brought into the project, so they are quantifiable and able to be reflected on the  
34 building plans.  
35

36 **PLANNING OFFICIAL RICK SANDZIMIER** – Okay, if I may, the purpose for the  
37 bonus is to encourage projects to move towards more energy efficiency, so you  
38 have to develop some sort of criteria, a target that you're aiming for. And so by  
39 having the LEED program, which is a recognized program, as a target and you're  
40 moving towards that, the best ability we have to achieve that target is to make  
41 sure through the review process we're following those standards. Now  
42 somebody could say, well we gave them a density bonus, they ended up  
43 designing it all that way but they never actually got the LEED certification, should  
44 we take the density bonus back? The answer would be, no, because they were  
45 striving for the energy efficiency, which was the whole purpose for the program. I  
46 don't think you want to penalize them, but we believe that if you design it in

1 accordance with LEED it should achieve the LEED standard. But it will be  
2 incumbent upon the developer also to follow through to make sure that happens.

3  
4 **CHAIR LOWELL** – Alright.

5  
6 **COMMISSIONER VAN NATTA** – Okay so basically we're telling the developer,  
7 oh you just got to try.

8  
9 **SENIOR PLANNER CHRIS ORMSBY** – No.

10  
11 **COMMISSIONER VAN NATTA** – And if you don't make it, you don't get the  
12 LEED certification, nothing is going to happen. Shouldn't there be some sort of  
13 a, I don't know, a fine or some sort of a consequence if after they've completed  
14 and they've gotten the bonus and they've gotten their extra units if they do not go  
15 ahead and get the LEED certification afterwards if for some reason they don't  
16 qualify for it after the project is completed some sort of consequence if it wasn't  
17 met.

18  
19 **SENIOR PLANNER CHRIS ORMSBY** – Well there are some cities that actually  
20 have done that, a relatively small number, and the result is typically a rather  
21 complex set of requirements in order to be able to monitor that and there is a lot  
22 of administrative effort in following through on the part of Staff to make sure  
23 these things are certified after the fact. If the project is designed to a LEED  
24 certified level as Rick had indicated, the energy efficiency aspect of it has been  
25 achieved. Southern California Edison also seems to concur with the language,  
26 as amended here, so I think they feel that it achieves the purpose of what this  
27 grant is for.

28  
29 **PLANNING OFFICIAL RICK SANDZIMIER** – I would be a little concerned if  
30 there was a penalty because you may end up inadvertently or unintentionally  
31 getting people not to try because they're going to say in order for me to try I  
32 already have to spend extra effort. I maybe have to have some additional  
33 expenses, I'm going to put certain things in, and then if I by no fault of my own  
34 can't get somebody to certify me now I got to pay a penalty. So I just think that  
35 we may end up hurting ourselves and maybe nobody would even try if we put a  
36 penalty on it.

37  
38 **COMMISSIONER VAN NATTA** – But, at the same time, I think there should be  
39 something in there that says that they are required to apply for the certification  
40 once the project is complete. There would be a benefit I think to the City and to  
41 attracting future development to be able to say we have X number of buildings  
42 that are LEED certified at this level or at that level. So if they only build them to  
43 the LEED standards and then they never go ahead and get the certification then  
44 we don't have that ribbon hanging on the building that says this is LEED certified  
45 to verify that we did what we had set out to do.



1 **SENIOR PLANNER CHRIS ORMSBY** – Well we will have achieved what we set  
2 out to do because the buildings will be not just more energy efficient but will have  
3 incorporated green building measures that really go beyond what the code  
4 currently requires. There is a cost to applying for LEED certification. So there is  
5 a little bit of concern with requiring it on the part of larger projects because I  
6 believe it's based on the size of the project. I think the ordinance would be  
7 encouraging them to seek LEED certification.

8  
9 **COMMISSIONER GONZALEZ** – Because this ordinance is more for having  
10 green buildings, not necessarily seeking LEED certification. That was the intent.

11  
12 **SENIOR PLANNER CHRIS ORMSBY** – That is correct.

13  
14 **PLANNING OFFICIAL RICK SANDZIMIER** – I do want to say that I appreciate  
15 Commissioner Van Natta's comments. I do. I think we're all going to strive for  
16 that and, as Chris has indicated, we would be encouraging them to go that next  
17 step and actually apply for the certification. It would be great if all of them  
18 actually got the certifications and we did have the ribbons, the recognitions, the  
19 plaques on the buildings but that's absolutely what our goal is and I believe that  
20 would be consistent with what Edison is pushing for. So I think we're trying to get  
21 to the place you're talking about.

22  
23 **COMMISSIONER VAN NATTA** – Can't we at least put in there that they have to  
24 apply for LEED certification?

25  
26 **PLANNING OFFICIAL RICK SANDZIMIER** – Can I make a suggestion? This is  
27 going to go to the City Council ultimately for the final decision. Can we take that  
28 as a recommendation from the Planning Commission that that's an extra item  
29 that you'd like us to put in the program? It would give us an opportunity between  
30 now and the City Council Hearing to contact Edison and find out if there is any  
31 concern with respect to that. We could do some research with what other cities  
32 are doing without holding it up here because we are trying to meet a deadline in  
33 terms of the Edison Grant that is funded through the end of this year. Then we  
34 have to have everything wrapped up by March of next year, but we have to  
35 expend all the money through December.

36  
37 **COMMISSIONER VAN NATTA** – I just think it would be a stronger  
38 recommendation if we made it part of the approval.

39  
40 **DEPUTY CITY ATTORNEY PAUL EARLY** – In not having had a chance to  
41 research this particular question, but I can tell you that right off the top of my  
42 head, I have some nexus questions about conditioning a project to apply for a  
43 third party certification that is secondary to the actual design that they're actually  
44 doing. So I'm not sure, and I'm not saying we can't, but it does raise some  
45 concerns to me about whether that would be a lawful condition to do to make  
46 them, because that seems to be an issue for the City but not directly having to do

1 with the building because those criteria will have been met. But getting that third  
2 party certification seems to be a secondary step that causes me a little bit of  
3 discomfort in whether we could condition that or not.

4  
5 **COMMISSIONER VAN NATTA** – I don't know. That's kind of like saying, well  
6 as long as you do all the class work, you don't have to take the final exam.

7  
8 **DEPUTY CITY ATTORNEY PAUL EARLY** – They do have to take the final  
9 exam, but the final exam is administered by the City. The City is applying the  
10 criteria.

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – Right.

13  
14 **DEPUTY CITY ATTORNEY PAUL EARLY** – That's how I would.

15  
16 **COMMISSIONER VAN NATTA** – You just don't get the diploma.

17  
18 **CHAIR LOWELL** – Mr. Barnes.

19  
20 **COMMISSIONER BARNES** – In my experience with builders and LEED, we run  
21 into situations quite often where a builder will choose to build to LEED standards  
22 but they just don't want to spend the large expense and time to get the  
23 parchment to hang by the front door. They prefer to spend their money on the  
24 upgrades necessary to achieve the LEED building standard and it goes through  
25 plan check and all those things are quantifiable improvements that are reviewed  
26 by City Staff and the building it built to that standard. The LEED certification is a  
27 process that takes place after the fact and allows them to hang a plaque on the  
28 front door that says they spent the \$200,000 to get the certification.

29  
30 **COMMISSIONER VAN NATTA** – It also verifies, though, that we as a City have  
31 done our job in making them build it to that standard.

32  
33 **COMMISSIONER BARNES** – Well the Building Department in reviewing the  
34 design of the building will force them to meet that criteria just like they are  
35 required to meet all the other building criteria that are currently in the code.  
36 Basically what they're saying is, if you don't want it, we're going to use Code A.  
37 But, if you choose to get the Density Bonus, we're going to use Building Code B  
38 which is building to a higher standard; more insulation, different roof materials,  
39 different pavement materials. So I really don't think that there's an issue.

40  
41 **CHAIR LOWELL** – It's the same idea as trying to build a house that's  
42 seismically earthquake proof, but we don't have to put the house on a shake  
43 table and shake it to pieces to prove that it's earthquake resistant. We are  
44 building it towards a standard, but we don't have to prove the standard is there.  
45 So if the City is setting goals saying we want you to be LEED certified or build

1 towards a LEED certification, it's a good goal, but I don't think making it  
2 mandatory to prove it is a must on this one.

3  
4 **COMMISSIONER VAN NATTA** – I just have a problem with setting a goal and  
5 then not having a definitive way to establish the fact that we have met the goal.

6  
7 **CHAIR LOWELL** – Yeah but you have calculations X amount of energy. The  
8 energy calculations that are going to go into it, you can do the math behind it  
9 without actually getting the letter grade on it.

10  
11 **COMMISSIONER BARNES** – The City can enforce the rules. We just don't  
12 necessarily have to force them to go to a private third party to pay for the piece of  
13 parchment.

14  
15 **COMMISSIONER GONZALEZ** – Which is the Green Building Council, I mean I  
16 don't think we should....

17  
18 **COMMISSIONER BARNES** – I think it's fine as it's written.

19  
20 **COMMISSIONER VAN NATTA** – Okay.

21  
22 **CHAIR LOWELL** – Commissioner Korzec.

23  
24 **COMMISSIONER KORZEC** – I was going to agree with you Jeffrey. I think the  
25 overall strategy is to build buildings that are better and encourage people to do  
26 this and by saying you have to follow this rule and spend this money, I don't think  
27 it's fair to people that are trying to improve their site. So I don't see that  
28 parchment as being that important if they follow the criteria that's set down. To  
29 me, it's good enough. I don't see the necessity of that piece of paper.  
30 Encourage people to build better and more energy efficient buildings should be  
31 the bottom line.

32  
33 **CHAIR LOWELL** – I have some questions. Being that there are various levels  
34 of LEED certification, we have LEED certification, we have Silver, Gold, and  
35 Platinum, is there any reason or any thought to putting a tiered bonus that if you  
36 go to just the LEED certification you get maybe like 3% bonus. But, if you go all  
37 the way up to the Platinum, you get like a 6% bonus. So if you have a different  
38 goal you can achieve the Platinum level you get a little extra incentive to go all  
39 the way as opposed to just the bare minimum.

40  
41 **SENIOR PLANNER CHRIS ORMSBY** – We did look at that and there are some  
42 cities that have a little bit of a tier to it. I think the only concern that I saw with  
43 that is sort of making the connection between what is a reasonable increase in  
44 the density bonus relative to that next certified level. That's very hard to quantify  
45 and so it seemed better to start out with a simpler approach with the certified

1 level and perhaps that's something a building block for a future green building  
2 effort to look at that further and maybe expand on it.

3  
4 **COMMISSIONER VAN NATTA** – I just have one further question while we're  
5 talking about this. If the goal is to build to the LEED certified level without getting  
6 the LEED certification when it comes to other types of buildings, and I'm thinking  
7 specifically the World Logistics Center where they've said they're going to be  
8 green buildings, they're going to be LEED certified like Sketchers was and so  
9 forth. Are we going to also back off and say well as long as you tried to build  
10 them to that level we don't have to go ahead and get the certification?

11  
12 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm trying to recall the specific  
13 language in that World Logistics Center Specific Plan and I apologize I'm just  
14 drawing a blank. I don't recall saying that we actually had to secure the LEED  
15 certification. I believe the way it was structured in the Specific Plan, as I recall  
16 maybe Mark can correct me if I'm wrong, was that they had to be designed to the  
17 LEED criteria. I don't think it said they had to achieve. I don't think they had to  
18 get the parchment as you're saying. We're going to try and look it up here on...

19  
20 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah I'm trying to see if I can find  
21 it exactly too while we're talking, but that was my recollection as well. There is  
22 no specific requirement that they obtain LEED certification.

23  
24 **COMMISSIONER VAN NATTA** – Well I don't have a problem with both being  
25 held to the same standards, I just didn't want to see us back off on something  
26 now that might come back to bite us later.

27  
28 **CHAIR LOWELL** – And I have a couple questions still. And this bonus only  
29 applies towards multifamily units? Not single family, not commercial? It's  
30 multifamily only?

31  
32 **SENIOR PLANNER CHRIS ORMSBY** – Right, that's the way we had structured  
33 our original response to the grant proposal was to focus on residential. We did  
34 look at the possibility of applying it to single family, but it's really not feasible with  
35 tract development and the way subdivisions work to condition those because  
36 typically they're merchant builders. They come in later and do those, so to put a  
37 condition on a tract map and then try to implement that seemed like it would be  
38 difficult. So we decided just to focus on the multifamily for now. Again, perhaps  
39 later, we would look at expanding that as part of the....

40  
41 **CHAIR LOWELL** – Well, as a for instance, there is a project that Rick and I were  
42 talking about.

43  
44 **PLANNING OFFICIAL RICK SANDZIMIER** – Yes.

45

1 **CHAIR LOWELL** – Remember that project over off Eucalyptus they were talking  
2 about where it is detached single family that they're trying to change from a  
3 quadplex to a single family? They had really narrow side yard setbacks. Would  
4 that qualify as a multifamily or could that lead to incentive bonus be applied  
5 towards that type of a project where they are detached single family but kind of  
6 mimicking multifamily?  
7

8 **PLANNING OFFICIAL RICK SANDZIMIER** – I'm not understanding your  
9 question.  
10

11 **CHAIR LOWELL** – There is really high...what I was asking is if this incentive  
12 only applies to multifamily, multifamily residential buildings like apartment  
13 complexes, quadplexes, duplexes that kind of thing, what if they are single family  
14 detached like that project you and I were talking about and would that 5% bonus  
15 could that be applied towards that type of a project where it's not a specific tract  
16 map like a conventional tract map but it's a detached single family that kind of  
17 mimics a multifamily?  
18

19 **PLANNING OFFICIAL RICK SANDZIMIER** – My interpretation, or my  
20 understanding, it would have to be a multifamily development. It would be  
21 attached product. Unless I'm understanding that wrong.  
22

23 **CHAIR LOWELL** – Is it zoning specific or is it?  
24

25 **SENIOR PLANNER CHRIS ORMSBY** – It is zoning specific, so it is the R10  
26 zone. If this was a PUD within the R10 zone, perhaps it could apply to that. But,  
27 in general, it's intended for multifamily within R10, R15, R20 and R30 zones.  
28

29 **CHAIR LOWELL** – Okay and then....  
30

31 **PLANNING OFFICIAL RICK SANDZIMIER** – In order to achieve the density in  
32 the R10, the R15, the R20 and the R30 in order to get to the density area that  
33 you're looking for....  
34

35 **SENIOR PLANNER CHRIS ORMSBY** – You have to go multifamily.  
36

37 **PLANNING OFFICIAL RICK SANDZIMIER** – You most often are going to have  
38 the attached product. Once you try and create the small lot subdivisions and use  
39 the PUD you're down at the lowest level usually of the density rating, so at an  
40 R10 you're usually closer to the eight dwelling as to the acre. So what we're  
41 trying to encourage here is you're exercising the right for a density bonus, so  
42 you're going to have to be a little higher. I don't know how they can lay it out. I'm  
43 sure it is physically possible for them to try and do that, but understanding when  
44 we read through this is that it was going to be multifamily attached product. That  
45 would've been my read on it.  
46

1 **CHAIR LOWELL** – And then that 5% bonus wouldn't affect lot setbacks and  
2 minimum lot sizes and all that stuff, right? Because multifamily is one big lot. It  
3 doesn't have individual lot lines.

4  
5 **SENIOR PLANNER CHRIS ORMSBY** – That's correct. Those are one acre  
6 minimum lot sizes.

7  
8 **CHAIR LOWELL** – Thank you very much.

9  
10 **PLANNING OFFICIAL RICK SANDZIMIER** – We did find the language in the  
11 Specific Plan for the World Logistics Center said that all buildings in the World  
12 Logistics Center have at least 500,000 square feet shall be designed to meet and  
13 exceed the LEED certified status in accordance with LEED standard in criteria in  
14 effect as of the date of the approval of the Specific Plan. But it doesn't say you  
15 have to have the certificate.

16  
17 **COMMISSIONER VAN NATTA** – Alright.

18  
19 **CHAIR LOWELL** – Okay.

20  
21 **COMMISSIONER VAN NATTA** – And this basically says the same thing but it's  
22 on residential.

23  
24 **CHAIR LOWELL** – Any other questions or comments? No? Would anybody  
25 like to make a motion?

26  
27 **COMMISSIONER GONZALEZ** – I'll make a motion. I move that the Planning  
28 Commission approve Resolution No. 2015-33 as presented.

29  
30 **CHAIR LOWELL** – We have a motion by Commissioner Gonzalez. We have a  
31 second by Patricia Korzec. Please cast your votes.

32  
33 **COMMISSIONER VAN NATTA** – Would that include the revised wording?

34  
35 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah, you said as amended.

36  
37 **CHAIR LOWELL** – He said as presented. That should be as amended.

38  
39 **DEPUTY CITY ATTORNEY PAUL EARLY** – I thought I heard amended.

40  
41 **COMMISSIONER GONZALEZ** – As amended by the blue sheet.

42  
43 **CHAIR LOWELL** – Perfect. Okay so we have all votes cast as amended and as  
44 presented. Motion passes 7-0. Do we have a Staff wrap-up on this item?  
45  
46

1 Opposed – 0  
2  
3

4 **Motion carries 7 – 0**  
5

6 **PLANNING OFFICIAL RICK SANDZIMIER** – This item is a legislative action,  
7 which will be taken forward to the City Council as the next reviewing and  
8 approving body.  
9

10  
11 **OTHER COMMISSION BUSINESS, STAFF COMMENTS, PLANNING**  
12 **COMMISSIONER COMMENTS**  
13

14 **CHAIR LOWELL** – Thank you. Any other Commission Business? Do we have  
15 any Staff Comments or Commissioner Comments?  
16

17 **PLANNING OFFICIAL RICK SANDZIMIER** – Staff Comments: We do not have  
18 a meeting at the end of the month. I want to extend our warm wishes for happy  
19 holidays through Christmas and the New Year. We will be reconvening in  
20 January, and the proposal on the January 28<sup>th</sup> meeting the Agenda actually says  
21 2015, so we need to adjourn tonight that we will actually be adjourning to 2016.  
22 That's the only cleanup.  
23

24 **CHAIR LOWELL** – I had one comment. We had an item tonight that was  
25 continued from several meetings but it was kind of hard to recollect who was  
26 seated. Is there any way that we could ask Staff to maybe send out an email to  
27 include on an item that is continued who was seated and who was absent just for  
28 ease and making the meeting go along a little more smoothly so we know who  
29 should be seated and not seated?  
30

31 **PLANNING OFFICIAL RICK SANDZIMIER** – We can do that. When that  
32 occurs, we'll just put it into the Agenda in terms of which Commissioner should  
33 be seated for that.  
34

35 **CHAIR LOWELL** – Because it makes life a little more easy for us up here.  
36

37 **PLANNING OFFICIAL** – I'm being counseled that that should only be applied to  
38 Public Hearing Items.  
39

40 **DEPUTY CITY ATTORNEY PAUL EARLY** – Yeah Public Hearing Items are the  
41 only ones that that continuance rule applies to so.  
42

43 **CHAIR LOWELL** – Okay.  
44

45 **DEPUTY CITY ATTORNEY PAUL EARLY** – Non-Public Hearing Items would  
46 be whoever is sitting up there.

1 **ADJOURNMENT**

2  
3 **CHAIR LOWELL** – Perfect and with that I’d like to adjourn this meeting to the  
4 next Planning Commission Regular Meeting on January 28<sup>th</sup>, 2016 at 7:00 PM  
5 here in the City Council Chambers. Have a good night. Merry Christmas.  
6 Happy New Year.

7  
8 **COMMISSIONER VAN NATTA** – Merry Christmas.  
9  
10



1 **NEXT MEETING**

2 *Next Meeting: Planning Commission Regular Meeting, January 28, 2016 at 7:00*  
3 *PM, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street,*  
4 *Moreno Valley, CA 92553.*

5  
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10  
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12  
13  
14 \_\_\_\_\_  
15 Richard J. Sandzimier  
16 Planning Official  
17 Approved

\_\_\_\_\_ Date

18  
19  
20  
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24  
25  
26  
27 \_\_\_\_\_  
28 Brian R. Lowell  
29 Chair

\_\_\_\_\_ Date

Minutes Acceptance: Minutes of Dec 10, 2015 7:00 PM (APPROVAL OF MINUTES)

1 CITY OF MORENO VALLEY PLANNING COMMISSION  
2 REGULAR MEETING  
3 CITY HALL COUNCIL CHAMBER – 14177 FREDERICK STREET  
4

5 Thursday, January 28<sup>th</sup>, 2016, 7:00 PM

6  
7  
8 **CALL TO ORDER**  
9

10 **CHAIR LOWELL** – Good evening ladies and gentleman. I would like to call to  
11 order the Regular Meeting of the Planning Commission Meeting. Today's date is  
12 Thursday, January 28<sup>th</sup>, 2016. The time is currently 7:03 PM. May we have  
13 rollcall please?  
14

15  
16 **ROLL CALL**  
17

18 **Commissioners Present:**

19 Commissioner Ramirez  
20 Commissioner Korzec  
21 Commissioner Van Natta  
22 Commissioner Baker  
23 Commissioner Barnes  
24 Vice Chair Sims  
25 Chair Lowell  
26 Alternate Commissioner Nickel  
27 Alternate Commissioner Gonzalez  
28

29  
30 **Staff Present:**

31 Rick Sandzimier, Planning Official  
32 Vince Giron, Associate Engineer  
33 Paul Early, Assistant City Attorney  
34

35  
36 **PLEDGE OF ALLEGIANCE**  
37

38 **CHAIR LOWELL** – Thank you very much. Commissioner Ramirez has offered  
39 to lead us in the pledge of allegiance.  
40  
41  
42  
43  
44

1 **APPROVAL OF THE AGENDA**

2  
3 **CHAIR LOWELL** – Thank you very much. That moves us to the approval of  
4 tonight’s Agenda. I don’t see a vote button on here. Approval of Minutes, let’s  
5 try it again. Nope can’t vote. Would anyone like to motion to approve tonight’s  
6 Agenda. Oh, there we go.

7  
8 **COMMISSIONER VAN NATTA** – I move to approve the Agenda.

9  
10 **CHAIR LOWELL** – Oh, backwards. Mr. Sims beat you to it, so Mr. Sims  
11 motions and you seconded.

12  
13 **COMMISSIONER VAN NATTA** – Okay, then I will....

14  
15 **CHAIR LOWELL** – Actually it is seconded by Mr. Baker.

16  
17 **COMMISSIONER VAN NATTA** – Okay, I don’t need to do anything.

18  
19 **CHAIR LOWELL** – It’s all screwy.

20  
21 **COMMISSIONER VAN NATTA** – I’m going to vote yes.

22  
23 **COMMISSIONER BARNES** – There you go.

24  
25 **CHAIR LOWELL** – Okay so we’re good to go. The vote is 7-0. Tonight’s  
26 Agenda has been approved. That’s awesome.

27  
28  
29 Opposed – 0

30  
31  
32 **Motion carries 7 – 0**

33  
34  
35 **CONSENT CALENDAR**

36  
37 *All matters listed under Consent Calendar are considered to be routine and all*  
38 *will be enacted by one rollcall vote. There will be no discussion of these items*  
39 *unless Members of the Planning Commission request specific items be removed*  
40 *from the Consent Calendar for separate action.*

41  
42  
43 **CHAIR LOWELL** – That moves us onto the Consent Calendar. I do not believe  
44 we have any items on the Consent Calendar tonight, do we?  
45

1 **PLANNING OFFICIAL RICK SANDZIMIER** – We do not have any items, but  
2 normally we would have approval of Minutes. I just want to let the Commission  
3 know that we are behind in our Minutes coming to you. We’ve had a little bit of a  
4 glitch. We have reconciled that and so we are expeditiously trying to catch up on  
5 all the previous Minutes, so you probably will see a series of them on upcoming  
6 Agenda’s so my apologies. But I do want to keep you posted that we are fixing  
7 that. Thanks.

8  
9 **CHAIR LOWELL** – Perfect. Thank you. So that was our Consent Calendar.

10  
11  
12 **APPROVAL OF MINUTES**

13  
14 None

15  
16 **CHAIR LOWELL** – We don’t have any Minutes to approve.

17  
18  
19 **PUBLIC COMMENTS PROCEDURE**

20  
21 *Any person wishing to address the Commission on any matter, either under*  
22 *Public Comments section of the Agenda or scheduled items or public hearings,*  
23 *must fill out a “Request to Speak” form available at the door. The completed*  
24 *form must be submitted to the Secretary prior to the Agenda item being called by*  
25 *the Chairperson. In speaking to the Commission, member of the public may be*  
26 *limited to three minutes per person, except for the applicant for entitlement. The*  
27 *Commission may establish an overall time limit for comments on a particular*  
28 *Agenda item. Members of the public must direct their questions to the*  
29 *Chairperson of the Commission and not to other members of the Commission,*  
30 *the applicant, the Staff, or the audience.*

31  
32 **CHAIR LOWELL** – This brings us to the Public Comments portion of tonight’s  
33 meeting. I do not, do we have any....let me back up. I’d like to open the Public  
34 Comments for items not on the Agenda. Do we have any Speaker Slips tonight?

35  
36 **ERICA TADEO** – No we do not.

37  
38 **CHAIR LOWELL** – Perfect. Then I will close the Public Comments portion.

39  
40  
41 **NON-PUBLIC HEARING ITEMS**

42  
43 None

44  
45 **CHAIR LOWELL** – This moves us on to the Non-Public Hearing Items, which  
46 again I don’t believe we have any Non-Public Hearing Items.

1  
2 **PLANNING OFFICIAL RICK SANDZIMIER** – We have none.  
3

4  
5 **PUBLIC HEARING ITEMS**  
6

- 7 1. Case: P15-084  
8  
9 Applicant: Prologis USLV TRS CASUB, LLC  
10  
11 Owner: Prologis USLV TRS CASUB, LLC  
12  
13 Representative: MIG/Hogle-Ireland – Alex Stelle  
14  
15 Location: West of Graham Street between Alessandro  
16 Boulevard and Brodiaea Avenue  
17  
18 Case Planner: Vince Giron  
19  
20 Council District: 5  
21  
22 Proposal: Vacation of Joy Street north of Brodiaea Avenue  
23  
24

25 **STAFF RECOMMENDATION:**  
26

27 Staff recommends that the Planning Commission **APPROVE** Resolution No.  
28 2016-01, and **HEREBY RECOMMENDS** that the City Council:  
29

- 30 1. **RECOGNIZE** that the vacation of Joy Street falls within the scope of  
31 the Environmental Impact Report certified for Plot Plan PA12-0021 by  
32 the City Council on December 11, 2012, therefore no new or  
33 additional environmental review or determination is required; and  
34  
35 2. **APPROVE** Application P15-084 for the vacation of the portion of Joy  
36 Street located north of Brodiaea Avenue, based on the findings  
37 contained in this resolution.  
38  
39

40 **CHAIR LOWELL** – Perfect, then that moves us on to our first Public Hearing  
41 Item for tonight, which is Case P15-084. The Applicant is Prologis and the Case  
42 Planner is Mr. Vince Giron.  
43

44 **ASSOCIATE ENGINEER VINCE GIRON** – Good evening Chair Lowell and  
45 Members of the Planning Commission. Tonight you have Case P15-084 before  
46 you by Prologis. The Applicant has submitted a request for the vacation of Joy

1 Street north of Brodiaea Avenue in accordance with the conditions of approval for  
2 Tentative Parcel Map 36465 and Plot Plan P12-0021. The Parcel Map will  
3 combine three adjacent parcels into one parcel and allow for the construction of a  
4 proposed warehouse building. The project Conditions of Approval requires the  
5 vacation of Joy Street in order to accommodate the projects proposed building.  
6 Specifically, the vacation must be completed prior to the issuance of building  
7 permits in order to allow the construction of the building pursuant to the State  
8 Highway Code and finding from the Planning Commission that the vacation of  
9 Joy Street is in conformance with the current General Plan and Zoning  
10 Ordinance as required prior to the formal view and action by the City Council on  
11 the requested vacation. In terms of the surrounding area, to the west of the  
12 project site it is vacant properties zoned Office. Southwest is Riverside County  
13 Waste Management offices. To the north, there are vacant properties zoned  
14 Community Commercial, and to the east and south are developed properties  
15 zoned Light Industrial. In the review process, the Land Development Staff has  
16 reviewed the request for the vacation based on recent existing Parcel Maps and  
17 other information provided by the Applicant. Staff has determined that the  
18 vacation of Joy Street, as shown in the attached exhibit, to the proposed  
19 resolution as consistent with Section 66477.5 of the Government Code and in  
20 accordance with Section 8300 of the Streets and Highways Code. Planning Staff  
21 has reviewed the Applicant's request to vacate this portion of Joy Street and has  
22 determined that it is consistent with the City's Zoning Ordinance and General  
23 Plan. Joy Street is not a required General Plan Street and is not required to  
24 provide access to the proposed development project or adjacent properties. Any  
25 existing utilities will be protected in place with easements or relocated by the  
26 Applicant as required by the Conditions of Approval. The previously-approved  
27 Plot Plan PA12-0021 anticipated the vacation of Joy Street. Pardon me, this is  
28 for the environmental portion of it. The anticipated vacation of Joy Street from  
29 Brodiaea Avenue to approximately 600 feet north of Brodiaea Avenue and was  
30 included as an element of the project per Condition of Approval LD45B for the  
31 Plot Plan. The vacation is subsequent discretionary action that falls within the  
32 scope of Environmental Impact Report previously certified by the City Council on  
33 December 11<sup>th</sup>, 2012 for Plot Plan PA12-0021 and does not constitute a new or  
34 separate project requiring a separate environmental determination. In terms of  
35 public noticing, public notice was sent to all property owners of record within 300  
36 feet of the project. A Public Hearing Notice for this project was also posted on  
37 the project site and published in the local newspaper. Review agency  
38 comments: There were some comments that were returned to us by EMWD.  
39 And if I can just interject at this moment I believe a memo that you have before  
40 you is in reference to another agency, which is Southern California Gas  
41 Company that also notified us as recent as today that they would also like to  
42 have an easement reserved for their facilities. And part of this memo also  
43 updates the exhibits that are attached to the Resolution that you're being asked  
44 to approve tonight. Staff Recommendation: Staff recommends that the Planning  
45 Commission approve Resolution No. 2016-01 and hereby recommends that the  
46 City Council recognize that the vacation of Joy Street falls within the scope of the

1 Environmental Impact Report certified for Plot Plan PA12-0021 by the City  
2 Council on December 11<sup>th</sup>, 2012. Therefore, no new or additional environmental  
3 review or determination is required and approve application P15-084 for the  
4 vacation of a portion of Joy Street located north of Brodiaea Avenue, based on  
5 the findings contained in this resolution. That concludes my report.

6  
7 **PLANNING OFFICIAL RICK SANDZIMIER** – And just for clarification, thanks  
8 Vince on that report, the recommended action since the green handout that’s on  
9 your dais this evening contains an additional exhibit that’s been modified. The  
10 Ordinance, I mean the Resolution itself also has been modified so we’re asking  
11 your action to be what’s on the green sheet not what was in the Staff Report.

12  
13 **CHAIR LOWELL** – Thank you very much. I do have a couple questions real  
14 quick for Staff. On the green sheet, it says the subject says Planning  
15 Commission Agenda Item No. 2, but I think it should be Agenda Item No. 1. I  
16 don’t think that really matters but just for clarity. Similarly, on the Public Hearing  
17 Items, it says Council District No. 5. I know we’ve been redistricted to four  
18 Districts. Is that still accurate?

19  
20 **ASSOCIATE ENGINEER VINCE GIRON** – Forgive me. Yes, it should be Item  
21 No. 1. In terms of the District, could you please repeat that?

22  
23 **CHAIR LOWELL** – I know we’re in the process of being redistricted to four  
24 Districts and then one at large mayor, so is District 5 still applicable?

25  
26 **ASSOCIATE ENGINEER VINCE GIRON** – This is per the current District.  
27 That’s correct.

28  
29 **CHAIR LOWELL** – Awesome. Do we have any other questions for Staff before  
30 we move to the Applicant?

31  
32 **COMMISSIONER BARNES** – I do.

33  
34 **CHAIR LOWELL** – Yes, Sir Commissioner Barnes.

35  
36 **COMMISSIONER BARNES** – Should the utility reservation be included in the  
37 legal description?

38  
39 **ASSOCIATE ENGINEER VINCE GIRON** – At this point, the legal description as  
40 written is per the current legal description as it is owned by the property owner.  
41 When the Resolution, when it goes on to Council and they approve the same  
42 legal description and virtually the same plat, after that it goes through a process  
43 of what we call perfecting the deed which is handled by the property owner  
44 through the title company. When a new grant deed is written or drawn up, it will  
45 include the legal description of the property book. It will be the legal description  
46 of the property as you see it in the Staff Report and also include that portion of

1 Joy Street that was vacated via the Resolution by the City Council, so now it  
2 should not be in there. We're recommending that it not be included at this time  
3 since it is not the legal description currently as it stands but it will be at some  
4 point in the legal description.

5  
6 **COMMISSIONER BARNES** – Okay, thank you.

7  
8 **CHAIR LOWELL** – Any other questions for Staff?

9  
10 **COMMISSIONER MELI VAN NATTA** – I didn't understand that.

11  
12 **ASSOCIATE ENGINEER VINCE GIRON** – In a simpler way, the legal  
13 description the way it's written now, it's describing that area that is being vacated.  
14 And what Commissioner Barnes was referring to is should the easements also  
15 be included in the legal description as it's written in Exhibit A, I believe. So, if you  
16 take a look at Exhibit A, it describes Joy Street. It doesn't include any  
17 reservations at this time. However, in the future when the vacation is approved  
18 by City Council, the legal description will change via a process through the title  
19 company.

20  
21 **COMMISSIONER VAN NATTA** – That's the, I'm sorry so how does that affect  
22 the easement reservation?

23  
24 **ASSOCIATE ENGINEER VINCE GIRON** – Well.....

25  
26 **VICE CHAIR SIMS** – Can I ask a question?

27  
28 **ASSOCIATE ENGINEER VINCE GIRON** – Sure.

29  
30 **VICE CHAIR SIMS** – Don't they, the vacation document that outlines the  
31 boundary of the vacation would be filed with the title company and then it would  
32 be kind of concurrent when they filed the new legal description for the non...it's  
33 kind of a, they both kind of go concurrent. Isn't that kind of the way that it works?

34  
35 **COMMISSIONER BARNES** – I guess my question is that once the street is  
36 vacated there is no easement because everything's been vacated, so....

37  
38 **ASSOCIATE ENGINEER VINCE GIRON** – With the exception....

39  
40 **COMMISSIONER BARNES** – At such time as the perfecting deeds come back  
41 you'd be reinstating the easement because the vacation of the street eliminates  
42 it. It seems like the proper way is to preserve the utility easement until such time  
43 as they're abandoned and then they can quick claim that. The perfecting deed  
44 would still go to the center line. The utility portion of the right-of-way would stay  
45 in place, but that's just my opinion.

46



1 **ASSOCIATE ENGINEER VINCE GIRON** – That is correct the way you  
2 described it Commissioner Barnes. The reservations will be quick claimed once  
3 all the utility companies have abandoned those facilities. So it's a requirement of  
4 the developer to demolish abandon further requirements of the utilities. Once it's  
5 abandoned per those requirements, the utility companies will then quick claim  
6 those reservations within Joy Street back to the property owner. At that point in  
7 time, the property owner will now have full access to that portion of what was  
8 once Joy Street.

9  
10 **COMMISSIONER VAN NATTA** – So you're saying that the action that we're  
11 taking tonight to vacate the street does not eliminate the easement?  
12

13 **ASSOCIATE ENGINEER VINCE GIRON** – That's correct. We're asking to  
14 reserve two easements, one for Eastern Municipal Water District and one for  
15 Southern California Gas Company.  
16

17 **CHAIR LOWELL** – You're biting your tongue Mr. Barnes.  
18

19 **COMMISSIONER BARNES** – Yeah, I am. You're right.  
20

21 **VICE CHAIR SIMS** – I mean isn't it, for all intensive purposes, the public right-of-  
22 way. I mean if the Parcel Map created the street, there would be a utility  
23 reservation for the entire...  
24

25 **COMMISSIONER BARNES** – Yes.  
26

27 **VICE CHAIR SIMS** – For the entire Joy Street that is being vacated, so it's kind  
28 of semantics.  
29

30 **CHAIR LOWELL** – But what he is saying is that by vacating the street without  
31 having in the legal description an easement there will be no easement for a  
32 period of time until the easement is granted again.  
33

34 **COMMISSIONER BARNES** – Right and once it comes back...I guess that's my  
35 question. Is the street vacated first and then the easement is reserved because  
36 once you've vacated everything when the property owners reserve it, it's not  
37 specifically to the public. It seems like you should preserve the public utility  
38 easement until such time.  
39

40 **ASSOCIATE ENGINEER VINCE GIRON** – That's part of the legal description.  
41 Yeah, that's correct. The street will be vacated for road and public purposes all  
42 with the exception of the two easements that we're asking to be reserved. And in  
43 the Resolution is one of the facts. We are mentioning that, if I can find it one  
44 moment here, it's under the Resolution under Item B1 in the last sentence that all  
45 existing utilities will be protected in place within easements or relocated by the

1 Applicant to the satisfaction of the affected utility. And what this amounts to in  
2 this case is that only two utility companies have requested that.

3  
4 **VICE CHAIR SIMS** – I mean, I guess, isn't it....It's not really separate, Eastern  
5 doesn't have a separate easement to....

6  
7 **COMMISSIONER BARNES** – It's just a public utility.

8  
9 **VICE CHAIR SIMS** – It's just a public utility corridor so their first in place, first in  
10 time, their just there until it is abandoned.

11  
12 **ASSOCIATE ENGINEER VINCE GIRON** – That is correct. When this goes to  
13 City Council, there will also be a statement in the Resolution that is reserving  
14 easements for those two public utilities. In the future when everything has been  
15 abandoned to their satisfaction, they will then quick claim those easements to the  
16 property owner.

17  
18 **COMMISSIONER VAN NATTA** – Okay then what I don't understand is, if that's  
19 the way it already was in the Resolution that the existing utilities would be  
20 protected in place, then what was the purpose for this other memorandum that  
21 we were given telling us that Southern California Gas Company has requested  
22 an easement reservation if it was already reserved?

23  
24 **ASSOCIATE ENGINEER VINCE GIRON** – I guess it's to be more specific for  
25 which utility company. It is not for every public utility company that's one the  
26 street.

27  
28 **CHAIR LOWELL** – I think that it's specifying that it's Eastern Water Municipal  
29 District and the gas company have easements and it's not Verizon, not....

30  
31 **COMMISSIONER VAN NATTA** – It doesn't say....

32  
33 **ASSOCIATE ENGINEER VINCE GIRON** – The original version just has the  
34 EMWD.

35  
36 Correct.

37  
38 **ASSISTANT CITY ATTORNEY PAUL EARLY** – The amended version says  
39 EMWD and gas company.

40  
41 **ASSISTANT CITY ATTORNEY PAUL EARLY** – That's correct.

42  
43 **ASSOCIATE ENGINEER VINCE GIRON** – That's the only real revision.

44  
45 **COMMISSIONER VAN NATTA** – Okay.

46

1 **CHAIR LOWELL** – And that’s what you get when you have two engineers and a  
2 land surveyor up here.

3  
4 **COMMISSIONER BARNES** – Sorry guys.

5  
6 **ASSISTANT CITY ATTORNEY PAUL EARLY** – And just to clarify what action  
7 is being sought from the Commission tonight, it’s simply that you certify that this  
8 vacation is consistent with the General Plan. The actual vacation will take place  
9 by the Council.

10  
11 **CHAIR LOWELL** – Correct. With that said, do we have anymore questions for  
12 Staff?

13  
14 **COMMISSIONER BARNES** – Is this the Resolution that goes to the City  
15 Council?

16  
17 **ASSISTANT CITY ATTORNEY PAUL EARLY** – This is the not the Resolution  
18 vacating the thing. This is simply a Resolution that this Commission certifies that  
19 it’s consistent with the General Plan.

20  
21 **COMMISSIONER BARNES** – Okay.

22  
23 **ASSISTANT CITY ATTORNEY PAUL EARLY** – This is your Resolution.

24  
25 **CHAIR LOWELL** – I’m okay with that.

26  
27 **VICE CHAIR SIMS** – Jeff, Joy Street is going to go on vacation to Cancun.

28  
29 **COMMISSIONER BARNES** – And I’m going with it.

30  
31  
32 **PUBLIC COMMENTS**

33  
34 **CHAIR LOWELL** – Alright. Okay with that said I’d like to invite the Applicant up  
35 if they’d like to say something, which I don’t see anybody coming up here. Do we  
36 have any? Okay, I will move on to the Public Comments portion. Do we have  
37 any Speaker Slips tonight?

38  
39 **ERICA TADEO** – No we do not.

40  
41 **CHAIR LOWELL** – Man is this contentious. Okay, I’d like to close the Public  
42 Comments portion.

1 **COMMISSIONER COMMENTS**

2  
3 **CHAIR LOWELL** – Moving onto Commissioner Discussion. Do we have  
4 anymore comments or questions?

5  
6 **COMMISSIONER KORZEC** – No.

7  
8 **COMMISSIONER BARNES** – No, I'm good.

9  
10 **CHAIR LOWELL** – Okay, would anybody like to make a motion? Let's see if I  
11 can get this going.

12  
13 **VICE CHAIR SIMS** – You only have to twist our arms.

14  
15 **CHAIR LOWELL** – I don't see the voting button up here Erica. No voting button.  
16 Let's just go the old fashioned way. Would anybody like to make a motion on this  
17 item tonight? Nobody is speaking? Fine, I'll make the motion.

18  
19 **COMMISSIONER VAN NATTA** – I was trying to hit the mover button before I  
20 said anything because...

21  
22 **CHAIR LOWELL** – Okay we have a motion by Commissioner Van Natta. Could  
23 you read the motion?

24  
25 **COMMISSIONER VAN NATTA** – Sure. I move that the Planning Commission  
26 recommends that the City Council recognize that the vacation of Joy Street falls  
27 within the scope of the Environmental Impact Report and approve the application  
28 for PA15-084 for the vacation of the portion of Joy Street as presented by Staff.

29  
30 **CHAIR LOWELL** – And do we still have a second by Commissioner Sims?

31  
32 **VICE CHAIR SIMS** – Absolutely.

33  
34 **CHAIR LOWELL** – Perfect. Would we like to vote? I need some  
35 communication. Was that an okay motion?

36  
37 **PLANNING OFFICIAL RICK SANDZIMIER** – That was an okay motion.

38  
39 **CHAIR LOWELL** – Okay continue the vote. Okay all votes have been cast.  
40 Last chance, three, two, one; the motion passes 7-0. Do we have a Staff wrap-  
41 up on this item?

42  
43  
44 Opposed – 0

45  
46 **Motion carries 7 – 0**

1  
2 **PLANNING OFFICIAL RICK SANDZIMIER** – This item will be moving forward  
3 to the City Council review as an advisory body. As we discussed, your  
4 recommendation is contained in the Resolution, so there is no wrap-up.  
5  
6  
7

8 **OTHER COMMISSIONER BUSINESS**  
9

10 **CHAIR LOWELL** – Perfect. Then we go into Other Commissioner Business,  
11 which I don't think we have any.  
12  
13

14 **STAFF COMMENTS**  
15

16 **CHAIR LOWELL** – We have Staff Comments.  
17

18 **PLANNING OFFICIAL RICK SANDZIMIER** – I do have a comment. We  
19 originally planned on having a second item here tonight at this Commission  
20 Meeting. It had to do with medical marijuana legislation that went into effect at  
21 the beginning of the year and was giving local agencies up until March 1<sup>st</sup> to  
22 consider or adopt more specific regulations with regard to medical marijuana.  
23 Because we want to err on the side of caution, we removed it from this Agenda  
24 and we'd like you to be adjourning your meeting tonight to another meeting on  
25 February 11<sup>th</sup>, 2016, rather than going to February 25<sup>th</sup>, 2016. That would be a  
26 place holder. We're actually putting the notice in the newspaper on Sunday for  
27 that meeting, but I'm going to turn it over to Attorney Paul Early to kind of give  
28 you an update of what's going on at the State, which may allow us not to have to  
29 come back so.  
30

31 **CHAIR LOWELL** – Okay.  
32

33 **ASSISTANT CITY ATTORNEY PAUL EARLY** – Yes the main issue here is that  
34 the new state laws, when they were enacted, had a provision in there that said  
35 that if your City has a Land Use Regulation in Regulating the Cultivation of  
36 Marijuana prior to March 1<sup>st</sup>, 2016, then the City can continue to regulate in that  
37 area. But, if we do not have such an ordinance, the State takes over. So you  
38 may have seen or heard of this, but jurisdictions everywhere have been rushing  
39 to enact some sort of Land Use Regulation just to get ahead of that March 1<sup>st</sup>,  
40 2016 deadline. And that is, in fact, what we were bringing to the Planning  
41 Commission. It's actually legislation that we actually already have, but we want  
42 to move it into our Zoning Code so that it meets the definition of a Land Use  
43 Regulation. There's been an amendment that is being rushed through the  
44 house. It passed the senate I understand today and was sent to the governor for  
45 signature, which removes that March 1<sup>st</sup>, 2016 deadline. So we expect, and from  
46 what we're hearing, is the governor is going to sign it. We expect in the next few

1 days that that March 1<sup>st</sup>, 2016 deadline will be removed and we won't have to go  
2 through this rush process. There is still a desire from the City Council's Public  
3 Safety Subcommittee Meeting to bring forth some discussion on regulating the  
4 cultivation of marijuana in the city, but we'll be able to do a more thorough and  
5 comprehensive review of that and bring that to you at a future time. So, at this  
6 point, we want to keep the February 11<sup>th</sup>, 2016 on schedule just in case the  
7 governor doesn't sign it, so that we can bring it to the City Council on February  
8 14<sup>th</sup> in time to meet that March 1<sup>st</sup> deadline. But it's very likely that it will be taken  
9 off the calendar.

10  
11 **PLANNING OFFICIAL RICK SANDZIMIER** – The only Staff Comments we had  
12 with a little clarification but I also just want to welcome you guys back here in the  
13 New Year, so it's good to see you guys again.

14  
15 **CHAIR LOWELL** – Thank you very much. Any other comments for the  
16 Commissioners? No, with that, so would we be adjourning to the February 25<sup>th</sup>  
17 meeting or would we be adjourning to a different date?

18  
19 **ASSISTANT CITY ATTORNEY PAUL EARLY** – February 11<sup>th</sup>.

20  
21 **PLANNING OFFICIAL RICK SANDZIMIER** – February 11<sup>th</sup>.

22  
23  
24 **ADJOURNMENT**

25  
26 **CHAIR LOWELL** – Perfect. With that, I would like to adjourn tonight's meeting  
27 to the next Regular Meeting of the Planning Commission, which is February 11<sup>th</sup>,  
28 2016, at 7:00 PM right here in City Hall Council Chambers. Thank you  
29 everybody and have a good night.

30  
31  
32 **NEXT MEETING**

33 *Next Meeting: Planning Commission Regular Meeting, February 11<sup>th</sup>, 2016 at*  
34 *7:00 PM, City of Moreno Valley, City Hall Council Chamber, 14177 Frederick*  
35 *Street, Moreno Valley, CA 92553.*

36  
37  
38  
39  
40  
41  
42 \_\_\_\_\_  
43 Richard J. Sandzimier  
44 Planning Official  
45 Approved  
46

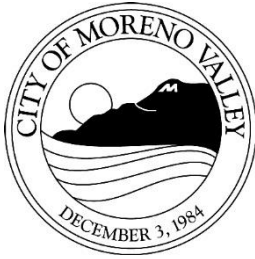
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\_\_\_\_\_  
Brian R. Lowell  
Chair

\_\_\_\_\_  
Date

Minutes Acceptance: Minutes of Jan 28, 2016 7:00 PM (APPROVAL OF MINUTES)



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## PLANNING COMMISSION

### STAFF REPORT

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Meeting Date: March 24, 2016

#### HILLSIDE RESIDENTIAL DEVELOPMENT

Case: Hillside Residential Development  
Applicant: City of Moreno Valley  
Owner: N/A  
Representative: N/A  
Location: HR and RR Zoning Districts City-wide  
Case Planner: Jeff Bradshaw  
Council District: City-wide

#### **SUMMARY**

Staff is requesting the Planning Commission to provide advice, comments and recommendations to Planning staff to carry forward to the City Council with regards to the City's Residential Hillside Development regulations.

#### **BACKGROUND**

The City's Residential Hillside Development regulations have been and continue to be an area of interest. A particular interest is to ensure the City is able to attract interest from residential developers, which provides opportunity for the community to create/establish unique aesthetics, diversified housing types, attractive/inviting new tracts while being sensitive to and respectful of the City natural resources.

#### **In the Beginning**



Hillside residential standards have been in effect in Moreno Valley since 1988 with the adoption of the first General Plan and 1991 with the first development code and zoning map. Overall, the hillside standards have served well to protect significant landforms, preserve vistas and minimized erosion and grading in areas of steep topography, while also providing flexibility related to lot size, length, width and minimum square footage for development opportunity and preservation of slopes. However, the City has received some negative feedback from the development community and local residents over the years that suggest that the regulation may be too restrictive.

## 2007

In March of 2007 the City Council conducted a Study Session on the Hillside regulation. Based on the review at that time the following input was provided:

- The existing ordinance is a strong document that has worked well to restrict development on the steeper sloped areas.
- Slope percentages and development restrictions relating to Open Space requirements are very restrictive and should not be modified.
- Existing ridgelines, vistas, and rock outcroppings should be preserved.
- Standards could be reviewed regarding large two story homes and how they blend into the natural slopes and ridgelines, including consideration of color and materials.
- Split-level pads should be encouraged in areas with moderately steep terrain.
- Lighting restrictions should be considered in hillside districts.

## 2008

In March of 2008 a reconsideration of the 2007 findings was performed. The conclusion was that the development regulations could be revised to some degree while still preserving the base integrity and staff was directed to update the regulations.

The City refined its Hillside Standards in 2008 in part by transferring development policy language set forth in the General Plan document to Title 9 of the Municipal Code (Planning and Zoning). Of particular note, hillside regulations were established for site plan detail, as well as architectural and lighting design standards. These three components were expected to ensure development could be allowed on the most stable portions of the slope, would blend development to existing hillside surroundings, and limit unnecessary intrusion of light pollution and glare. These City hillside development requirements were found to be consistent with other surrounding jurisdictions with regards to retention of open space, protection of ridgelines, and maintenance of slope densities based on the requirement for an actual slope analysis. Further, Moreno Valley's regulations with respect to slopes at or greater than 25%, were found to provide more building flexibility than other communities, which in some instances outright prohibited development on the steeper slopes.

## 2014

In early 2014 the Planning Commission requested a Study Session on the Hillside Development Regulations.

On May 22, 2014 the Study Session was conducted. The Study Session included a staff review of the current regulations as modified in 2008. As a result of the Study Session no further follow-up or modification to the regulations were pursued.

## 2015

In late 2015 a joint meeting of the Planning Commission and City Council was requested to consider general planning interest related to a recently completed Nason Corridor Study, interest in potential zoning for vineyard development, and lastly for consideration of Hillside development regulations.

At the joint meeting staff presented a PowerPoint presentation that included an overview of the current City regulations, a photo comparison of Moreno Valley hillside residential developments with hillside developments in other surrounding communities, and slides and discussion of the opportunities and challenges associated with hillside development.

Since the Study Session in October 2015, the Community Development Department has been requested through the City Council office to pursue further consideration of this topic, including careful consideration of regulation presently in place in the City of Riverside. Planning has completed that research along with research of other local jurisdictions and has prepared a new PowerPoint presentation (See Attachment 1) that will be presented to the Planning Commission with a request for advice, comments and recommendations.

Based on the input provided by the Planning Commission staff will prepare an appropriate plan of action to present to the City Council for a Development Code Amendment including a request for approval of necessary staffing resource and budget allocations to carry out the effort.

## **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission:

1. Review and discuss the City's current hillside residential development standards and provide advice, comments and recommendations to Planning staff to carry forward to the City Council as desired for Development Code Amendments.

Prepared by:  
Jeffrey Bradshaw  
Associate Planner

Approved by:  
Allen Brock  
Community Development Director

## **ATTACHMENTS**

1. Hillside Residential - Planning Commission Presentation
2. Riverside - RC Zone Development Standards
3. Moreno Valley - RR and HR Zone Standards



# HILLSIDE RESIDENTIAL DEVELOPMENT

PRESENTATION BY: Community Development Department – Planning Division



Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential

# HILLSIDE RESIDENTIAL DEVELOPMENT IN MORENO VALLEY



## General Plan Goals and Policies:

### 9.2.2 COMMUNITY DEVELOPMENT ELEMENT OBJECTIVES AND POLICIES

**Objective 2.1** Balance the provision of urban and rural lands within Moreno Valley by providing adequate land for present and future urban and economic development needs, while retaining the significant natural features and the rural character and lifestyle of the northeastern portion of the community.

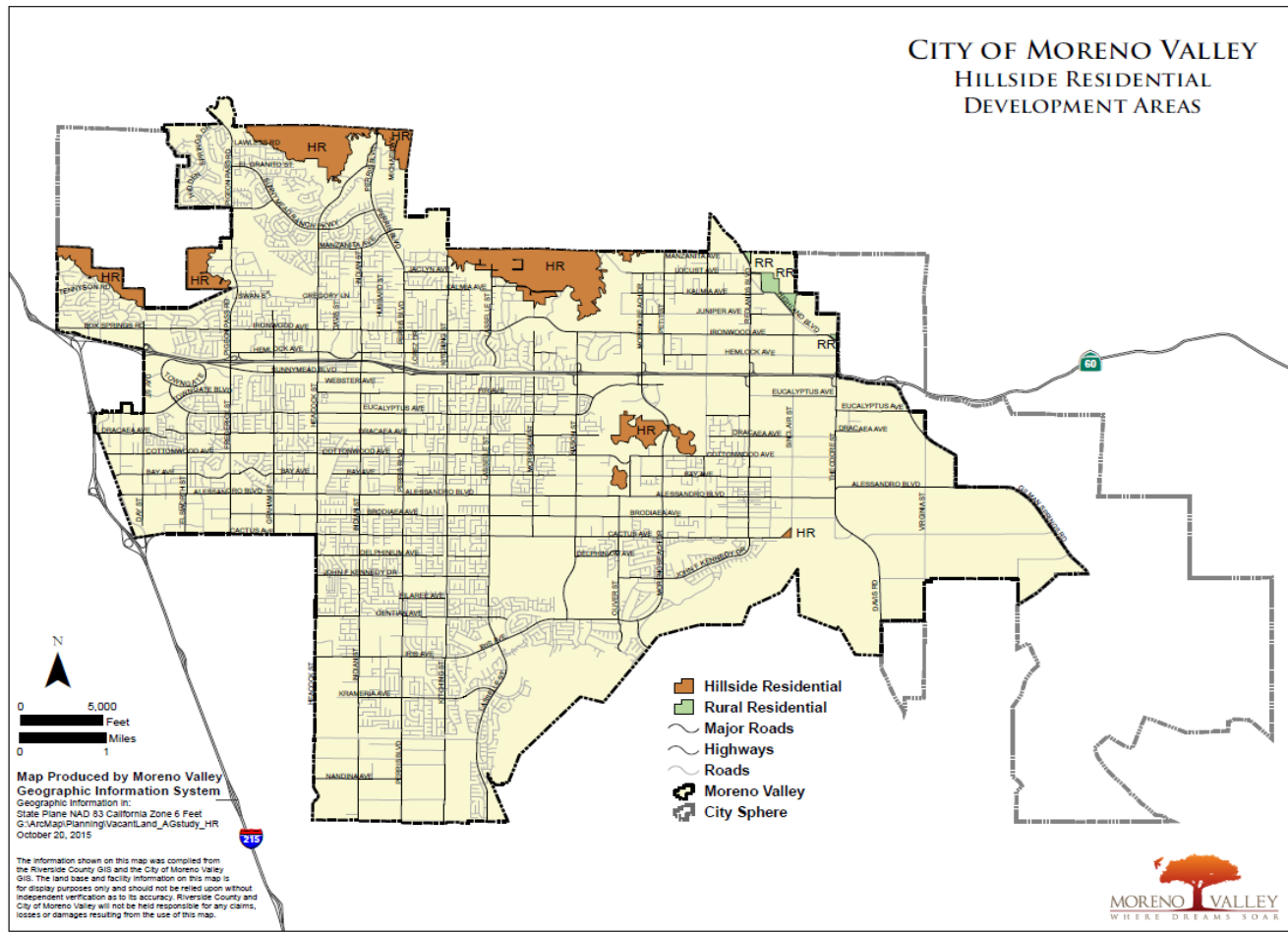
**Objective 2.2** Provide a wide range of residential opportunities and dwelling types to meet the demands of present and future residents of all socioeconomic groups.

**Policy 2.2.2** The primary purpose of areas designated **Hillside Residential** is to balance the preservation of hillside areas with the development of view-oriented residential uses.

**Policy 2.2.3** The primary purpose of areas designated **Rural Residential** is to provide for and protect rural lifestyles, as well as to protect natural resources and hillsides in the rural portions of the City.



### Hillside Residential Development in Moreno Valley



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential

### Municipal Code Section 9.03 Residential Districts:

There are two zoning districts within the City of Moreno Valley that allow for Hillside Residential Development. The stated purposes of both zones are consistent with General Plan Policies:





### Hillside Residential District (HR):

- Maximum density and minimum required open space determined by results of slope analysis
- Minimum lot size – 10,000 square feet to 1.0 acre to be determined by the results of a slope analysis
- Subdivision Design – encourage the transfer of density and clustering of lots on lower slopes to preserve steeper slopes for open space
- Building Height – 30 feet maximum or 35 feet for slopes less than 10%
- Setbacks – varies depending on lot size
- Grading – minimized to limit impacts to hillsides and slopes by preserving natural contours, rock outcroppings and other natural features



## Rural Residential (RR):

- Maximum density and minimum required open space determined by results of slope analysis
- Minimum lot size – 20,000 square feet to 2.5 acre to be determined by the results of a slope analysis
- Subdivision Design – encourage the transfer of density and clustering of lots on lower slopes to preserve steeper slopes for open space
- Building Height – 30 feet maximum or 35 feet for slopes less than 10%
- Setbacks – varies depending on lot size
- Grading – minimized to limit impacts to hillsides and slopes by preserving natural contours, rock outcroppings and other natural features



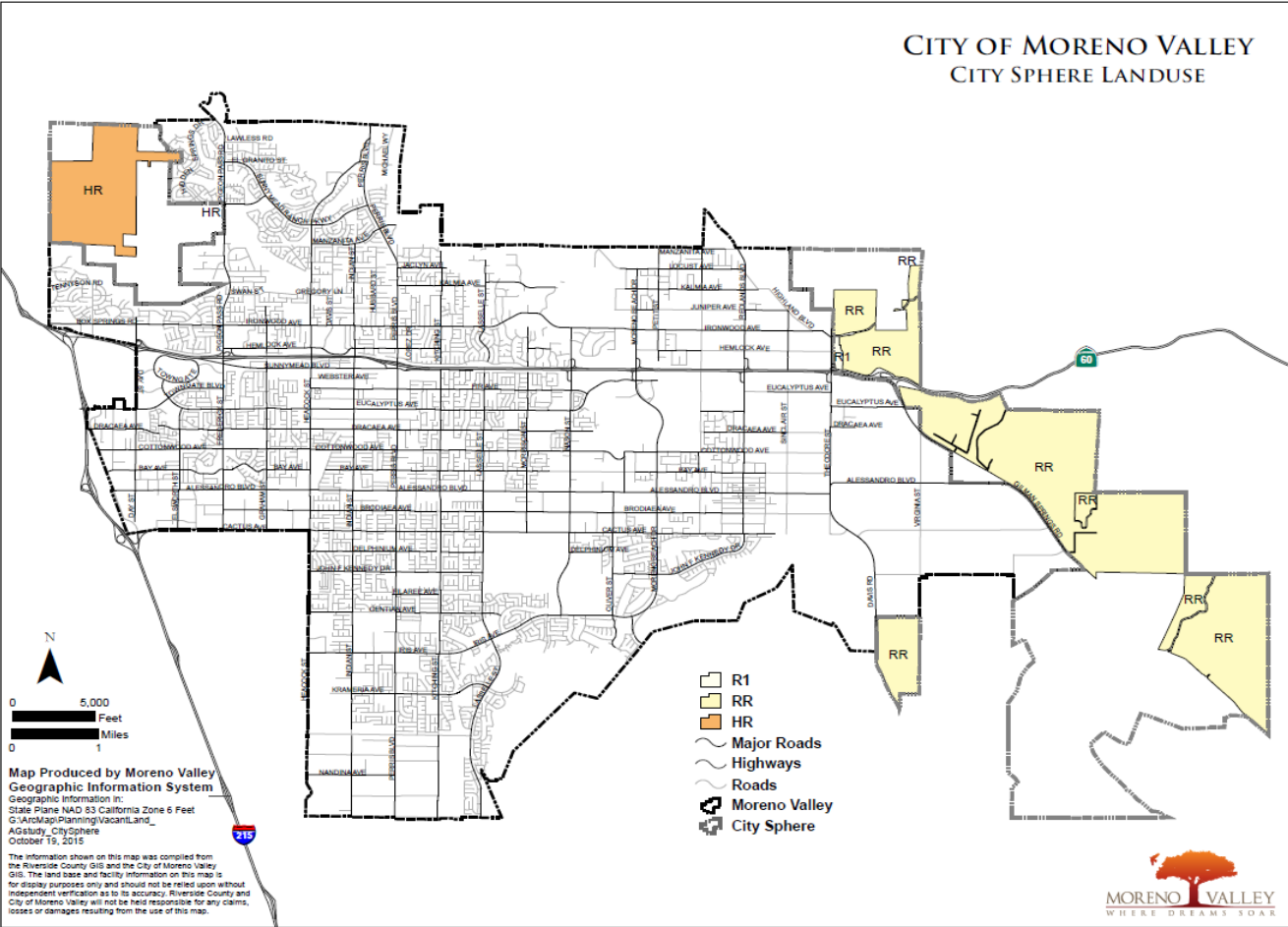
## Municipal Code Section 9.16 Article IV. Applications for Hillside Development

Hillside development can offer opportunities for spectacular views from building sites around the valley's perimeter. It is important, however, to ensure that all are protected when designing hillside building sites. The guidelines in this section apply to the hillside areas illustrated in the general plan.

- Natural Open Space Standards
- Landscaping
- Grading
- Roadways and Circulation
- Fire Protection
- Hillside Design Standards – site design, architecture, and lighting



Hillside Residential Development in Moreno Valley

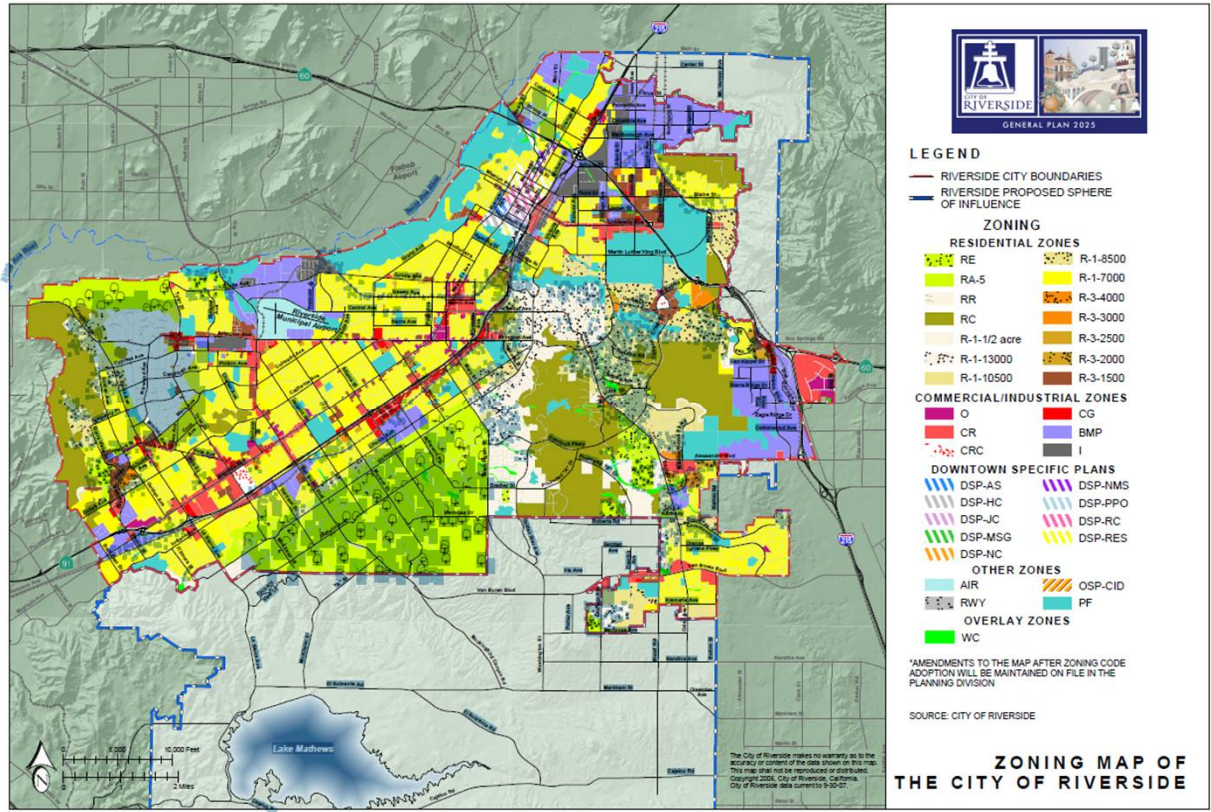


HILLSIDE RESIDENTIAL DEVELOPMENT

# HILLSIDE RESIDENTIAL DEVELOPMENT IN CITY OF RIVERSIDE



### Hillside Residential Development in City of Riverside



Hillside residential development in Riverside is permitted within the Residential Conservation (RC) zone.



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential

Moreno Valley / Riverside Hillside Development Standards

Hillside Residential Development – HR Zone

City	Moreno Valley	Riverside	
Zone	Hillside Residential (HR)	Residential Conservation (RC)	
General Plan		Land Zoned RC Before 1979	Land Zoned RC on or after May 15, 1979
<b>Density</b>	Slope – Less than 10% - 1 DU/10 acres Slope – 10% to 15% - 1 DU/ 2 acres Slope – 15.1% to 25% - 1 DU/4 acres Slope – Greater than 25% - 1 DU/10 acres	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>
<b>Minimum Open Space</b>	Slope – Less than 10% - N/A Slope – 10% to 15% - 35% Slope – 15.1% to 25% - 50% Slope – Greater than 25% - 60%	N/A	N/A
<b>Lot Area</b>	Slope – Less than 10% - 1.0 acre <sup>1</sup> Slope – 10% to 15% - See footnote 1 Slope – 15.1% to 25% - See footnote 1 Slope – Greater than 25% - See footnote 1	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>	Slope – Less than 15% - 0.5 acre Slope – 15% to 30% - 2.0 acres Slope – Greater than 30% - 5.0 acres
<b>Lot Width</b>	Less than 20,000 SF – 90 feet 20,000 to 40,000 SF – 100 feet Greater than 40,000 SF – 150 feet	130 feet	130 feet
<b>Lot Depth</b>	Less than 20,000 SF – 100 feet 20,000 to 40,000 SF – 120 feet Greater than 40,000 SF – 170 feet	100 feet	100 feet
<b>Building Height</b>	30 feet (35' on slopes of less than 10%)	20 feet	20 feet
<b>Number of Stories</b>	N/A	1	1
<b>Lot Coverage</b>	Less than 20,000 SF – 40% 20,000 to 40,000 SF – 30% Greater than 40,000 SF – 25%	N/A	N/A
<b>Setbacks</b>	Front – 25 feet Side – Combined 20 feet Rear: Less than 20,000 SF – 30 feet 20,000 to 40,000 SF – 35 feet Greater than 40,000 SF – 40 feet	Front – 30 feet Side – 25 feet Rear – 25 feet	Front – 30 feet Side – 25 feet Rear – 25 feet

<sup>1</sup>Minimum lot size shall be 1.0 acre within a slope category of ten (10) percent or less, unless determined to be reduced by an approved slope analysis. Based on the outcome of a slope analysis, the lot size within the hillside residential district may be reduced to ten thousand (10,000) square feet or the minimum lot size of the adjacent zone, whichever is greater, if clustered on slopes of less than ten (10) percent and the lots are part of a project that preserves the steeper slope classes as natural open space by dedication to an appropriate governmental entity, open space easement, transfer of development rights or other means approved by the city. The ongoing maintenance of such open space areas shall be ensured through a mechanism approved by the city.

<sup>2</sup>Notwithstanding the provisions of subdivision 1 of this subsection, every lot or parcel located within the Hawarden Drive Special Design Area, generally between Anna Street and Alessandro Arroyo, shall have a minimum width at the building line of 130 feet and a minimum area of 2 acres; provided, however, that where a lot or parcel located within said area has less width or less area than herein required as was a legally created lot of record prior to June 16, 1977, such lot may be occupied by a single-family residential use if the lot has a minimum area of one-half acre.

Hillside Residential Development – RR Zone

City	Moreno Valley	Riverside	
Zone	Rural Residential (RR)	Residential Conservation (RC)	
General Plan		Land Zoned RC Before 1979	Land Zoned RC on or after May 15, 1979
<b>Density</b>	Slope – Less than 10% - 1 DU/2.5 acres Slope – 10% to 15% - 1 DU/5 acres Slope – 15.1% to 25% - 1 DU/10 acres Slope – Greater than 25% - 1 DU/20 acres	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>
<b>Minimum Open Space</b>	Slope – Less than 10% - N/A Slope – 10% to 15% - 35% Slope – 15.1% to 25% - 50% Slope – Greater than 25% - 60%	N/A	N/A
<b>Lot Area</b>	Slope – Less than 10% - 2.5 acres <sup>1</sup> Slope – 10% to 15% - See footnote 1 Slope – 15.1% to 25% - See footnote 1 Slope – Greater than 25% - See footnote 1	0.5/Acre (Average lot size for subdivisions 2.0 acres) <sup>2</sup>	Slope – Less than 15% - 0.5 acre Slope – 15% to 30% - 2.0 acres Slope – Greater than 30% - 5.0 acres
<b>Lot Width</b>	Less than 20,000 SF – 90 feet 20,000 to 40,000 SF – 100 feet Greater than 40,000 SF – 150 feet	130 feet	130 feet
<b>Lot Depth</b>	Less than 20,000 SF – 100 feet 20,000 to 40,000 SF – 120 feet Greater than 40,000 SF – 170 feet	100 feet	100 feet
<b>Building Height</b>	30 feet (35' on slopes of less than 10%)	20 feet	20 feet
<b>Number of Stories</b>	N/A	1	1
<b>Lot Coverage</b>	Less than 20,000 SF – 40% 20,000 to 40,000 SF – 30% Greater than 40,000 SF – 25%	N/A	N/A
<b>Setbacks</b>	Front – 25 feet Side – Combined 20 feet Rear: Less than 20,000 SF – 30 feet 20,000 to 40,000 SF – 35 feet Greater than 40,000 SF – 40 feet	Front – 30 feet Side – 25 feet Rear – 25 feet	Front – 30 feet Side – 25 feet Rear – 25 feet

<sup>1</sup>Minimum lot size shall be one dwelling unit per 2.5 acres within a slope category of ten (10) percent or less unless determined to be reduced by an approved slope analysis. Based on the outcome of a slope analysis, minimum lot size within the rural residential district may be reduced to twenty thousand (20,000) square feet, or the minimum lot size of the adjacent zone, whichever is greater, if clustered on slopes of less than ten (10) percent and the lots are part of a project that preserves the steeper slope classes as natural open space by dedication to an appropriate governmental entity, open space easement, transfer of development rights or other means approved by the city. The ongoing maintenance of such open space areas shall be ensured through a mechanism approved by the city.

<sup>2</sup>Notwithstanding the provisions of subdivision 1 of this subsection, every lot or parcel located within the Hawarden Drive Special Design Area, generally between Anna Street and Alessandro Arroyo, shall have a minimum width at the building line of 130 feet and a minimum area of 2 acres; provided, however, that where a lot or parcel located within said area has less width or less area than herein required as was a legally created lot of record prior to June 16, 1977, such lot may be occupied by a single-family residential use if the lot has a minimum area of one-half acre.

HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential



## Development Standards

The most distinct differences between the two City's development standards are:

- Density – The City of Riverside has a lower threshold for determining density
- Open Space – The City of Riverside requires an allocation for open space for approved Planned Residential Development (PRD) projects but not for standard subdivisions and custom home development
- Lot Coverage – The City of Riverside does not have a requirement for lot coverage
- Clustering – The City of Riverside requires a minimum lot size of 0.5 acre. Clustering is allowed through approval of a Planned Residential Development Permit (PRD)
- Limitations on Grading – The City of Riverside does not permit grading of any slopes that are over 40%

## General Plan

The City of Moreno Valley's hillside development standards are an implementation tool for addressing General Plan Goals and Policies related to hillside development. A change in City development standards might require an amendment to the City's General Plan.





# HILLSIDE DEVELOPMENT STANDARDS OTHER COMMUNITIES



Hillside Development Standards Other Communities

HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Development Other Communities					
	Minimum Lot Size	Open Space	Setback Requirement	Clustering	Landscaping
<b>Palm Springs</b>	The density and lot dimensions of the zone in which the property is located shall apply.	Any area of the site having a degree of slope of 30% or more shall be excluded from the allowable area that may be allowed in computing total density. Such area shall be retained as open space. In order to insure permanent retention of the open space, a covenant approved by the city attorney shall be recorded dedicating all building rights to the city of Palm Springs and insuring that such open space shall remain as shown on plans approved by the city of Palm Springs.	<p>Front Yard.</p> <p>a. There shall be a front yard of not less than fifty (50) feet.</p> <p>b. For all uses except single-family residential, the front twenty-five (25) feet of the yard shall be landscaped and maintained and a wall not more than four and one-half (4 1/2) feet in height or solid screen landscaping of unlimited height shall be installed not less than twenty-five (25) feet from the front lot line or future highway line.</p> <p>3. Side Yard.</p> <p>a. Each lot shall have a side yard on each side of not less than fifty (50) feet.</p> <p>b. Side yard may be used for parking.</p> <p>4. Rear Yard.</p> <p>a. Each lot shall have a rear yard of not less than fifty (50) feet.</p>	N/A	N/A



Hillside Development Standards Other Communities

<p><b>Redlands</b></p>	<p>Minimum lot area in the R-A-A district is twenty thousand (20,000) square feet</p>	<p>Units may be transferred from greater slope categories to lesser slope categories. However, when a proposed subdivision results in a density transfer within a site, the entire parcel shall be subject to review as a planned residential development; minor subdivisions may substitute a conservation easement to protect open space and the natural environment over the portions of the parcel that have slopes greater than thirty percent (30%) and integral contiguous areas. Such conservation easement shall preclude these areas from contributing toward density transfers for any future subdivisions.</p>	<p>Except as provided in this section each lot shall have a front yard extending for the full width of the lot. The yard shall be not less than twenty five feet (25'). Except as provided in this section each lot shall have a side yard on both sides of the main building, of not less than ten feet (10'). Each lot shall have not less than a ten foot (10') level side yard on the garage side. A corner lot shall have the garage adjacent to the interior lot line, with not less than a ten foot (10') level side yard.</p>	<p>N/A</p>	<p>Slopes greater than twenty five percent (25%) shall not be irrigated with an irrigation system with a precipitation rate exceeding 0.75 inches per hour. This restriction may be modified if the landscape designer specifies an alternative design or technology, as part of the landscape documentation package, and clearly demonstrates no runoff or erosion will occur. Prevention of runoff and erosion must be confirmed during the irrigation audit.</p>												
<p><b>Diamond Bar</b></p>	<p>Lot Size and Dimensions. The minimum lot size for single-family detached residential development in the PD district or in a PD is seven thousand two hundred (7,200) square feet with a minimum average lot width of sixty (60) feet to be provided in the development and in no case shall any seven thousand two hundred (7,200) square foot lot be less than fifty (50) feet in width. This minimum lot size and minimum lot width shall apply to all single-family detached residential lots in the PD district or in a PD.</p>	<table border="1"> <thead> <tr> <th>Avg. Slope Range</th> <th>Open Space</th> </tr> </thead> <tbody> <tr> <td>0% to 25%</td> <td>None</td> </tr> <tr> <td>26% to 30%</td> <td>10%</td> </tr> <tr> <td>31% to 35%</td> <td>20%</td> </tr> <tr> <td>36% to 40%</td> <td>30%</td> </tr> <tr> <td>Greater than 40%</td> <td>40%</td> </tr> </tbody> </table>	Avg. Slope Range	Open Space	0% to 25%	None	26% to 30%	10%	31% to 35%	20%	36% to 40%	30%	Greater than 40%	40%	<p>The utilization of varying setbacks, building heights, foundation designs and compatible building forms, materials, and colors which serve to blend buildings into the terrain;</p>	<p>To encourage the clustering of residential units away from steeper slopes to areas with more gentle slopes, a transfer of density may be allowed when development is transferred from one slope category to a lower slope category. When density is transferred from a higher slope category to a lower category (e.g., from the 31—35 percent category to the 26—30 percent category), the commission may increase the allowable density of the lower category to compensate for not developing in areas with steeper slopes.</p>	<p>Native or naturalized plants or other plant species that blend with the landscape shall be utilized in all areas with required planting in compliance with section 22.24.050 (Landscape standards). Fire retardant plant materials shall be utilized in compliance with section 22.22.140 (Fire protection standards). Plants selected as ground cover, shrubs, or trees shall be from a list approved by the city. A permanent landscape and irrigation system, for purposes of establishing and maintaining required planting, shall be installed on all slopes. The emphasis shall be toward using plant materials that will eventually need minimal irrigation. Water and energy conservation techniques shall be utilized, including drip irrigation, reclaimed water, and Xeriscape.</p>
Avg. Slope Range	Open Space																
0% to 25%	None																
26% to 30%	10%																
31% to 35%	20%																
36% to 40%	30%																
Greater than 40%	40%																



HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Development Standards Other Communities

<p><b>Chino Hills</b></p>	<p>The minimum lot size for single-family detached residential development in the PD district or in a PD is seven thousand two hundred (7,200) square feet with a minimum average lot width of sixty (60) feet to be provided in the development and in no case shall any seven thousand two hundred (7,200) square foot lot be less than fifty (50) feet in width. This minimum lot size and minimum lot width shall apply to all single-family detached residential lots in the PD district or in a PD.</p>	<p>In order to preserve important open space areas and maintain the desired rural character of Chino Hills, a portion of each project is required to be set aside as open space. Table 15-1, below, defines the amount of land which is required to be set aside as open space; the area to be set aside as open space varies based on the slope of the land.</p> <p>In the following table, natural open space may, at the discretion of the City, be either land which is unchanged from its natural state or land which is shaped and/or planted to recreate natural conditions.</p> <p><b>Table 15-1.</b> <b>Required Open Space Areas</b></p> <table border="1" data-bbox="590 781 892 1149"> <thead> <tr> <th>Slope Category</th> <th>"A" Minimum To Be Retained As Open Space</th> <th>Minimum of "A" To Be Retained As Natural Open Space</th> </tr> </thead> <tbody> <tr> <td>0—10%</td> <td>15%</td> <td>0%</td> </tr> <tr> <td>10—12.5%</td> <td>20%</td> <td>0%</td> </tr> <tr> <td>12.6—15%</td> <td>25%</td> <td>0%</td> </tr> <tr> <td>15.1—17.5%</td> <td>35%</td> <td>25%</td> </tr> <tr> <td>17.6—20%</td> <td>40%</td> <td>40%</td> </tr> <tr> <td>20.1—22.5%</td> <td>50%</td> <td>50%</td> </tr> <tr> <td>22.6—25%</td> <td>60%</td> <td>60%</td> </tr> <tr> <td>25.1—27%</td> <td>65%</td> <td>70%</td> </tr> <tr> <td>27.1—30%,</td> <td>70%</td> <td>80%</td> </tr> <tr> <td>&gt;30%</td> <td>80%</td> <td>85%</td> </tr> </tbody> </table> <p>Lands set aside as open space shall be shown as lettered lots for open space uses only, and shall be either offered for dedication to the City or retained in ownership by a homeowners association or similar entity. (Ord. 121 § 2 (part), 1999)</p>	Slope Category	"A" Minimum To Be Retained As Open Space	Minimum of "A" To Be Retained As Natural Open Space	0—10%	15%	0%	10—12.5%	20%	0%	12.6—15%	25%	0%	15.1—17.5%	35%	25%	17.6—20%	40%	40%	20.1—22.5%	50%	50%	22.6—25%	60%	60%	25.1—27%	65%	70%	27.1—30%,	70%	80%	>30%	80%	85%	<p><b>Downhill Lots.</b> A ten (10) foot minimum front setback; twelve (12) foot height at setback extending up and towards the rear of the lot at forty-five (45) degrees to twenty-five (25) feet total height; thirty (30) foot height limit over sloping portions measured from finish grade; and fifteen (15) foot minimum rear setback. Figure 15-2 illustrates the building envelope for downhill lots.</p> <p><b>Uphill Lots.</b> A ten (10) foot minimum front setback; twelve (12) foot height at setback extending up and towards the rear of the lot at forty-five (45) degrees to a maximum height of thirty-five (35) feet measured from finish grade; and fifteen (15) foot minimum rear setback.</p> <p><b>Cross Slope Lots.</b> Similar requirements as for uphill and downhill lots, except that height at front setback may be averaged across frontage inside the side yard setbacks.</p>	<p>Where attached clustered housing is being developed, building height limitations may be increased. For uphill and downhill lots, the maximum height is twelve (12) feet at the setback, extending up and towards the rear of the lot at forty-five (45) degrees to twenty-eight (28) feet of total height, with a thirty-five (35) foot height limit over sloping portions measured from finish grade.</p>	<p>Chino Hills derives its identity and character from its hillside setting and diverse topographic forms. The City's General Plan emphasizes the preservation and enhancement of the natural features which contribute to the scenic qualities of the area. The grading standards and guidelines contained in this chapter are established to preserve the hillside character of the community.</p>
Slope Category	"A" Minimum To Be Retained As Open Space	Minimum of "A" To Be Retained As Natural Open Space																																				
0—10%	15%	0%																																				
10—12.5%	20%	0%																																				
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27.1—30%,	70%	80%																																				
>30%	80%	85%																																				



HILLSIDE RESIDENTIAL DEVELOPMENT

# DISTINCT TOPOGRAPHY



Distinct Topography

Distinct Topography

City of Moreno Valley

The topography for the areas zoned for hillside development in Moreno Valley are comprised of hillside to steeply sloping mountainside with rock outcroppings and some drainage features.

City of Riverside

The topography for the areas zoned for hillside development in Riverside appears to be comprised of mostly rolling to hillside to some steeply sloping mountainside with rock outcroppings and some drainage features.



Moreno Valley Hillside Topography



View northeast towards HR Zone from Kalmia Street and west of Dalehur Road

HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential



Moreno Valley Hillside Topography



View northeast towards HR Zone from Lasselle Street and Wride Street



HILLSIDE RESIDENTIAL DEVELOPMENT



Moreno Valley Hillside Topography



View northeast towards HR Zone from end of Descanso Drive cul-de-sac

HILLSIDE RESIDENTIAL DEVELOPMENT



Riverside Hillside Topography



View northeast towards RC Zone from Canyon Crest Drive and Via Vista Drive

HILLSIDE RESIDENTIAL DEVELOPMENT



Riverside Hillside Topography



View east towards RC Zone from Canyon Crest Drive and Ransom Road



HILLSIDE RESIDENTIAL DEVELOPMENT

Riverside Hillside Topography



View west towards RC Zone from Cypress Avenue and Alhambra Avenue



RIVERSIDE HILLSIDE TOPOGRAPHY

# HILLSIDE RESIDENTIAL DEVELOPMENT IN OTHER COMMUNITIES



Hillside Residential Development in Other Communities

# Scottsdale, AZ



### Hillside Residential District

- Development standards similar to Moreno Valley
- Preserve natural character and aesthetics of mountains
- Protect people and property from hazardous conditions
- Balance development with protecting hillsides and mountains
- Minimize hillside disturbance
- Minimize costs to City of providing public services to hillside areas and prevent development where public services cannot feasibly be provided



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992) : Hillside Residential

Hillside Residential Development in Other Communities

# San Juan Capistrano, CA



### Hillside Residential District

- Development standards similar to Moreno Valley
- Protection from geologic hazards (unstable soils, erosion, etc.)
- Maintain natural character and amenity of hillsides as a scenic resource
- Innovation in land planning and building design to achieve high quality, flexibility and efficiency in design of residential subdivisions in hillside areas



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992) : Hillside Residential

## Hillside Residential Development in Other Communities

### Riverside, CA



#### Residential Conservation Zone

- Development standards similar to Moreno Valley
- Preserve and enhance beauty of City's landscape
- Careful selection of building sites and building pads to maximize retention of ridgelines, hilltops, hillsides, slopes, rock outcrops, trees, etc.
- Residential development must relate to surrounding topography and not be conspicuous or obtrusive
- Reduce scarring effects of grading, prevent erosion of slopes and conserve natural topographic features





Hillside Residential Development in Other Communities

Corona, CA



Hillside District

- Overlay district – density based on General Plan land use designation
- Encourage development clustering to preserve view corridors
- Encourage clustering on the most gently sloping portions of the site
- Provide for safe circulation of vehicles and pedestrians and provide adequate access for emergency vehicles
- Encourage design and building practices to assure maximum safety from wildfire hazards
- Encourage innovative architectural, landscape and circulation site design



HILLSIDE RESIDENTIAL DEVELOPMENT

## Hillside Residential Development in Other Communities

### Lake Elsinore, CA



#### Hillside Overlay District

- Overlay district – density based on underlying zoning designation
- Minimize danger to public health, safety, and welfare by soil erosion, slippage, flooding and fire
- Minimize the disturbance of the natural terrain and conserve the aesthetic qualities of the hillside areas

#### Rural Mountainous Residential District

- Development of extremely low density single-family residences in areas of steep slopes, rugged terrain and limited or no access and limited public services and utilities
- A standard lot in this district incorporates a significant amount of permanent open space



Hillside Residential Development in Other Communities

# Foothill / Trabuco Specific Plan (Orange County)



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential

Hillside Residential Development in Other Communities

# Silverado Modjeska Specific Plan (Orange County)



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential

Hillside Residential Development in Other Communities

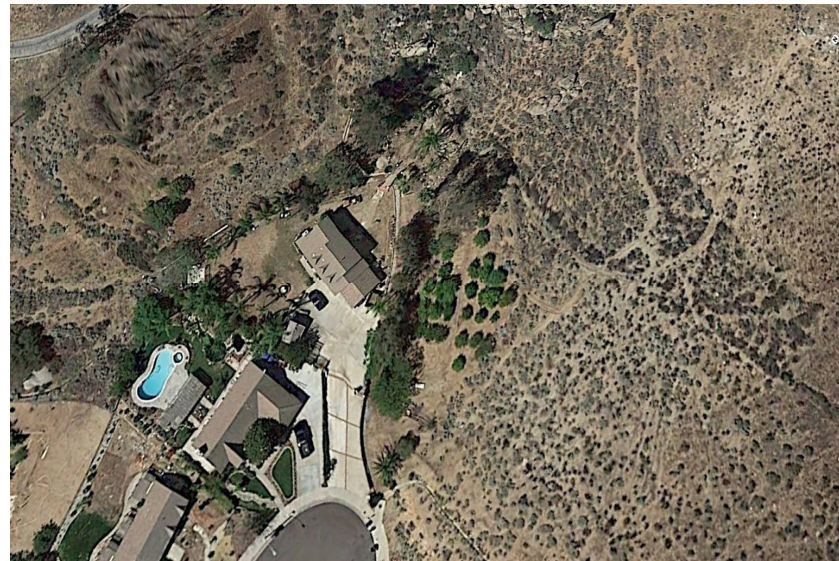
# Residential Conservation Zone (RC) Gramercy Place, Riverside, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Residential Development in Other Communities

Residential Conservation Zone (RC)  
Ann Arbor Court, Riverside, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Residential Development in Other Communities

Residential Conservation Zone (RC)  
Via Vista Drive, Riverside, CA



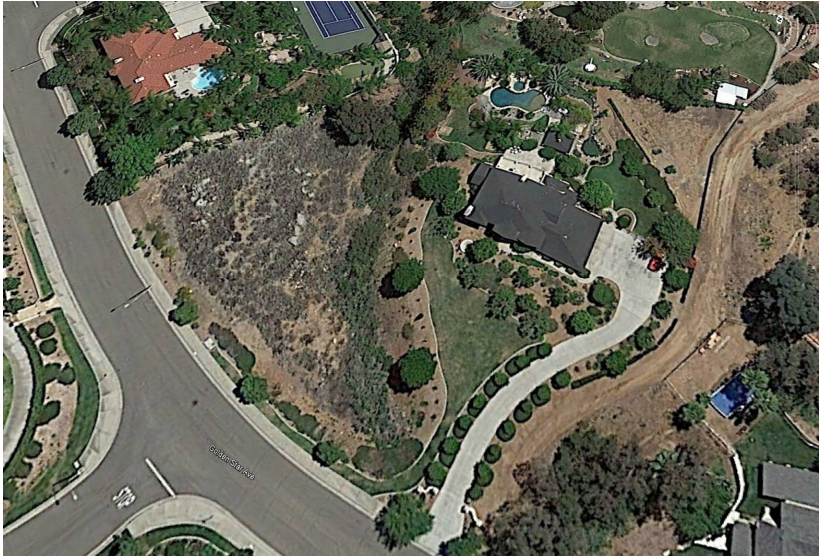
HILLSIDE RESIDENTIAL DEVELOPMENT

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Hillside Residential Development in Other Communities

Residential Conservation Zone (RC)  
Golden Star Avenue, Riverside, CA

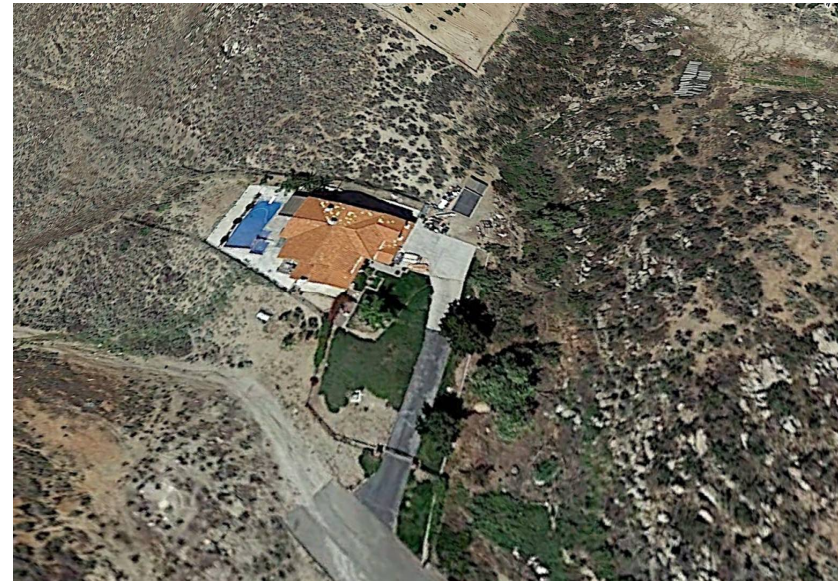


HILLSIDE RESIDENTIAL DEVELOPMENT



Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Boulder Ridge Drive, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Earley Way, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential



Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Earley Way, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Attachment: Hillside Residential - Planning Commission Presentation (1992 : Hillside Residential



Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Kalmia Avenue, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Kalmia Avenue, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT



Hillside Residential Development in Moreno Valley

Hillside Residential Zone (HR)  
Kalmia Avenue, Moreno Valley, CA



HILLSIDE RESIDENTIAL DEVELOPMENT

# HILLSIDE RESIDENTIAL DEVELOPMENT – OTHER CONSIDERATIONS



## Hillside Residential Development – Other Considerations

Unique opportunities and challenges associated with development within the City's Hillside Residential and Rural Residential zoned properties include:

- Views – tranquility and privacy, scenic vistas and lot premiums
- Passive recreational opportunities – trails, open space, conservation easements, and natural preserves
- Large lots or clustered lots - estate homes and custom homes
- Specific Plan or Overlay District to create unique design standards and common amenities

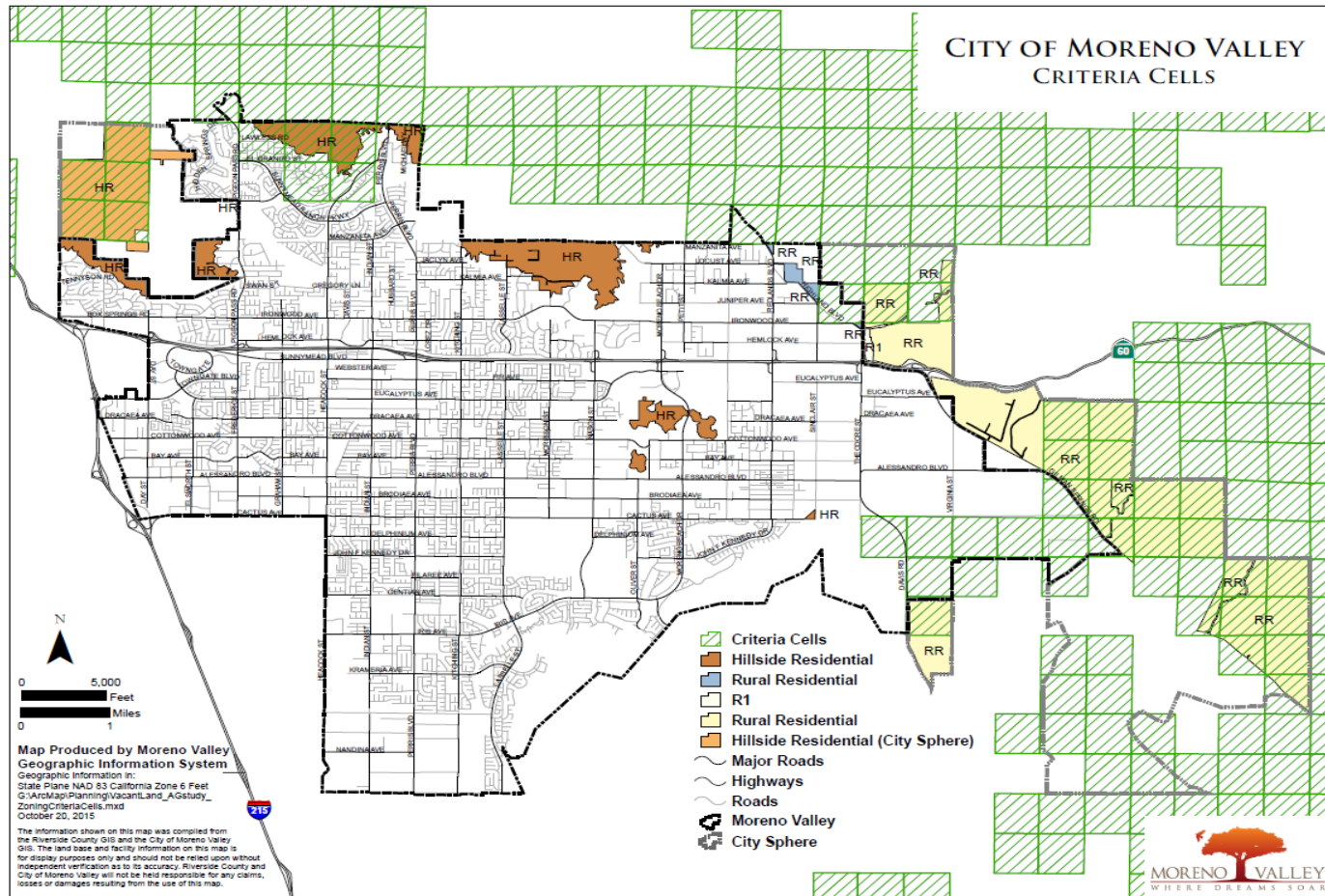




### Hillside Residential Development – Other Considerations

#### Riverside County Multiple Species Habitat Conservation Plan

- Preservation of biological habitat and open space could limit full development potential

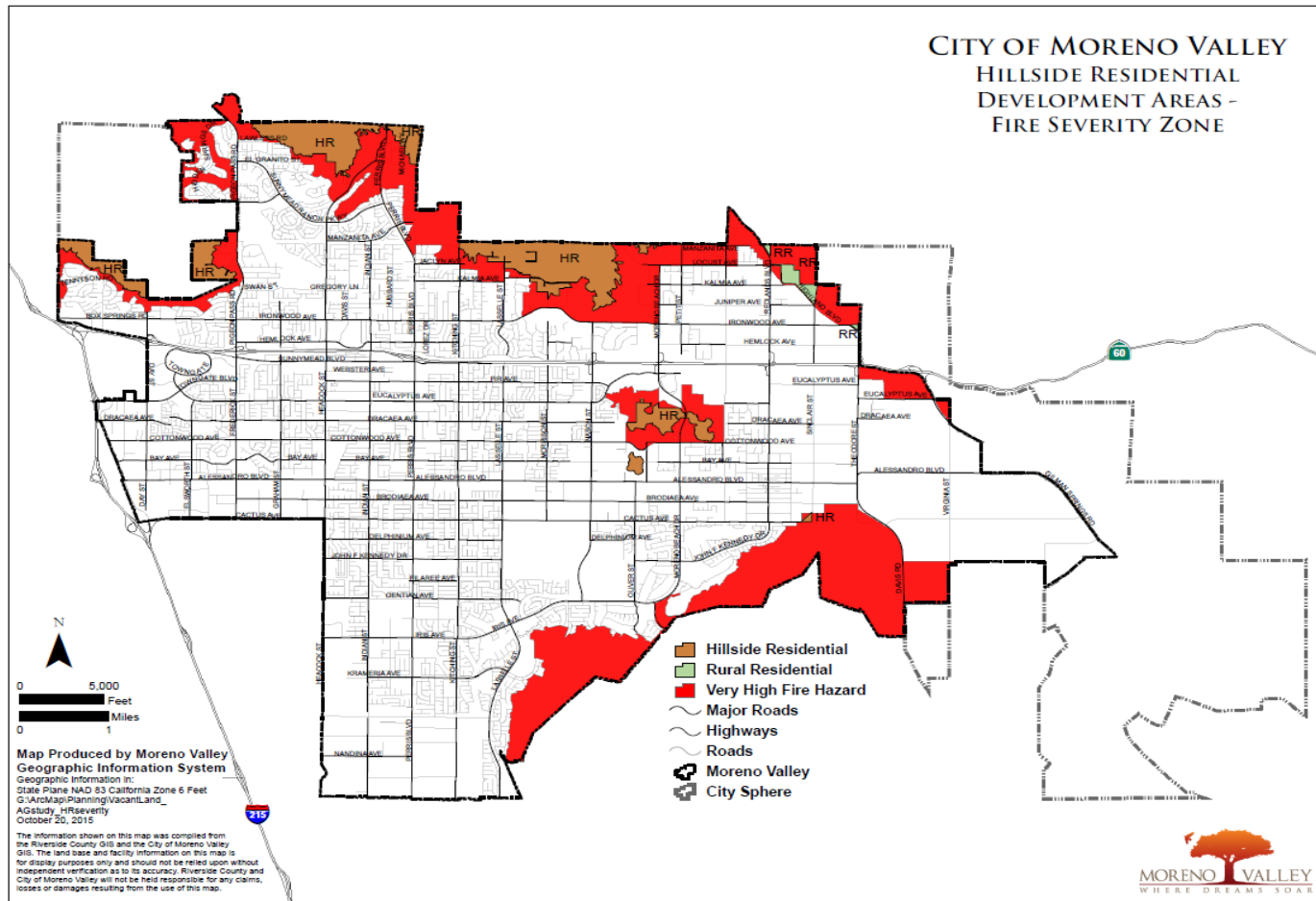


HILLSIDE RESIDENTIAL DEVELOPMENT

### Hillside Residential Development – Other Considerations

#### Fire Severity Zone

- Building and fire code requirements, reliable source of water, budget and cost considerations for wildland fire protection



HILLSIDE RESIDENTIAL DEVELOPMENT

### Hillside Residential Development – Other Considerations

#### Open Space requirements

- 50% to 60% of site must be reserved as open space for slopes greater than 15%

#### Utilities

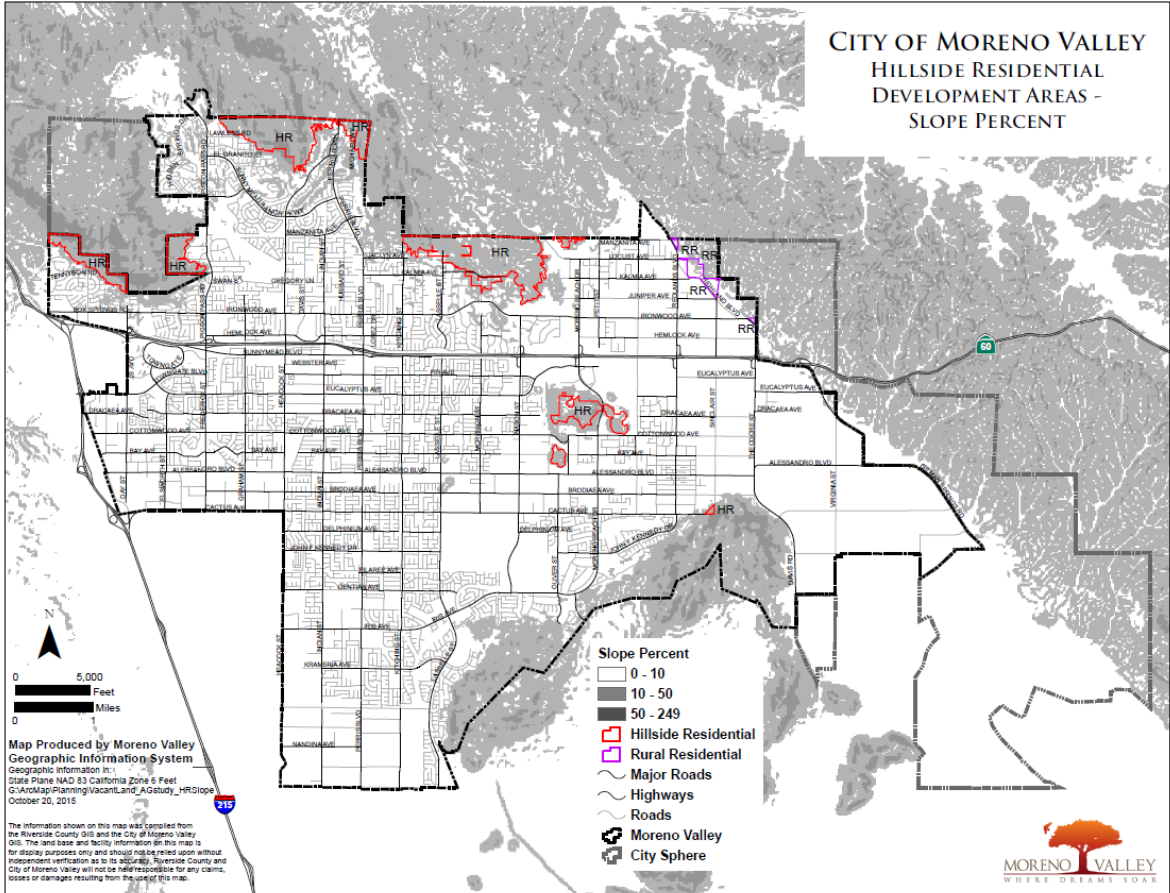
- Are utilities readily available? Cost to extend utilities to the home site?

#### Access

- Standard public street improvements (curb, gutter, sidewalks, and streetlights) might not be possible, necessary or appropriate

#### Drainage

- Erosion control and conveyance of storm water runoff



HILLSIDE RESIDENTIAL DEVELOPMENT



# HILLSIDE RESIDENTIAL DEVELOPMENT

PRESENTATION BY: Community Development Department – Planning Division



## ARTICLE V: BASE ZONES AND RELATED USE AND DEVELOPMENT PROVISIONS

### Chapter 19.100

#### RESIDENTIAL ZONES (RA-5, RC, RR, RE, R-1-½ ACRE, R-1-13000, R-1-10500, R-1-8500, R-1-7000, R-3-4000, R-3-3000, R-3-2500, R-3-2000, R-3-1500, R-4)

- 19.100.010 Purpose.
- 19.100.030 Permitted Land Uses.
- 19.100.040 Residential Development Standards.
- 19.100.050 Additional Regulations for the RC Zone.
- 19.100.060 Additional Regulations for the RA-5, RE, RC, RR and R-1 Zones.
- 19.100.070 Additional Regulations for the R-3 and R-4 Zones.
- 19.100.080 Site Plan Review and Design Review.
- 19.100.090 Other Regulations Applicable to All Residential Zones.

#### 19.100.010 Purpose.

The purpose of this Chapter is to define allowable land uses and property development standards, including density of development, for all residential zones in order to produce healthy, safe, livable and attractive neighborhoods within the City of Riverside, consistent with the goals and policies of the City's General Plan. Fourteen residential zones are established to implement the residential land use designations of the General Plan. The purpose of each of the residential zones is as follows:

#### A. Residential Agricultural Zone (RA-5)

The Residential Agricultural Zone (RA-5) is established to provide areas where general agricultural uses can occur independently or in conjunction with a single-family residence, that preserves the agricultural character of the area.

#### B. Residential Conservation Zone (RC)

The Residential Conservation Zone (RC) is established consistent with General Plan objectives and voter approved initiatives (Proposition R and Measure C) to protect prominent ridges, hilltops and hillsides, slopes, arroyos, ravines and canyons, and other areas with high visibility or topographic conditions that warrant sensitive development from adverse development practices, and specifically, to achieve the following objectives:

1. To preserve and enhance the beauty of the City's landscape;
2. To maximize the retention of the City's natural topographic features, including but not limited, to skyline profiles, ridgelines, ridge crests, hilltops, hillsides, slopes, arroyos, ravines, canyons, prominent trees and rock outcrops, view corridors, and scenic vistas through the careful selection and construction of building sites and building pads on said topographic features.

3. To assure that residential use of said topographic features will relate to the surrounding topography and will not be conspicuous and obtrusive because of the design and location of said residential use;
4. To reduce the scarring effects of excessive grading for building pads and cut and fill slopes;
5. To prevent the construction of slopes inadequately protected from erosion, deterioration or slippage; and
6. To conserve the City's natural topographic features.

C. Rural Residential Zone (RR)

The Rural Residential Zone (RR) is established to provide areas for single-family residences on large lots where flexible provisions apply pertaining to the keeping of farm animals such as horses, ponies, mules, cows, goats, sheep, and swine under Future Farmers of America-supervised and 4-H-supervised projects. These zones are established in those areas of the City where the keeping of such animals is already prevalent. It is also the intent of the RR Zone to provide opportunities for persons whose lifestyles include the keeping of such animals in areas where such animal-keeping activities minimize impact to other residential properties.

D. Residential Estate Zone (RE) and R-1-½ Acre Zone

The Residential Estate Zone (RE) and R-1-½ Acre Zone are established to provide areas for large lot single-family residences where the keeping of livestock and other farm animals and agricultural uses are not permitted.

E. Additional Single-family Residential Zones (R-1-13000, R-1-10500, R-1-8500 and R-1-7000)

Additional Single-family Residential Zones (R-1-½ Acre, R-1-13000, R-1-10500, R-1-8500 and R-1-7000) are established to provide areas for single-family residences with a variety of lot sizes and housing choices.

F. Multiple-Family Residential Zones (R-3-4000, R-3-3000, R-3-2500, R-3-2000 and R-3-1500)

Medium High Density Residential Zones (R-3-4000 and R-3-3000) and High Density Residential Zones (R-3-2500, R-3-2000 and R-3-1500) are established to provide areas for multiple family residences within a single structure, including such residential development types as apartments, town homes and condominiums.

G. Multiple-Family Residential Zone (R-4)

The Very High Density Residential Zone (R-4) is established to provide areas for higher density multiple family residences in areas of the City readily served by public transit and near commercial zones and other nonresidential areas that meet the everyday shopping, educational, health service and similar needs of residents. (Ord. 6966 §1, 2007)

Table 10.100.040 A

Residential Development Standards: Single-family Residential Zones

Development Standards	Single-family Residential Zones								
	RA-5	RC <sup>12</sup>	RR	RE	R-1-1/2 Acre	R-1-1300	R-1-10500	R-1-8500	R-1-7000
Density – Maximum (Dwelling Units per Gross Acre) <sup>1,11</sup>	0.20	0.50	2.1	1.0	2.0	3.4	4.1	5.1	6.2
Lot Area – Minimum (Net)	5 Acres <sup>2,9,14</sup>	Varies <sup>2,14</sup>	20,000 sq. ft.	1 Acre	21,780 sq. ft.	13,000 sq. ft.	10,500 sq. ft.	8,500 sq. ft.	7,000 sq. ft.
Lot Width – Minimum	300 ft. <sup>2</sup>	130 ft.	100 ft. <sup>13,14</sup>	130 ft. <sup>13,14</sup>	125 ft. <sup>13,14</sup>	100 ft. <sup>13,14</sup>	90 ft. <sup>13,14</sup>	80 ft. <sup>13,14</sup>	60 ft. <sup>13,14</sup>
Lot Depth – Minimum	500 ft. <sup>2</sup>	100 ft. <sup>2,12</sup>	150 ft.	150 ft.	150 ft.	110 ft.	110 ft.	100 ft.	100 ft.
Building Height – Maximum <sup>10</sup>	35 ft.	20 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Number of Stories – Maximum	2	1	2	2	2	2	2	2	2
Lot Coverage – Maximum	30%	N/A	30%	30%	30%	30%	35%	35%	40%
Setbacks – Minimum <sup>8</sup>									
A. Front <sup>7</sup>	40 ft. <sup>2</sup>	30 ft. <sup>2,6</sup>	30 ft.	30 ft.	30 ft. <sup>4</sup>	25 ft. <sup>4</sup>	25 ft. <sup>4</sup>	25 ft. <sup>4</sup>	20 ft. <sup>4</sup>
B. Side <sup>5</sup>	20 ft. <sup>2</sup>	25 ft. <sup>2</sup>	20 ft.	25 ft.	20 ft. <sup>3</sup>	15 ft. <sup>3</sup>	10/15 ft. <sup>3</sup>	7.5/12.5 ft. <sup>3</sup>	7.5/10 ft. <sup>3</sup>
C. Rear <sup>5</sup>	25 ft. <sup>2</sup>	25 ft. <sup>2</sup>	100 ft.	30 ft.	35 ft.	30 ft.	25 ft.	25 ft.	25 ft.

Attachment: Riverside - RC Zone Development Standards (1992 : Hillside Residential Development)

**Table 19.100.040 A****Notes:**

1. See Section 19.100.060 A (Additional Density). Gross acreage means streets are included for density purposes. Notwithstanding allowable density on a gross acreage basis, individual lots must meet the minimum lot size requirements exclusive of streets, except in the RA-5 Zone as described in Note 9.
2. Lot width, depth and area; building area; and setback requirements shall be as required as set forth in the Table. However, the zoning standards and requirements of the RC and RA-5 Zones shall not apply to any buildings existing prior to or under construction on November 13, 1979, or to the restoration or rehabilitation of or to any additions to such buildings, provided that the use, restoration, rehabilitation or addition shall conform to the current standards and requirements of the zoning in existence immediately prior to November 13, 1979. Also see Section 19.100.050 A (Lot Area).
3. Where a lot is less than 65 feet in width and was of record prior to November 23, 1956, or was of record prior to the date on which such lot was annexed to the City, the required side yards adjacent to interior side lot lines shall be reduced to 5 feet.
4. Front Setback Exceptions: See Section 19.100.060 C (Exceptions to Setback Requirements).
5. Side and Rear Setback Exceptions: See Sections 19.100.060 C (Exceptions to Setback Requirements). The side setback can be applied to either side except that the larger setback is required when a side yard is adjacent to a street.
6. No lot that fronts onto Hawarden Drive within the Hawarden Drive Special Design Area, generally between Anna Street and the Alessandro Arroyo, shall have a front yard depth of less than fifty feet.
7. Where a lot or parcel of land at the junction of two intersecting streets in any residential zone has frontage on each street over 130 feet in length, front yards of the depth required in the appropriate zone shall be required on both frontages. Also see Chapter 19.630 (Yard Requirements and Exceptions).
8. No dwelling shall be located closer than 5 feet to any retaining wall exceeding 2 feet in height, unless such retaining wall is an integral part of an approved dwelling.
9. Lot area in the RA-5 Zone is measured to the centerline of the adjoining street or streets; provided, however, individuals may construct one single-family dwelling on a lot of less than 5 acres existing as of May 15, 1979 and the residence is owner occupied after construction.
10. Refer to Chapter 19.560 (Building Height Measurement) for height measurement and exceptions to height limits.
11. Also see 19.100.060 A (Additional Density). Project density may be greater in a Planned Residential Development:
12. See Section 19.100.050 (Additional Regulations for the RC Zone).
13. See Section 18.210.080 (Lots) and Article X (Definitions) for exceptions for cul-de-sac lots, knuckle lots, lots on curves and corridor lots.
14. See Section 18.210.030 N (2) (a) for exception to lot size on private streets if over 20,000 square feet.



- f. The use shall not be conducted longer than two years except that ~~subsequent time extensions may be granted by the City Planning Commission~~. Each time extension shall not exceed two years. Written notice shall be given to adjacent property owners as prescribed by Section 19.670.020 (Notice Requirements for Administrative Discretionary Permits with No Public Hearing) of this title for minor variances. The standard time extension application fee for conditional use permits shall be required,
- g. The property owners shall execute and record a covenant and agreement with the City to revert the property to single-family residential use, including the removal of the kitchen facilities of any permanent addition, and the removal of any mobile home which does not meet the requirements of the residential agricultural zone, after the expiration of the conditional use permit or the termination of the agricultural business;
16. Home occupations and telecommuting as defined by Sections 19.910.090 (“H” Definitions) and 19.910.210 (“T” Definitions) of this Code in accordance with the provisions contained in Chapter 19.485 (Home Occupations) of this title. Such uses shall not be allowed in the RA-5 zone unless mandated by State law.
17. Second dwelling, as defined by Section 19.910.050 (“D” Definitions) of this Code in accordance with the provisions contained in Chapter 19.525 (Second Dwelling Units). Second Dwelling Units are prohibited in the RA-5 Zone.
18. Parolee/probationer home, as defined by Section 19.910.170 (“P” Definitions), transitional shelter housing, as defined by Section 19.910.210 (“T” Definitions), permanent emergency shelter, as defined by Section 19.910.060 (“E” Definitions) and drop-in center, as defined by Section 19.910.050 (“D” Definitions) of this Code, are prohibited in the RA-5 Zone.
19. Small family day care homes as defined by Section 19.910.050 (“D” Definitions) of this Code;
20. Large family day care homes as defined by Section 19.910.050 (“D” Definitions) of this Code, subject to the granting of a Day Care Permit and meeting the criteria contained in Chapter 19.470 (Day Care Homes – Family).

B. RC Zone Permitted Uses

A summary of this section is contained in the Permitted Uses Table (Table 19.150.020-A), the Incidental Uses Table (Table 19.150.020-B), and the Temporary Uses Table (Table 19.150.020-C). If any conflict between this Section and the Tables exists, the provisions of this Section shall apply.

1. One-family dwellings of a permanent character placed in a permanent location and of not less than seven hundred fifty square feet ground floor area, exclusive of open porches and garage;
2. Planned residential developments subject to the granting of a planned residential

development permit as set forth in Chapter 19.780 (Planned Residential Development Permit);

3. Orchards, tree crops, field crops, truck gardening, berry and bush crops, flower gardening, growing of nursery plants, similar enterprises carried on in the general field of agriculture, aviaries and raising of chinchillas, guinea pigs and parakeets;
4. Poultry, Rabbits, Crowing Fowl and Crowing Roosters
  - a. The noncommercial keeping of not more than 5 poultry, including crowing fowl (except crowing roosters), and 18 rabbits is permitted. Such animals shall be housed, kept or penned at least 50 feet from any residence on an adjoining lot or parcel, including the residence on the lot where the animals are kept.
  - b. Where poultry and rabbits are housed, kept, or penned at least 100 feet from any residence, the noncommercial keeping of not more than 50 poultry and 45 rabbits on any lot is permitted. The keeping of not more than seven (7) crowing roosters are permitted on any lot, provided that such roosters are housed from sunset to sunrise in an acoustical structure so as to reduce noise emitted by such roosters and such structure is at least one hundred (100) feet from any residential structure on an adjoining lot.
5. The grazing, raising or training of horses; provided, that the lot has a minimum area of one acre and animals are not housed or pastured within one hundred feet of a residence; and further, that not more than a total of two horses, colts or ponies or a total of two of any combination of horses, colts or ponies shall be kept on any lot with an area of one acre and that one additional animal may be kept for each half acre over one acre in any such premises;
6. The keeping of bees; provided, that all other conditions of this Zoning Code or other City ordinances are complied with;
7. Parks and playgrounds of a noncommercial nature, subject to the granting of a conditional use permit;
8. Golf courses, subject to the granting of a conditional use permit;
9. Uses customarily incidental to any of the above uses, including hobby activities of a noncommercial nature;
10. Rented rooms in any one-family dwelling for occupancy of not more than four persons in addition to members of the family occupying such dwelling;
11. Accessory buildings and uses, including a private garage, accessory living quarters, recreation room, private stable, barn, greenhouse, lathhouse, corral, pen, coop or other similar structure, a building or room for packing products produced or raised on the same premises;

12. Nameplates and signs as provided in Chapter 19.620 (General Sign Provisions);
13. Agricultural field office as defined in Section 19.910.020 ("A" Definitions) subject to the granting of a conditional use permit;
14. Small family day care homes as defined by Section 19.910.050 ("D" Definitions) of this Code;

Large family day care homes as defined by Section 19.910.050 ("D" Definitions) of this Code, subject to the granting of a Day Care Permit and meeting the criteria contained in Section Chapter 19.470 (Day Care Homes – Family). (Ord. 7110 §1, 2011; Ord. 7064 §1, 2010; Ord. 6966 §1, 2007)

**19.100.040 Residential Development Standards.**

Tables 19.100.040 A (Residential Development Standards: Single-Family Residential Zones) and 19.100.040 B (Residential Development Standards: Multiple-Family Residential Zones) establish the development standards applicable to all development within the residential zones. (Ord. 7109 §2, 2010; Ord. 7027 §1, §2, 2009; Ord. 6966 §1, 2007)

**19.100.050 Additional Regulations for the RC Zone.**

**A. Lot Area**

- 1. The lot area requirements for land Zoned RC varies based on average natural slope and the date the property was zoned RC, as set forth in this Section.
- 2. The lot area requirements for land Zoned RC prior to May 15, 1979, shall be as follows:
  - a. Every lot shall have a minimum width at the building line of 130 feet and a minimum area of one-half acre; provided, however, that the average lot size of the lots shown on any subdivision or parcel map shall be not less than 2 acres.
  - b. Notwithstanding the provisions of subdivision 1 of this subsection, every lot or parcel located within the Hawarden Drive Special Design Area, generally between Anna Street and Alessandro Arroyo, shall have a minimum width at the building line of 130 feet and a minimum area of 2 acres; provided, however, that where a lot or parcel located within said area has less width or less area than herein required and was a legally created lot of record prior to June 16, 1977, such lot may be occupied by a single-family residential use if the lot has a minimum area of one-half acre.



The lot area requirements for land zoned RC on or after May 15, 1979, shall be as follows:

- a. Every lot with an average natural slope of less than 15 percent shall have a minimum width at the building line of 130-feet and a minimum area of one-half acre.
- b. Every lot with an average natural slope from 15 percent to 30 percent shall have a minimum width at the building line of 130-feet and a minimum area of 2 acres.
- c. Every lot with an average natural slope over 30 percent shall have a minimum width at the building line of 200-feet and a minimum area of 5 acres.
- d. The average lot size of the lots shown on any subdivision or parcel map shall be not less than 2 acres.

**B. Nonconforming Lot Size - Dwelling Unit Permitted**

Notwithstanding the provisions of subdivision 3 of Section A above, individuals may construct one single-family dwelling on a lot existing as of May 15, 1979, of less than the minimum lot size required by Section A-3 if such individuals occupy the residence after construction.

**C. Average Natural Slope**

Attachment: Riverside - RC Zone Development Standards (1992 : Hillside Residential Development)

For the purposes of this Section, "average natural slope" shall mean the average natural inclination of the ground surface of a lot or parcel expressed as a percent and as measured by the following formula:

$$S = \frac{0.002296 \times L}{A}$$

where:

- S = average natural slope in percent  
 I = natural contour interval in feet  
 L = length of natural contours in feet  
 A = acres of property (parcel of record existing on November 13, 1979)  
 0.002296 = Constant that converts square feet into acres and expresses slope percent.

The average natural slope shall be computed from photogrametric maps, grading permit plans and other data or evidence approved by the Public Works Department.

D. Grading

1. No grading permit shall be issued for any grading in the RC Zone until grading plans and, if required, special drawings showing grading and topography as viewed from critical locations within the neighborhood or community, have been submitted to and approved by the designated Approving or Appeal Authority as set forth in Table 19.650.020 (Approving and Appeal Authority).
2. The Approving and/or Appeal Authority shall consider the following items of particular concern in the review of grading proposals in the RC Zone. Conditions may be applied in the approval of grading plans so as to achieve these objectives pursuant to adopted standards included in the City's Grading Ordinance (Title 17).
  - a. The maximum retention of vistas, natural plant communities and natural topographic features including ridgelines, hilltops, slopes, rock outcroppings, arroyos, ravines and canyons;
  - b. The avoidance of excessive building padding or terracing and cut and fill slopes to reduce the scarring effects of grading;
  - c. The encouragement of sensitive grading to ensure optimum treatment of natural hillside and arroyo features; and
  - d. The encouragement of imaginative grading plans to soften the impact of grading on hillsides including rolled, sloping or split pads; rounded cut and fill slopes and post and beam construction techniques.

E. Design Review

1. No building permit shall be issued for any building or structure in the RC Zone until ~~slope planting and irrigation plans and the drawings required by Chapter 19.710 (Design Review)~~ have been submitted to and approved in accordance with the provisions of Chapter 19.710 (Design Review).
2. In addition to the standards established in the Zoning Code and in Chapter 19.710 (Design Review), the Design Review Approving or Appeal Authority shall consider the following items of particular concern in the RC Zone and shall approve the plans and drawings if all applicable standards are met:
  - a. The encouragement of unique site design to ensure optimum treatment of natural hillside and arroyo features and avoid inharmonious, incongruent, conspicuous and obtrusive development;
  - b. The reduction of the scarring effects of grading and the protection of slopes subject to erosion, deterioration or slippage, and fire by the use of appropriate slope planting, irrigation and maintenance; and
  - c. The encouragement of structures, that will relate spatially and architecturally with the environment and complement the natural land forms.
3. Conditions may be applied when the proposed development does not comply with applicable standards and shall be such as to bring such development into conformity or the plans and drawings may be disapproved and the Design Review Approving or Appeal Authority shall specify the standard or standards that are not met.
4. All cut and fill slopes exceeding 5-feet in height shall be suitably landscaped with plant materials and adequately irrigated in accordance with approved plans and maintained on completion of the grading operations. The applicant or developer shall be responsible for the maintenance of all slope planting and irrigation systems until such time as the properties are occupied or until a homeowner's association accepts the responsibility to maintain the landscaping in common areas.

#### F. Subdivisions

To assure compliance with the provisions of this Chapter and the Zoning Code where a Planned Development Permit is not required, there shall be submitted along with every tentative subdivision map and parcel map filed for approval in accordance with the provision of Title 18 (Subdivision Code) a preliminary grading plan showing at least one practical usable building site that can be developed in accordance with the provisions of this Chapter for each lot or parcel. (Ord. 6966 §1, 2007)

#### **19.100.060 Additional Regulations for the RA-5, RE, RC, RR and R-1 Zones.**

##### A. Additional Density

In the RE, RC, RR and R-1 zones and where consistent with the applicable General Plan land use designation the typical project density may be increased according to the

regulations set forth in the Planned Residential Development Permit (PRD) process (Chapter 19.780 - Planned Residential Development Permit).

B. Conversion of Existing Dwelling Unit to an Accessory Structure

In the RE, RA-5, RR and R-1 zones, one entirely new single-family dwelling may be constructed upon a lot where there already exists not more than one single-family dwelling, provided that:

1. At the time of issuance of a building permit for the new dwelling, the property owner/applicant also obtains a building permit to make alterations to the existing dwelling as are required by the City to reduce the character of use of the existing dwelling to a lawful accessory building, or the owner/applicant obtains a building moving permit to remove the existing dwelling from the lot;
2. The owner of the lot executes and delivers to the City a written agreement in a form approved by the City to make the required alterations or to remove the existing dwelling concurrently with or immediately after the construction and completion of the new dwelling, together with a faithful performance surety bond or other security, in the form approved by the City and in the amount of 100 percent of the amount of the cost of such alterations or removal, as estimated by the City; and
3. The Building Official determines that the requirements of Section 19.100.040 (Residential Development Standards) and Building Code and Fire Prevention Code will be complied with.

C. Exceptions to Setback Requirements

1. Front Porches & Balconies

In the R-1 Zones, front porches that are open except for an overhead covering, have no habitable space above and have an average depth of eight-feet by a width of ten-feet, and second story balconies with no exterior access may encroach into the front setback up to a maximum of 6-feet. (Ord. 6966 §1, 2007)

## Chapter 19.780

## PLANNED RESIDENTIAL DEVELOPMENT PERMIT

- 19.780.010 Purpose.
- 19.780.020 Applicability and Permit Requirements.
- 19.780.030 Procedures.
- 19.780.040 Permitted Uses.
- 19.780.050 Density.
- 19.780.060 Development Standards.
- 19.780.070 Common Ownership- land or Improvements.
- 19.780.080 Planned Residential Development Permit Process in Flow Chart Form.

## 19.780.010 Purpose.

A. These Planned Residential Development (PRD) regulations are established to allow for flexibility and creativity in design of single-family residential developments, and for the application of unique development standards that reflect special property conditions. Specifically, the Planned Residential Development Permit is intended to achieve the following:

1. In All Applicable Zones:
  - a. Address the need to provide mechanisms to assist in producing a diversity of single-family residential housing and product types;
  - b. Provide an incentive for clustered property development of environmentally and topographically constrained land in order to minimize the impacts of development on more environmentally sensitive portions of that land, particularly in the RC Zone;
  - c. Allow the development of small-lot infill subdivisions in existing single-family neighborhoods, thereby allowing a more efficient and creative use of often difficult to develop properties when the proposed development is designed in a manner that is compatible with all existing development in the vicinity;
  - d. Encourage and allow more creative and imaginative project design by allowing increased development densities. In return, planned residential developments are required to incorporate open space, amenities for recreational and visual enjoyment and superior design features not normally required of standard single-family residential developments;
  - e. To provide increased opportunities for home ownership consistent with the objectives of the City's General Plan; and
  - f. Assist in the preservation and enhancement of valuable natural areas, where appropriate and especially in the RC Zone.
2. In the RC Zone:



PRD's in the Residential Conservation Zone (RC) shall be established consistent with General Plan objectives and voter approved initiatives (Proposition R and Measure C) to protect prominent ridges, hilltops and hillsides, slopes, arroyos, ravines and canyons, and other areas with high visibility or topographic conditions that warrant sensitive development from adverse development practices, and specifically, to achieve the following objectives:

- a. To promote clustering of lots on less sensitive portions of the property to preserve valuable open space and wildlife habitat;
- b. To provide each individual lot with its own private open space areas preserving natural open space areas and features in common open space areas pursuant to Proposition R and Measure C; and
- c. To promote the preservation of viewscales and low impact development. (Ord. 7027 §3, 2009; Ord. 6966 §1, 2007)

**19.780.020 Applicability and Permit Requirements.**

A Planned Residential Development is permitted in any single-family residential zone, except the RA-5 Zone, subject to granting of a Planned Residential Development Permit. (Ord. 6966 §1, 2007)

**19.780.030 Procedures.**

A. General Process

Planned Residential Development Permit (PRD) applications shall be processed in accordance with the discretionary permit processing provisions as set forth in Chapters 19.650 (Approving Authority), 19.660 (General Application Processing Procedures), 19.670 (Notices and Hearings), 19.680 (Appeals), 19.690 (Effective Dates) and other applicable Chapters of the Zoning Code.

B. Map Required

The application shall be accompanied by a tentative map that shall be filed with the Planning Division in accordance with procedures set forth in Chapter 18.080 of Title 18 (Subdivision Code).

C. Phasing

If a Planned Residential Development is proposed to be constructed in phases, the proposed phasing schedule is subject to approval by the Zoning Administrator.

D. Planned Residential Development Permit Expiration

Time limits and extensions shall be the same as for the related subdivision, consistent with the provisions of Title 18 (Subdivision Code) prior to issuance of the first building permit. After the first building permit has been pulled the Planned Residential Development Permit is vested. (Ord. 6966 §1, 2007)

**19.780.040 Permitted Uses.**

- A. Single-family dwellings, attached or detached.
- B. Related recreation and community facilities for the use of residents of the development and their guests.
- C. Natural open spaces.
- D. Golf courses.
- E. Multipurpose trails.
- F. Other uses as may be listed in the resolution approving the planned residential development.
- G. Uses required by State law to be permitted in conjunction with a single-family residential use. (Ord. 7027 §4, 2009; Ord. 6966 §1, 2007)

**19.780.050 Density.**

- A. Benchmark Density

The Planning Commission shall determine the base number of dwelling units allowable in a planned residential development (PRD) based on benchmark densities for the underlying zone in which the project is located. Benchmark densities for a PRD by zone are shown in Table 19.780.050 B (PRD Benchmark and Bonus Densities). The benchmark density is the maximum density allowable, except that additional density up to the limit of the bonus density shown in Table 19.780.050 B can be considered if the project meets all the requirements stated in Section 19.780.050 D – Density Bonus for Superior Design for a density bonus. The following criteria shall be evaluated in determining the actual density allowed for each project. Failure to substantially meet or exceed all these standards shall result in a lower density than the benchmark density. A density bonus can be considered as described in Section 19.780.050 D – Density Bonus for Superior Design:

1. In zones other than the RC Zone:
  - a. The property is well served by public infrastructure;
  - b. The project enjoys good access to public services, including schools, shopping and public and semipublic facilities;
  - c. The site is located on streets capable of accommodating the anticipated traffic. A traffic study may be required to assess consistency with Policy CCM - 2.3 of the General Plan to maintain LOS “D” or better on arterial streets or greater, except where LOS “E” has been designated as an acceptable standard;
  - d. The project is well-designed in accordance with the Citywide Design and Sign Guidelines and in accordance with City Codes (Note: compliance with City Codes allows for variances in certain instances). Specific

criteria used in evaluating the design of the project shall include, but not be limited to, the following:

- i. Varied placement of buildings demonstrating sensitivity to the natural topographic features of the site;
  - ii. Relatively level land is set aside for active recreational pursuits;
  - ii. Open space is distributed on the site and accessible to all units
  - iv. An efficient circulation system consisting of both vehicular lanes and pedestrian walkways;
  - v. Sensitivity to surrounding community and attention to the edge conditions, creating areas of transition from surrounding existing development to the proposed development; and
  - vi. Where front porches are consistent with the style of the development, a minimum of two-thirds ( $\frac{2}{3}$ ) of the total units shall provide front porches; and
- e. The number and type of desirable amenities for a project will be determined on a case-by-case basis in proportion to the size and design of the project. Desirable amenities include, but are not limited to, the following:
- i. Multiple enclosed tot lots with multiple play equipment. The tot lots shall be conveniently located throughout the site. The number of tot lots and their location shall be subject to City Planning Commission review and approval;
  - ii. Pool and spa;
  - ii. Multi-purpose room equipped with kitchen, defined areas for games, exercises, recreation, entertainment, etc.;
  - iv. Barbeque facilities equipped with multiple grills, picnic benches, etc. The barbecue facilities shall be conveniently located throughout the site. The number of barbeque facilities and their locations shall be subject to Planning Commission review and approval;
  - v. Court facilities (e.g. tennis, volleyball, basketball, etc.);
  - vi. Jogging/walking trails with exercise stations;
  - vi. Community garden;
  - viii. Theater;

- ix. Computer Room;
  - x. Exercise Room;
  - xi. Golf course, putting green, etc.;
  - xi. Passive recreational facilities tied to existing topographical features, with gazebos, benches, etc.;
  - xiii. Art pieces; and
  - xiv. Water features.
2. In the RC Zone:
- a. Retention of unique natural features, including arroyos, hillsides and rock outcroppings, in natural open space areas consistent with the grading ordinance;
  - b. Placement of buildings demonstrating sensitivity to the natural topographic and habitat features of the site, including clustering of homes in less sensitive and less steep locations in order to preserve such natural features and valuable natural open space, both for wildlife habitat and visual aesthetic purposes;
  - c. Provision of other amenities consistent with the RC Zone and as deemed appropriate for the project;
  - d. Provision that the development will not introduce non native plants as defined by Table 6-2 of the Multiple Species Habitat Conservation Plan (MSHCP) into the landscape adjacent to the City's arroyos in perpetuity;
  - e. Maintenance and management of all open space easements by a single entity for the entire project with an appropriate natural open space management plan;
  - f. Superior design of individual dwelling site plans and building architecture, including such features as porches and garages set back from the street in comparison to the house, and detailed four sided, building treatments. Many of the desirable features are found in the adopted Citywide Design and Sign Guidelines. The design of custom homes will be reviewed as individual homes are submitted for Design Review approval prior to building permit issuance;
  - g. Sensitivity to impacts of the development on surrounding uses, including linkages to natural open space areas where appropriate; and
  - h. Streets serving the development shall be capable of accommodating the anticipated traffic.

B. Maximum Density

In any event the maximum density of a PRD shall be consistent with this Chapter, the underlying General Plan land use designation(s) and any applicable Specific Plan(s) as well as with that shown in Table 19.780.050 B.

C. Transfer of Density

When two or more General Plan land use designations or base zones exist within a planned residential development, the density may be transferred between designation and/or zones within the same development as necessary to provide for a superior development based upon good planning principles and to promote the general welfare of the neighborhood and maximum benefit to the natural environment. In particular, such transfers are desirable where density is transferred from steep, hillside land to flatter, less visually sensitive properties where significantly less grading is required. In the case of such a density transfer, the overall maximum density shall not exceed that otherwise permitted by the General Plan designation(s) (See 19.780.050 B). The only exception is that density cannot be transferred from a non RC zoned property to a RC Zoned property. For purposes of this Section, a project may consist of more than one underlying legal parent parcel; however, such parcels must be contiguous unless separated by an existing public or private street.

D. Density Bonus for Superior Design

A PRD project may qualify for a density bonus up to the maximum shown in Table 19.780.050 B provided that it meets the standards of Section 19.780.050 A and satisfies the following criteria beyond those in 19.780.050 B.

1. Non-RC Zones:

- a. Evidence that the project can be certified in LEED, California Green Builder or equivalent standard; and
- b. Evidence shall be provided to document that the project includes a minimum of 6 of the following:
  - (1) Locate the project on a site, part or all of which is documented as contaminated (by means of an ASTM E1903-97 Phase II Environmental Site Assessment or a local Voluntary Cleanup Program) OR on a site defined as a brownfield by a local, state or federal government agency.
  - (2) Designate all streets, sidewalks and trails that are built as part of the project or serving the project directly as available for general public use and not gated. Gated areas and enclaves are NOT considered available for public use.
  - (3) Design the building orientation for solar design, including the following provisions:

- (a) The glazing area on the north- and south-facing walls of the building is at least 50% greater than the sum of the glazing area on the east- and west-facing walls.
  - (b) The east-west axis of the building is within 15 degrees of due east-west.
  - (c) The roof has a minimum of 450 square feet of south-facing area that is oriented appropriately for solar applications.
  - (d) At least 90% of the glazing on the south-facing wall is completely shaded (using shading, overhangs, etc.) at noon on June 21 and unshaded at noon on December 21.
- (4) Locate the project within ¼ mile of 11 basic community resources (Table 19.780.050 A), within a ½ mile of 14 basic community resources (Table 19.780.050 A) and within a ½ mile of transit services that offer 30 or more transit rides per weekday (combined, bus and rail).

Table 19.780.050 A Basic Community Resources
Arts and entertainment center
Bank
Community or civic center
Convenience Store
Daycare center
Fire station
Fitness center or gym
Laundry or dry cleaner
Library
Medical or dental office
Pharmacy
Police station
Post office
Place of worship
Restaurant
School
Supermarket
Other neighborhood-serving retail
Other office building or major employment center
Note: Up to two of each type of community resource may be counted. For example, two restaurants within ¼ mile may be counted as two community resources; four restaurants also count as two.

- (a) Transit rides per weekday are calculated as follows:
  - i. within ½ mile radius, count all the transit stops;

- ii. multiply each transit stop by the number of buses and/or trains that pass through that stop per day;
  - ii. add the total number of rides available as each stop within ½ mile together; and
  - iv. Example: if there are 4 bus stops, and at each bus stop the service frequency is half-hourly (48 times per day), the total transit rides per day is 192.
- (5) Landscape and irrigate all front yards, back yards, reverse frontage and common open space areas per the City Water Efficient Landscape Ordinance.
- (6) Locate trees or other plantings to provide shading for at least 50% of sidewalks, patios and driveways. Shading should be calculated for noon on June 21, when the sun is directly overhead, based on five year's growth.
- (7) Install light-colored high-albedo materials or vegetation for at least 50% of sidewalks, patios and driveways.
- (a) Acceptable strategies include the following:
- i. white concrete;
  - ii. gray concrete;
  - ii. open pavers (counting only the vegetation, not pavers); and
  - iv. any material with a solar reflectance index (SRI) of a least 29.
- (8) Design the lot such that at least 70% of the built environment, not including area under roof, is permeable or designed to capture water runoff for infiltration on-site. Area that can be counted toward the minimum includes the following:
- (a) Vegetative landscape (e.g., grass, trees, shrubs).
- (b) Permeable paving, installed by an experienced professional. Permeable paving must include porous above-ground materials (e.g., open pavers, engineered products) and a 6-inch porous subbase, and the base layer must be designed to ensure proper drainage away from the home.

- (c) Impermeable surfaces that are designed to direct all runoff toward an appropriate permanent infiltration feature (e.g., vegetated swale, on-site rain garden, or rainwater cistern).
- (9) Design and install one of the following permanent erosion control measures:
    - (a) If portions of the lot are located on a steep slope, reduce long-term runoff effects through use of terracing and retaining walls.
    - (b) Plant one tree, four 5-gallon shrubs, or 50 square feet of native groundcover per 500 square feet of disturbed lot area (including area under roof).
  - (10) Design and install one or more of the following runoff control measures:
    - (a) Install permanent stormwater controls in the form of vegetated swales, on-site rain garden, dry well, or rainwater cistern, or equivalent designed to manage runoff from the homes.
    - (b) Install vegetated roof to cover 50% of the roof area or more.
    - (c) Have the site designed by a licensed or certified landscape design or engineering professional such that all water runoff for the home is managed through an on-site design element.
  - (11) Design and install a rainwater harvesting and storage system (including surface runoff and/or roof runoff) for landscape irrigation use. The storage system must be sized to hold all the water from a 1-inch rainfall event (equivalent to 0.62 gallons per square foot of roof area used for capture), taking into consideration the size of the harvest system (i.e., 50% of total roof area).
  - (12) Design the plumbing such that irrigation system water demand is supplied by municipal recycled water.
  - (13) Construct the project to meet or exceed more than a 20% increase above Title 24 requirements.

2. In the RC Zone:

To protect prominent ridges, hilltops and hillsides, slopes, arroyos, ravines and canyons, and other areas with high visibility or topographic conditions that warrant sensitive development from adverse development practices, thus furthering the intent of Proposition R and Measure C and promoting clustering, all



of the following are required:

- a. Require all designated open space areas to be managed and maintained under the stewardship of a recognized conservation group as approved by the Approving Authority, with an endowment to fund such stewardship entirely;
- b. The project shall provide at least 6 of the items listed in 19.780.050 D 1 b above; and
- c. The project shall provide evidence that unique natural features and steeper portions of the property are being preserved in open space, with lots clustered in the less steep portions of the site. (Ord. 7027 §5, 2009; Ord. 6966 §1, 2007)

Table 19.780.050 B

PRD Benchmark and Bonus Densities

Single Family Residential Zone	Benchmark Density - Dwellings per Gross Acre <sup>(1)</sup>	Maximum Bonus Percent % <sup>(2)</sup>	Maximum Density with Bonus - Dwellings Per Gross Acre <sup>(1)(2)</sup>
RC	0.5 <sup>(3)</sup>	25	0.63
RR	3.0	10	3.3
RE	3.0	10	3.3
R-1-7000	7.3	10	8.0
R-1-8500	6.3	10	6.9
R-1-10500	5.5	10	6.0
R-1-13000	4.8	10	5.3
R-1-1/2 acre	3.0	10	3.3
<p>Notes:</p> <p>(1) Density per gross acre is calculated including new public and private streets.</p> <p>(2) This is the maximum density bonus and any bonus less than the maximum may be granted based on the degree to that the project meets the criteria specified in 19.780.050 A and B.</p> <p>(3) The actual benchmark density shall be determined by the preparation of a conventional subdivision map in conformance with the RC Zone standards to show the actual number of lots that could be achieved based on the average natural slope (ANS), as defined by 19.100.050 C.</p>			

**19.780.060 Development Standards.**

A. Relationship to Base Zone Development Standards.

The development standards set forth in this Section, if in conflict with the development standards of the underlying base zone, shall supersede the development standards of the underlying base zone except in the RC Zone, the underlying development standards still apply. This section shall not supersede the development standards of any applicable overlay zone. In cases where a standard is not addressed, the standard of the base zone or any applicable overlay zone shall apply. The standards set forth are the minimum required for a PRD to qualify for the benchmark density.

B. Standard for smaller lot Planned Residential Developments – RR, RE, and all R-1 Zones

1. Lot Size and Coverage

a. Minimum lot size and maximum lot coverage requirements to be determined by the Planning Commission on a case specific basis in part based on product type, characteristics of the property and surrounding uses.

2. Setbacks

Minimum Setbacks (From Private Streets)	
Front <sup>(1), (4), (5)</sup>	
Habitable Dwelling	22 ft.
Garage	28 ft.
Oriented to Front	24 ft.
Access to Front with Side Facing Access	24 ft.
Access from Alley to Rear <sup>(2)</sup>	2 ft.
Porch <sup>(3)</sup>	16 ft.
Side <sup>(5)</sup>	Minimum 10ft. separation between building walls. Minimum of 5-ft. to the property line.
Rear	15 ft. (main residence)

**Minimum Setbacks (From Private Streets)**

Notes:

- (1) Distance is always measured from the curb face. Assumes a 4 foot wide sidewalk and 4 foot wide parkway, both within the street right of way, or a total of 8 feet of right of way behind curb face.
- (2) Vehicle maneuvering space behind alley-oriented garage is a minimum of 24 feet of clear paving.
- (3) Minimum porch dimensions are 6 feet by 10 feet.
- (4) When dwelling is located facing a common open space area, the front setback is 10 feet to the habitable building and 4 feet to the porch. Where residences are located facing each other on opposite sides of the common open space area, the separation between porches shall be a minimum of 18 feet and between buildings a minimum of 30 feet.
- (5) Front and side setbacks for lots taking direct access from a public street are the same as the underlying base zone.

3. Common Usable Open Space and Recreational Facilities

- a. A minimum of 500 square feet of usable common open space per dwelling unit is required. Examples include, but are not limited to the following: swimming pool, spa, community recreation room, sports courts for tennis, basketball, racquetball, volleyball, barbeque areas, community gardens or grassy play areas with a slope of less than 5 percent.

4. Private Open Space

- a. Minimum of 200 square feet per dwelling unit with no dimension less than 10 feet.

5. Parking

- a. Parking shall be in accordance with Chapter 19.580 (Parking and Loading) with the following exceptions and additions:
  - (1) A minimum of 2 fully enclosed (garage) spaces are required per dwelling unit.
  - (2) A minimum of 1 guest space per 3 dwelling units is required. On-street parking may be credited toward this requirement. On-street parking is only allowed on a curb to curb street width of 28 feet or greater.
  - (3) Recreational vehicle parking. Recreational vehicle parking is prohibited on a residential lot. A separate recreational vehicle

Attachment: Riverside - RC Zone Development Standards (1992 : Hillside Residential Development)

parking lot is permitted, subject to requirements for adequate screening, including a required 8-foot high block wall and 5-foot landscape planters on all sides.

C. Standards for RC Zone Planned Residential Development

1. Lot Size

In order to promote clustering, lots shall be a minimum of one half (1/2) acre in size and clustered in the less steep portions of the site. Lot sizes not in compliance with the RC Zone standards will require a variance.

2. Lot Coverage

Maximum lot coverage requirements to be determined by the Planning Commission on a case specific basis based, in part, on product type, characteristics of the property and surrounding uses.

3. Height

Same as RC Zone (See Section 19.100.040, Residential Development Standards).

4. Setbacks

Same as RC Zone (See Section 19.100.040, Residential Development Standards).

5. Common Natural Open Space and Clustering

Section 19.780.050 A (Benchmark Density) sets forth the criteria for a PRD to qualify for the benchmark density in the RC Zone, including provision of valuable natural open space and wildlife habitat and a site plan layout sensitive to the natural topography, both for wildlife habitat and resource conservation as well as visual aesthetic purposes. There is no minimum standard, although each development is encouraged to set aside a substantial portion of the site toward natural open space.

6. Parking

A minimum of 2 fully enclosed (garage) spaces are required per dwelling unit.

D. Private Streets

Refer to private street standards in Title 18.210. (Ord. 7027 §6, 2009; Ord. 6966 §1, 2007)

**19.780.070 Common Ownership - Land or Improvements.****A. Covenants, Conditions and Restrictions (CC&R's)**

Where a Planned Residential Development contains any land or improvement proposed to be held in common ownership, the applicant shall submit a declaration of covenants, conditions and restrictions (CC&R's) with the final map establishing a Home Owner's Association subject to City's Planning Division and the City Attorney's Office approval. Such declaration shall set forth provisions for maintenance of all common areas, payment of taxes and all other privileges and responsibilities of the common ownership. The CC&R's shall include provisions prohibiting the homeowners' association (HOA) from quitclaiming, selling or otherwise transferring the land held in common ownership to private property owners.

**B. Amendments to CC&R's**

The provisions of approved CC&R's shall not be amended without the prior approval of the Community Development Director or his/her designee and City Attorney who at his or her discretion may refer the matter to the Planning Commission. Requests for amendments to existing CC&R's shall be submitted to the Planning Division.

**C. Maintenance**

All private streets, walkways, parking areas, landscaped areas, storage areas, screening, sewers, drainage facilities, utilities, open space, recreation facilities and other improvements not dedicated to public use shall be maintained by the property owners. Provisions acceptable to the affected City Departments shall be made for the preservation and maintenance of all such improvements prior to the issuance of building permits.

**D. Failure to Maintain Constitutes a Public Nuisance**

All commonly-owned lots, improvements and facilities shall be preserved and maintained in a safe condition and in a state of good repair. Any failure to so maintain is unlawful and a public nuisance endangering the health, safety and general welfare of the public and a detriment to the surrounding community. (Ord. 7235 §20, 2013; Ord. 6966 §1, 2007)

### 9.03.040 Residential site development standards.

The following standards shall apply to land and permitted or conditionally permitted buildings and structures located within the herein described residential districts. The standards stated herein are not intended to prevent more restrictive private site development standards contained in the covenants, conditions and restrictions or other private consensual restrictions imposed on any property or dwelling unit. However, in no case shall private deed or other property restrictions be applied or recognized so as to permit a lesser standard than the minimum standards established in this title or to otherwise revise the standards established by this title.

#### A. Rural Residential Requirements.

1. Slope-Density-Natural Area Relationship. The maximum density (du/ac) and the minimum percent of a site to remain in a natural state shall be determined by a slope analysis applied to the Slope-Density-Natural Area Table, as defined below.

##### a. Slope-Density-Natural Area Table 9.03.040-4.

Slope Class	Allowable Density (DU/Acre)	Amount of Open Space Required
Greater than 25%	0.05 (1 du/20 ac)	60%
15.1% to 25%	0.10 (1 du/10 ac)	50%
10% to 15%	0.20 (1 du/5 ac)	35%
Less than 10%	0.40 (1 du/2.5 ac)	n/a

b. Slope analysis calculations and mapping shall be provided by the applicant as described under subsection C of this section. The slope analysis shall be certified by a qualified civil engineer or licensed surveyor.

c. The total number of dwelling units permitted within a project area shall be the sum of the allowable dwelling units within each slope class. For example, if ten (10) acres of the project falls within the ten (10) to fifteen (15) percent slope class and five acres falls within the 15.1 percent to twenty-five (25) percent slope class, then the total permitted yield shall be two dwelling units (10 ac x 0.10 du/ac plus 5 ac x 0.20 du/ac).

2. Minimum Lot Size. Minimum lot size shall be one dwelling unit per 2.5 acres within a slope category of ten (10) percent or less unless determined to be reduced by an approved slope analysis. Based on the outcome of a slope analysis, minimum lot size within the rural residential district may be reduced to twenty thousand (20,000) square feet, or the minimum lot size of the adjacent zone, whichever is greater, if clustered on slopes of less than ten (10) percent and the lots are part of a project that preserves the steeper slope classes as natural open space by dedication to an appropriate governmental entity, open space easement, transfer of development rights or other means

approved by the city. The ongoing maintenance of such open space areas shall be ensured through a mechanism approved by the city.

3. Subdivision Design and Future Land Divisions.

a. Subdivisions shall be compatible with the surrounding development pattern. A subdivision shall be considered compatible if the lots created along the outside boundary of the project are no smaller than the average lot size within three hundred (300) feet of the project boundary. Parcels greater than five acres in area shall be excluded from the calculations when determining the average lot size within three hundred (300) feet of the project boundary.

b. Subdivisions shall be designed in such a way as to transfer development density to the lower slope classes and preserve the steeper slopes for very low density and/or open space. Subdivisions created in this way are prohibited from further division so as not to circumvent the density transfer and the purpose of the district. This restriction shall be binding on the subdivider and subsequent land owners. Therefore, this restriction shall be secured by development agreement or other type of recorded deed restriction approved by the city.

4. Building Height. Dwellings and other accessory structures shall not exceed thirty (30) feet in overall height, provided that on slopes of less than ten (10) percent, the overall height shall not exceed thirty-five (35) feet.

5. Setbacks and Other Site Development Criteria. Front, side and rear setbacks and other site development standards not specifically referenced in this section shall be subject to the following standards:

Lot Size	Standards
Under 40,000 s.f.	R2 district standards
40,000 s.f. or greater	R1 district standards

6. Grading within the rural residential district shall be performed as described under the hillside residential requirements, subsection (B)(6) of this section.

B. Hillside Residential Requirements.

1. Slope-Density-Natural Area Relationship. The maximum density (du/ac) and the percent of a site to remain in a natural state shall be determined by a slope analysis applied to the Slope-Density-Natural Area Table, as defined below.

a. Slope-Density-Natural Area Table 9.03.040-5.

Slope Class	Allowable Density (DU/Acre)	Minimum Amount of Open Space Required
Greater than 25%	0.10 (1 du/10 ac)	60%
15.1% to 25%	0.25 (1 du/4 ac)	50%
10% to 15%	0.50 (1 du/2 ac)	35%
Less than 10%	1.00 (1 du/ac)	n/a

b. Slope analysis calculations and mapping shall be provided by the applicant as described under subsection C of this section. The community development director may require the slope analysis to be certified by a qualified civil engineer or licensed surveyor.

c. The total number of dwelling units permitted within a project area shall be the sum of the allowable dwelling units within each slope class. For example, if ten (10) acres of the project falls within the 15.1 percent to twenty-five (25) percent slope class and five acres falls within the greater than twenty-five (25) percent slope class, then the total permitted yield shall be three dwelling units (10 ac x 0.25 du/ac plus 5 ac x 0.10 du/ac).

2. Minimum Lot Size. Minimum lot size shall be one acre within a slope category of ten (10) percent or less unless determined to be reduced by an approved slope analysis. Based on the outcome of a slope analysis, the lot size within the hillside residential district may be reduced to ten thousand (10,000) square feet or the minimum lot size of the adjacent zone, whichever is greater, if clustered on slopes of less than ten (10) percent and the lots are part of a project that preserves the steeper slope classes as natural open space by dedication to an appropriate governmental entity, open space easement, transfer of development rights or other means approved by the city. The ongoing maintenance of such open space areas shall be ensured through a mechanism approved by the city.

3. Subdivision Design and Future Land Divisions.

a. Subdivisions shall be compatible with the surrounding development pattern. A subdivision shall be considered compatible if the lots created along the outside boundary of the project are no smaller than the average lot size within three hundred (300) feet of the project boundary. Parcels greater than five acres in area shall be excluded from the calculations when determining the average lot size within three hundred (300) feet of the project boundary.

b. Subdivisions shall be designed in such a way as to transfer development density to the lower slope classes and preserve the steeper slopes for very low density and/or open space. Subdivisions created in this way are prohibited from further division



so as not to circumvent the density transfer and the purpose of the district. This restriction shall be binding on the subdivider and subsequent land owners. Therefore, this restriction shall be secured by development agreement or other type of recorded deed restriction approved by the city.

4. **Building Height.** Dwellings and other accessory structures shall not exceed thirty (30) feet in overall height, provided that on slopes of less than ten (10) percent, the overall height shall not exceed thirty-five (35) feet.

5. **Setbacks and Other Site Development Criteria.** Front, side and rear setbacks and other site development standards not specifically referenced in this section shall be subject to the following standards:

Lot Size	Standards
Less than 20,000 s.f.	R-3 district standards
20,000 s.f. to 40,000 s.f.	R-2 district standards
40,000 s.f. or greater	R-1 district standards

6. **Grading of any site** shall be minimized and shall conform to the provisions contained in the city of Moreno Valley design guidelines, Ch. 9.16, under Applications for hillside development, Article IV, Sections 9.16.170 through 9.16.230 of this title, and the following standards:

Slope Class	Standards
15.1—25%	Padded building sites may be allowed, but maximum use of custom foundations and split level designs shall be employed to reduce the need for large padded building areas.
Above 25%	Mass grading is not permitted. Special hillside architectural and design techniques are expected in order to conform to the natural landform. Homes constructed on lots within this terrain shall use custom, multiple-level foundations.
For all areas	All graded areas shall be protected from wind and water erosion through acceptable slope stabilization methods such as planting, walls or jute netting.

C. **Slope Calculations.** For the purposes of this section, the following method will be used to determine slope.

1. "Slope" is defined as the relationship between the change in elevation (rise) of the land and the horizontal distance (run) over which that change in elevation occurs. The percent of any given slope is determined by dividing the rise by the run on the natural slope of land, multiplied by one hundred (100).

2. a. For the purpose of determining the amount and location of land falling into each slope category, the applicant shall submit to the community development department, at the time of application, a base topographic map of the subject site prepared and signed by a registered civil engineer or licensed land surveyor. Such a map shall have

a scale of not less than one inch to two hundred (200) feet and a contour interval of not more than ten (10) feet.

b. This base topographic map shall include all adjoining properties within three hundred (300) feet of the site boundaries. Slope bands in the range of less than ten (10) percent, ten (10) to fifteen (15) percent, fifteen (15) to twenty-five (25) percent, and greater than twenty-five (25) percent shall be

delineated on the topographic map. The map shall be accompanied by a tabulation of the land area in each slope category specified in acres. The exact method for computing the percent slope and area by percent slope category is to be sufficiently described and presented so that a review can readily be made.

3. Slope Mapping Method.

a. The percent slope of any particular piece of land shall be plotted on the map as described in this subsection.

b. In preparing a slope map, those portions of ravines, ridges and terraces of less

area generally sloping at twenty-five (25) percent slope or greater, shall be regarded as part of the bordering twenty-five (25) percent slope or greater band.

D. General Residential Requirements. The following tables sets forth minimum site development standards for residential development projects in the specified residential districts. In addition, projects must comply with the special development standards enumerated in this section, the performance standards included in Chapter 9.10 and any other applicable city ordinances, policies and standards.

**Moreno Valley Municipal Code****Up****Previous****Next****Main****Collapse****Search****Print****No Frames**

Title 9 PLANNING AND ZONING

Chapter 9.16 DESIGN GUIDELINES**Article IV. Applications for Hillside Development****9.16.170 Generally.**

Hillside development can offer opportunities for spectacular views from building sites around the valley's perimeter. It is important, however, to ensure that all are protected when designing hillside building sites. The guidelines in this section apply to the hillside areas illustrated in the general plan

and official zoning atlas. (Ord. 773 § 3, 2008; Ord. 359 (Attach. 2), 1992)

**9.16.180 General guidelines.**

A. All general grading guidelines and standards shall apply to hillside development unless modified by this chapter.

1. Where the average slope exceeds twenty-five (25) percent, a geology report assessing rock slide potential shall be submitted to the planning division at the time of

submittal of the project to the city. The report shall be approved by the city engineer prior to planning commission approval.

2. Prior to the submittal of a project application where the average slope exceeds ten (10) percent, the applicant should call for a preapplication meeting to discuss city concerns and requirements regarding the proposed hillside development.

3. On lots where the average slope exceeds fifteen (15) percent, the construction of custom homes with multiple foundation levels are preferred. (Ord. 773 § 3, 2008; Ord. 694 § 1.1, 2005; Ord. 475 § 1.4, 1995; Ord. 426 § 3.1, 1994; Ord. 359 (Attach. 2), 1992)

**9.16.190 Natural open space standards.**

A. All hillside development proposals shall include a portion of the site to be retained in natural area open space.

1. The natural open space area may be comprised of two types:

- a. Undeveloped natural areas, that which has been left in its natural state;
- b. Restored natural areas, that which have been disrupted during construction but are restored to a natural appearance.

2. The following shall guide the location of undeveloped natural areas:

- a. Contiguous areas along drainage channels;
- b. Ten (10) foot minimum widths adjacent to roadway improvements;
- c. On lots where the average slope exceeds twenty-five (25) percent, the construction of custom homes with multiple foundation levels shall be mandatory while post and beam construction shall be discouraged;

- d. Areas contiguous with other natural areas of adjacent properties;
  - e. Areas containing rock outcroppings;
  - f. Areas containing soils with high permeability;
  - g. Significant stands or clusters of native vegetation;
  - h. Known or discovered archeological or paleontological sites.
3. The following shall guide the location of restored natural areas:
- a. In required setbacks;
  - b. Adjacent to common recreation facilities;
  - c. Along roadway improvements or over utility easements;
  - d. Fuel modification zones, as required by the fire department.
4. The percent of the total site required to be retained in natural open space shall be based on the average natural slope of the land surface. The following natural open space area requirements shall apply:

**Table 9.16.190A  
Natural Area Open Space Requirements**

Average Percent Slope	Minimum Percent of Site to Remain as Natural Area Open Space
10%—15%	35%
15.1%—25%	50%
Over 25%	60%

5. The following shall guide the allocation of undeveloped and restored natural areas on properties:
- a. Undeveloped natural areas shall constitute a minimum of seventy-five (75) percent of the required natural area open space.
  - b. Restored natural areas may constitute a maximum of twenty-five (25) percent of the required natural area open space.
  - c. No grading, excavation or construction shall be allowed within areas designated as natural areas. Fuel modification areas may be graded as necessary and replanted to meet fire department requirements.
  - d. Where construction has inadvertently scarred designated natural areas, the applicant shall restore the affected sites, as approved by the community development director or designee.
  - e. Restored natural areas shall be graded to blend in with the natural terrain and landscaped with rock and plant materials native to the local area.
  - f. All undeveloped natural areas and restored natural areas shall be clearly shown on all proposed plans and building permit site plans unless otherwise approved by the city council. A landscaping program for restored natural areas shall be approved by the community development director prior to issuance of building permits. (Ord. 826 § 3.6, 2011; Ord. 773 § 3, 2008; Ord. 694 § 1.1, 2005; Ord. 475 § 1.4, 1995; Ord. 426 § 3.1, 1994; Ord. 359 (Attach. 2), 1992)

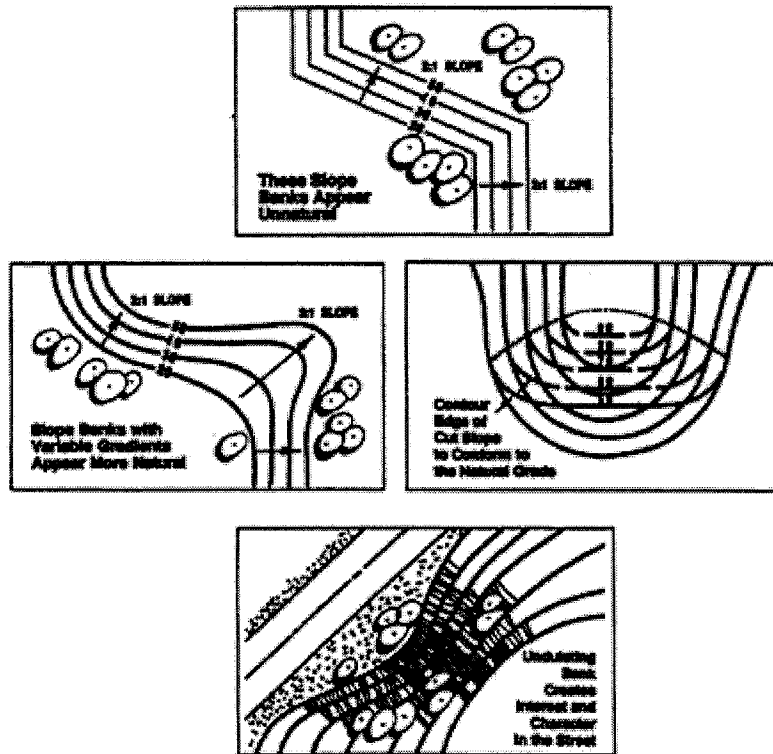
**9.16.200 Landscaping.**

Attachment: Moreno Valley - RR and HR Zone Standards (1992 : Hillside Residential Development)

- A. All required plans for landscaping are approved prior to issuance of building permits, and in accordance with Chapter 9.17 of this title.
- B. Existing vegetation is retained in, and part of the comprehensive development project not designated for grading or construction. Site design preserves native or historic/mature vegetation, unless otherwise approved by the community development director.
- C. Existing vegetation that cannot be preserved in place, but is suitable for transplanting, is relocated elsewhere on site, as approved by the community development department director.
- D. Unimproved disturbed areas are landscaped within one hundred eighty (180) days following issuance of a grading permit and/or within thirty (30) days of issuance of a certificate of occupancy, whichever is earlier.
- E. All landscaping within public easements or areas dedicated to the city is of low maintenance, xeriscape or native plant material.
- F. An open space network is designed to provide contiguous linkages throughout the development parcel, and between adjacent parcels, where major public trail systems or vista corridors are designated. (Ord. 826 § 3.6, 2011; Ord. 773 § 3, 2008; Ord. 694 § 1.1, 2005; Ord. 616 § 2.2.25, 2003; Ord. 359 (Attach. 2), 1992)

#### **9.16.210 Grading.**

- A. Man-made slopes shall conform to patterns of the natural terrain. All cut and fill slopes shall be landscaped and shall be stabilized to control erosion.
- B. "Landforming" shall be applied to all slopes adjacent to public streets, gateways, and public view areas, as well as to all slopes greater than one hundred (100) feet in length or ten (10) feet in vertical height.
1. Landforming shall be accomplished by the use of variable slope ratios, undulating of tops and toes, screening of terraces and downdrains, varying of surface features, and by landscaping.
  2. Rear and side yard slopes between adjacent lots within the same project need not be landformed unless they are greater than one hundred (100) feet in length or ten (10) feet in vertical height.
- C. Any cut or fill slope to be revegetated shall not be steeper than 2:1.
- D. All excess excavated material shall be removed or otherwise placed to become an integral part of the site development.
- E. During construction, measures such as sediment traps or terracing shall be used around all graded areas to minimize erosion.
- F. Whenever archeological or paleontological sites are discovered during excavation, the planning division shall be notified immediately and mutually agreeable precautions taken to preserve the artifacts.
- G. Natural features such as trees with four-inch or larger trunk diameters and significant rock outcroppings shall be protected to the greatest extent feasible in the siting of individual lots and building pads. These features shall be shown on the grading plan with appropriate protection and relocation notes. Where trees with four-inch or greater trunk diameters are to be removed, they shall be replaced with at least twenty-four (24) inch box size trees of the same species, or as approved by the planning division, at a ratio of three new trees for each mature tree removed.
- H. All dwelling units shall be located a minimum of ten (10) feet from the tops and toes of all slopes, unless otherwise approved by the city engineer and the community development department.
- I. Crib walls, or an equivalent, may be used to enhance a cut slope's capability to be landscaped, providing they are properly irrigated. They should not be used, however, to increase flat pad size or to otherwise intensify project grading.
- J. Any manufactured slope shall be contoured in a manner to appear to have a natural grade.



(Ord. 826 § 3.6, 2011; Ord. 773 § 3, 2008; Ord. 694 § 1.1, 2005; Ord. 475 § 1.4, 1995; Ord. 426 § 3.1, 1992; Ord. 359 (Attach. 2), 1992)

#### **9.16.220 Roadways and circulation.**

- A. Road alignments, driveways and parking areas shall conform as closely as possible to natural topography.
- B. Existing vegetation shall be preserved to the greatest extent possible in the location of roads and shall be retained as medians or buffers wherever possible within the unimproved right-of-way.
- C. Variations in road design and construction may be permitted to keep grading and cut slopes to a minimum.
- D. One-way loop roads may be constructed where appropriate for the terrain.
- E. Combinations of collective private driveways, cluster parking areas and off-street parking bays (including pervious paving where feasible) are encouraged to minimize paved areas. (Ord. 826 § 3.6, 2011; Ord. 773 § 3, 2008; Ord. 359 (Attach. 2), 1992)

#### **9.16.230 Fire protection.**

Fire prevention standards are contained in the city's fire code. (Ord. 773 § 3, 2008; Ord. 426 § 3.1, 1994; Ord. 359 (Attach. 2), 1992)

#### **9.16.235 Hillside design standards.**

A. Site Plan Design. Each structure shall be located in the most accessible, least visually prominent, most geologically stable portion or portions of the site, and at the lowest feasible elevation. Structures shall also be aligned with the natural contours of the site. Locating structures in the least prominent locations is particularly important on open hillsides where the high visibility of construction should be minimized by placing structures so that they will be screened by existing vegetation, depressions in topography, or other natural features. In addition, the following standards shall apply:

1. Significantly visible rock outcroppings should be preserved and incorporated into the site plan.
2. All pads and driveways shall, to the fullest extent practicable, follow and utilize the natural contours of the land to minimize disturbance and shall not be located on the crest of a natural ridgeline.
3. Clustering of development on flatter areas of the site is strongly encouraged.
4. Dwelling units and structures shall be sited in a manner that will:
  - a. Retain outward views from each unit;
  - b. Preserve or enhance vistas and ridgelines, particularly those seen from public places and rights-of-way in the valley below;
  - c. Preserve natural hydrology, native plant materials and areas of historic significance.
5. In areas adjacent to a ridgeline or in moderate slope areas, dwelling units and structures shall be sited to:
  - a. Use the natural ridgeline as a backdrop for structures;
  - b. Use landscape plant materials as a backdrop;
  - c. Use the structure to conceal cut slopes;
  - d. Retain major natural skyline profiles;
  - e. The topmost point of a proposed structure and all site grading shall be at least thirty (30) feet below the top of the nearest ridge or knoll.
6. Encourage smaller pad to lot size ratios for all dwelling units.
7. Streets, both public and private, shall be developed below the crest of a natural ridgeline.

B. Architectural Design. The following architectural design standards shall apply:

1. Building development color palettes, including roofing, fencing and exterior building materials, shall be "earth tones" compatible with the natural color of the terrain and vegetation, and shall be approved by the community development director.
2. The design of the structure should give consideration to the lot's size and configuration in order to avoid the appearance of overbuilding and to minimize the blocking of views.
3. Large expanses of a single material on walls, roofs or paving areas should be avoided. Create interesting small scale patterns by breaking up building mass, varying building materials, etc. Building plans and elevations should be varied throughout a development to avoid a monotonous "cookie-cutter" look.
4. Horizontal and vertical architecture detailing of building articulation, such as overhangs, projections, alcoves, varied roof-plains, building offsets, etc., should be used to avoid large expanses of a wall in a single plane and to create light and shadow.

5. Brightly colored structures and roofs and reflective glass or building materials are expressly prohibited. Materials and colors shall blend with the natural hillside environment to the greatest degree feasible. Specific materials that are encouraged are those with natural colors and textures, including stone, wood, textured stucco and brick.

6. Where it will not result in increased grading and landform alteration, the limitation of structures to a single story is strongly encouraged.

7. The use of undulating walls that follow the land form are highly encouraged.

8. Detaching the garage shall be encouraged, while retaining walls shall be integrated into the garage walls on sloping lots to reduce grading and minimize visibility of walls.

9. Include architectural enrichments and variations in roof massing. Roofs should have low profiles to minimize their visual impact. On sloping land, the roof pitch should follow the slope of the hillside, instead of being perpendicular to the hillside or opposing hillside slope. Upper stories should not be cantilevered out of the opposite direction of the hillside slope.

C. Lighting Design. The intent of lighting standards for designated hillside properties is to preserve the low light level conditions that are inherently characteristic of hillside areas. The following lighting design standards shall apply:

1. Lights shall not be located on the portion(s) of the site that has not been disturbed.

2. Lights mounted on dwellings, buildings or structures shall be fully shielded and directed away from adjacent developments.

3. All light fixtures should be directed downward and properly aimed on the targeted areas to maximize their effectiveness and minimize the total number of light fixtures.

4. All lighting shall be low scale and low intensity and directed downward and away from the view of others.

5. Road, driveway and walkway lights should be located on the “downhill” side and aimed toward the “uphill” side and should be fully shielded from below and only light the driveway surface.

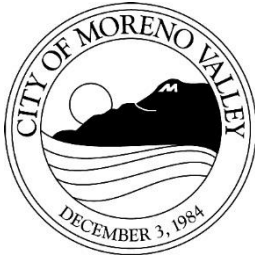
6. Lighting fixtures on properties should be mounted on a post not to exceed a height of eight feet above finished grade, or on a building wall not to exceed a height of eight feet above finished grade and fully shielded, or on a structure not to exceed a height of eight feet above finished grade and fully shielded for security lighting.

7. Street lighting shall be limited to the greatest degree feasible to maintain a “dark sky” environment. Typically, streetlights should be limited to street intersections or other locations where safety concerns predicate the need for illumination. (Ord. 851 § 1.3, 2012; Ord. 826 § 3.6, 2011; Ord. 773 § 3, 2008)

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## PLANNING COMMISSION

### STAFF REPORT

Meeting Date: March 24, 2016

PA15-0019 CONDITIONAL USE PERMIT

Case: PA15-0019 Conditional Use Permit  
Applicant: Rudy Dekermenjian  
Owner: Gene Cole  
Representative: Ramon Baguio  
Location: 11745 Steeplechase Drive  
Case Planner: Gabriel Diaz  
Council District: 3

#### **SUMMARY**

The proposed project is a Conditional Use Permit (CUP) to convert a 4,493 square foot single family residence on 0.53 acres into a 12-bed Congregate Living Health Facility. No additional square footage is being proposed. However, significant interior modifications, additional exterior doors, and parking modifications are proposed. The proposed use is regarded as a Residential Care Facility in the Municipal Code requiring a Conditional Use Permit within all residential zones.

#### **PROJECT DESCRIPTION**

##### **Project**

The project will convert a 4,493 square foot single family residence into a 12-bed Congregate Living Health Facility. No additional square footage is being proposed. However, significant interior modifications, additional exterior doors, parking modifications, and an exterior emergency generator are proposed. The residence is

located on 0.53 acres within the Residential 2 (R2; maximum of two dwelling units per acre) zone. The floor plan of the residence currently includes 4 bedrooms and 4.5 bathrooms. The new floor plan includes 10 bedrooms, common area, foyer, kitchen, pantry, laundry room, a nurses station, physical therapy room, two ADA bathrooms, and one additional restroom.

Ten new exterior doors will be added to the existing home, each bedroom will have an exterior door. The project proposes a total of seven parking spaces for the proposed use. Three parking spaces will be located in the existing garage. In addition, the driveway area will be reconfigured to accommodate four additional designated parking spaces. As designed, the proposed project will not comply with all the applicable Municipal Code provisions, including findings governing the Conditional Use Permit (CUP) Section 9.02.060 of the Municipal Code. In order to approve a Conditional Use Permit, the following findings are required:

- A. The proposed project is consistent with the goals, objectives, policies and programs of the general plan.
- B. The proposed project complies with all applicable zoning and other regulations.
- C. The proposed project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.
- D. The location, design and operation of the proposed project will be compatible with existing and planned land use in the vicinity.

Planning staff has made an effort to develop conditions of approval and mitigation measures that address potential compatibility with the surrounding neighborhood, and potential environmental impacts. However, after careful review and analysis, and based on the information provided and requested during the review process, the required findings for a CUP cannot be made as identified in detail in the attached resolution.

Within any residential zone, the City's Municipal Code requires approval of a Conditional Use Permit for a Residential Care Facility. The standards for a Residential Care facility are identified in Section 9.09.160. The identified "Purpose and Intent" of this section is "to ensure that residential care facilities caring for more than six residents do not result in an adverse impact on adjacent residential uses or the surrounding neighborhood."

For the proposed project at this location, the applicant has not provided adequate information to fully evaluate whether certain impacts may pose an adverse impact on adjacent residential uses and the surrounding areas. Therefore, a determination cannot be made that this project will not have an adverse impact on adjacent residential uses.

During the review process, the Planning Division requested additional information regarding noise generated by a proposed generator. The applicant has not provided the required information to adequately evaluate the potential for noise from the project on the surrounding residential areas. Therefore, it is not possible to evaluate the project

with regard to the Municipal Code Noise Regulations, Chapter 11.80, and the noise policies of the General Plan.

Regarding the General Plan, the project as proposed is not consistent with General Plan Policy 2.2.17, which discourages nonresidential uses on local residential streets that generate traffic, noise or other characteristics that would adversely affect nearby residents. Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing R2 residential designation. Although mitigation measures were not recommended by the analysis, the traffic generated, and potential calls for emergency vehicles to the site, have the potential to adversely affect nearby residents.

General Plan Policy 2.3, Community Design states that “The design of a community significantly affects its quality of life. A pleasing physical environment reinforces the image of a city as secure, comfortable and attractive place. In the long term, good design makes economic sense. It helps to maintain or improve property values. Good design attracts the finest businesses, the best customers and the most valued employees to the community. It attracts people who desire a pleasant environment in which to live, work and shop.” As currently designed at the proposed location, and based on the information provided to staff, the proposed level of activity and additional parking may adversely affect the quality of life of the surrounding residential neighborhood.

### **Site/Surrounding Area**

The project site is located at 11745 Steeplechase Drive. The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes.

The project is within the Residential 2 (R2) zoning district. The adjacent properties to the north, east, west, and south are zoned Residential 2 (R2).

### **Access/Parking**

The project will have and currently has access off of Steeplechase Drive. Currently the property has two driveway approaches that form a circular driveway. The proposed project will redesign this area by deleting the circular driveway, but keep the two driveway approaches.

The project proposes a total of seven parking spaces for the proposed use. A minimum of seven parking spaces is required at this facility (two Nurses, one for the Nurse Shift change, Doctor, Delivery Person, Guest, and 1 Handicapped accessible space). Three parking spaces will be located in the existing garage. In addition, the driveway area will be reconfigured to accommodate four designated parking spaces. The Design

Guidelines and the Municipal Code provide a framework that ensures that any new development or use would be designed and constructed in a manner consistent with surrounding land uses. The addition of the additional parking on the residence would have the potential to degrade the visual character of the surrounding area since proposed facility would have considerably more designated parking than the adjacent neighborhood. The addition of the four designated parking spaces that are not within the enclosed garage also will affect the visual quality of the site.

### **Design/Landscaping**

No additional square footage is proposed to be added to the residence. However, significant interior modifications, additional exterior doors, parking modifications, and an exterior emergency generator are proposed. The floor plan of the residence currently includes 4 bedrooms and 4.5 bathrooms. The new floor plan includes 10 bedrooms, common area, foyer, kitchen, pantry, laundry room, nurses station, physical therapy room, two ADA bathrooms, and one additional restroom. Ten new exterior doors will be added to the existing home, each bedroom will have an exterior door. The project has been conditioned to provide residential exterior doors compatible with the surrounding neighborhood. Metal industrial doors will not be permitted as exterior doors. The project proposes a total of seven parking spaces for the proposed use. Three parking spaces will be located in the existing garage. In addition, the driveway area will be reconfigured to accommodate four designated parking spaces. The Project is required to satisfy the front yard landscaping requirement of a single family home.

### **REVIEW PROCESS**

This project was submitted in April 2015. City staff from various departments, and particularly including the Fire Prevention Bureau, reviewed the proposal and worked with the applicant to resolve the issues and interests raised.

The primary concerns were initially the intensity of an 18-bed congregate living health facility in a single family residential zone, noise, and compatibility of the use and architecture with the existing neighborhood. The applicant submitted revised plans and revised letters of intent. During the review of the project, the applicant reduced the proposed number of beds from 18 to 12. Although the reduction in the number of beds reduced some of the impacts, based on the traffic analysis and the number of employees and other activities, the concerns with noise and compatibility remain.

Some delay in the processing of the application was incurred due to inconsistencies within the various plans submitted and the applicant's incomplete or lack of responses to staff's comments. Staff felt at this time it was best to move the project forward for review by the Planning Commission.

### **ENVIRONMENTAL**

Planning staff, as is typical with all planning projects, has reviewed the request in accordance with the latest edition of the California Environmental Quality Act (CEQA) Guidelines and has determined the project has the potential for impacts on the environment. Mitigation measures have been developed in the event the Planning Commission chooses to approve the project. However, because staff is recommending denial of the project at this time, environmental action is not required.

### **NOTIFICATION**

In accordance with Section 9.02.200 of the Municipal Code, public notification was sent to all property owners of record within 300 feet of the proposed project site on March 1, 2016 (Attachment 3). In addition, the public hearing notice for this project was posted on the project site on March 3, 2016, and published in the Press Enterprise newspaper on March 3, 2016.

A concerned adjacent neighbor submitted a letter to the City, which is included Attachment 7. The letter is not supportive of the proposed use.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2016-06, and thereby:

1. **DENY** Conditional Use Permit PA15-0019 based on the findings contained in Planning Commission Resolution 2016-06.

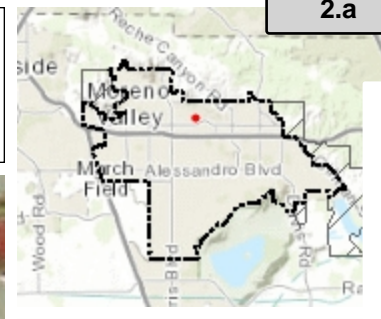
Prepared by:  
Gabriel Diaz  
Associate Planner

Approved by:  
Allen Brock  
Community Development Director

### **ATTACHMENTS**

1. Aerial Photo
2. Zoning Map
3. Public Hearing Notice
4. Plans
5. Resolution 2016-06
6. Final COAs
7. Mr Wehbe Letter
8. Initial Study Mitigated
9. Mitigation Monitoring & Reporting Program

# Aerial Photo



## Legend

- Public Facilities
  - Public Facilities
  - ★ Fire Stations
- Parcels
- ⊞ City Boundary
- ⊞ Sphere of Influence

Attachment: Aerial Photo (1955 : PA15-0019 Conditional Use Permit)

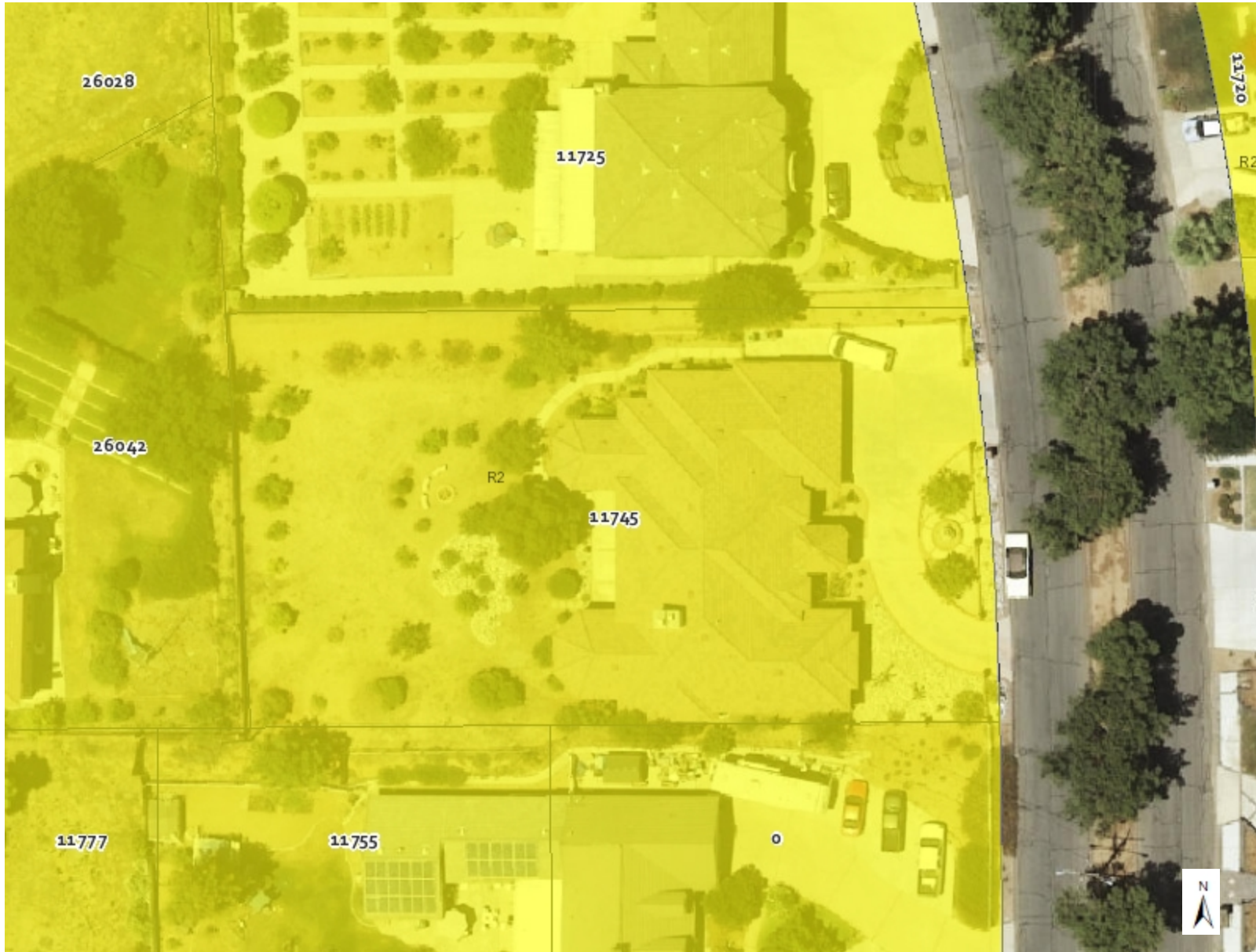
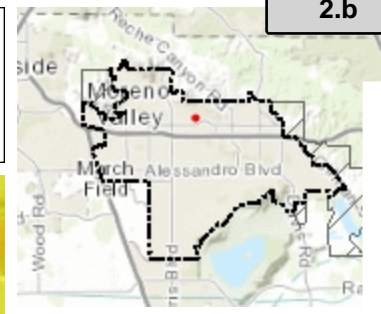
## Notes

PA15-0019

83.7 0 41.86 83.7 Feet

*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*

# Zoning Map R2 Zone



### Legend

#### Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

#### Master Plan of Trails

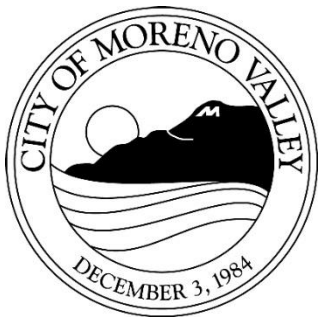
- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

- Parcels
- City Boundary
- Sphere of Influence

### Notes

PA15-0019

83.7                      0                      41.86                      83.7 Feet



# Notice of PUBLIC HEARING

**This may affect your property. Please read.**

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

**CASE:** PA15-0019 - Conditional Use Permit

**APPLICANT:** Rudy Dekermenjian

**OWNER:** Gene Coale

**REPRESENTATIVE:** Ramon Baguio

**A.P.N.:** 474-361-030

**LOCATION:** 11745 Steeplechase Drive

**PROPOSAL:** A Conditional Use Permit (CUP) to convert a 4,493 square foot single family residence into a 12 bed congregate living facility. No additional square footage is being proposed. However, significant interior modifications, additional exterior doors, and parking modifications are proposed. Lot size .53 acres. Zone: R2.

**ENVIRONMENTAL DETERMINATION:** Mitigated Negative Declaration

**COUNCIL DISTRICT:** 3

**STAFF RECOMMENDATION:**

This project has the potential for impacts on the environment. Mitigation measures are recommended.

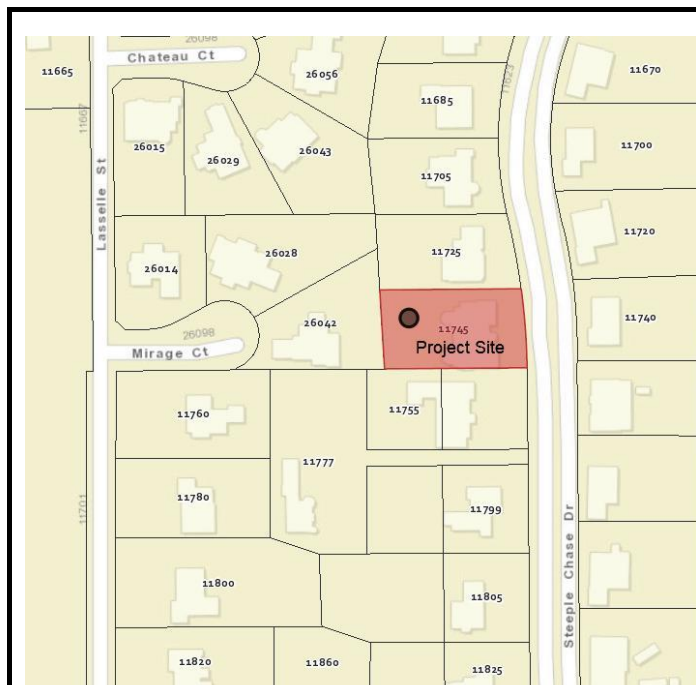
Any person interested in any listed proposal can contact the Community Development Department, Planning Division, at 14177 Frederick St., Moreno Valley, California, during normal business hours (7:30 a.m. to 5:30 p.m., Monday-Thursday and 7:30 a.m. to 4:30 p.m. on Fridays), or may telephone (951) 413-3206 for further information. The associated documents will be available for public inspection at the above address.

In the case of Public Hearing items, any person may also appear and be heard in support of or opposition to the project or recommendation of adoption of the Environmental Determination at the time of the Hearing.

The Planning Commission, at the Hearing or during deliberations, could approve changes or alternatives to the proposal.

If you challenge any of these items in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.

*Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*



**LOCATION** N ↑

## PLANNING COMMISSION HEARING

City Hall Council Chamber  
14177 Frederick Street  
Moreno Valley, Calif. 92553

**DATE AND TIME:** March 24, 2016 at 7 PM

**CONTACT PLANNER:** Gabriel Diaz

**PHONE:** (951) 413-3226

Attachment: Public Hearing Notice (1955 : PA15-0019 Conditional Use Permit)



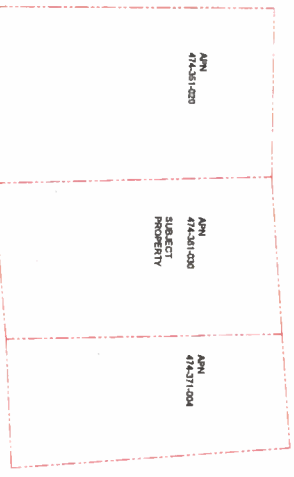
**CASE # PA15-0019**  
**DATE: 12-08-15**

**GENERAL NOTE:**  
 THESE PLANS AND DRAWINGS FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A 12 BED CONGREGATE LIVING HEALTH FACILITY, NO PROPOSED ADDITIONAL SQUARE FOOTAGE AND INTERIOR & EXTERIOR RENOVATION.

1. EXTENSION AND INTERIOR FINISHED FLOORS TO BE FLUSH.
2. EXISTING 8 FOOT HIGH FENCE TO REMAIN IN BACKYARD.
3. 48 HOUR BACKUP GENERATOR TO BE INSTALLED IN CASE OF SITUATIONS WHERE REGULAR POWER IS SHUT OFF.
4. FIRE SPRINKLERS AND ALARMS TO BE INSTALLED BY FIRE DEPARTMENT APPROVED CONTRACTOR, UNDER A SEPARATE AND GLAZED.
5. ALL WINDOWS AND DOORS WITH GLASS TO BE TEMPERED AND GLAZED.
6. ENTIRE FACILITY TO BE ADA COMPLIANT.

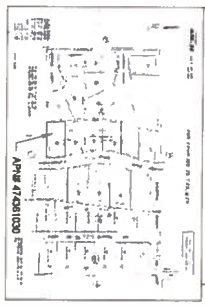
**OPERATIONAL NOTES**  
 GENERAL NOTES AS IT CONCERNS DELIVERIES AND OPERATIONS

1. ALL PATIENTS ARE NON AMBULATORY AND THEREFORE DO NOT DRIVE OR REQUIRE PARKING
2. AS REQUIRED, THERE IS 1 NURSE FOR EVERY 6 PATIENTS, THEREFORE 2 NURSES ARE REQUIRED.
3. THERE ARE 2 SHIFTS, STAGED IN 30 MIN INTERVALS. THEREFORE 1 NURSE CHANGES SHIFT, THEN 30 MIN LATER, THE 2ND NURSE.
4. 2 NURSE SCHEDULE  
 NURSE 1 EXCHANGE 0330AM - 0330PM  
 NURSE 2 EXCHANGE 0330AM - 1000PM
5. LINEN IS CLEANED ON SITE THEREFORE NO LINEN SERVICE REQUIRED
6. A DOCTOR MD VISITS ONCE A WEEK WITH PRIVATELY OWNED VEHICLE TO DO HIS ROUNDS. DOCTOR WILL BE ON SITE UNTIL HE FINISHES ROUNDS, APPROXIMATELY 4 HOURS.
7. APPROXIMATELY 75% OF GUESTS RECEIVE NUTRITION VIA R. THE REST RECEIVE TRAY STYLE FOOD A DELIVERY SERVICE COMES TWICE A WEEK VIA A VAN TO DELIVER THESE ITEMS, MEDICINES, AND TAKE AWAY MEDICAL WASTE AND FOOD TRAY WASTE. THIS SERVICE IS DONE BY ONE PERSON AND STAYS A MAXIMUM OF 1 HR.
8. VISITATION BY APPOINTMENT ONLY, VISITATION CAN NOT CONCLUDE
7. THERE WILL BE A TOTAL OF 7 PARKING SPACES



ADJACENT PROPERTIES APN  
 STEEPLECHASE

ASSESSORS MAP REFERENCE



**FLOOD ZONE DESIGNATION:**  
 17745 STEEPLECHASE  
 MAP# 06095C0759G  
 EFFECTIVE 08/28/2008

LOT = 4300 ACRES TOTAL  
 LOT = 4268 ACRES MINUS BUILDING

ZONING: R2.1  
 LEGAL DESC: LOT 10 MB 2341089 TR 24478

**SCHOOL DISTRICT:**  
 MORENO VALLEY UNIFIED SCHOOL DISTRICT

**UTILITY COMPANIES:**  
 SEVER SEPTIC TANK  
 SEWER SERVICE  
 WATER EASTERN MUNICIPAL WATER DISTRICT  
 GAS: GAS COMPANY  
 CABLE: MORENO VALLEY CABLE/DIRECT TV  
 PHONE: AT & T, VERIZON

**SCOPE OF WORK:**  
 CONDITIONAL USE PERMIT FOR 12 BED CONGREGATE LIVING HEALTH FACILITY FOR NONAMBULATORY GUEST  
 10 BEDROOMS, 2.5 BATHROOM

**SHEET INDEX**

- SHEET NO.
- NUP1 TITLE PAGE
  - NUP2 EMERGENCY GENERATOR SPECS
  - NUP3 FLOOR PLAN
  - NUP3.1 EXISTING ELEVATIONS
  - NUP4 PROPOSED ELEVATIONS
  - NUP5 PHOTO SURVEY
  - NUP6 STREET PLAN

**APPLICABLE CODES:**

1. 2013 IBC
2. 2013 IPC
3. 2013 IMC
4. 2013 CALIFORNIA FIRE CODE (CFC)

**PROPERTY DESCRIPTION**

LEGAL DESC: LOT 10 MB 2341089 TR 24478  
 APN NO: 474251020  
 LOT AREA 23,087 SQ. FT.  
 ZONING: R2.1  
 HILLSIDE: NONE

**BUILDING INFO:**

BUILDING AREA:  
 4493 SQ. FT. HOME / LOT = 23,087 SQ. FT.  
 SINGLE STORY RESIDENTIAL

**OCCUPANCY & CONSTRUCTION TYPE:**  
 CONSTRUCTION TYPE TYPE VB  
 FIRE PROTECTION SPRINKLERED  
 OCCUPANCY 12 BEDS  
 NUMBER OF STORIES 1  
 MAXIMUM HEIGHT 16'  
 PARKING: REQUIRED 17

**FRONT OF LOCATION: SHOWN FOR REFERENCE**



VICINITY MAP



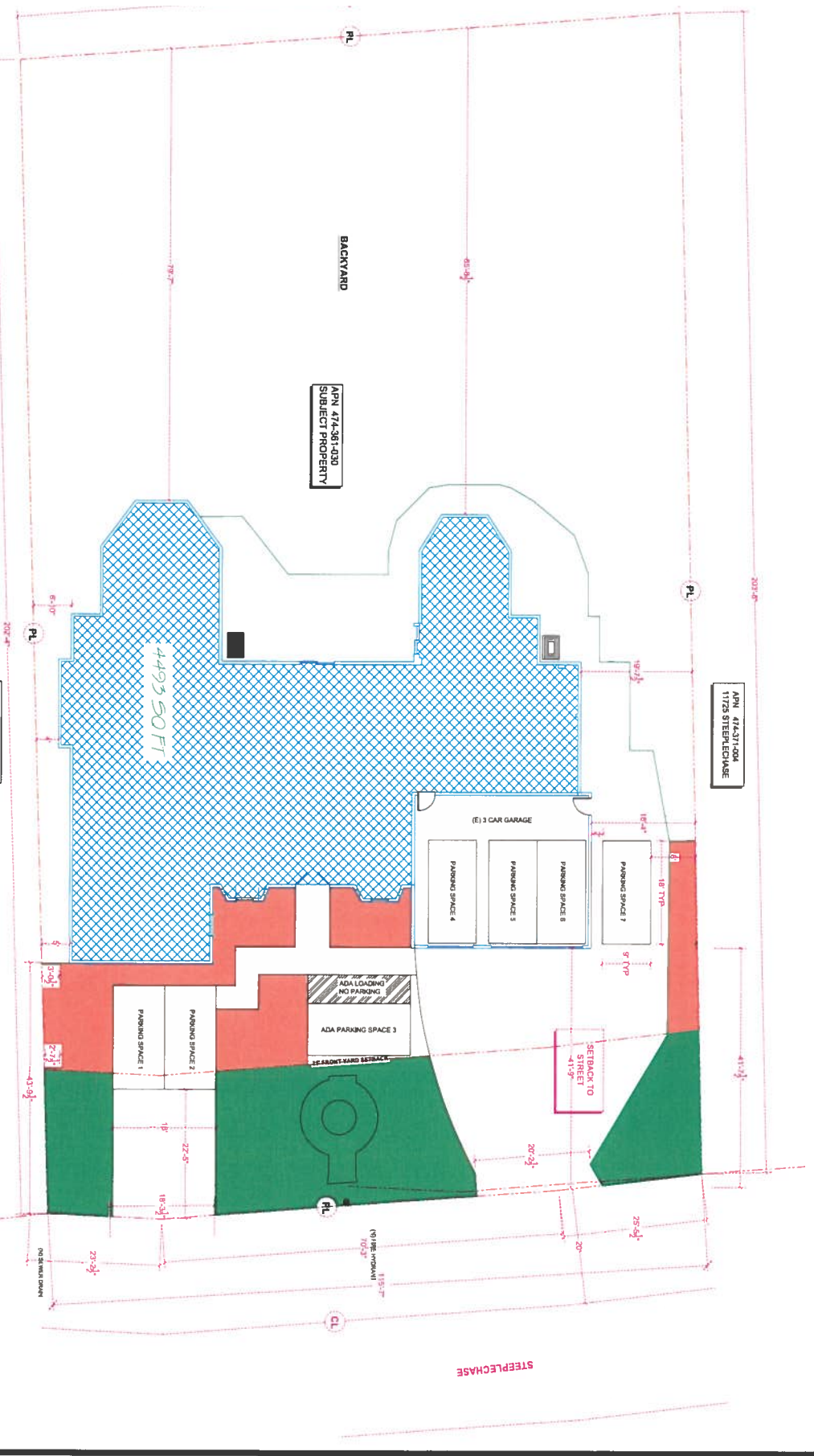
AERIAL MAP



11745 STEEPLECHASE DR.  
 MORENO VALLEY, CA. 92555

PROJECT TITLE  
 CONDITIONAL USE PERMIT  
 PROJECT NO.  
 PROJECT DATE

TITLE PAGE  
 NUP1



**SITE PLAN:**  
SCALE: 1/8"=1'-0"

**EXTERIOR EQUIPMENT LEGEND**

- (E) AC UNIT
- EMERGENCY GENERATOR:  
1. FOR EMERGENCIES ONLY  
2. SEE ATTACHED SPEC SHEETS

**LINE & SYMBOL LEGEND**

- 1: HATCHED AREA = HOME OUTLINE
- 2: PINK = LANDSCAPE AREA IN FRONT OF 25' FRONT SETBACK
- 3: GREEN = LANDSCAPE AREA WITHIN 25' SETBACK
- 4: NORTH DIRECTIONAL SYMBOL
- 5: PLOTLINE, LINE TYPE = PHANTOM
- 6: HATCHED AREA = ADA UNLOADING AND LOADING AREA
- 7: DIMENSION LINE, LINE TYPE = DASHED

**PARKING & LANDSCAPE ANALYSIS**

TOTAL FRONT YARD SQUARE FOOTAGE (25' FRONT YARD SETBACK): 2750 SF

LANDSCAPED AREA (SHOWN IN GREEN): 1702 SF  
1702 / 2750 = 61.9%

LANDSCAPED AREA BEYOND THE 25' FRONT YARD SETBACK

7 STANDARD 9'X18' PARKING SPACES INCLUDING 1 ADA SPACE WITH LOADING ZONE  
ALL VEHICLES ENTER FORWARD AND EXIT GOING REVERSE AS IN A NORMAL RESIDENTIAL SITUATION

PROJECT TITLE: <b>CONDITIONAL USE PERMIT</b>	11745 STEEPLCHASE DR. MORENO VALLEY, CA 92555
PROJECT NO. CDDWG FILE	
DRAWN BY CHECKED BY SCALE DATE	
<b>SITE PLAN</b>	
<b>NUP2</b>	
OWNER: STEVE COAK 11745 STEEPLCHASE DR. MORENO VALLEY CA 92505-9181 BOB	
APPLICANT: THE STEEPLCHASE TR 11745 STEEPLCHASE DR MORENO VALLEY CA 92505-9181 BOB	
DESIGNER: 1. S 2. S 3. S 4. S 5. S 6. S 7. S	



Generator: Generator 21kW Steady Generator NCP1 Single Phase  
 Administration Pre-Permitted with 300 Amp Service Panel ATS (8381)  
 (Factory Panel 21kva/200kVA) Inside and Outside Units  
 Product Specifications

Model	5511	4.7 Ton Rating	2 Ton
Model Number	5511	Refrigerant	Ammonia
Manufacturer	GenCorp Power Systems	11.6kW	Yes
Made in USA	Yes	Single Phase	Yes (480V 3-Phase 3-Wire 4-Phase 3-Wire)
Rated Voltage	230V LP 208V 120V	Rated Voltage	230V
Rated Amps	90 or 150 A 100	Rated Amps	90 or 150 A 100
Voltage	120/240V Single Phase	Rated Voltage	230V

ID ZONE DESIGNATION: PUT ONTO NUP1.pdf  
 GENERATOR SPECIFICATIONS SHEET 1

SHEET 2

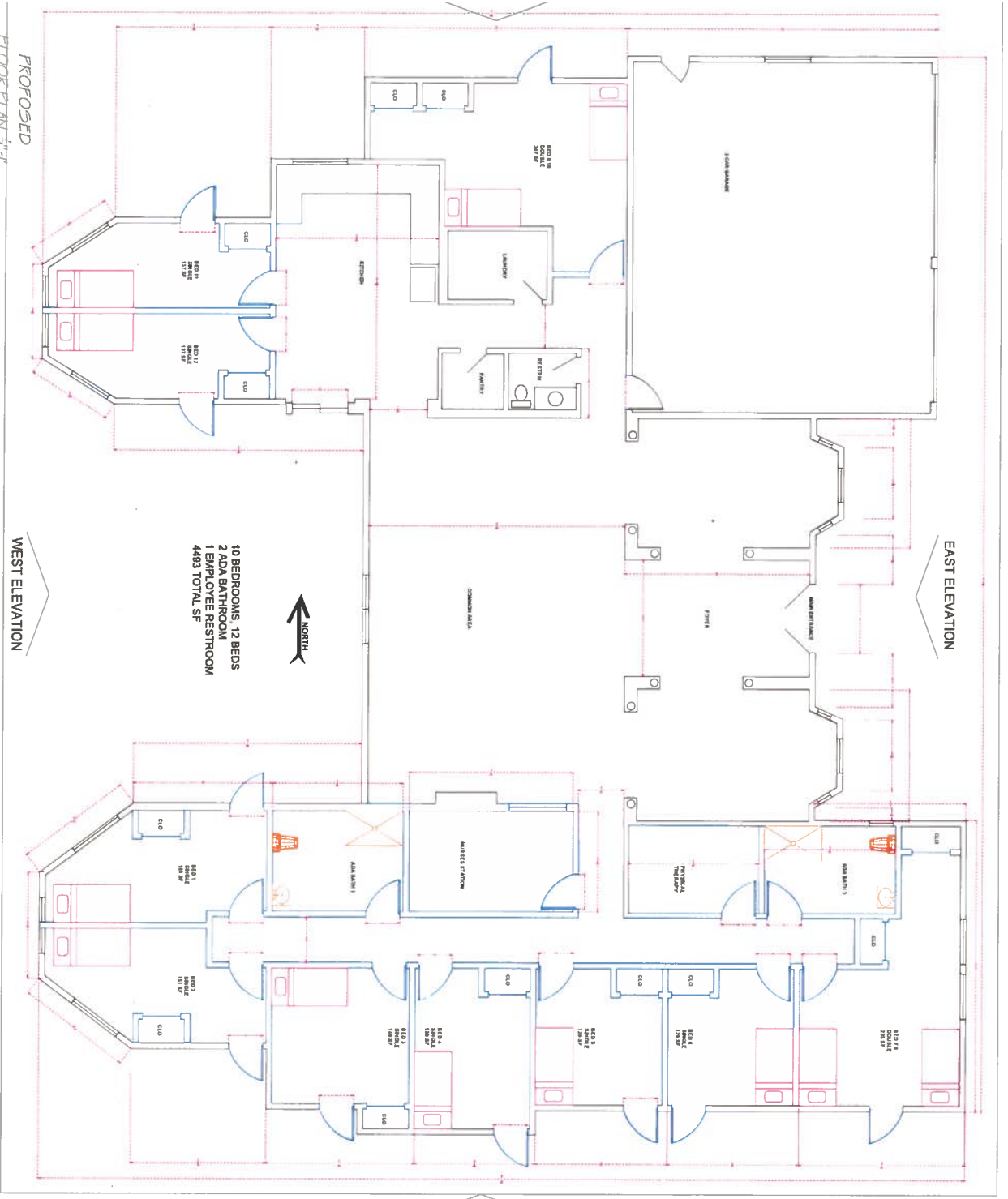
SHEET 3

LT Consumption Half Load	2.16 kW/hr
Transfer Method	
Model	RTSV20NLS
Switch Amps	300 Amps
Switch Details	Master Service
Air Poles	2 Pole
Switch Weight	NO
Warranty Information	
Consumers Warranty	3 Year 1 Month Warranty
Model	
Type	Standby Generator
Series Name	Generator Series

SHEET 4

11745 STEEPLCHASE DR.  
 MORENO VALLEY, CA 92555

PROJECT TITLE	EMERGENCY GENERATOR SPECIFICATIONS
PROJECT NO.	NUP2.1
CAD DRAW FILE	
DRAWN BY	
CHECKED BY	
SCALE	
DATE	



**NEW DOOR SPECIFICATIONS**

STANDARD: 1-1/2" MINIMUM RISE OVER THRESHOLD TO AVOID TRIPPING

1. Door shall be 1-1/2" high at threshold with minimum 1/4" lip.

2. Door shall be 1-1/2" high at threshold with minimum 1/4" lip.

3. Door shall be 1-1/2" high at threshold with minimum 1/4" lip.

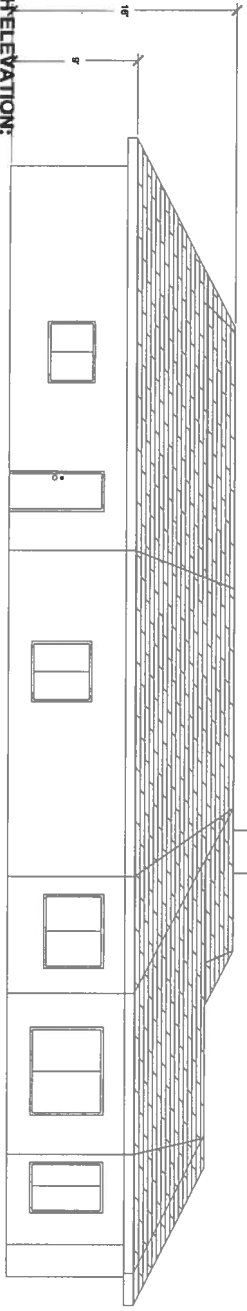
4. Door shall be 1-1/2" high at threshold with minimum 1/4" lip.

5. Door shall be 1-1/2" high at threshold with minimum 1/4" lip.

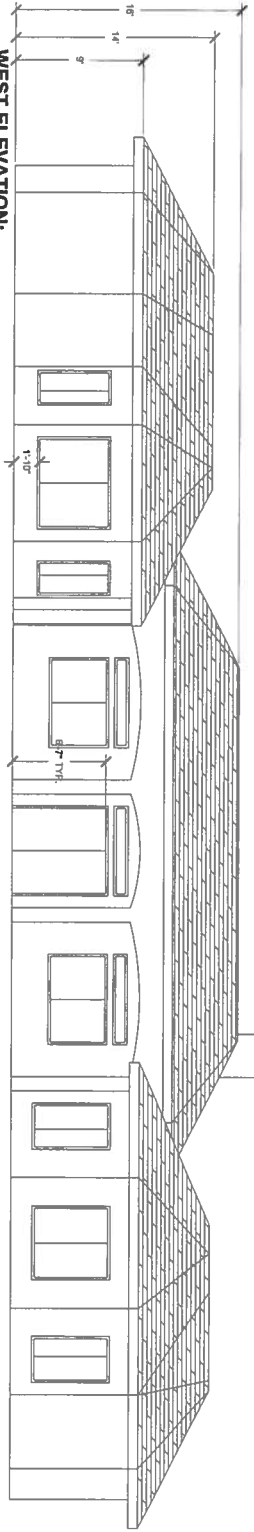
**NO NEW WINDOWS**

<p>PROJECT TITLE <i>CLIFF CLIP</i></p> <p>PROJECT NO. 10/2015/01/01</p> <p>DATE 10/2015</p>	<p>11745 STEEPLCHASE DR. MORNO VALLEY, CA. 92555</p> <p>OWNER CLIFF CLIP</p> <p>DESIGNER CLIFF CLIP</p> <p>DATE 10/2015</p>
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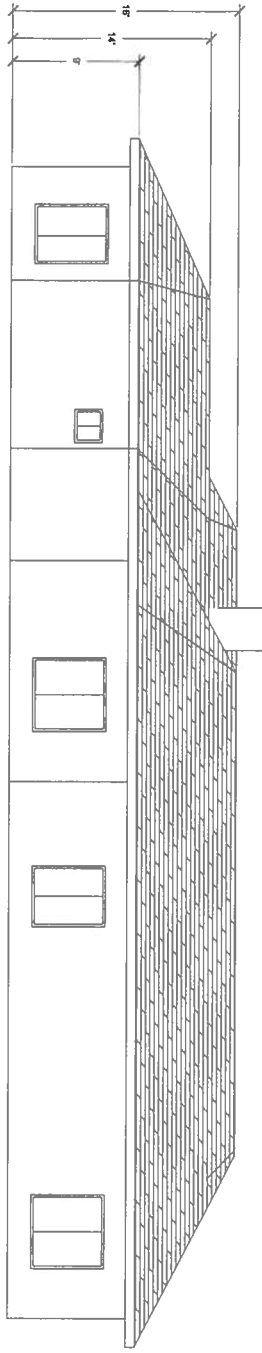
**NORTH ELEVATION:**  
SCALE: 1/4"=1'-0"



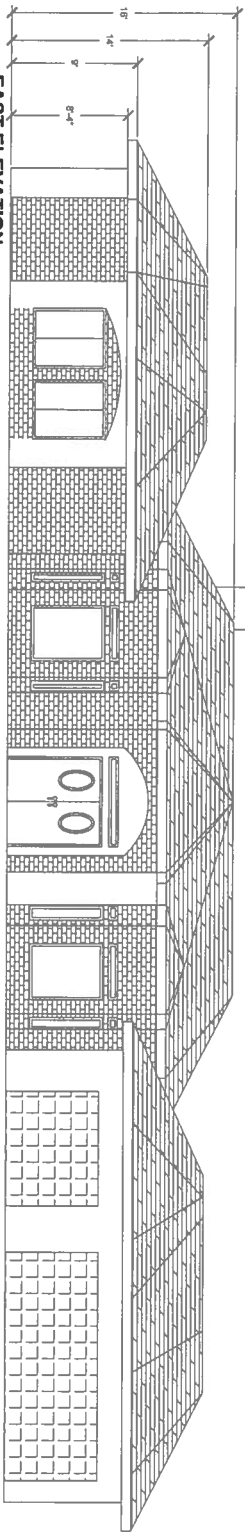
**WEST ELEVATION:**  
SCALE: 1/4"=1'-0"



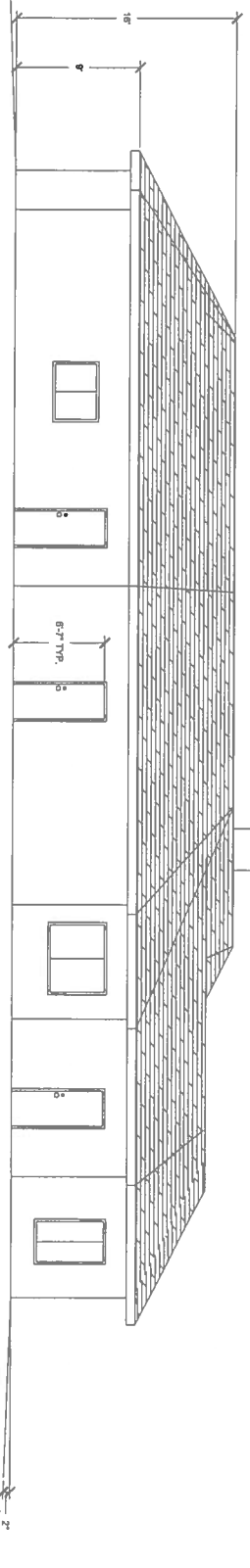
**SOUTH ELEVATION:**  
SCALE: 1/4"=1'-0"



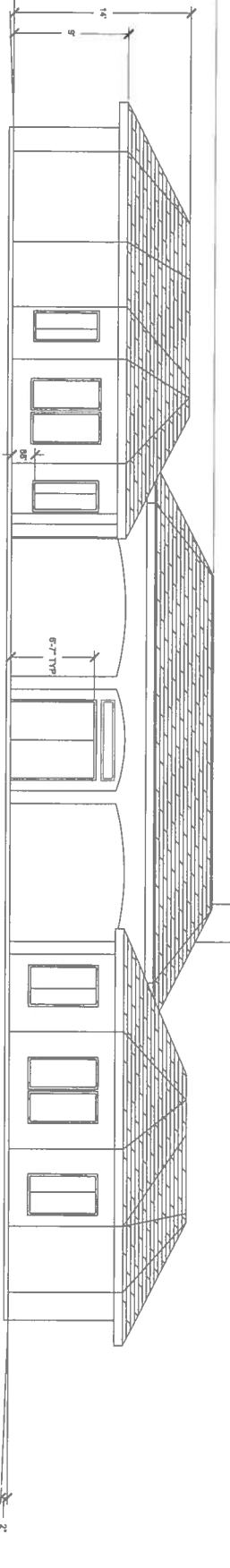
**EAST ELEVATION:**  
SCALE: 1/4"=1'-0"



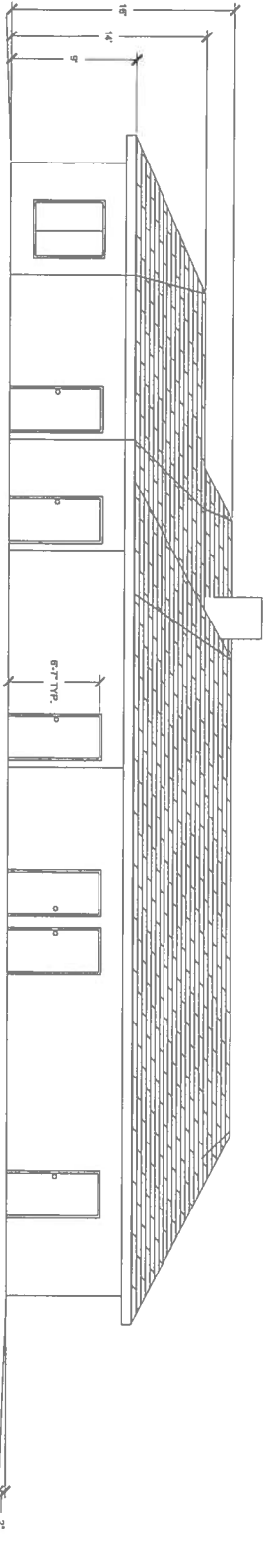
<p>PROJECT TITLE <b>CLIFF CUP</b></p>		<p>11745 STEEPLECHASE DR. MORENO VALLEY, CA 92555</p>	
<p>PROJECT NO. CLIENT NAME DRAWN BY CHECK BY DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>
<p>EXISTING ELEVATIONS</p>		<p>NUP3.1</p>	



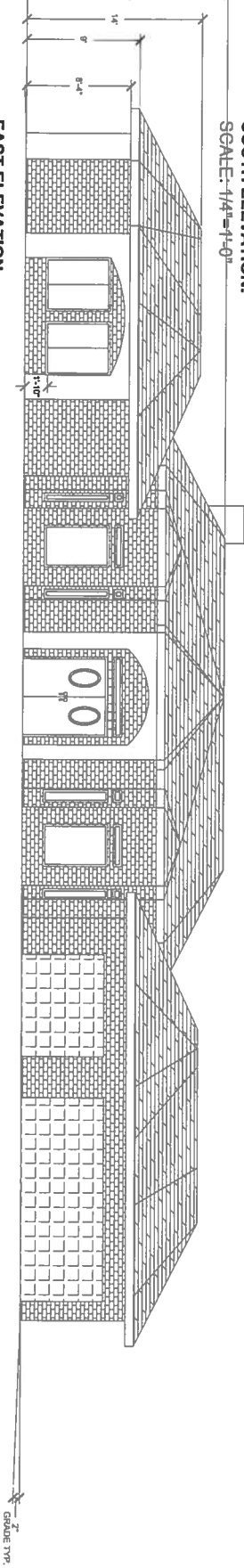
**NORTH ELEVATION:**  
SCALE: 1/4"=1'-0"



**WEST ELEVATION:**  
SCALE: 1/4"=1'-0"



**SOUTH ELEVATION:**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION:**  
SCALE: 1/4"=1'-0"

Attachment: Plans (1955 : PA15-0019 Conditional Use Permit)

<p>11745 STEEPLCHASE DR MORENO VALLEY, CA 92555</p>	
<p><b>OWNER:</b> MCCORMICK &amp; CO. 11745 STEEPLCHASE DR MORENO VALLEY, CA 92555 (951) 851-8904</p>	<p><b>ARCHITECT:</b> TAYLOR DESIGN GROUP 11745 STEEPLCHASE DR MORENO VALLEY, CA 92555 (951) 851-8904</p>
<p><b>PROJECT TITLE:</b> CONDITIONAL USE PERMIT</p>	<p><b>DATE:</b> SCALE: DRAWN BY: CHECK BY: PROJECT NO.:</p>
<p><b>ELEVATIONS</b></p>	
<p><b>NUP 4</b></p>	



PHOTO #1



PHOTO #2



PHOTO #3



PHOTO #4



PHOTO #5



PHOTO #6



PHOTO #7



PHOTO #8



11745 STEEPLECHASE DR

This is a sketch or network of lines and not a final plan. It shall not be used for any legal or financial purposes. It is not to be used for any legal or financial purposes without the consent of the surveyor.

**OWNER:**  
 CONTECO, LLC  
 11745 STEEPLECHASE DR  
 MORENO VALLEY, CA  
 92555

**APPLICANT:**  
 NUPUS SURVEY, INC.  
 11745 STEEPLECHASE DR  
 MORENO VALLEY, CA  
 92555  
 (951) 241-1024

**DESK/FILE:**  
 4700 PINEBROOK  
 4700 PINEBROOK  
 30001 AND 11129 S 4  
 (202) 952-2382

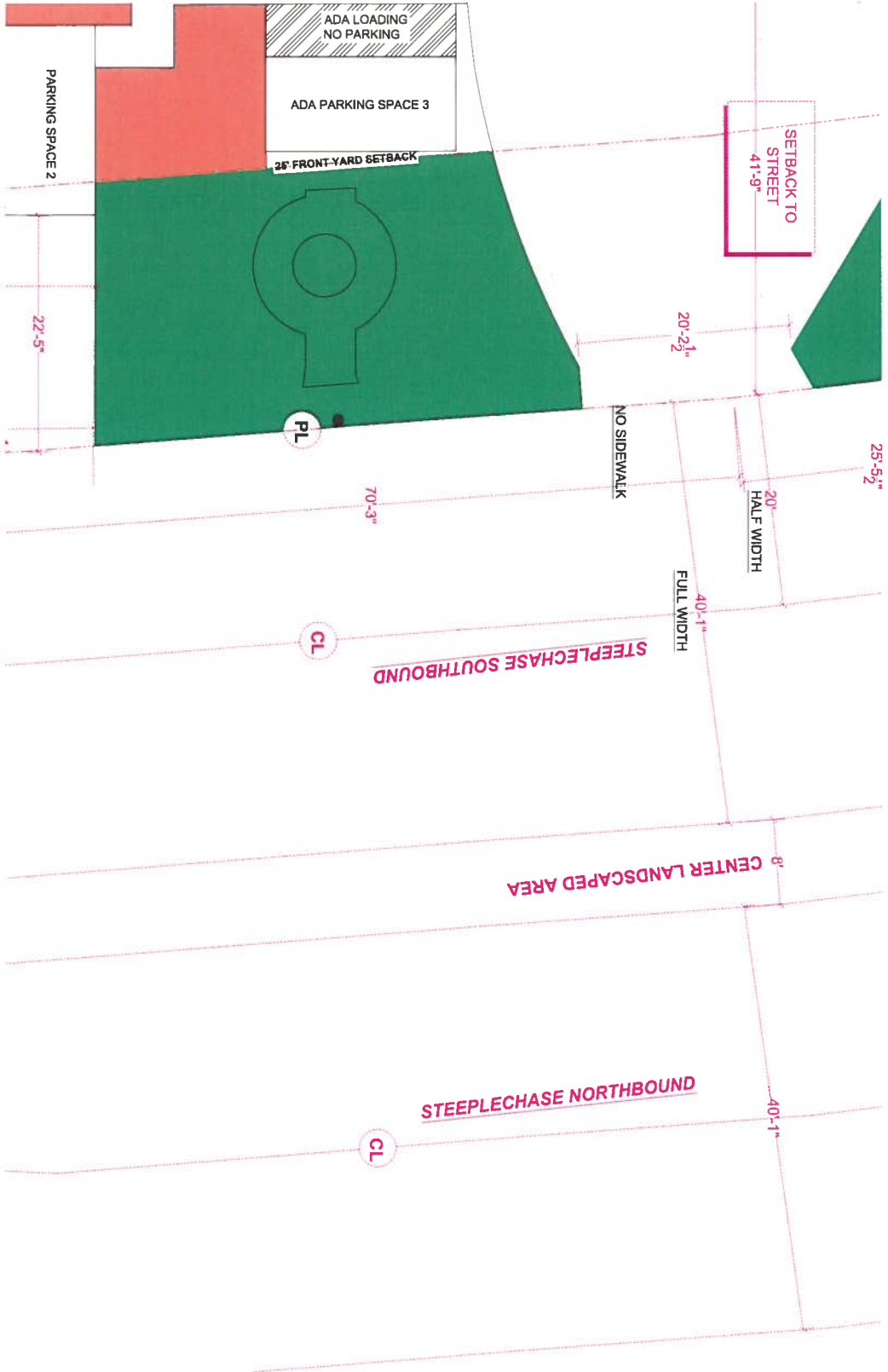
11745 STEEPLECHASE DR.  
 MORENO VALLEY, CA 92555

**PROJECT TITLE:**  
 CONDITIONAL  
 USE  
 PERMIT

**PROJECT NO.:**  
**CUSTOMER NO.:**  
**DATE:**

**PHOTO SURVEY**

**NUPUS**



STREET CLARIFICATION:  
SCALE: N.T.S.

**NOTE:**  
ALL DIMENSIONS WERE PROVIDED AND TAKEN DURING A SITE SURVEY OF HOME. ALL DIMENSIONS ARE AN APPROXIMATE SHOWN AND WAS NOT TAKEN BY A CERTIFIED SURVEYOR.

11745 STEEPLCHASE DR  
MORENO VALLEY, CA 92555

PROJECT TITLE  
CONDITIONAL  
USE  
PERMIT

PROJECT NO.  
CAD DWG FILE  
DRAWN BY  
CHECK BY  
SCALE  
DATE

STREET  
CLARIFICATION

NUP 6



**PLANNING COMMISSION RESOLUTION NO. 2016-06**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY DENYING PA15-0019, A CONDITIONAL USE PERMIT TO CONVERT AN EXISTING 4,493 SQUARE FOOT SINGLE FAMILY HOME TO A 12-BED CONGREGATE LIVING HEALTH FACILITY AT 11745 STEEPLECHASE DRIVE (APN: 474-361-030)

**WHEREAS**, Rudy Dekermenjian has filed an application for the approval of PA15-0019, Conditional Use Permit for a 12-bed congregate living health facility as described in the title of this Resolution; and

**WHEREAS**, the application has been evaluated in accordance with established City of Moreno Valley procedures, and with consideration of the General Plan and other applicable regulations; and

**WHEREAS**, the proposed location at 11745 Steeplechase Drive is in the Residential 2 (R2) single family zone with minimum lot sizes of one-half acre ; and

**WHEREAS**, thoughtful and thorough consideration has been given to the project scope and application materials submitted in light of established City of Moreno Valley procedures, General Plan and other applicable regulations associated with the R2 district, which the City Municipal Code notes is for suburban life-style single-family residential development on large residential lots; and

**WHEREAS**, during the review process, the Planning Division requested additional information of the applicant to evaluate all potential impacts of the proposed land use on other properties and residents in the Residential 2 (R2) single family zone; and

**WHEREAS**, upon completion of the through development review process the project was appropriately agendized and noticed for a public hearing before the Planning Commission on March 24, 2016; and

**WHEREAS**, on March 24, 2016, the Planning Commission of the City of Moreno Valley conducted a public hearing to consider the application; and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred; and

**WHEREAS**, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

**NOW, THEREFORE, BE IT RESOLVED**, by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on March 24, 2016, including written and oral staff reports, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:
  - 1. **Conformance with General Plan Policies** – The proposed use is not consistent with the General Plan, and its goals, objectives, policies and programs.

**FACT:** The proposed project is not consistent with all General Plan Policies. General Plan Policy 2.2.17 establishes a policy to “Discourage nonresidential uses on local residential streets that generate traffic, noise or other characteristics that would adversely affect nearby residents.”

Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation. Although mitigation measures were not recommended by the analysis, the traffic generated and calls for emergency vehicles to the site have the potential to adversely affect nearby residents.

During the review process, the Planning Division requested additional information regarding noise generated as a result of the project in particular from the required proposed generator. The applicant has not provided the required information to adequately evaluate the potential noise impacts from this project element on the surrounding residential areas. Therefore, with regard to noise, a determination cannot be made as to whether or not the project is consistent with General Plan Policy 2.2.17 and Municipal Code Section 9.03.040.E.7. This section states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line.

The proposed 12-bed congregate living health facility architecturally would become inconsistent with other homes in the surrounding residential neighborhood. An additional 10 exterior doors will be

added to the home which is not consistent with the design and appearance of other single family homes in the area. The required additional parking will result in the property having a commercial center like parking lot in the large circular driveway which would be significantly inconsistent with other properties in the area and could adversely affect the quality of life of the surrounding residential neighborhood. General Plan Policy 2.3 Community Design states that “The design of a community significantly affects its quality of life. A pleasing physical environmental reinforces the image of a city as secure, comfortable and attractive place. In the long term, good design makes economic sense. It helps to maintain or improve property values. Good design attracts the finest businesses, the best customers and the most valued employees to the community. It attracts people who desire a pleasant environment in which to live, work and shop.”

As proposed and designed at this location, the proposal use conflicts with the policies of the General Plan.

2. **Conformance with Zoning Regulations** – The proposed use does not comply with all applicable zoning and other regulations.

**FACT:** The project is located within the R2 residential zone. Section 9.03.020 of the Municipal Code identifies that “The primary purpose of the R2 is to provide for suburban life-style on residential lots larger than are commonly available in suburban subdivision, and to allow non-equestrian residential developments in a rural atmosphere.” The proposal is a 4,493 square foot 12-bed congregate living health facility is a Residential Care Facility under the City’s Municipal Code.

Within any residential zone, the City’s Municipal Code requires approval of a Conditional Use Permit for a Residential Care Facility. The standards for a Residential Care Facility are identified in Section 9.09.160. The identified “Purpose and Intent” of this section is “to ensure that residential care facilities caring for more than six residents do not result in an adverse impact on adjacent residential uses or the surrounding neighborhood.”

For the proposed project at this location, the applicant has not provided adequate information to fully evaluate whether certain impacts may pose an adverse impact on adjacent residential uses and the surrounding areas. Therefore, a determination cannot be made that this project will not have an adverse impact on the adjacent residential uses.

During the review process, the Planning Division requested additional information regarding noise generated as a result of the project in particular from the required proposed generator. The applicant has not provided the required information to adequately evaluate the potential noise impacts from this project element on the surrounding residential areas. Therefore, it is not possible to evaluate the project with regard to the Municipal Code Noise Regulations, Chapter 11.80, and noise policies of the General Plan.

The proposed 12-bed congregate living health facility is not consistent with the Municipal Code in that it is not consistent with General Plan Policies 2.2.17 and 2.3 as described in detail under the facts identified above.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

**FACT:** The 4,493 square foot 12-bed congregate living health facility as proposed is not a common or permitted use in the Residential 2 (R2) zoned areas.

The project creates a potential for increased traffic in the project area that could be three times higher than typical residential use of the property. The increase of traffic on the routinely suburban local street could present safety concerns for pedestrian and bicyclists. Based on the materials provided with the project application, it is not possible to fully evaluate whether noise from the project will be consistent with the Municipal Code Noise Regulations, Chapter 11.80, or noise policies of the General Plan.

The project will involve the disposal of medical waste which will be required to meet the State federal standards pertaining to the handling of medical waste.

4. **Location, Design and Operation** – The location, design and operation of the proposed project will not be compatible with existing and planned land uses in the vicinity.

**FACT:** The 4,493 square foot 12-bed congregate living health facility as proposed is not a common use in the Residential 2 (R2) zoned areas. The addition of 10 exterior doors to the existing residence is not compatible with the other existing single family homes in the neighborhood. Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the

proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation.

## **C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

### **1. FEES**

Impact, mitigation and other fees are due and payable under applicable ordinances and resolutions. These fees may include but are not limited to: Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat Conservation Plan (MSHCP) Mitigation Fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

### **2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

The adopted Conditions of Approval for PA15-0019, incorporated herein by reference, include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

### **3. CITY RIGHT TO MODIFY/ADJUST; PROTEST LIMITATIONS**

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Government Code Section 66020(a) and failure to follow this procedure in a timely fashion will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the Statute of Limitations has previously expired.

**BE IT FURTHER RESOLVED** that the Planning Commission **HEREBY APPROVES** Resolution No. 2016-06 and thereby:

- 1. **DENIES** Conditional Use Permit PA15-0019 based on the findings contained in the resolution.

**APPROVED** on this 24<sup>th</sup> day of March, 2016.

---

Brian R. Lowell  
Chair, Planning Commission

ATTEST:

---

Richard J. Sandzimier, Planning Official

APPROVED AS TO FORM:

---

City Attorney

Attached: Conditions of Approval

Attachment: Resolution 2016-06 (1955 : PA15-0019 Conditional Use Permit)

**CITY OF MORENO VALLEY  
CONDITIONS OF APPROVAL  
CONDITIONAL USE PERMIT PA15-0019  
Twelve Bed Congregate Living Health Facility  
11745 Steeplechase Drive  
APN: 474-361-030**

**APPROVAL DATE:**  
**EXPIRATION DATE:**



- X **Planning (P), including Building (B)**
- X **Fire Prevention Bureau (F)**
- X **Public Works, Land Development (LD)**
- X **Public Works, Special Districts (SD)**
- X **Public Works, Transportation Engineering (TE)**
- X **Police (PD)**

**Note: All Special conditions are in bold lettering.** All other conditions are standard to all or most development projects.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

**For questions regarding any Planning condition of approval, please contact the Planning Division at (951) 413-3206.**

**GENERAL CONDITIONS**

- P1. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)

**Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):**

R - Map Recordation	GP - Grading Permits
GPA - Grading Plan Approval	BF - Building Final
BP - Building Permits	P - Any permit
MR - Map Recordation	MA - Map Approval
AOS - Acceptance of Streets	WP - Water Improvement Plans
CP - Construction Permit	IPA - Improvement Plan Approval
SI - Street Improvements	

**Governing Document (see abbreviation at the end of the affected condition):**

GP - General Plan	MC - Municipal Code
MC - Municipal Code	CEQA - California Environmental Quality Act
Ord - Ordinance	Ldscp - Landscape Development Guidelines and Specs
Res - Resolution	UFC - Uniform Fire Code
UBC - Uniform Building Code	
SBM - Subdivision Map Act	

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
Case No. PA15-0019  
PAGE 2**

- P2. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
- P3. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
- P4. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
- P5. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
- P6. (GP) All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

**Special Conditions**

- P7. The site has been approved for a Twelve Bed Congregate Living Health Facility. A change or modification shall require separate approval. For a Conditional Use Permit, violation may result in revocation in the case of a Conditional Use Permit.
- P8. At such time as the facility ceases to operate, the applicant/owner may process and obtain alternative land use approvals (entitlements) from the City of Moreno Valley. In the event such approvals are not desired or not obtained, the facility shall be removed within 12 months from the time it ceases to operate, and returned to its original use of a single home of 4 bedrooms with 4.5 baths. The added exterior doors will be required to be removed and returned to the previous condition of a single family home, or the Conditional Use Permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
- P9. Prior to issuance of any permit, the applicant will provide additional details (eg.cut-sheets) to the Planning Division regarding the placement and operation of the generator. The information will be sufficient for staff to evaluate the adequacy of screening from adjoining residences.



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- P10. The generator will be required to be screened from view consistent with the City's Municipal Code.
- P11. The applicant will work in good faith with local emergency responders to ensure that when an emergency vehicle is dispatched to the site, emergency sirens will not be used northerly of the intersection of Steeplechase Drive and Ironwood Avenue unless required for public safety.
- P12. The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may serve as a basis for consideration of revocation of the Conditional Use Permit.
- P13. (Mitigation Measure A-2) Prior to the issuance of any permit, Planning Division will review the exterior doors to bedrooms to ensure the quality and appearance of a single-family residence. The exterior doors being added to the exterior elevations must be residential in character and match the architecture of the existing single family home and neighborhood. The applicant will submit cut-sheets of proposed doors to the Planning Division for review and approval.
- P14. (Mitigation Measure N-1) A noise analysis will be required with regard to any operational sources of noise that result in an increase over that noise levels that would otherwise be expected from the operation of a residences. These sources of noise include, but are not limited to, increased traffic as identified in the traffic analysis, and the proposed generator at the site.
- P15. (Mitigation Measure N-2) The project must comply with Municipal Code Section 9.03.040.E.7, which states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line.
- P16. (Mitigation Measure T-1) The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may

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serve as a basis for consideration of revocation of the Conditional Use Permit.

**Prior to Issuance of Grading Permits**

- P17. (GP) If potential historic, archaeological, or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area will cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be implemented as deemed appropriate by the Community Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be contacted within a reasonable timeframe to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).

- P18. (GP) Prior to issuance of any grading permits, mitigation measures contained in the Mitigation Monitoring Program approved with this project shall be implemented as provided therein. A mitigation monitoring fee, as provided by City ordinance, shall be paid by the applicant within 30 days of project approval. No City permit or approval shall be issued until such fee is paid. (CEQA)

**PRIOR TO BUILDING PERMITS**

- P19. (Mitigation Measure A-1) Prior to issuance of a building permit, the Planning Division will review all building materials, architectural details, and a color palette for the remodeling of the house to ensure compatibility with surrounding residences.
- P20. (BP) Prior to issuance of building permits, the Planning Division shall review and approve the location and method of enclosure or screening of transformer cabinets, commercial gas meters and back flow preventers as shown on the final working drawings. Location and screening shall comply with the following criteria: transformer cabinets and commercial gas meters shall not be located within

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required setbacks and shall be screened from public view either by architectural treatment or landscaping; multiple electrical meters shall be fully enclosed and incorporated into the overall architectural design of the building(s); back-flow preventers shall be screened by landscaping. (GP Objective 43.30, DG)

- P21. (BP) Prior to issuance of building permits, the developer or developer's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), Multi-species Habitat Conservation Plan (MSHCP) mitigation fees, and the City's adopted Development Impact Fees. (Ord)
- P22. (BP) Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Standards and shall include:
- A. Drought tolerant landscape shall be used. Sod shall be limited to gathering areas.
  - B. The review of all utility boxes, transformers etc. shall be coordinated to provide adequate screening from public view.

**PRIOR TO BUILDING FINAL**

- P23. (BF) Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation shall be installed. (DC 9.03.040)
- P24. (BF) Prior to issuance of Certificate of Occupancy or building final, installed landscaping and irrigation shall be inspected by the Planning Division. All on-site and common area landscaping shall be installed in accordance with the City's Landscape Standards and the approved project landscape plans and all site clean-up shall be completed.
- P25. (BF) Prior to the issuance of building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department – Planning Division on a CD disk.

**Building and Safety Division**

The following comments have been generated based on the information provided with your application. Please note that future revisions or changes in scope to the project may require additional items. Fee estimates for plan review and permits can be obtained by contacting the Building Safety Division at 951.413.3350.

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1. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2013 CBC.
2. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements of the 2013 California Plumbing Code Table 4-1.
3. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
4. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
5. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
6. Any construction within the city shall only be as follows: Monday through Friday (except for holidays which occur on weekdays), six a.m. to eight p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), seven a.m. to eight p.m., unless written approval is first obtained from the Building Official or City Engineer.
7. Contact the Building Safety Division for permit application submittal requirements.

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**ECONOMIC DEVELOPMENT DEPARTMENT (EDD)**

EDD1. New Moreno Valley businesses are encouraged to hire local residents.

EDD2. New Moreno Valley businesses may utilize the workforce recruitment services provided by the Moreno Valley Employment Resource Center (“ERC”).

The ERC offers no cost assistance to businesses recruiting and training potential employees. Complimentary services include:

- Job Announcements
- Applicant testing / pre-screening
- Interviewing
- Job Fair support
- Training space

EDD3. New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.

EDD4. New Moreno Valley businesses are encouraged to provide a job fair flyer and/or web announcement to the City in advance of job recruitments, so that the City can assist in publicizing these events.

EDD5. New Moreno Valley businesses may adopt a “First Source” approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of the public recruitment.

**POLICE DEPARTMENT**

**Standard Conditions**

PD1. Prior to the start of any construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet high with locking, gated access and shall remain through the duration of construction. Security fencing is required if there is: construction, unsecured structures, unenclosed storage of materials and/or equipment, and/or the condition of the site constitutes a public hazard as determined by the Public Works Department. If security fencing is required, it shall remain in place until the project is completed or the above conditions no longer exist. (DC 9.08.080)

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PD2. (GP) Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the following:

- a. The name (if applicable) and address of the development.
- b. The developer's name, address, and a 24-hour emergency telephone number. (DC 9.08.080)

PD3. (CO) Prior to the issuance of a Certificate of Occupancy, an Emergency Contact information Form for the project shall be completed at the permit counter of the Community and Economic Development Department - Building Division for routing to the Police Department. (DC 9.08.080)

PD4. Addresses needs to be in plain view visible from the street and visible at night. It needs to have a backlight, so the address will reflect at night or a lighted address will be sufficient.

**FIRE PREVENTION BUREAU**

1. The corridor serving the bedrooms, bathrooms, physical therapy room, and nurses station appears to be a corridor that serves an occupant load of more than 10. Corridors that serve an occupant load of more than 10 shall have a minimum width of 60 inches. Specify on the plans that this corridor will have a minimum width of 60 inches or modify the design. (California Building Code 425.8.4.2)

With respect to the conditions of approval, the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinances and/or recognized fire protection standards:

- F1. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
- F2. The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B and Table B105.1. The applicant/developer shall provide documentation to show there exists a water system capable of delivering 1500 g.p.m. for 2 hour(s) duration at

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- 20-PSI residual operating pressure. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. (CFC 507.3, Appendix B)
- F3. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the C.F.C., MVMC, and NFPA 24. Fire hydrants shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are (6" x 4" x 2 ½") (CFC 507.5.1, 507.5.7, Appendix C, NFPA 24-7.2.3, MVMC 912.2.1)
- F4. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. (CFC 509.1 and MVLT 440A-0 through MVLT 440C-0)
- F5. Prior to issuance of Certificate of Occupancy or Building Final, street address numbers shall be displayed in a prominent location on the street side. The numerals shall be a minimum of six inches in height. (CFC 505.1, MVMC 8.36.060[I])
- F6. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system designed to NFPA 13R or NFPA 13 standard. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
- F7. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire alarm system monitored by an approved Underwriters Laboratory listed central station based on a requirement for monitoring the sprinkler system, occupancy or use. Fire alarm panel shall be accessible from exterior of building in an approved location. Plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9 and MVMC 8.36.100)
- F8. Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Fire Prevention Bureau for review. Plans shall:
- a. Be signed by a registered civil engineer or a certified fire protection engineer;
  - b. Contain a Fire Prevention Bureau approval signature block; and
  - c. Conform to hydrant type, location, spacing of new and existing hydrants and

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minimum fire flow required as determined by the Fire Prevention Bureau.

The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.

- F9. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)
- a. After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.
- F10. Portable fire extinguishers with a minimum 2A:10BC rating shall be provided throughout the facility. Fire extinguishers shall be serviced within one year and have an approved service tag affixed.
- F11. A Knox box shall be mounted on the structure adjacent to the front door at a height of 6 feet. The keys to gain access into the building shall be provided to the Fire Department and maintained inside of the Knox box. (CFC, 506)
- F12. The storage of flammable and combustible liquids in excess of 10 gallons used for maintenance purposes and the operation of equipment shall be stored in approved liquid storage cabinets. Quantities not exceeding 10 gallons are allowed to be stored outside of a cabinet when in approved containers located in private garages or other approved locations. (C.F.C. 5704.3.4.4)
- F13. A permit shall be obtained from the Fire Prevention Bureau to handle propane.

**PUBLIC WORKS DEPARTMENT**

**Special Districts Division**

Conditions are standard to all or most development projects. Some special conditions, modified conditions or clarification of conditions may be included. Please review conditions as listed and contact the Division at 951.413.3480 for any questions.



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**Acknowledgement of Conditions**

The following items are the Special Districts Division's Conditions of Approval for project PA15-0019; this project shall be completed at no cost to any Government Agency. All questions regarding the following Conditions including but not limited to intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480 or by emailing [specialdistricts@moval.org](mailto:specialdistricts@moval.org).

**General Conditions**

- SD-1 The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks & Community Services), Zone C (Arterial Street Lighting), and Lighting Maintenance District (LMD) 2014-01. All assessable parcels therein shall be subject to annual parcel taxes for Zone A and Zone C and an annual assessment for LMD 2014-01 for operations and capital improvements.
- SD-2 The ongoing maintenance of any landscaping required to be installed behind the curb on Steeple Chase Drive shall be the responsibility of the property owner.

**Prior to Building Permit Issuance**

- SD-3 (BP) This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for Public Safety services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the property owner shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district. The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) when submitting the application for building permit issuance to determine the requirement for participation. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the condition applies, the special election will require a minimum of 90 days to process prior to issuance of the first building permit to allow adequate time to be in compliance with the provisions of Article 13C of the California Constitution. (California Government Code Section 53313 et. seq.)

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- SD-4 (BP) This project is conditioned for a proposed district to provide a funding source for the operation and maintenance of public improvements and/or services associated with new development in that territory. The Developer shall satisfy this condition with one of the options outlined below.
- a. Participate in a special election for maintenance/services and pay all associated costs of the election process and formation, if any. Financing may be structured through a Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
  - b. Establish an endowment fund to cover the future maintenance and/or service costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the district has been or is in the process of being formed the Developer must inform the Special Districts Division of its selected financing option (a. or b. above). The option for participating in a special election requires 90 days to complete the special election process to allow adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the certificate of occupancy.

**LAND DEVELOPMENT DIVISION**

**CONDITIONS OF APPROVAL**

The following are the Public Works Department – Land Development Division Conditions of Approval for this project and shall be completed at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Land Development Division.

**General Conditions**

- LD1. (G) The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410

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through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]

- LD2. (G) The site plan shall correctly show all existing easements, travelled ways, street improvements, topography, elevations, drainage courses, etc. and that their omission may require the map or plans associated with this application to be resubmitted for further consideration. [MC 9.14.040(A)]
- LD3. (G) The developer shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- a. Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
  - b. Observance of working hours as stipulated on permits issued by the Land Development Division.
  - c. The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
  - d. All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.

Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

- LD4. (G) The final approved conditions of approval (COAs) issued by the Planning Division shall be photographically or electronically placed on Mylar sheets and included in the site plan.

**Prior to Grading (Site) Plan Approval**

- LD5. (GPA) Grading plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
- LD6. (GPA) The developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:
- a. The project lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area

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and outlet points. Unless otherwise approved by the City Engineer, lot lines shall be located at the top of slopes.

- b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control, sight distance control, and slope easements as approved by the City Engineer.
- c. All improvement plans are substantially complete and appropriate clearance letters are provided to the City.

LD7. (GPA) The developer shall pay all remaining plan check fees.

LD8. (GPA) Resolution of all drainage issues shall be as approved by the City Engineer.

**Prior to Grading Permit**

LD9. (BP) The precise grading (site) plans shall be approved.

LD10. (GP) A receipt showing payment of the Area Drainage Plan (ADP) fee to Riverside County Flood Control and Water Conservation District shall be submitted. [MC 9.14.100(O)]

LD11. (GP) Security, in the form of a cash deposit (preferable), or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project. [MC 8.21.070]

LD12. (GP) Security, in the form of a cash deposit (preferable), or letter of credit shall be submitted as a guarantee of the implementation and maintenance of erosion control measures. At least twenty-five (25) percent of the required security shall be in the form of a cash deposit with the City. [MC 8.21.160(H)]

LD13. (GP) The developer shall pay all applicable inspection fees.

LD14. (GPA) Resolution of all drainage issues shall be as approved by the City Engineer.

**Prior to Encroachment Permit**

LD15. (EP) All work performed within public right of way requires an encroachment permit. Security (in the form of a cash deposit or other approved means) may be required as determined by the City Engineer. For non-subdivision projects, the City Engineer may require the execution of a Public Improvement Agreement (PIA) as a condition of the issuance of a construction or encroachment permit. All inspection fees shall be paid prior to issuance of construction permit. [MC 9.14.100(C.4)]

LD16. (EP) All applicable inspection fees shall be paid.

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**Prior to Building Permit**

LD17. (BP) An engineered-fill certification, grade certification, and compaction report shall be submitted for review and approved by the City Engineer. A digital (pdf) copy of the approved compaction report shall be submitted to the Land Development Division.

**Prior to Occupancy**

LD18. (CO) The engineered precise grade certification shall be submitted for review and approved by the City Engineer.

LD19. (CO) Prior to issuance of certificate of occupancy, all public improvements along project frontage shall be completed and accepted by the City Engineer.

LD20. (CO) All outstanding fees shall be paid.

LD21. (CO) *The following is applicable should the structural value of the dwelling be increased due to an addition or other viable reason.* For non-subdivision projects, in compliance with Proposition 218, the developer shall agree to approve the City of Moreno Valley NPDES Regulatory Rate Schedule that is in place at the time of certificate of occupancy issuance. Under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (NPDES) as mandated by the Federal Clean Water Act, this project is subject to the following requirements:

- a. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.
  - i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process; or
  - ii. Establish an endowment to cover future City costs as specified in the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule.
- b. Notify the Special Districts Division of the intent to request building permits 90 days prior to their issuance and the financial option selected. The financial option selected shall be in place prior to the issuance of certificate of occupancy. [California Government Code & Municipal Code]

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- LD22. (CO) The developer shall complete all public improvements in conformance with current City standards, except as noted in the Special Conditions, including but not limited to the following:
- a. Street improvements including, but not limited to: Driveway approaches (MVSI-112A-0), landscaping, and irrigation, as appropriate.
- LD23. (CO) The Developer shall make an effort to treat storm water runoff.
- LD24. (CO) All required as-built plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.

**SPECIAL CONDITIONS**

- LD25. No structures shall be placed over existing utilities or within easements. Utilities must first be located and existing easements quitclaimed by the easement holder.
- LD26. Prior to site plan approval, an updated title report for the project property shall be submitted.
- LD27. Prior to site plan approval, the plans shall clearly show the extents of all existing easements on the property. All building structures shall be constructed outside of existing easements.
- LD28. Prior to site plan approval, the developer shall secure any off-site drainage easements from the off-site property owner(s) to ensure the proper drainage for this project.
- LD29. Prior to site plan approval, the plans shall show that the pad is well drained and that all requirements are adhered to per City Standard MVSI-160B-0.
- LD30. Prior to site plan approval, the plans shall clearly show that the parking lot conforms to City standards. The parking lot shall be 5% maximum, 1% minimum, 2% maximum at or near any disabled parking stall and travel way. Ramps, curb openings and travel paths shall all conform to current ADA standards as outlined in Department of Justice's "ADA Standards for Accessible Design", Excerpt from 28 CFR Part 36. ([www.usdoj.gov](http://www.usdoj.gov)) and as approved by the City's Building and Safety Division.

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**Transportation Engineering Division**

**Conditions of Approval**

Based on the information contained in our standard review process we recommend the following conditions of approval be placed on this project:

**GENERAL CONDITIONS**

- TE1. All driveways shall conform to Section 9.11.080, and Table 9.11.080-14 of the City's Development Code – Design Guidelines and City of Moreno Valley Standard Plans No. MVSI-112A~D-0 for commercial driveway approach or as approved by the City Engineer.
- TE2. Applicant shall demonstrate adequate on-site vehicle circulation, using Caltrans Design Manual turn templates, to the satisfaction of the City Traffic Engineer.
- TE3. Sight distance at the project driveways shall conform to City of Moreno Valley Standard No. MVSI-164A-0, MVSI-164B-0, and MVSI-164C-0 at the time of preparation of final grading, landscape, and street improvement plans.
- TE4. All on-site signing and striping shall be installed per the current California Manual on Uniform Traffic Control Devices (CA MUTCD) standards.
- TE5. Conditions of approval may be modified or added if a phasing plan is submitted for this development.

**PRIOR TO IMPROVEMENT PLAN APPROVAL OR CONSTRUCTION PERMIT**

- TE6. Prior to issuance of a construction permit, construction traffic control plans prepared by a qualified, registered Civil or Traffic engineer may be required for plan approval or as required by the City Traffic Engineer.

**PRIOR TO CERTIFICATE OF OCCUPANCY OR BUILDING FINAL**

- TE7. (CO) Prior to issuance of a Certificate of Occupancy, all approved street/driveway improvements shall be installed to the satisfaction of the City Engineer.
- TE8. (CO) Prior to issuance of a Certificate of Occupancy, all approved signing and striping shall be installed per current City Standards.

August 26, 2015

From: Antoine & Laure Wehbe (951-242-0666)

Address: 11725 Steeplechase Drive

Moreno Valley, CA 92555

To: Mr. Gabriel Diaz

Permit #: PA15-0019 for the property located at 11745 Steeplechase Dr., Moreno Valley, CA 92555

Subject: Attempting to Stop the Approval of this Permit

Dear Mr. Diaz,

This is concerning the permit in progress of the subject property. We, the undersigned are all against this project for the following reasons:

- 1- Having a house in an upscale community in Moreno Valley converted to a semi hospital with proposed 18 beds is not acceptable because it will cause lots of traffic for this street due to family visitors, vendors of all types, toiletries, diapers, food, medical equipment and medications, nurses and doctors, and mortuaries cars, etc...
- 2- Having 18 terminally ill people in this property according to Mr. Ramon Baguio who is responsible to complete this project, will create a lots of discomforts for the whole neighborhood due to all emergency vehicles visiting this house which include their sirens from ambulances to fire engines at any time.
- 3- Statistics show that such a care facility placed in a residential area will definitely drop the prices of all the immediate houses that are in the vicinity.
- 4- Requirements to reconstruct the front of the house to handle more car parking lots will change the look of this property from residential to commercial.
- 5- Adding 4 more bedrooms and having more exists and entries to the property will also change the look of the property from residential to commercial.
- 6- Proving a permit for this care facility will open the door for other homeowners in this quiet neighborhood to start converting their residential properties to commercial.

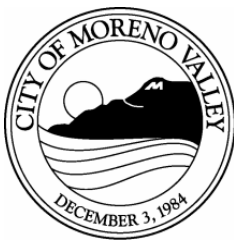
We ask that you won't allow this permit to proceed and take our concerns into considerations. We thank you so much for your time and efforts and look forward to hearing from you.

Respects,

<i>Antoine Wehbe</i> <i>Laure Wehbe</i>	<b>CARLOS ULLOA</b> <i>Carlos S. Ulloa</i> 11700 Steeplechase Dr.	<b>RAY CAMPBELL</b> <i>Ray Campbell</i> 11720 Steeplechase	<i>Hector A. Yund</i> 11740 Steeplechase
	<i>Glenn Paulick</i> 11760 STEEPLCHASE DR.		

Attachment: Mr Wehbe Letter (1955 : PA15-0019 Conditional Use Permit)





**INITIAL STUDY/  
ENVIRONMENTAL CHECKLIST FORM  
CITY OF MORENO VALLEY**

1. Project Title: Congregate Living Health Facility (12 Bed)  
Conditional Use Permit – PA15-0019
2. Lead Agency Name and Address: City of Moreno Valley  
14177 Frederick Street  
Moreno Valley, CA 92553
3. Contact Person and Phone Number: Gabriel Diaz  
(951) 413-3226
4. Project Location: 11745 Steeplechase Drive
5. Project Sponsor's Name and Address: Rudy Dekermenjian  
8788 Shoreham Drive, #20  
West Hollywood, CA 90069
6. General Plan Designation: Residential 2 (R2)
7. Zoning: Residential 2 (R2)
8. Description of the Project:

The project will convert a 4,493 square foot single family residence into a 12-bed Congregate Living Health Facility. No additional square footage is being proposed. However significant interior modifications, additional exterior doors, parking modifications, and an exterior emergency generator are proposed. The residence is located on 0.53 acres within the Residential 2 (R2) zone. The floor plan of the residence currently includes 4 bedrooms and 4.5 bathrooms. The new floor plan includes 10 bedrooms, common area, foyer, kitchen, pantry, laundry room, nurses station, physical therapy room, two ADA bathrooms, and one additional restroom. Ten new exterior doors will be added to the existing home; each bedroom will have an exterior door. The project proposes a total of seven parking spaces for the proposed use. Three parking spaces will be located in the existing garage. In addition, the driveway area will be reconfigured to accommodate four designated parking spaces. The project requires approval of a Conditional Use Permit.

9. Surrounding Land Uses and Setting:

The area surrounding the proposed project includes existing single family homes in the R2 zone to the north, east, south and west. The surrounding established neighborhood is generally improved with residences on lots of more than one-half acre.

Overall, the proposed Conditional Use Permit is not compatible with the City's General Plan and existing land uses.

10. Other public agencies whose approval is required.

Not applicable

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below( ■ ) would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

	Aesthetics		Greenhouse Gas Emissions		Population/Housing
	Agricultural Resources		Hazards & Hazardous Materials		Public Services
	Air Quality		Hydrology/Water Quality		Recreation
	Biological Resources		Land Use/Planning		Transportation/Traffic
	Cultural Resources		Mineral Resources		Utilities/Service Systems
	Geology/Soils		Noise		Mandatory Findings of Significance

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.	
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.	X
I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.	
I find that the proposed project MAY have a “potential significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.	
I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.	

\_\_\_\_\_  
Signature

March 24, 2016  
Date

Gabriel Diaz  
Printed Name

Planning Commission  
For

Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

## EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Potentially Significant Unless Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analysis,” as described in (5) below, may be cross-referenced).
- 5) Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c) (3) (d). In this case, a brief discussion should identify the following:
  - (a) Earlier Analysis Used. Identify and state where they are available for review.
  - (b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - (c) Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The analysis of each issue should identify: (a) the significance criteria or threshold used to evaluate each question; and (b) the mitigation measure identified, if any, to reduce the impact to less than significance.

<b>Issues and Supporting Information</b>	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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**I. AESTHETICS.** Would the project:

a) Have a substantial adverse effect on a scenic vista?				X
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The Moreno Valley General Plan identifies scenic highways, panoramic viewsheds, and photographic viewing locations within the aesthetic resource element. The General Plan identifies no scenic roadways or panoramic viewsheds in the project vicinity. The project site is comprised of an existing single family home (one-story) with no additional square footage proposed. The site has been disturbed previously under permit. The project proposes to develop new parking spaces within the exiting disturbed driveway portion of the site. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. As designed and conditioned, the proposed project will have no effect on a scenic vista.

b) Substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway?				X
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The project site is comprised of an existing single family home (one-story) with no additional square footage proposed. The project proposes to develop new parking spaces within the existing disturbed driveway portion of the site. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Based upon site visits by staff and review of the General Plan, there are no scenic resources located on the subject site. The site is improved with an existing single family home and is fully developed. There are no rock outcroppings, trees or historic buildings on the site that will be affected. There are no scenic highways in the area. The site has been previously disturbed under authorized permit. As designed and conditioned, the proposed project will not substantially damage scenic resources.

c) Substantially degrade the existing visual character or quality of the site and its surroundings?		X		
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The project will convert a 4,493 square foot single family residence into a 12-bed Congregate Living Health Facility. No additional square footage is being proposed. However significant interior modifications, additional exterior doors, parking modifications, and an exterior emergency generator are proposed. The residence is located on 0.53 acres within the Residential 2 (R2) zone. The floor plan of the residence currently includes 4 bedrooms and 4.5 bathrooms. The new floor plan includes 10 bedrooms, common area, foyer, kitchen, pantry, laundry room, nurses station, physical therapy room, two ADA bathrooms, and one additional restroom. Ten new exterior doors will be added to the existing home, each bedroom will have an exterior door. Each exterior door will require an exterior light. The project proposes a total of seven parking spaces for the proposed use. Three parking spaces will be located in the exiting garage. In addition, the driveway area will be reconfigured to accommodate four designated parking spaces. The Design Guidelines and the Municipal Code provide a framework that ensures that any new development or use would be designed and constructed in a manner consistent with surrounding land uses. The addition of 10 new exterior doors and exterior lights on the residence would have the potential to degrade the visual character of the surrounding area since surrounding houses would have fewer doors and lights. The addition of the four designated parking spaces that are not within the enclosed garage also will affect the visual quality of the site. As designed with mitigation and conditioned, the proposed project would have a less than significant impact. The following mitigation measures apply to the project:

Mitigation Measure (MM) A-1: Prior to issuance of a building permit, the Planning Division will review all building materials, architectural details, and a color palette for the remodeling of the house to ensure compatibility with surrounding residences.

MMA-2: Prior to issuance of any permit, building permit, Planning Division will review the proposed new exterior doors to bedrooms to ensure the quality and appearance of a single-family residence (eg. wood door with raised panels). Metal doors will not be regarded as residential in character.

d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			X	
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The project is proposing additional new light sources with the proposed Congregate Living Health Facility. Each exterior door proposed will have an exterior light. The project has been conditioned for compliance with the City's light standards as referenced in Municipal Code Section 9.08.100 including the shielding of lighting and restrictions on the intensity of exterior lighting which will reduce light and glare impacts to City accepted levels on surrounding properties. Therefore, potential impacts resulting from a new source of substantial light or glare which would adversely affect day or nighttime views in the area are less than significant and no mitigation would be required.

**II. AGRICULTURE RESOURCES:** In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project?

a) Convert Prime Farmland, Unique Farmland or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-				X
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Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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agricultural use?				
<p>The Municipal Code allows for agricultural uses such as crops in all zoning districts. The project site is developed with an existing 4,493 square foot single family home. The site is designated as ‘Urban and Built-Up Land’, on the State of California Department of Conservation Important Farmland Finder website. The site is surrounded on all sides by existing residential development classified as ‘Urban and Built-Up Land’ on the State of California Department of Conservation Important Farmland Finder website. There are currently no agriculturally productive activities occurring within the project boundaries. There will be no impact to farmlands as this development of this project will not result in the conversion of Prime Farmland, Unique Farmland or Farmland of Statewide Importance.</p>				
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X
<p>The site is not currently in agricultural use, or under Williamson Act control. There is no existing surrounding agricultural use, or sites under Williamson Act contract. The Municipal Code allows for agricultural uses such as crops in all zoning districts, therefore, the proposed project does not conflict with existing zoning for agricultural use, or impact sites under Williamson Act contract.</p>				
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?				X
<p>There is no immediate surrounding or proposed agricultural use based on the General Plan. The proposed project will not involve changes to the existing environment, which will result in the conversion of farmland to non-agricultural use.</p>				
<p>III. <b>AIR QUALITY:</b> Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:</p>				
a) Conflict with or obstruct implementation of the applicable air quality plan?			X	
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation.			X	
<p>(a and b) The Air Quality Management Plan (AQMP) adopted by the South Coast Air Quality Management District in 2012 sets forth a comprehensive program that will lead the air basin into compliance with all federal and state air quality standards. The proposed project is located within the boundaries of the AQMP. The AQMP control measures and related emission reduction estimates are based upon emissions projections for a future development scenario derived from General Plan land use, population, and employment characteristics defined in consultation with local governments. Moreno Valley’s General Plan Land Use Element was considered in the preparation of the 2012 AQMP. Accordingly, conformance with the AQMP for development projects is determined by demonstrating compliance with local land use plans and/or population projections.</p>				
<p>Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation. However, the number of vehicle trips generated from the proposed project was determined to have a less than significant impact to the circulation system, including, but not limited to, the level of service level standards of intersections, streets, highways and freeways. The proposed project would not obstruct implementation of the AQMP or violate any air quality standard or contribute substantially to an existing or projected air quality violation.</p>				
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	

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Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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CEQA Section 21100 (e) addresses evaluation of cumulative effects allowing the use of approved land use documents in a cumulative impact analysis. CEQA Guidelines Section 15064 (i)(3) further stipulates that for an impact involving a resource that is addressed by an approved plan or mitigation program, the lead agency may determine that a project's incremental contribution is not cumulatively considerable if the project complies with the adopted plan or program. In addressing cumulative effects for air quality, the AQMP is the most appropriate document to use because the AQMP sets forth a comprehensive program that will lead the air basin, including the project area, into compliance with all federal and state air quality standards and utilizes control measures and related emission reduction estimates based upon emissions projections for a future development scenario derived from land use, population, and employment characteristics defined in consultation with local governments. Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation. However, the number of vehicle trips generated from the proposed project was determined to have a less than significant impact to the circulation system, including, but not limited to, the level of service level standards of intersections, streets, highways and freeways. The Air Quality Management Plan (AQMP) sets forth a comprehensive program that will lead the air basin into compliance with all federal and state air quality standards. The AQMP control measures and related emission reduction estimates are based upon emissions projections for a future development scenario derived from General Plan land use, population, and employment characteristics defined in consultation with local governments. Accordingly, conformance with the AQMP for development projects is determined by demonstrating compliance with local land use plans and/or population projections. Therefore, it is appropriate to conclude that the project's incremental contribution to criteria pollutant emissions is not cumulatively considerable.

d) Expose sensitive receptors to substantial pollutant concentrations?			X	
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The project site is comprised of an existing single family home (one-story) with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The nearest sensitive receptors include Palm Middle School located to the southwest approximately 850 feet. The existing single-family homes are located adjacent to the proposed project to the north, south, east, and west. Considering the direction of the prevailing winds from northwest to southeast, dispersion of potential pollutants, and the quantity of potential pollutants generated, the project will not expose sensitive receptors to substantial pollutant concentrations.

e) Create objectionable odors affecting a substantial number of people?			X	
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The preliminary plot plan identifies that the site will require grading and demoing of the existing driveway are to add the required parking. Additionally, this project will also require the demoing and remodeling of the existing single family home. The proposed project presents the potential for generation of objectionable odors in the form of the normal construction activity. However, these emissions would rapidly dissipate and be diluted by the atmosphere downwind of the emission sources. Recognizing the direction of the prevailing winds (northwest to southeast), dispersion and quantity of the potential pollutants, the project will not subject a substantial number of people to objectionable odors. Air quality pollutants associated with a congregate living health facility use are primarily generated from mobile sources such as cars. No other uses are proposed that would generate substantial concentrations of harmful air pollutants, as well as objectionable odors not typical of a residential area. Less than significant impacts would occur.

**IV. BIOLOGICAL RESOURCES.** Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service?				X
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b) Have a substantially adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U. S. Wildlife Service?				X
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(a and b) The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Based upon information from the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Full Report as provided by the Riverside County Transportation and Land Management Agency, there are no identified candidate, sensitive or special status species associated with the project site. Based on the results of the City's site inspection, the developed project site and the urban nature of surrounding development, preparation of a burrowing owl assessment was not required for the project site. Therefore, the project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service. The project will not have a substantially adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U. S. Wildlife Service.

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or				X
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Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
other means?				
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Following a site inspection by staff in July 2015, no riparian habitat or other sensitive natural habitat was noted on the project site. Therefore, no impacts would occur to federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.). through direct removal, filling, hydrological interruption, or other means, and no mitigation measures would be required.				
d) Interfere substantially with the movement of any resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. There are no significant existing trees or vegetation on the project site. Following a site inspection by staff in July 2015, no evidence of resident or migratory fish or wildlife species was noted on the project site. Therefore, the project will not interfere substantially with the movement of any resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.				
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. There are no existing significant trees or vegetation on the project site that will be removed. Therefore related to any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, no impacts would occur and no mitigation measures would be required.				
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state habitat conservation plan?				X
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The project site is not located within one of the Multiple Species Habitat Conservation Plan (MSHCP) criteria areas, which are potential habitat preservation areas. The proposed project will not conflict with the Stephen's Kangaroo Rat Habitat Conservation Plan (SKR HCP) or MSHCP or any other known local, regional or state habitat conservation plans. Also, the City participates in the MSHCP, a comprehensive habitat conservation-planning program addressing multiple species' needs, including preservation of habitat and native vegetation in Western Riverside County.				
<b>V. CULTURAL RESOURCES.</b> Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?				X
b) Cause a substantial adverse change in the significance of an archaeological resources pursuant to Section 15064.5?				X
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Based upon inspections of the project site in July 2015 and review of a 1987 citywide survey (Archeological Research Unit, University of California, Riverside), there are no known archaeological resources on the project site. There are no historical structures existing on the project site (General Plan, Figure 5.10-1, Historic Resources Inventory). There are no known historical paleontological or unique geologic features on the project site (General Plan, Figures 5.10-2, Prehistoric Sites). Additionally, the City's Final Program EIR (June 2006), Figure 5.10-3 list the project site as low potential for paleontological sensitive area based on extensive field work (Page 5.10-10). Therefore, development of the project will not result in substantial adverse change in the significance of a historical or archaeological resource or result directly or indirectly in the destruction of a unique paleontological resource or site or unique geologic feature.				
d) Disturb any human remains, including those interred outside of formal cemeteries?			X	
No known human remains have been identified at the project site. Conditions of approval address the issue of inadvertent discoveries. A standard condition of approval will be placed on the project to cease excavation or construction activities if archaeological, paleontological, or historical resources uncovered on the project site.				



<b>Issues and Supporting Information</b>	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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<b>VI. GEOLOGY AND SOILS.</b> Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury or death involving:				
(i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.				X
According to the City's General Plan, the project site is not on, or close to, any known earthquake fault. There is no new information that would indicate the existence of a fault or fault tract in proximity of the site. Accordingly, there is no risk of ground rupture due to faulting at the proposed project site.				
(ii) Strong seismic ground shaking?			X	
According to the City's General Plan, the project site is not on, or close to, any known earthquake fault. The nearest fault is the San Jacinto fault system, which is located about 2-miles to the northeast. The San Andreas fault system is roughly more than 13 miles from the site. The active Sierra Madre and San Gabriel fault zones lie roughly 35 and 40 miles respectively to the northwest of the site. The active Elsinore and Newport-Inglewood fault zones lie approximately 22 and 45 miles, respectively, to the southwest of the site. This faulting is not considered a significant constraint to development on the site with the use of current building codes. Ground-shaking intensity could be moderately-high during a 100-year interval earthquake. Foundation designs will be reviewed to ensure incorporation of appropriate engineering recommendations to mitigate any such seismicity. There is no new information that would indicate the existence of a fault on the site.				
(iii) Seismic-related ground failure, including liquefaction?			X	
According to the City's General Plan, the project site is not on, or close to, any known earthquake fault. However, ground-shaking intensity could be moderately-high during a 100-year interval earthquake. The potential for seismic related failure or liquefaction on the site is minimal based on the project site not being in the Potential Liquefaction area (General Plan, Figure 5.6-2, Seismic Hazards).				
(iv) Landslides?				X
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The project site is not near or adjacent to mountainside areas. Due to a lack of slopes within or nearby the project site seismically induced landslides are not anticipated to pose a danger to the project site. Development of the project will not result in impacts from landslides and no mitigation measures would be required.				
(b) Result in substantial soil erosion or the loss of topsoil?				X
The development of the site has likely resulted in the reduction of erosion with the placement of the single family home and the landscaping on the site. During construction, there is the potential for less than significant impacts for short-term soil erosion from minimal excavation and grading. This will be addressed as part of standard construction, such as watering to reduce dust and sandbagging, if required, during raining periods.				
(c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?			X	
The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. As designed and conditioned, the potential for the impacts resulting from a landslide, lateral spreading, subsidence, liquefaction or collapse is less than significant.				
(d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?			X	
According to the City's environmental information, the geologic unit or soil is not known to be unstable. As provided for in the conditions of approval, the applicant must provide an engineered-fill certification, grade certification, and compaction report shall be submitted for review and approved by the City Engineer. A digital (pdf) copy of the approved compaction report shall be submitted to the Land Development Division. The site will not be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code. The potential for the project to create substantial risks to life or property is less than significant.				
(e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?			X	

Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed project will operate on a septic system that will be reviewed, approved and installed according to Riverside County Department of Environmental Health requirements.

**VII. GREENHOUSE GAS EMISSIONS.** Would this project?

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			X	
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Global climate change is caused by greenhouse gas (GHG) emissions throughout the world. Mitigating global climate change will require worldwide solutions. Greenhouse gases are gases emitted from the earth's surface that absorb infrared radiation in the atmosphere. Increases in these gases lead to more absorption of radiation and warm the lower atmosphere, and therefore increase evaporation rates and temperatures on the Earth's surface. The City of Moreno Valley has adopted a Climate Action Strategy. However, at this time, there are no widely accepted thresholds of significance for determining the impact of GHG emissions from an individual project, or from a cumulative standpoint. As provided for in the CEQA Guidelines (Section 15064.4), it is necessary for the lead agency to make a good-faith effort in considering GHG emissions on a project specific basis. Based on the scope of the project and consistency of the proposed use with existing General Plan Residential 2 land use designation, and consistency with the City's adopted General Circulation Element and build out scenarios, the City has chosen to rely on a qualitative analysis. To the extent possible based on scientific and factual data available, it has been determined that this project will not result in generating greenhouse gas emissions that will either directly or indirectly have a significant impact on the environment.

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	
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On October 9, 2012, the Moreno Valley City Council approved an Energy Efficiency and Climate Action Strategy and related Greenhouse Gas Analysis. The proposed project does not conflict with this strategy or any other applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

**VIII. HAZARDS AND HAZARDOUS MATERIALS.** Would the project?

a) Create a significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials?			X	
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The proposed project will include the routine transport, use or disposal of hazardous medical materials related to the operation of the facility. Any medical waste on-site or removed from the site will be required to be handled according to the State of California Health and Safety Codes, and any federal regulations concerning medical waste. Compliance with these laws will adequately protect the health, safety, and welfare of the public. Therefore, the project will not result in a significant hazard to the public or the environment.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X	
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The proposed project will include the routine transport, use or disposal of hazardous medical materials related to the operation of the facility. Any medical waste on-site or removed from the site will be required to be handled according to the State of California Health and Safety Codes, and any federal regulations concerning medical waste. Compliance with these laws will adequately protect the health, safety, and welfare of the public. Therefore, the project will not result in a significant hazard to the public or the environment. Mitigation is not required

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?			X	
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The proposed project will not emit hazardous emissions. The site is not within a quarter mile of an existing or proposed school. Palm Middle School is located approximately 880 feet to the southwest of the project on Ironwood Avenue. The project as designed and conditioned will not emit hazardous emissions or handle hazardous materials.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result would it create a significant hazard to the public or the environment?				X
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The site was checked against the list of hazardous material sites pursuant to Government Code Section 65962.5. The project is not located on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X
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Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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The nearest airport is March Air Reserve Base located approximately 4.4-miles to the southwest. The site is not within the crash zones or the noise contours identified in the most recent Air Installation Compatible Use Zone (AICUZ) study (Municipal Code Section 9.07.060). The site is located within the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP) area. It is not within a designated zone of the plan. The site is within the FAR Part 77 notification area. The proposed project will not alter the square footage or height of the existing residence, and therefore would not be regarded as an obstruction to navigation. The project will not result in a significant impact on the environment.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				X
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There are no private airstrips within the City of Moreno Valley. The project is not within proximity of a private airstrip. Therefore, the project would not result in a safety hazard pertaining to proximity of a private airstrip.

g) Impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
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The proposed project would not have any direct effect on an adopted emergency response plan, or emergency evacuation plan. The City's emergency plans are also consistent with the General Plan. Since the proposed project has been designed and conditioned to provide required circulation and required fire access to allow for ingress of emergency vehicles and egress of residents. Therefore, the proposed project would not be in conflict in any way with the emergency response or emergency evacuation plans.

h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X
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The proposed project site is not adjacent to wildlands and is not located within the Very High Fire Hazard Severity Zone. As designed and conditioned, the project would not expose people or structures to a significant risk of loss, injury or death involving wildland fires. In addition, the project is not located within a designated wildland area.

**IX. HYDROLOGY AND WATER QUALITY.** Would the project:

a) Violate any water quality standards or waste discharge requirements?			X	
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The proposed project would involve grading in the driveway area and potential grading activities would temporarily expose soils to wind and water erosion that would contribute to downstream sedimentation. The proposed project would comply with all permits and development guidelines associated with urban water runoff and discharge set forth by the City of Moreno Valley and the Regional Water Quality Control Board. Therefore, the project will not violate any water quality standards or discharge requirements.

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?				X
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The proposed project would have no impact on depleting groundwater supplies or groundwater recharge.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			X	
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. There is no streambed or river on the project site, so the project will not cause a change in the existing on-site drainage pattern that would result in substantial erosion or siltation on- or off-site. During construction of the project, there is the potential for some sediments to be discharged within the storm water system. Erosion control plans are required for projects prior to issuance of grading permits for preventing substantial erosion. The project as designed and conditioned will not change the existing drainage pattern that would result in substantial erosion or siltation on- or off-site. Impacts would be less than significant.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or surface runoff in a manner which would result in flooding on- or off site?			X	
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Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. There is no streambed or river on the project site. The project as designed and conditioned will not cause a change in the existing drainage pattern that would result in substantial erosion or siltation on- or off-site. Therefore, project implementation would not result in modifications that could ultimately result in substantial erosion or siltation on- or off-site. Impacts would be less than significant.

e) Create or contribute runoff which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			X	
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Additionally, the project has been conditioned in accordance with the City's standard conditions of approval, which includes measures pertaining to storm drainage facilities and runoff. With implementation of the standard conditions of approval, impact impacts would be less than significant.

f) Otherwise substantially degrade water quality?			X	
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. Additionally, the project has been conditioned in accordance with the City's standard conditions of approval, which includes measures pertaining to storm drainage facilities and runoff. As with any urban project, runoff entering the storm drainage system would contain minor amounts of pollutants (including pesticides, fertilizers and motor oil). This would incrementally contribute to the degradation of surface and sub-surface water quality. Additionally, grading activities would temporarily expose soils to water erosion that would contribute to downstream sedimentation. Impacts would be less than significant.

g) Place housing within a 100-year floodplain, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
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h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?				X
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(g and h) The current Federal Emergency Management Agency (FEMA) maps indicated that the site is currently in Zone X, which is defined as outside the 100-year floodplain. The Community Panel Number is 0605074-0755-G. Storm runoff will be conveyed from the individual lot to adjacent streets and into the storm drain system. The project as designed and as conditioned will not place structures, which would impede or redirect flood flows. The project as designed and conditioned will not place structures which would impede or redirect flood flows.

i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
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The current Federal Emergency Management Agency (FEMA) maps indicated that the site is currently in Zone X, which is defined as outside the 100-year floodplain. The Community Panel Number is 0605074-0755-G. Storm runoff will be conveyed from the individual lot to adjacent streets and into the storm drain system, and there are no dams or levees in the area. The project will not expose people or structures to a significant risk of loss, injury or death involving flood.

j) Inundation by seiche, tsunami, or mudflow?				X
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The project site is not identified in the General Plan as a location subject to seiche, or mudflow. The project is outside of the delineated dam inundation area for Perris Dam at Lake Perris Reservoir. Additionally, due to the position of the proposed project, mudflows from local mountains would be unlikely due to surrounding development. There would be no potential impacts resulting from inundation by seiche, tsunami, or mudflow.

**X. LAND USE AND PLANNING.** Would the project:

a) Physically divide an established community?			X	
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The project site is comprised of an existing single family home (one-story) on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. This project will not physically divide an established community and impacts would be therefore result in a less than significant impact.

b) Conflict with an applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?		X		
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Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

<b>Issues and Supporting Information</b>	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation. However, the number of vehicle trips generated from the proposed project was determined to have a less than significant impact to the circulation system, including but not limited to the level of service level standards of intersections, streets, highways and freeways.

The proposal also conflicts with General Plan Policy 2.2.17 Discourage nonresidential uses on local residential streets that generate traffic, noise or other characteristics that would adversely affect nearby residents.

The proposed project as designed and conditioned will have a less than significant impact with mitigation and will not conflict with an applicable land use plan, policy or regulation of an agency with jurisdiction over the project including the City's General Plan.

c) Conflict with any applicable habitat conservation plan or natural community conservation plan?				X
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The project is not within one of the Multiple Species Habitat Conservation Plan (MSHCP) criteria areas, which are potential habitat preservation areas. The project site and surrounding area are already improved with residences. Therefore, the proposed project will not conflict with the Stephen's Kangaroo Rat Habitat Conservation Plan (SKR HCP) or MSHCP or any other known local, regional or state habitat conservation plans.

**XI. MINERAL RESOURCES.** Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				X
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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
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(a and b) The project site is located in an urbanized area with additional development occurring in the vicinity. No active mines or mineral recovery programs are currently active within the project site or the surrounding area. Consequently, the development of the project site would not conflict with a mineral recovery plan as adopted by the General Plan. No significant impacts would occur.

**XII. NOISE.** Would the project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
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b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?		X		
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c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				
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d) A substantially temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?		X		
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Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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(a-d) The project proposes an emergency backup generator that has the potential to result in temporary or periodic increases in noise levels. The project as conditioned and mitigated will have to comply with Municipal Code Section 9.03.040.E.7. This section states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line. During construction, there will be limited impact of noise from construction equipment. The Public Works Department has a standard condition of approval regarding the public nuisance aspect of the construction activities. The construction operations including building related activities and deliveries shall be restricted to Monday through Friday from 6:00 AM to 8:00 PM, excluding holidays, and from 7:00 AM to 8:00 PM on weekends and holidays, in accordance with City Municipal Code 8.14.040, unless otherwise extended or shortened by the City Engineer or Building Official. Noise levels would be consistent with Municipal Code and General Plan criteria for noise, and noise levels will not exceed the standards set forth in the General Plan and Municipal Code. Impacts would be less than significant with mitigation as a result of the proposed project.

The following mitigation measures apply to the project:

Mitigation Measure (MM) N-1: A noise analysis will be required with regard to any operational sources of noise that result in an increase over that noise levels that would otherwise be expected from the operation of a residences. These sources of noise include, but are not limited to, increased traffic as identified in the traffic analysis, and the proposed generator at the site.

MM N-2: Municipal Code Section 9.03.040.E.7. This section states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line.

e) For a project located within an airport land use plan, or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?			X	
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The nearest airport is March Air Reserve Base located approximately 4.4-miles to the southwest. The site is not within the crash zones or the noise contours identified in the most recent Air Installation Compatible Use Zone (AICUZ) study (Municipal Code Section 9.07.060). The site is located within the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP) area. It is not within a designated zone of the plan. The site is within the FAR Part 77 notification area. The proposed project will not alter the square footage or height of the existing residence, and therefore would not be regarded as an obstruction to navigation. The project will not result in a significant impact on the environment.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				X
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There is no private airstrip within the vicinity of the site, or within the City of Moreno Valley.

**XIII. POPULATION AND HOUSING.** Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X	
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. This type of facility would not induce population growth in the area either directly or indirectly. The proposed project as designed and conditioned will have a less than significant impact on substantial population growth either directly or indirectly.

b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?			X	
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. No existing housing will be displaced by development of this project.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The project will not displace any residents.

Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

<b>Issues and Supporting Information</b>	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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**XIV. PUBLIC SERVICES.** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered government facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

a) Fire protection?			X	
The proposed project has incorporated the City's Fire Prevention Bureau conditions of approval into its design. These standards include providing approved fire hydrants, fire flow requirements and a fire sprinkler system have all been incorporated into the project's design. ISO ratings are given to firefighting districts in order to rank their operation level. This scale ranges from one (1) the highest possible score, to a ten (10), the worst possible score. The City of Moreno Valley currently has an ISO rating of three (3), which is considered high. With the implementation of the conditions of approval of the project pertaining to Fire Services, impacts would be less than significant.				
b) Police protection?			X	
Police protection to the project area is provided through the Moreno Valley Police Department. The Police Department was involved in the project review process. Conditions of approval have been included by Police Department to ensure health and safety is protected during construction. With the implementation of the conditions of approval of the project pertaining to Police protection, impacts would be less than significant.				
c) Schools?			X	
d) Parks?			X	
(c and d) The project would not directly increase the use of schools or park facilities.				
e) Other public facilities?			X	
There will be a negligible incremental increase in the demand for new or altered public services including city hall, and city yard facilities. These facilities would be needed with or without the project.				

<b>XV. RECREATION.</b>				
a) Would the project increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X	
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X	
(a and b) The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The proposed project will not increase the use of parks or other recreational facilities. The proposed project does not include recreational amenities or facilities in its design.				

<b>XVI. TRANSPORTATION/TRAFFIC.</b> Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?		X		
Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential (R2) land use designation. However, the number of vehicle trips generated from the proposed project was determined to have a less than significant impact to the circulation system, including but not limited to the level of service level standards of intersections, streets, highways and freeways. The following mitigation measures apply to the project:  Mitigation Measure (MM) T-1: The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may serve as a basis for consideration of revocation of the Conditional Use Permit.				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?		X		

Attachment: Initial Study Mitigated (1955 : PA15-0019 Conditional Use Permit)

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based upon the conclusions of a Traffic Impact Analysis prepared by LSA Associates, Inc. (dated January 12, 2016), the number of vehicle trips generated from the proposed project is three times greater than vehicle trip projections for build-out under the existing Residential land use designation. However, the number of vehicle trips generated from the proposed project was determined to have a less than significant impact to the circulation system, including but not limited to the level of service level standards of intersections, streets, highways and freeways. Therefore, there would be no conflict with an applicable congestion management plan. The following mitigation measures apply to the project:

Mitigation Measure (MM) T-1: The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may serve as a basis for consideration of revocation of the Conditional Use Permit.

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X
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The project site is not located in, around or under any airport or airport fly-zone. The proposed project would have no direct or indirect effect on air traffic patterns.

d) Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?			X	
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. As designed and conditioned, the project will not result in hazards. The project is not adjacent to any potential incompatible uses.

e) Result in inadequate emergency access?			X	
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As designed and conditioned, all driveways and drive aisles will be built to the specifications of the City Engineer and Traffic Engineer, and the Fire Prevention Bureau. This will ensure that no hazardous traffic situations would occur during construction or with completion of the project. The site will be readily accessible for emergency access.

f) Conflict with adopted policies or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				X
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The project as designed will not conflict with adopted alternative transportation policies, therefore, no adverse impacts would occur.

**XVII. UTILITIES AND SERVICE SYSTEMS.** Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. The project will not exceed wastewater treatment requirements of the Regional Water Quality Control Board.

b) Require or result in construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?			X	
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. This project will not require or result in construction of new water or wastewater treatment facilities or expansion of existing facilities.

c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X
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The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. This project will not require or result in the construction of new storm water drainage facilities or expansion of existing facilities.

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			X	
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The water purveyor, Eastern Municipal Water District (EMWD), prepared an Urban Water Management Plan in 2010 demonstrating that it has or will have sufficient water supplies available to serve urban development within the City of Moreno Valley. EMWD's plan was based on the City's General Plan Land Use Element. The proposed project requires approval of a Conditional Use Permit under the existing Zoning and General Plan designations. Therefore, sufficient water supplies exist to support the proposed project.



Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Result in a determination by the wastewater treatment provider which serves or may serve the project determined that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
The wastewater treatment provider is EMWD. The current wastewater treatment facility has adequate capacity to serve projects within Moreno Valley that are consistent with the General Plan. EMWD has plans for major expansions of the Moreno Water Reclamation Facility. Source: Draft EIR for the 2006 General Plan Update.				
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			X	
Waste Management provides waste hauling service to the City of Moreno Valley. The project will be served by a landfill in the Badlands with sufficient permitted capacity to accommodate the project's solid waste disposal needs. Source: Draft EIR for the 2006 General Plan Update.				
g) Comply with federal, state, and local statutes and regulations related to solid waste?				X
City policies require compliance with State and Federal regulations regarding solid waste. This project will be required to comply with the current policies regarding solid waste. (Municipal Code Section 6.02)				
<b>XVIII. MANDATORY FINDINGS OF SIGNIFICANCE.</b>				
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?			X	
The project site is comprised of an existing single family home on a fully developed site with no additional square footage proposed. The project site is within an existing residential neighborhood and is surrounded by fully developed existing single family homes. There are no streambeds or riparian habitat within the project site. There were no surveyed rare plant or animal species noted on the project site. The project would not significantly degrade the quality of the environment or reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal. There are no historic structures on the site, and there will be no impact to historic resources. The project will not eliminate important examples of the major periods of California history or prehistory. The analysis in this Initial Study demonstrates that project and cumulative impacts would be less than significant. The project as designed and conditioned would not cause substantial adverse health effects.				
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?		X		
This project will not create any impacts, that when viewed in connection with existing land uses, other recently approved projects, and existing land use designations, would be considered cumulatively considerable. It is not expected that the proposed project would result in incremental effects. The analysis in this Initial Study demonstrates that the proposed project's cumulative impacts would be less than significant with mitigation.				
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?		X		

Issues and Supporting Information	Potentially Significant Impact	Less than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project as designed, conditioned and mitigated will not cause substantial adverse effects on human beings, either directly or indirectly for the reasons described in this Initial Study. Mitigation measures regarding Aesthetics, and Noise, are incorporated into the project.

#### Aesthetics

Mitigation Measure (MM) A-1: Prior to issuance of a building permit, the Planning Division will review all building materials, architectural details, and a color palette for the remodeling of the house to ensure compatibility with surrounding residences.

MM A-2: Prior to issuance of any permit, building permit, Planning Division will review the proposed new exterior doors to bedrooms to ensure the quality and appearance of a single-family residence (eg. wood door with raised panels). Metal doors will not be regarded as residential in character.

#### Noise

Mitigation Measure (MM) N-1: A noise analysis will be required with regard to any operational sources of noise that result in an increase over that noise levels that would otherwise be expected from the operation of a residences. These sources of noise include, but are not limited to, increased traffic as identified in the traffic analysis, and the proposed generator at the site.

MM N-2: Municipal Code Section 9.03.040.E.7. This section states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line.

#### Transportation

Mitigation Measure (MM) T-1: The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may serve as a basis for consideration of revocation of the Conditional Use Permit.

#### List of Key Documents and Resources:

- City of Moreno Valley General Plan, adopted by City Council on July 11, 2006
- City of Moreno Valley Municipal Code, adopted by City Council in 1997
- Traffic Impact Analysis prepared by LSA Associates, Inc., dated January 12, 2016
- Western Riverside Area Soil Survey – University of California Agricultural Experiment Station, 1971
- Urban Water Management Plan, Eastern Municipal Water District, 2010
- State Important Farmland Map, 2015, <http://maps.conservation.ca.gov/ciff/ciff.html>
- Air Quality Management Plan (AQMP), South Coast Air Quality Management Board, 2012
- Cultural Resources Inventory, Archeological Research Unit, University of California, Riverside), October 1987
- March Air Reserve Base /Inland Port Airport Land Use Compatibility Plan, Riverside County Airport Land Use Commission, adopted November 13, 2014
- Flood Insurance Rate Map, Federal Emergency Management Agency, Map Number 06065C0755G, August 28, 2008

\*\*The above documents and studies are incorporated by reference and available in the case file for Conditional Use Permit PA15-0019 and the Community Development Department – Planning Division or Public Works Department – Land Development Division.

# PA15-0019 (CUP for a Twelve Bed Congregate Living Health Facility)

## Mitigation Monitoring and Reporting Program

### Introduction

This Mitigation Monitoring and Reporting Program has been prepared for the use in implementing mitigation for the Mitigated Negative Declaration (MND) for Conditional Use Permit PA15-0019. The program has been prepared in compliance with State law and the MND prepared for the project.

The California Environmental Quality Act (CEQA) requires adoption of a reporting or monitoring program for those measures places on a project to mitigated or avoid adverse effects on the environment (Public Resources Code Section 21081.6). The law states that the reporting or monitoring program shall be designed to ensure compliance during project implementation.

The monitoring program contains the following elements:

- 1. The mitigation measures are recorded with the action and procedure necessary to ensure compliance. In some instances, one action may be used to verify implementation of several mitigation measures.
- 2. A procedure for compliance and verification has been outlined for each action necessary. This procedure designates who will take action, what action will be taken and when, and to whom and when compliance will be reported.
- 3. The program has been designed to be flexible. As monitoring progresses, changes to compliance procedures may be necessary based upon recommendations by those responsible for the program. As changes are made, new monitoring compliance procedures are records will be developed and incorporated into the program.

### Mitigation Monitoring and Responsibilities

As the Leady Agency, the City of Moreno Valley is responsible for ensuring full compliance with the mitigation measures adopted for the proposed project. The City will monitor and report on all mitigation activities. Mitigation measures will be implemented at different stages of development throughout the project. In this regards, the responsibilities for implementation have been assigned to the Applicant, Contractor, or a combination thereof. If during the course of project implementation, any of the mitigation measures identified herein cannot be successfully implemented, the City shall be immediately informed, and the City will then inform any affected responsible agencies. The City, in conjunction with any affected responsible agencies, will then determine if modification to the project is required and/or whether alternative mitigation is appropriate.

**Mitigation Monitoring and Reporting Program Checklist**

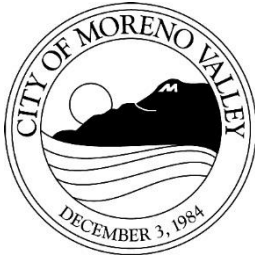
**Project: Conditional Use Permit PA15-0019**

**Applicant: Rudy Dekermenjian**

**Date: March 24, 2016**

Mitigation Measure No./ Implementation Action	Responsible for Monitoring	Monitoring Frequency	Timing of Verification	Method of Verification	Verified Date/Initials	Sanctions for Non-Compliance
<b>Aesthetics</b>						
<b>A-1</b> Prior to issuance of a building permit, the Planning Division will review all building materials, architectural details, and a color palette for the remodeling of the house to ensure compatibility with surrounding residences.	City of Moreno Valley Planning Division	Ongoing during construction	Prior to Certificate of Occupancy	Review of construction documents and on-site inspection		Withhold Certificate of Occupancy
<b>A-2</b> Prior to issuance of any permit, Planning Division will review the proposed new exterior doors to bedrooms to ensure the quality and appearance of a single-family residence (eg. wood door with raised panels). Metal doors will not be regarded as residential in character.	City of Moreno Valley Planning Division	Ongoing during construction	Prior to Certificate of Occupancy	Review of construction documents and on-site inspection		Withhold Certificate of Occupancy
<b>Noise</b>						
<b>N-1</b> A noise analysis will be required with regard to any operational sources of noise that result in an increase over that noise levels that would otherwise be expected from the operation of a residences. These sources of noise include, but are not limited to, increased traffic as identified in the traffic analysis, and the proposed generator at the site.	City of Moreno Valley Planning Division	Ongoing during construction and operation	Prior to Certificate of Occupancy. On going	Review of construction documents and on-site inspection		Withhold Certificate of Occupancy

<p><b>N-2</b> Municipal Code Section 9.03.040.E.7. This section states that in all residential districts, air conditioner, heat, cooling, ventilating equipment and all other mechanical, lighting or electrical devices shall be operated so that noise levels do not exceed sixty (60) dBA (Ldn) at the property line.</p>	<p>City of Moreno Valley Planning Division</p>	<p>Ongoing during construction and operation</p>	<p>Prior to Certificate of Occupancy. On going</p>	<p>Review of construction documents and on-site inspection</p>		<p>Withhold Certificate of Occupancy. Initiate revocation process of the Conditional Use Permit</p>
<p><b>Traffic</b></p>						
<p><b>T-1</b> The owner of the facility will be responsible for maintaining a log of the total number of daily trips both to and from the site for one year from the date of the approval of a Conditional Use Permit. The number of logged trips shall not exceed the number of trips anticipated by the traffic analysis prepared by LSA Associates, Inc. and dated January 12, 2016. The log of all trips shall be provided to the Planning Division upon request. If the level of activity identified in the traffic analysis is exceeded, the logged information may serve as a basis for consideration of revocation of the Conditional Use Permit.</p>	<p>City of Moreno Valley Planning Division</p>	<p>Ongoing during construction and operation</p>	<p>Prior to Certificate of Occupancy. On going</p>	<p>Review of construction documents and on-site inspection</p>		<p>Withhold Certificate of Occupancy. Initiate revocation process of the Conditional Use Permit</p>



## PLANNING COMMISSION

### STAFF REPORT

Meeting Date: March 24, 2016

#### TENTATIVE TRACT MAP AND CONDITIONAL USE PERMIT FOR A RESIDENTIAL PLANNED UNIT DEVELOPMENT

Case: Tentative Tract Map No. 36933 (P15-066) and an amended Conditional Use Permit (P15-067) on a 29 acre parcel of land in the R15 (Residential 15) and OS (Open Space) land use districts. The project proposes a maximum 274 small lot residential detached Planned Unit Development (PUD), one additional lot for a designated recreation area and 45 lettered lots for common open space purposes. Portions of the subject property were previously graded.

Applicant: Beazer Home

Owner: Beazer Homes Holding Corp.

Representative: Pacific Development Solutions Group

Location: Southeast corner of Eucalyptus Avenue and Fir Street

Case Planner: Mark Gross

Council District: 3

#### **SUMMARY**

The applicant, Beazer Homes is requesting the approval of Tentative Tract Map 36933 (P15-066) and an amended Conditional Use Permit (P15-067) for a 29 acre site within the R15 (Residential 15) and OS (Open Space) land use districts. The project amends the previously approved 275 unit residential small lot project approved in 2011. The amended project proposes a maximum 274 small lot residential detached subdivision to

include various common lettered lots. The project will consist of a Planned Unit Development (PUD) within the R15 land use district that would include a community recreation area with pool/spa, tot lots, pocket parks and walkable paseo areas. The OS land use district will include a Nature Park, protection of existing rock outcroppings, and a drainage basin. The project has been found to be compatible with surrounding residential and retail land uses in the general vicinity and staff is recommending approval of the project.

## **BACKGROUND**

On April 14, 2005, Tentative Tract Map No 32825 (PA04-0146) and Plot Plan (PA04-0176) were originally approved for the project site. A final condominium map for that project was recorded in 2006. The approved project included 276 attached condominium units and various open space areas, recreation amenities, and drainage lots on the roughly 29 acres. The site was subsequently graded and a model home complex was constructed. With the downturn in the housing market progress on the project was abruptly halted and never resumed. The model home complex was subsequently demolished by the applicant, Beazer Homes, in 2010.

On February 24, 2011, the Planning Commission approved a new Tentative Tract Map No. 36340 (PA10-0038) and Conditional Use Permit (PA10-0039) for a 275 lot subdivision and Planned Unit Development (PUD). The PUD guidelines included standards for a variety of common area paseos and walking trails throughout the development. The project included a number of lettered lots for common open space purposes, and further included specific conditions to ensure protection of an open space lot containing existing rock outcroppings.

## **PROJECT DESCRIPTION**

### **Project**

The current project application includes two discretionary components. The first component is an amended tentative tract map (P15-066) proposing a small lot residential subdivision on approximately 29 acres of land. The second application is an amended Conditional Use Permit for the revised PUD (PA09-0039). The PUD guidelines set forth revised standards for the common open space and private/common recreational amenities and contain provisions for the protection of natural rock outcroppings as considered in the 2011 project. The new project includes approximately 8.72 acres of open space.

The project is consistent with Sections “9.1 Ultimate Goals” and “Goal V” of the General Plan which, “provides for recreational amenities, recreational services and open space, including, but not limited to parks, multi-use trails, community centers and open space. The project is also consistent with Section 9.2.2 “Community Development Element Objectives and Policies” and Policy 2.2.9 of the General Plan which states that the “primary purpose of areas designated Residential 15 is to provide a range of multiple-family housing types that includes amenities such as common open space and

recreational facilities, while maximum allowable density of 15 dwelling units per acre shall not be exceeded”. Project consistency with the General Plan is also provided under Objective 2.2.12 where, “Planned Unit Developments shall be encouraged for residential construction in order to provide housing that is varied in type, design, form of ownership, and size while PUD’s shall also provide opportunities to cluster units to protect significant environmental features and/or provide unique recreational facilities”.

The following summarizes further detail on the two (2) discretionary applications for the project:

## **1. Amended Tentative Tract Map**

Tentative Tract Map No. 36933 is the mechanism to legally subdivide the project site into individual lots. The 29 acre site is broken up into two land use districts, Residential-15 (R15) and Open Space (OS).

### **A. Residential 15 (R15)**

The applicant is requesting to revise the entitled project approved in 2011 with a residential Planned Unit Development containing a maximum of 274 residential units and a separate lot for a community recreation area including a pool and spa. The following two development scenarios are possible:

**Scenario 1** - A minimum of 272 residential lots as included on the tentative map and plot plan.

**Scenario 2** - A maximum of 274 residential lots as included in a separate diagram included on the tentative map and plot plan. In order to achieve the two additional lots in this scenario, the applicant is in the process of completing a land exchange with Eastern Municipal Water District (EMWD) who owns the lot immediately adjacent to Lot Z and Eucalyptus Avenue. Negotiations are under way to provide additional land to EMWD adjacent to Eucalyptus Avenue for improvement of a pump station. The additional land gained by EMWD from the land exchange would allow the two (2) additional lots in the proposed Beazer development.

The applicant is amending the conditional use permit approved in 2011 to reflect minor changes to the proposed small lot tract design. Primary feature modifications include the relocation of front door entries from common area frontages to entrances along the sides of units and the creation of private rear yards in place of shared “common open space” yards with direct access to internal paseos and walking trails. The project will continue to include paseos and walking trails within the center of the site with additional lettered lots designated for common open space purposes, including the proposed Natural Park area included on the Open Space zoned parcel that will include the protection of existing rock outcroppings

Lots within the tract will be small and range from 1,960 square feet to 3,989 square feet. Proposed unit size would range from 1,542 square feet to 1,982 square feet. The



Municipal Code allows for flexibility in lot size and tract design through a Planned Unit Development as long as the maximum density is not exceeded for the district.

## **B. Open Space (OS)**

Approximately four (4) acres of the site lies in the OS land use district, located within the center of the tract. The OS land use district is limited to environmentally sensitive land uses and would not allow any housing development. A small rock outcropping is embedded between the two residential portions of the tract, and will remain intact as private open space labeled as “Nature Park” on the final map. An existing multi-use trail and drainage basin with a point of access is located within the southern portion of the OS zone. In all cases, the proposed residential development will occur at the base of the existing hillside and would not encroach into the OS land use district or affect the steepest sloped areas included on the map.

## **2. Amended Conditional Use Permit - Planned Unit Development**

The applicant is proposing a Conditional Use Permit (CUP) and Planned Unit Development (PUD). Approximately 25 acres of the site lies within the R15 land use district. The site will consist of individual lots with detached home sites, common open space areas, and private access roads. The common open space area will include a community recreation area with pool/spa, tot lots pocket parks and three (3) paseos. As compared with the previous approved tract, the site will include a density of approximately eleven (11) units per acre within areas located within the R15 land use district.

The PUD requirements included in the Municipal Code (Section 9.03.060) include design accomplishments of the project, while the proposed development adheres to the following finding:

- **Greater innovation in housing development and diversity of housing choices than would otherwise be possible according to the strict application of the site development regulations contained in this title.**

As was the case for the previous approved PUD for the site, the proposed project meets the criteria established above as it will include a nonconventional residential design, which will include a small lot residential row concept housing with many of the common lot recreation amenities included in a multiple family development. The concept will include two story detached homes while adding common recreational opportunities found in condominium or apartment developments. The project will also protect the highest hillside areas to the south and rock outcropping areas located in the “Nature Park” area. The proposed residential development project is designed as a walkable community with pedestrian access to existing regional shopping centers to the east and north of the subject site. The additional “roof tops” in the area is expected to provide economic benefit to the City, particularly the surrounding retail centers. The project design includes features for direct access to a multi-use trail immediately to the south of the project site. Pedestrian access will be provided at all three (3) driveways to

Eucalyptus Avenue and can facilitate convenient resident walking access to surrounding retail amenities thereby reducing automobile trips and total vehicle miles traveled. The applicant is providing on-site recreation facilities such as private/common open space, an outdoor community recreation area that contains a pool and spa, and tot/play lots. The proposed energy efficient small lot design of the project will offer residential opportunities at a price point attractive to first time or retired home buyers, or those homeowners seeking a smaller property with less yard maintenance coupled with convenient access to included common area and recreational amenities.

The following are certain allowances for developments approved under a planned unit development concept, or Section 9.03.060 of the Municipal Code, and a synopsis of how the proposed development concurs within the established language:

- **Permitted Uses and Density. Only those uses permitted within the applicable zoning district shall be allowed within any planned unit development. The average density of any planned unit development shall not exceed the number of dwelling units per acre allowed under the applicable zoning district regulations.**

The proposed project will meet housing needs provided within the City's Housing Element of the General Plan by expanding the range of housing options in the community. Moreover, the project design and proposed density at 11 units per acre will not exceed the number of dwelling units per acre allowed under the R15 land use district. The proposed land use within the Open Space (OS) district includes the protection of natural rock outcroppings and the addition of a required drainage area. While the project does not achieve minimum 12 units per acre density called for in the Municipal Code for residential projects located in the R15 land use district, staff is recommending approval of the project at eleven (11) units per acre consistent with the consideration made the current entitlement approved in 2011. No significant loss of density would be created by approval of the current residential proposal.

- **Deviations from Site Development Standards. Planned unit developments may deviate from the site development standards set forth in the applicable zoning district regarding lot area, lot dimensions, lot coverage, setbacks and building height. Any such deviation(s) shall be to the minimum degree necessary to achieve one or more of the purposes listed in the section.**

The proposed project includes deviations from the Municipal Code to include lot area, lot dimensions, maximum floor area ratio, lot coverage and all setbacks. A PUD Booklet highlighting revised development standards/deviations and providing details on project design and development concepts has been included as an attachment to the project. (Attachment No. 4). Staff believes that the proposed deviations for the project site are justified since the tract does not exceed the maximum density standards allowed under the underlying land use districts, provides community recreation opportunities, includes walkable opportunities to surrounding retail development and meets criteria established under Section 9.03.060 (Planned Unit Developments) of the Municipal Code.

## **Site**

A staff field review did show some weedy vegetation upon inspection. A majority of the project site was previously graded for home sites entitled with the original condominium project in 2005. Model homes for the original 2005 condominium project were constructed on the site, but were subsequently demolished in 2010 as a result of continued downturn in the residential market.

Review of the site also indicated a rock outcropping and hilly terrain included within the OS land use portions of the tract adjacent to Eucalyptus Avenue. These areas will remain natural within the designated "Nature Park". Staff's inspection of the site indicated that there was no concentrated vegetation evident and no natural drainage area bisecting the site.

## **Surrounding Area**

Surrounding land uses include residential and commercial development. Specifically, vacant land and existing single-family residential uses are present to the west, open space land is present immediately to the south, an apartment complex is located to the southeast, and existing commercial retail shopping centers are operating to the north and east of the project site. A recently approved car dealership will be located directly across Eucalyptus Avenue in the existing Stoneridge Shopping Center immediately north of the proposed project.

## **Access/Parking**

Three (3) points of access have been provided for the tract from Eucalyptus Avenue. All proposed interior streets, drive aisles and courtyard areas would be gated. The common areas within the gates will be maintained by a homeowners association. Pedestrian access will be provided to the existing multi-use trail.

Parking for the project is proposed at the required 2.5 parking spaces per unit. Each home will include the required enclosed two car garage measuring a minimum of 20' x 20'. A condition of approval has been added to ensure the 20' x 20' dimensions exclude any appurtenant structures such as water heaters and washer/dryers. In addition, automatic garage door openers are required. As street parking will be prohibited on internal roadways, an additional 142 guest parking stalls will be located in a scattered fashion throughout the development. The 142 stalls are greater than the required 137 code required guest parking spaces. If the land exchange with EMWD is completed, the guest parking stalls would be reduced by four (4) stalls to a total of 138, which would still exceed the minimum 137 required.

## **Design/Landscaping**

Elevation drawings have been provided for the project homes and the 669 square foot community recreation pool equipment and restroom building. The small lot home sites

will consist of four architectural styles, Spanish, Cottage, Italianate and Classical. In order to break up the massing or housing product along streetscapes, corner housing units where side yards face an internal street would provide enhanced elevation details and embellishments as shown on the plans.

A minimum of seven (7) footprints, including reverse floor plans, and four (4) distinct elevations are required per the Municipal Code Design Guidelines. The project meets this Municipal Code requirement.

The Planning Commission is being asked to review and approve the proposed architectural renderings for the tract. Elevations for the home sites are included in the PUD Guide; presented as Attachment No. 11 of this report. If the project is approved, the applicant will be required to submit a Model Home Complex application that will include final architectural model plans. The Model Home Complex application requires an Administrative approval.

Elevation renderings for the proposed shade structure at the community recreation area adjacent to the pool area have not yet been developed by the applicant. To ensure the architectural design of this improvement is consistent with and in harmony with the entire development an appropriate condition or approval has been included in the Resolution for the project. The condition conveys that prior to approval of any building permits for the project, a detailed elevation plan for a shade structure including materials and colors, shall be submitted for administrative approval.

A conceptual landscape and planting plan has been provided for the project. A variation of landscape materials, including larger shrub materials and smaller tree species are proposed. The proposed mix is expected to provide appropriate relief and shading throughout the development and can effectively soften the building massing of the project. Trees will be clustered in strategic locations such as on corner lots, adjacent to guest parking stalls and within common areas to provide an attractive environment. Prior to final approval of the street improvement plans, the project plans shall demonstrate that sight distance at proposed streets and driveways conforms to City Standard Plan.

Conceptual fence and wall plans have been submitted for the project. The project as proposed meets the development standards set forth in Section 9.03.060 (Planned Unit Developments) of the Municipal Code. All walls and fences are conditioned to be consistent with the provisions for community walls and fences within the Municipal Code. The plans include a six (6) foot high solid decorative block wall with pilasters and a cap for most areas adjacent to Eucalyptus Avenue. Open decorative wrought iron/tubular steel fence with pilasters and caps would be located around the Nature Park (Lot B) and the portion that includes this natural open space along Eucalyptus Avenue. Internal fencing between units will include a poly-vinyl fencing material.

A detention basin for water quality and flood control purposes is proposed within the OS district (Lot A). Landscape, including trees, shrubs and groundcover, as well as irrigation shall be installed and maintained by a homeowners association for all sides

and or slopes of the basins and bio-ponds. A hydroseed mix with an irrigation system is acceptable for the bottom of all bio-ponds. A decorative wrought iron or tubular steel fence is required at the top of basin/pond slopes to provide full security.

## **REVIEW PROCESS**

The Project Review Staff Committee (PRSC) first reviewed the project application with the applicant on October 14, 2015. Various comments generated and exchanged throughout the review process principally addressed project enhancements and embellishments, desired development standard deviations afforded with a PUD, the addition of paseos and trails throughout the tract, and placement of required street trees. The applicant has addressed all concerns to the satisfaction of staff, including through the placement of the Conditions of Approval included as an exhibit to the project Resolution.

## **ENVIRONMENTAL**

Tentative tract map (PA04-0146 – Tentative Tract Map No. 32835) was originally approved on April 4, 2005 for a 276 unit condominium complex. A Mitigated Negative Declaration was adopted for the 2005 approved condominium project in accordance with provisions set forth in the California Environmental Quality Act (CEQA) Guidelines. Grading previously occurred shortly after approval of project entitlements for the 2005 condominium project.

In 2011, the project site was approved for a similar project, and relied on the prior environmental determination. Based on a comparison of the original 2005 condominium project, the revised 2011 small lot residential project, and the newly proposed 274 unit project, including the previous grading and disturbance that has occurred on the project site, the potential for environmental impacts has been found to be consistent between all projects, and there are no conditions present as set forth in Section 15162 of the CEQA Guidelines that would call for preparation of a subsequent negative declaration.

Pursuant to Section 15164 of CEQA, an addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 of the CEQA Guidelines calling for the preparation of a subsequent negative declaration have occurred. Having found no substantial changes have occurred with the proposed project, an addendum to the previously adopted negative declaration is recommended. The addendum document is included in the report as Attachment 2.

## **NOTIFICATION**

Public notice was sent to all property owners of record within 300' of the project. The public hearing notice for this project was also posted in two separate locations on the site and published in the Press Enterprise newspaper on March 12, 2016 (Attachment No.1).

## **REVIEW AGENCY COMMENTS**

Staff received the following response to the Project Review Staff Committee transmittal, which was sent to all potentially affected reviewing agencies:

<b><u>Agency</u></b>	<b><u>Response Date</u></b>	<b><u>Comments</u></b>
1. Eastern Municipal Water District	September 9, 2015	The project requires water, recycled water and sewer service from EMWD

## **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2016-03 and Resolution 2016-04, and thereby:

1. **CERTIFY** that the proposed project qualifies for an Addendum to the previously certified Mitigated Negative Declaration pursuant to Section 15164 of the California Environmental Quality Act (CEQA) as none of the conditions contained in Section 15162 calling for preparation of a subsequent negative declaration have occurred, and the project with mitigation will not have a significant impact on the environment.
2. **APPROVE** P15-066 for Tentative Tract Map No. 36933 to include the subdivision of a 29 acre parcel of land into a maximum of 274 residential lots, one lot for a designated recreational area and 45 lettered lots for common open space purposes within the R15 (Residential-15) and OS (Open Space) land use districts, subject to the attached conditions of approval included as Exhibit A to the resolution.
3. **APPROVE** P15-067 for an amended Conditional Use Permit and Planned Unit Development (PUD) for a maximum of 274 residential lots, one (1) lot for a designated recreation area and approximately 45 lettered lots for common open space areas within the R15 (Residential-15) and OS (Open Space) land use districts, subject to the attached conditions of approval and

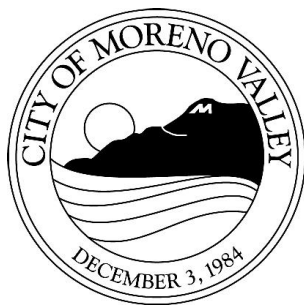
Planned Unit Development Guide included as Exhibits A and B to the resolution.

Prepared by:  
Mark Gross  
Senior Planner

Approved by:  
Allen Brock  
Community Development Director

### **ATTACHMENTS**

1. Project 300 foot notice
2. Environmental Addendum
3. Resolution 2016-03 with Attached Conditions
4. Resolution 2016-04 with Attached Conditions & PUD Guide
5. Zoning Map
6. Aerial Map
7. Tentative Tract Map
8. Preliminary Grading Plan
9. Plot Plan
10. Preliminary Landscape Plan
11. Preliminary Fence and Wall Plan
12. Building Elevations
13. Pool Equipment and Restroom Building Elevation



# Notice of PUBLIC HEARING

**This may affect your property. Please read.**

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following items:

**CASE:** P15-066 (Tentative Tract Map No. 36933)  
P15-067 (Amended Conditional Use Permit)

**APPLICANT:** Beazer Homes California

**OWNER:** Beazer Homes Holdings Corporation

**REPRESENTATIVE:** Pacific Development Solutions Group

**LOCATION:** The project is located on the southeast corner of Fir Avenue and Eucalyptus Avenue.

**PROPOSAL:** Tentative Tract Map No. 36933 (P15-066) and an amended Conditional Use Permit (P15-067) on a 29 acre parcel of land in the R15 (Residential 15) and OS (Open Space) land use districts. The project proposes a maximum 274 small lot residential detached Planned Unit Development (PUD), one additional lot for a designated recreation area and 45 lettered lots for common open space purposes. Portions of the subject property were previously graded.

**ENVIRONMENTAL DETERMINATION:** Addendum to a Negative Declaration (Section 15164 of the California Environmental Quality Act)

**COUNCIL DISTRICT:** 3

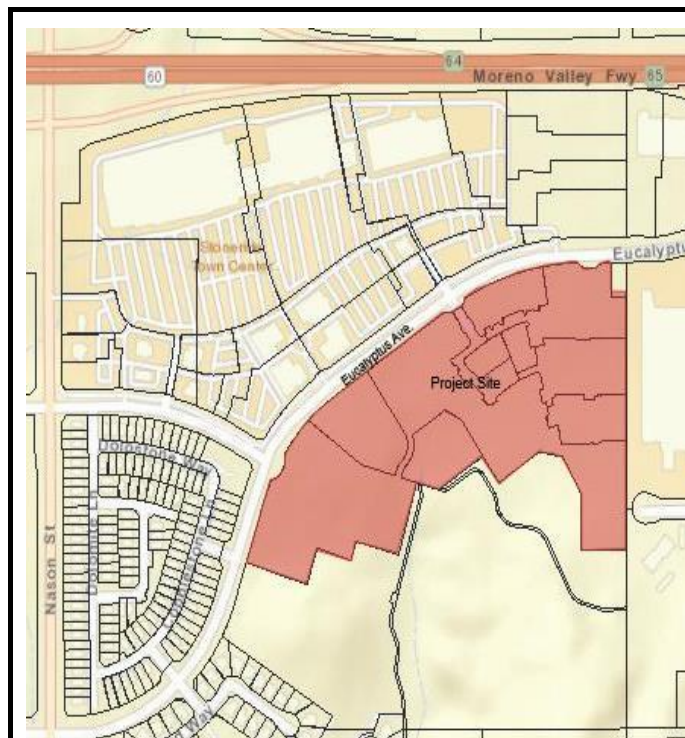
**STAFF RECOMMENDATION:** Approval

Any person interested in any listed proposal can contact the Community Department, Planning Division, at 14177 Frederick St., Moreno Valley, California, during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday or 7:30 a.m. to 4:30 p.m. on Fridays) or may telephone (951) 413-3206 for further information. The associated documents will be available for public inspection at the above address.

In the case of Public Hearing items, any person may also appear and be heard in support of or opposition to the project or recommendation of adoption of the Environmental Determination at the time of the Hearing.

The Planning Commission, at the Hearing or during deliberations, could approve changes or alternatives to the proposal.

If you challenge any of these items in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



## **LOCATION**    **N** ↑ **PLANNING COMMISSION HEARING**

City Council Chambers, City Hall  
14177 Frederick Street  
Moreno Valley, Calif. 92553

**DATE & TIME:** March 24, 2016 at 7:00 P.M.

**CONTACT PLANNER:** Mark Gross, AICP

**PHONE:** (951) 413-3215



**Addendum to  
Initial Study (IS) / Mitigated Negative Declaration (MND)**

**City of Moreno Valley  
California Environmental Quality Act (CEQA)**

**Beazer - Rockcliffe  
(Case Number P 15-066 and P15-067)**

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**Lead Agency:**

**City of Moreno Valley**  
Community & Economic Development Department  
Planning Division  
14177 Frederick Street  
Moreno Valley, California 92552

**Project Applicant:**

**Beazer Homes**  
Beazer Homes - California  
1800 E. Imperial Highway, Suite 140  
Brea, California 92821

**CEQA Consultant:**

**Vista Community Planners, Inc. (VISTA)**  
1278 Glenneyre Street, Suite 110  
Laguna Beach, California 92561

March 2016

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## 1.0 INTRODUCTION

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## 1.0 Introduction

### 1.1 Proposed Project

The proposed project (the “**2016 Modified Project**”) consists of the subdivision of approximately 29 acres for the development of a maximum of 274 residential detached homes, permanent open space, a paseo system, trails, landscape areas, private recreation areas, water quality basins, guest parking, and entry monuments. In addition the 2016 Modified Project would include on-street and off-street parking areas, on-site circulation, a community building, a pool and spa, multiple tot-lots, and outdoor recreation areas. Access to the 2016 Modified Project would be provided via gated entrances for vehicles and separate gated entrances for pedestrians.

The project site is generally located to the southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley (City). The project site is specifically bounded by: Eucalyptus Avenue to the north and west and future permanent open space to the south and east.

### 1.2 Determination

This environmental document constitutes an Addendum to the Stoneridge Ranch Village III Initial Study/Mitigated Negative Declaration [(2005 IS/MND) (Vista Community Planners, 2005)] (2005 IS/MND) and the 2011 Addendum. This 2016 Addendum evaluates whether modifications/refinements to the proposed project design (2016 Modified Project) would result in any new or substantially more adverse significant effects or would require any new mitigation measures not identified in the 2005 IS/MND or 2011 Addendum.

The 2016 Modified Project would consist of the development of up to 274 residential units within the R15 General Plan and Zoning designations. The design change from the approved plan would be from detached residential homes with large common areas that fronted the units to detached residential homes with private rear and side yard areas plus driveways in select locations. The proposed project (2016 Modified Project) differs from the adopted plan as it would provide each individual property owner with backyards/private open space areas. The 2016 Modified Project would reduce Homeowners Association maintained open space areas; however, it would increase individual homeowner’s private yards by a similar area.

As verified in this 2016 Addendum, the analyses and the conclusions presented in the 2005 IS/MND and 2011 Addendum remain current and valid. The proposed project (2016 Modified Plan) differs from the approved project primarily by adding private open space areas and:

- Would not result in any new significant effects not previously identified in the 2005 IS/MND and/or 2011 Addendum;
- Would not increase the level of environmental effect to substantial or significant;
- Would not require any new mitigation measures to reduce previously identified significant effects;
- Would not cause new or substantially more severe significant environmental effects than were identified in the 2005 IS/MND and 2011 Addendum;

## 1.0 Introduction

- Additionally, no new information has become available that shows that the project would cause new or substantially more severe significant environmental effects which have not already been analyzed in the 2005 IS/MND and 2011 Addendum.

Therefore, no further environmental review is required beyond this 2016 Addendum. This 2016 Addendum incorporates most of the mitigation measures detailed in the 2005 IS/MND and 2011 Addendum. This 2016 Addendum clarifies selected mitigation measures and eliminates those mitigation measures that are no longer applicable to the 2016 Modified Project. With this 2016 Addendum, the 2016 Modified Project would still be within the framework of the evaluation for the development of the site, as documented in the 2005 IS/MND and 2011 Addendum assumptions.

## 1.3 Background

Several discretionary actions have been approved by the City related to the development of the project site. The project site has been the subject of several previous environmental documents that have been certified by the City. All these past documents have been prepared in accordance with CEQA, the State CEQA Guidelines, and City policies related to CEQA and the State CEQA Guidelines. Additionally, a demolition permit was issued and implemented that was not subject to CEQA and/or the State CEQA Guidelines. The following provides background on each of these previous City discretionary actions and environmental documents.

### Stoneridge Ranch Specific Plan EIR

In September 1989 the Stoneridge Ranch Specific Plan EIR was certified by the City and the project site was designated as part of the Stoneridge Specific Plan (SP No. 211). This Specific Plan included 236 acres located south of Highway 60 in the central portion of Moreno Valley and included a mixture of commercial, office, and medical-related land uses. The approximately 29-acre project site was designated in the Stoneridge Ranch Specific Plan for development as Recreation/Entertainment and Open Space.

### Stoneridge Ranch Village General Plan and Zone Change Amendment

On November 16, 2004, the City adopted a General Plan Amendment (PA04-0024) and Change of Zone (PA04-0024) and associated environmental documents that repealed the Stoneridge Specific Plan (SP No. 211) and established General Plan and zoning destinations for the overall Stoneridge area. With this action, the project site was designated both R15 and Open Space in the General Plan (Resolution No. 2004-77) and zoned both R15 and Open Space (Ordinance No. 674).

This action included adoption of a 205-unit single-family residential Planned Unit Development (PUD) and a 139-unit small lot single-family residential PUD that have been developed to the west of the project site.

In addition, the Stoneridge Towne Centre and Moreno Beach Plaza retail centers were developed to the east and north of the subject site. The project site was approved for the development of 276 residential townhome units in multi-story residential buildings within the R15 portion of the 29 acre project site.

## 1.0 Introduction

### Stoneridge Ranch Village III Planned Unit Development (PUD) and 2005 Initial Study/Mitigated Negative Declaration (2005 IS/MND)

On April 4, 2005, the City certified the Stoneridge Ranch Village III Initial Study/Mitigated Negative Declaration (2005 IS/MND) and adopted Tentative Tract Map No. 32835. The 2005 IS/MND evaluated the impacts from changes to the project land use to a 276-unit residential townhome complex and various open space components on the project site. The approval by the City included the adoption of the Stoneridge Ranch Village III Planned Unit Development (PUD) that included design standards for development of a 276-unit townhome complex and various open space, recreation and drainage lots on virtually the same amount of acreage. A final condominium map for the townhomes was recorded in 2006. Grading for Stoneridge Ranch Village III homes and infrastructure and the construction of a townhome model home complex was completed.

### Grading and Demolition Permits

A final condominium map was recorded and grading and building permits were issued in 2006. The project site was graded and some underground utilities, roads, curbs and gutters were constructed. Additionally, a model home complex consisting of townhomes was built. The model home complex was demolished by Beazer Homes (Project Applicant) in 2011. The demolition permit was issued by the City in accordance with adopted City policies.

### Stoneridge Ranch Village III Amended PUD and 2011 Addendum

Beazer Homes requested approval of three (3) discretionary components related to the project site. The first component included a Tentative Tract Map No. 36340 (PA10-0038). PA 10-0038 provided for the development of the project site with a small lot detached residential subdivision on approximately 29 acres of land. The second component was a Conditional Use Permit to Amend the Planned Unit Development (PA09-0039). The Amended PUD provided standards for the small lot detached subdivision and also protected natural rock outcroppings and provided common open space and private/common recreational opportunities. The third component was a Development Agreement (PA10-0029) providing reductions in certain development impact fees in exchange for construction of the project in accordance with the current proposal. The Development Agreement was submitted and it was brought to Planning Commission however it was removed by the Project Applicant for further review prior to City Council. .

The above actions were evaluated via the 2011 Addendum (2011 Addendum). The 2011 Addendum was prepared pursuant to Section 15164 of CEQA. This section provides that an addendum to an adopted negative declaration (ND) may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15161 calling for the preparation of a subsequent EIR or negative declaration have occurred.

The City found (2011 Addendum) that no substantial changes occurred from the original project which would require major revisions of the environmental document or prior negative declaration, and no new significant environmental effects were identified with the proposed 275 unit single-family residential project on roughly 29 gross acres of land. Additionally, approval of a drainage basin and private open space remained in the OS land use district portion.

## 1.0 Introduction

The 2011 Addendum was certified by the City in February 2011 (Resolution Nos. 2011-05, 2011-06, 2011-07). The approval by the City included the adoption of an Amended Planned Unit Development (Amended PUD) by the City. The Amended PUD retained the proposed residential land uses, overall location of homes, recreational areas, open space, circulation patterns, and density. The Amended PUD changed the character of the previously approved Stoneridge Ranch Village III project from 276 townhomes to 275 detached residential homes.

### 1.4 Purpose of 2016 Addendum.

The purpose of this 2016 Addendum is to evaluate whether the 2016 Modified Project would result in any new or substantially greater significant effects or require any new mitigation measures not identified in the previous environmental documentation. This 2016 Addendum, together with the 2005 IS/MND and 2011 Addendum will be used by the City when considering approval of the 2016 Modified Project.

### 1.5 CEQA Framework for Addendum

For a proposed modified project, State CEQA Guidelines (Sections 15162 and 15164) provide that an addendum to an adopted MND may be prepared if only minor technical changes or additions are necessary or none of the following conditions calling for the preparation of a subsequent MND have occurred:

- Substantial changes in the project which require major revisions to the MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- Substantial changes with respect to the circumstances under which the project is undertaken which require major revisions to the MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time of MND adoption, shows any of the following:
  - i) the project will have one or more significant effects not discussed in the MND,
  - ii) the project will result in impacts substantially more severe than those disclosed in the MND,
  - iii) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponent declines to adopt the mitigation measure or alternative, or
  - iv) mitigation measures or alternatives that are considerably different from those analyzed in the MND would substantially reduce one or more significant effects on the environment, but the project proponent declines to adopt the mitigation measure or alternative.

The purpose of this 2016 Addendum is to evaluate the proposed changes to the development of the project site as would be established by the 2016 Modified Project in comparison to the effects evaluated in the 2005 IS/MND



## 1.0 Introduction

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and 2011 Addendum; and, to demonstrate that the 2016 Modified Project does not “trigger” any of the conditions described above.

Based upon the information provided in Section 3.0 of this 2016 Addendum, the changes:

1. Will not result in any new significant effects not discussed in the 2005 IS/MND and 2011 Addendum;
2. Will not substantially increase the severity of impacts previously identify in the 2005 IS/MND and 2011 Addendum;
3. Will not result in a mitigation measures previously found not to be feasible would in fact would be feasible and would substantially reduce one or more significant effects of the project. There were no alternatives analyzed in the in the 2005 IS/MND or 2011 Addendum. Additionally, the Project Applicant did not decline to adopt a mitigation measure or alternative that would have been feasible and would have substantially reduced one (1) or more significant effects of the project; and,
4. Will not result in a mitigation measures or alternatives that would be considerably different from those analyzed in the in the 2005 IS/MND and 2011 Addendum that would substantially reduce one or more significant effects on the environment. There were no alternatives analyzed in the in the 2005 IS/MND or 2011 Addendum. Additionally, the Project Applicant did not decline to adopt the mitigation measure or alternative.

None of the factors set forth in Section 15162(a) (3) are present. Therefore, the preparation of an addendum is appropriate and this 2016 Addendum has been prepared to address environmental impacts of the 2016 Modified Project.

## 2.0 PROJECT DESCRIPTION AND SETTING

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## 2.0 Project Description and Setting

### 2.1. Project Overview

The 2016 Modified Project consists of the subdivision and development of approximately 29 acres for the development maximum of 274 residential detached residences. In addition, the 2016 Modified Project would include permanent open space, a paseo system, trails, landscape areas, private recreation areas, water quality basins, guest parking, and entry monuments. The project site would be graded and the construction of a maximum of 274 residential units, off-street parking, on-site circulation, community building, pool and spa, multiple tot-lots, and outdoor space area would occur. Access to the 2016 Modified Project would be provided via three (3) gated entrances for vehicles and separate gated entrances for pedestrians.

#### Land Use Summary

Table 2-1: Land Use Summary, below provides details of the proposed project.

**Table 2-1: Land Use Summary**

<b>Lots</b>	<b>Land Use</b>	<b>Acreage</b>	<b>Percent</b>
1-272, & 274, & 275	Residential (Detached)	14.83	51.1%
273	Recreation	0.44	1.5%
A	Detention Basin (Existing)	1.68	5.8%
B	Nature Park	2.38	8.2%
C-RR	Open Common Area Private Street(s)	4/22	14.7
TT-WW	Private Street(s)	5.45	18.7
	<b>Gross Acreage</b>	<b>29.00</b>	<b>100.0%</b>

#### Planned Unit Development

Pursuant to City of Moreno Valley (City) Municipal Code Section 9.03.060, Planned Unit Developments (PUD) allow for greater innovation in housing development and diversity of housing choice than would otherwise be possible according to the strict application of the site development regulations defined by the City's Municipal Code. The proposed project was previously submitted as a PUD and is requesting an update to the PUD.

### 2.2 Project Background

The project site is part of the overall Stoneridge Ranch site. The northern section has been approved and developed as commercial. Two (2) of the three (3) residential tracts have been developed. The project site is the third residential community. It was first approved to be attached multi-family (townhome) housing in 2005. The City Council, by resolution, approved the IS/MND for the original project. The IS/MND evaluated the environmental impacts associated with the development of the 274 attached townhome residential community. However, in 2011 the developer revised the plans for this part of the community and proposed residential

## 2.0 Project Description and Setting

detached housing site plan with shared common space and no backyards. The 2016 Modified Project has the same amount of units; however, the 2016 revised project has private open space areas (i.e. backyards) and a revised paseo system. Please note that the Modified, Revised (2011) and Original Project (2005) are at the exact same location with the exact same acreage area.

## 2.3 Project Location

The project site is generally located to the southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley (City). The proposed project site is specifically bounded by: Eucalyptus Avenue to the north and west and future permanent open space to the south and east. Figure 1: Regional Location Map provides the regional context. Figure 2: Local Vicinity Map and Figure 3: Aerial View provides a more precise location and boundaries of the modified project. Additionally, Figure 4: Surrounding Land Uses show the surrounding residential and commercial uses adjacent to the project site.

### Assessor's Parcel Number(s)

The project site is comprised of the following assessor's parcel numbers:

- 488-090-026
- 488-090-027
- 488-090-028
- 488-090-061
- 488-090-077
- 488-090-078
- 488-092-025
- 488-092-031
- 488-092-053
- 488-092-073

## 2.4 Existing General Plan Designation and Zoning

The General Plan designates the project site as Residential 15 (Max 15 du/ac) and zoned Residential 15 (Max 15 du/ac) on 24.97 acres and Open Space (General Plan and Zoning) on 4.03 acres. The proposed project is not requesting a change to the general plan and zoning designation.

## 2.5 Comparison of Approved and 2016 Modified Project

The 2005 IS/MND evaluated the original project, a 274 unit attached (townhome) residential community with a Planned Unit Development (PUD). The updated site plan has been provided in Figure 5: Site Plan and Figure 5A: 274 Lots. The original project PUD and map was updated in 2011. Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project shows the site plan differences (if any) between the 2005 approved IS/MND including the 2011 Addendum and the 2016 Modified Project. Table 2-3: Comparison of Environmental Findings shows the environmental differences (if any) between the 2005 approved IS/MND including the 2011 Addendum and the 2016 Modified Project

### Planned Unit Development

The proposed project is requesting a second change to the Planned Unit Development (PUD). As noted above, the approved project was part of a PUD that was approved with the 2005 IS/MND for attached townhomes. Additionally, the City approved an updated PUD in 2011 (2011 PUD) which included the same number of homes;

## 2.0 Project Description and Setting

however the project became residential detached homes. The primary difference between the 2005 and 2011 projects was the change from attached townhomes to detached residential units. The 2011 plan did not include backyards and maintained the common open space areas. The 2016 Modified Project is requesting approval of the 2016 PUD to reflect the new design elements of the project. These modified design elements include but are not limited to:

1. **Private Residential Home Backyards:** Each residence will have a private backyard and enlarged side yard for their own open space and personal use. This will reduce common open space and HOA dues, and increase private open space areas. The updated site plan illustrating the private residential backyards has been provided in Figure 5: Site Plan.
2. **Paseo System:** The approved project included a paseo system that would be maintained by a homeowners association. The 2016 Modified Project revises the paseo system to allow for individual private open space areas for each homeowner. The revised paseo system allows for connectivity to the parks, natural open space, and surrounding regional trails, open space and parks. This is shown on Figure 6: Connectivity.
3. **Elevations & Floor Plans:** The updated elevations and floor plans are provided in Figure 7: Building & Floor Plans. Four floor plans will be offered along with a reverse version of each, for a total of 8 unique floor plans. Four elevations will be offered for each floor plan. The homes will range from 1,542 square feet to 1,982 square feet with three (3) to five (5) bedrooms.

## 2.6 Discretionary Actions

This 2016 Addendum addresses the potential environmental effects of the 2016 Modified Project, including all of the associated discretionary actions and approvals required to implement the proposed project, as well as all subsequent construction and operational activities. As part of the 2016 Modified Project, the City will consider approval of the following:

- Certification of Environmental Documentation;
- Approval of the Tentative Tract Map; and,
- Approval of the 2016 PUD, Plot Plan, Floor Plans, Elevations, and Landscape Plans.

## 2.0 Project Description and Setting

Table 2-2: Comparison of 2011 Amended PUD &amp; 2016 Modified Project

	2005 Original PUD	2011 Amended PUD	2016 Modified Project
Project Location	Southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley (City)	Southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley (City)	Southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley (City)
General Plan and Zoning Designation	R15 & OS	R15 & OS	R15 & OS
Land Use	Townhome attached (2005 IS/MND)	Residential detached (2011 Addendum).	Residential detached
<b>Acres / %</b>			
Residential	See Note 1	13.05 / 45.05%	14.83 / 51.1%
Recreation	2.76 / 9.5%	0.46 / 1.6%	0.44 / 1.5%
Detention Basin	1.65 / 5.7%	1.65 / 5.7%	1.68 / 5.8%
Nature Park	2.38 / 8.2 %	2.38 / 8.2%	2.38 / 8.2%
Open Common Area	See Note 1	6.04 / 20.85%	4.22 / 14.7%
Private Streets	See Note 1	5.39 / 18.6%	5.45 / 18.7%
Total Area	28.08/100%	28.97 / 100%	29.00 / 100%
Units	275	275	274
PUD	Townhome attached with common open space(2005 IS/MND)	Detached residences with common open space (2011 Addendum).	Detached residences with private open space and reduced common open space.
<b>Overall Design</b>			
Minimum Lot Size	See Note 1.	1,846 square feet	1,960 square feet
Maximum Lot Size	See Note 1.	3,181 square feet	3,989 square feet
Average Lot Size	See Note 1.	2,067 square feet	2,361 square feet
Gross Acres	29.08 acres	28.97 acres	29.07 acres
Net Acreage (excluding private parks, detention basin & recreation area).	29.08 acres	24.48 acres	24.57 acres
Gross Density	9.5 dwelling unit per acre (du/ac)	9.5 dwelling unit per acre (du/ac)	9.36 dwelling unit per acre (du/ac)
Net Density	9.5 dwelling unit per acre (du/ac)	11.2 dwelling unit per acre (du/ac)	11.07 dwelling unit per acre (du/ac)
Minimum Lot Width in feet	See Note 1.	25 feet	29.50 feet
Minimum Lot Depth in feet	See Note 1.	60 feet	65 feet
<b>Setbacks</b>			
Minimum Front Yard	25 feet	3 feet (Typical 6 to 7 feet)	3.5 feet (Typical 3 to 23 feet)
Minimum Rear Year	20 feet	3 feet (Typical 4 feet)	12 feet (Typical 12-29 feet)
Minimum Side Yard (Interior Side Yard)	10 feet	3 feet	3 feet
Minimum Building to	20 feet	6 feet	6 feet

## 2.0 Project Description and Setting

Table 2-2: Comparison of 2011 Amended PUD &amp; 2016 Modified Project

	2005 Original PUD	2011 Amended PUD	2016 Modified Project
Building Separation			
Maximum Lot Coverage	See Note 1	70%	69%
Building Height Maximum	30 feet	30 feet	30 feet
<b>Parking</b>			
Private - Garage	550 parking spaces	544 parking spaces	548 parking spaces
Guest	270 parking spaces	138 spaces	142 parking spaces
Total	820 parking spaces	688 parking spaces	690 parking spaces
<b>Landscape</b>			
Landscape Concept Plan	The Landscape Concept Plan provides for community entry statements, detention basin, open space, play areas, BBQs, benches, and a recreation area with a pool and spa.	The Landscape Concept Plan provides for community entry statements, detention basin, open space, a paseo system, play areas, BBQs, benches, and a recreation area with a pool and spa.	The Landscape Concept Plan provides for community entry statements, detention basin, open space, a revised paseo system, play areas, BBQs, benches, and a recreation area with a pool and spa.
Landscape Palette	The landscape palette implements and enhances the community's natural setting.	The landscape palette implements and enhances the community's natural setting.	The landscape palette implements and enhances the community's natural setting, while also reducing irrigation needs and conserving water resources.
Community Recreation	3 private recreation areas (including a club house/pool area)	3 private recreation areas (including a restroom facility/pool/spa area) and a separate spa	4 private recreation areas (including a restroom facility/pool/spa area)
Open Common Area	6.04 acres (20.85%)	6.04 acres (20.85%)	4.22 acres (14.7%)
Open Space (GP/Zoned)	4.03 acres (nature park and detention)	4.03 acres (nature park and detention)	4.03 acres (nature park and detention)
Community Entry Statements	Eucalyptus Avenue	Eucalyptus Avenue	Eucalyptus Avenue
Secondary Entry Statements	Identify neighborhood and two secondary entrances	Identify neighborhood and two secondary entrances	Identify neighborhood and two secondary entrances
Circulation System	Vehicle, bicycle, and pedestrian components integrated with one another to provide multiple opportunities for the community residents to move freely. Connections to city-wide pedestrian and bicycle trails.	Vehicle, bicycle, and pedestrian components integrated with one another to provide multiple opportunities for the community residents to move freely. Connections to city-wide pedestrian and bicycle trails.	Vehicle, bicycle, and pedestrian components integrated with one another to provide multiple opportunities for the community residents to move freely. Connections to city-wide pedestrian and bicycle trails.

## 2.0 Project Description and Setting

Table 2-2: Comparison of 2011 Amended PUD &amp; 2016 Modified Project

	2005 Original PUD	2011 Amended PUD	2016 Modified Project
<b>Architectural Design</b>			
Plan 1	4 Bedroom 3 baths / 1,806 sq. ft.	2 bedroom 2.5 baths / 1,377 square feet	3 bedrooms 2.5 baths / 1,542 square feet
Plan 2	4 Bedroom 3 baths / 1,886 sq. ft.	3 bedrooms 2.5 bath / 1,664 square feet	3 bedrooms, 2.5 baths, and loft area / 1,733 square feet
Plan 3	4 Bedroom 3 baths / 1,900 sq. ft.	3 bedrooms 2.5 bath / 1,815 square feet	4 bedrooms, 2.5 baths, and tech area / 1,818 square feet
Plan 4	4 Bedroom 3 baths / 1,900 sq. ft.	4 bedrooms 2.5 bath / 1,981 square feet	3 bedrooms 2.5 baths / 1,982 square feet
Styles	Spanish, Traditional, & Cottage	Spanish, Traditional, & Cottage	Spanish, Cottage Italianate, & Classical
Source: Vista, Beazer and MDS. Note: 1. The Original 2005 PUD consistent of 1 lot.			



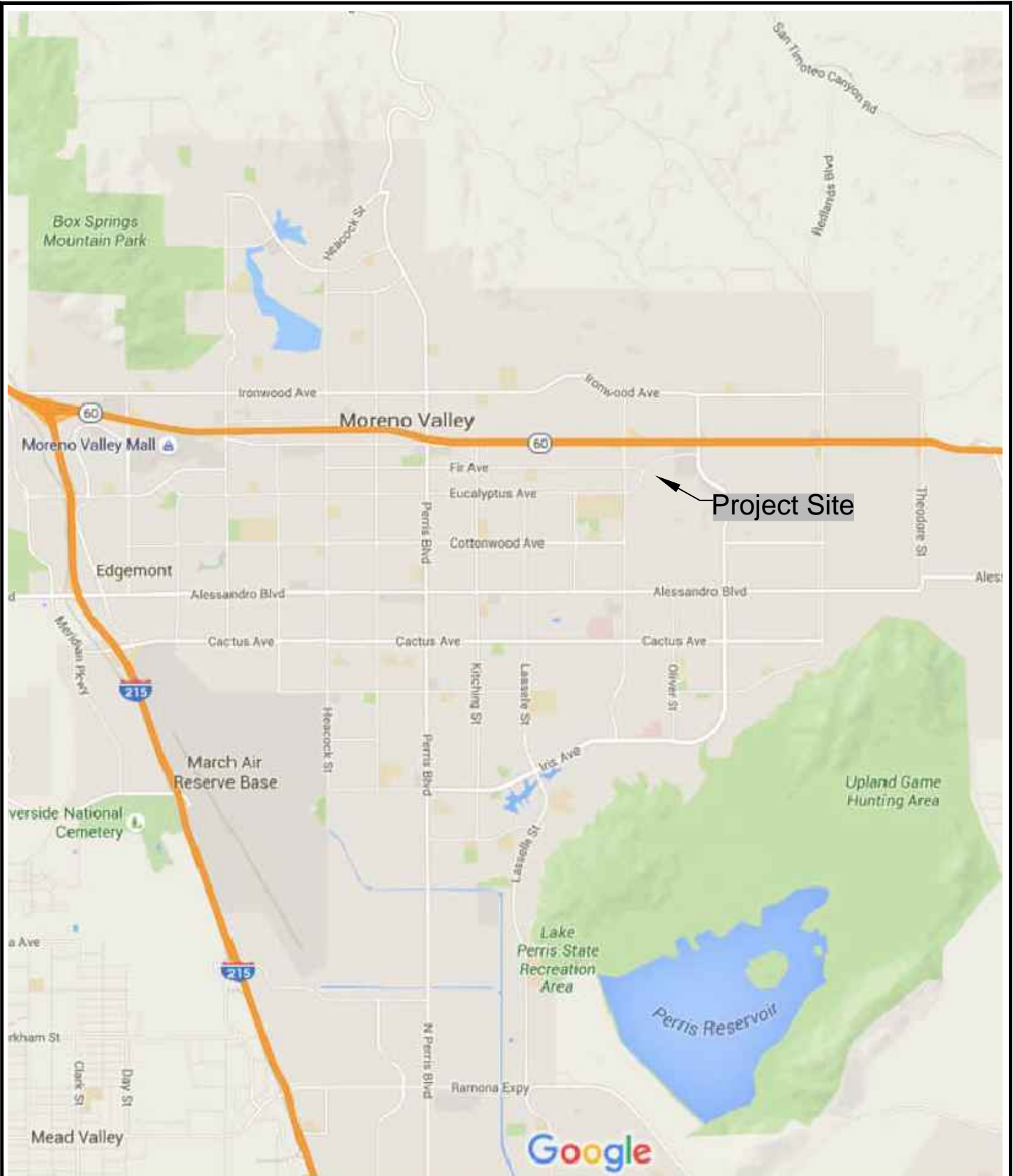
Table 2-3: Comparison of Environmental Findings

CEQA	2005 IS/MND & 2011 Addendum	2016 Addendum
3.1 Aesthetics	No impact was identified and no mitigation measures were proposed.	<p>The 2016 Modified Project would allow for the development of detached residential units with private backyards. This feature reduces the common open space areas that a Home Owner's Association would be required to maintain and allow for each residence to have private space. However, the 2016 Modified Project maintains a revised paseo system that allows for connectivity to the on-site open space and recreation, and surrounding regional trails, parks and open space.</p> <p>This feature does not change the visual character of the project site. Additionally, the change allows the 2016 Modified Project to be consistent with the surrounding neighborhoods that are constructed with as residences with private yards.</p>
3.2 Agriculture and Forestry Resources	No impact was identified and no mitigation measures were proposed.	No change.
3.3 Air Quality	No impact was identified and no mitigation measures were proposed.	No change.
3.4 Biological Resources	No impact was identified and no mitigation measures were proposed.	No change.
3.5 Cultural Resources  The State-implemented SB18 related to consultation with Native Americans.	No impact was identified and no mitigation measures were proposed.	No change. Mitigation Measure CR-1 has been included to reflect existing (2016) City policies related to cultural resources.
3.6 Geology and Soils	No impact was identified and no mitigation measures were proposed.	No change.
3.7 Greenhouse Gas Emissions  CEQA and the State CEQA Guidelines have been amended to require consideration of greenhouse gas emissions (GHG).	No discussion was included in the documents as this is a requirement established after project approvals.	Section 3, Environmental Analysis of this document provides a discussion of the potential impacts related to greenhouse gas emissions that could result from implementation of the 2016 Modified Project.
3.8 Hazards and Hazardous Materials	No impact was identified and no mitigation measures were proposed.	No change.
3.9 Hydrology and Water Quality  Requirements related to the preparation of water quality	No impact was identified and no mitigation measures were proposed.	No change. The City Public Works Department, Land Development has determined that the proposed tentative tract map (TTM 36933) is almost identical to the

## 2.0 Project Description and Setting

Table 2-3: Comparison of Environmental Findings

CEQA	2005 IS/MND & 2011 Addendum	2016 Addendum
management plans have been revised by the Regional Water Quality Control Board (RWQCB) and City.		approved tentative tract map (TTM 36430) except for the size of the private rear yards. Therefore, no new WQMP is required for the 2016 Modified Project.
3.10 Land Use and Planning	No impact was identified and no mitigation measures were proposed.	No change.
3.11 Mineral Resources	No impact was identified and no mitigation measures were proposed.	No change.
3.12 Noise	Less than significant impacts with mitigation incorporated were identified. Mitigation Measures NO-1, NO-2, NO-3, NO-4, & NO-5 were proposed and incorporated into the Mitigation Monitoring and Reporting Program (MM&RP).	Less than significant impacts with mitigation incorporated were identified. Mitigation Measures NO-1, NO-2, NO-3, NO-4, & NO-5 were proposed and incorporated into the Mitigation Monitoring and Reporting Program (MM&RP).
3.13 Population and Housing	No impact was identified and no mitigation measures were proposed.	No change.
3.14 Public Services	No impact was identified and no mitigation measures were proposed.	No change.
3.15 Recreation	No impact was identified and no mitigation measures were proposed.	No change.
3.16 Transportation and Traffic	Less than significant impacts with mitigation incorporated were identified. Mitigation Measures TR-1 & TR-2 were proposed and incorporated into the Mitigation Monitoring and Reporting Program (MM&RP).	Less than significant impacts with mitigation incorporated were identified. Mitigation Measures TR-1 & TR-2 were proposed and incorporated into the Mitigation Monitoring and Reporting Program (MM&RP).
3.17 Utilities and Service Systems	No impact was identified and no mitigation measures were proposed.	No change.
Mandatory Findings of Significance	Less than significant impacts were identified.	No change.
Source: Vista, Beazer and MDS. Note. 1. Changes in the existing setting and/or regulations are noted.		



SOURCE: www.maps.google.com

# REGIONAL LOCATION MAP

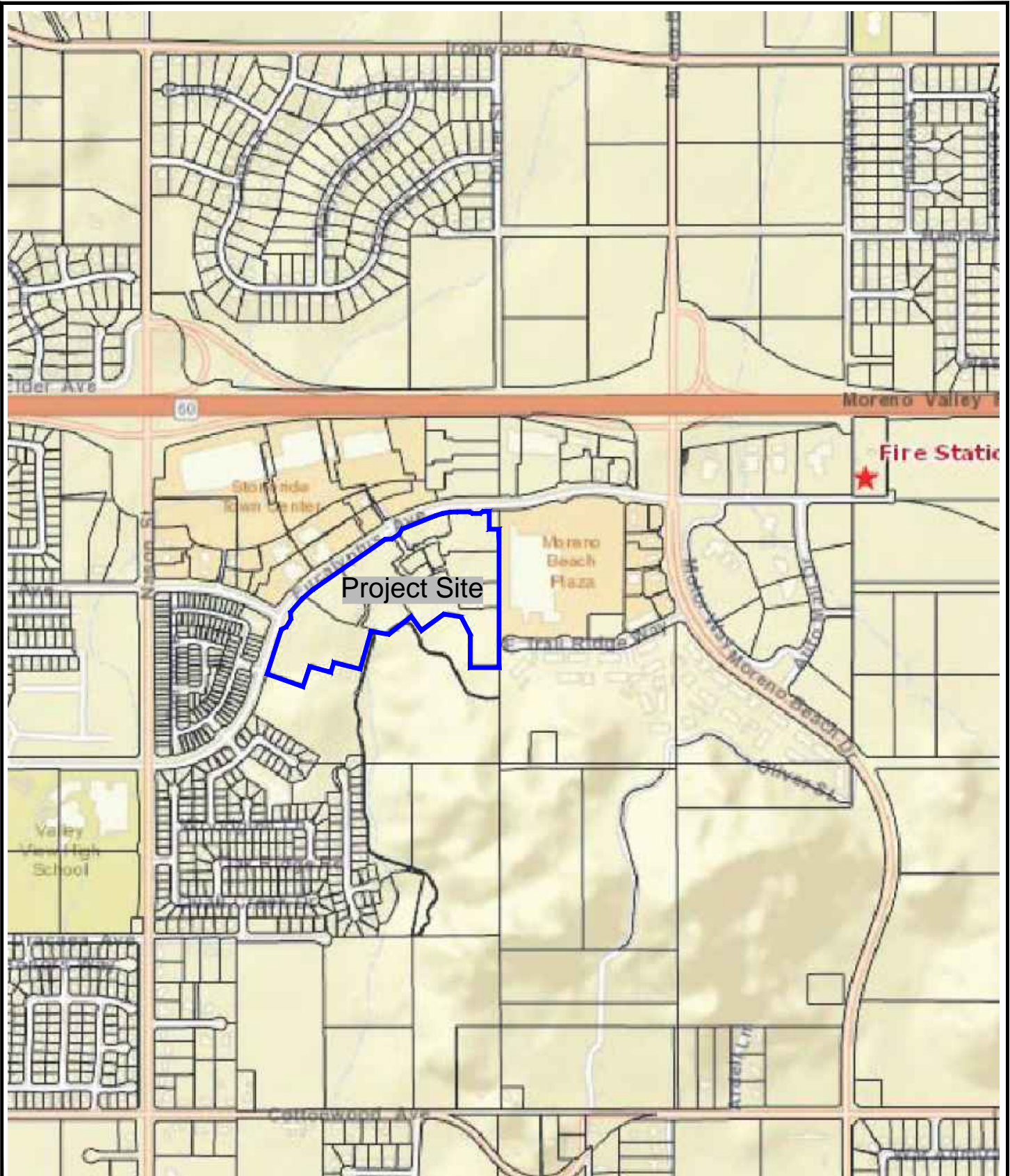
## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

VISTA  
NO SCALE



FIGURE 1

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: City of Moreno Valley GIS

# LOCAL VICINITY MAP

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

VISTA  
NO SCALE



FIGURE 2

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: Google Earth

# AERIAL VIEW

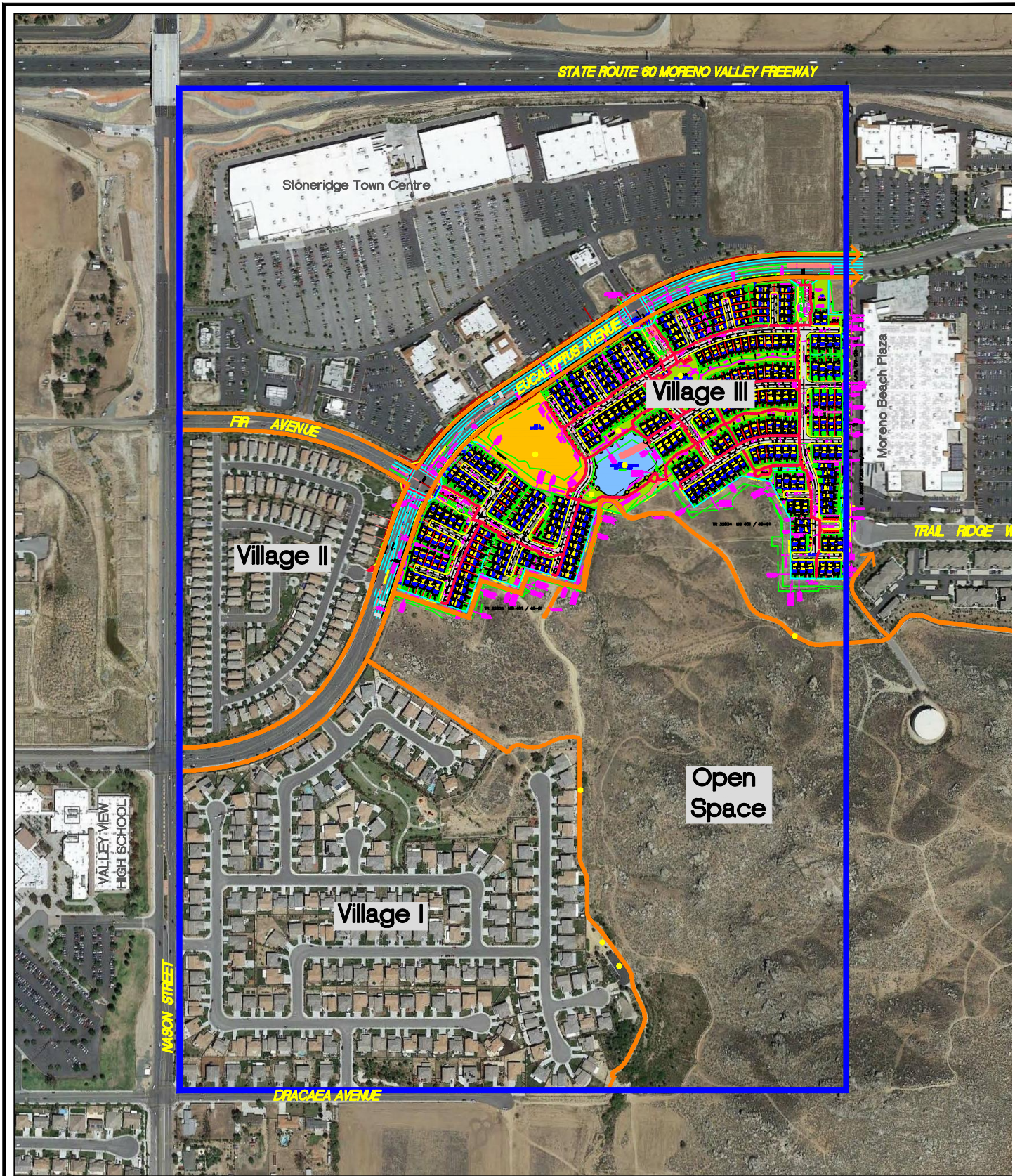
## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

VISTA  
NO SCALE



FIGURE 3

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: MDS Consulting

# SURROUNDING LAND USES

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

VISTA  
NO SCALE



FIGURE 4

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



VISTA  
NO SCALE



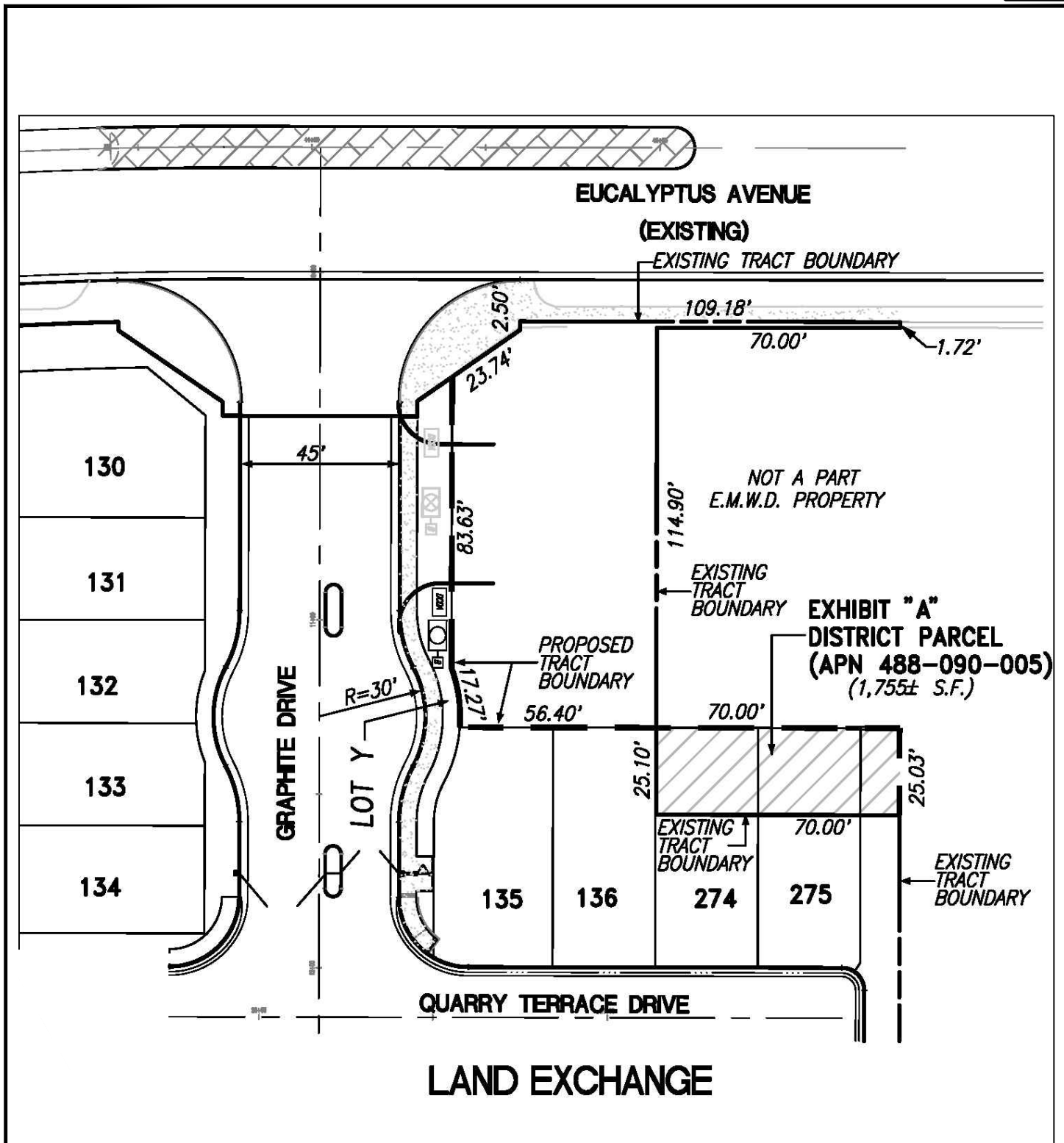
FIGURE 5

# SITE PLAN

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

SOURCE: MDS Consulting.

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: MDS Consulting

# 274 LOTS

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

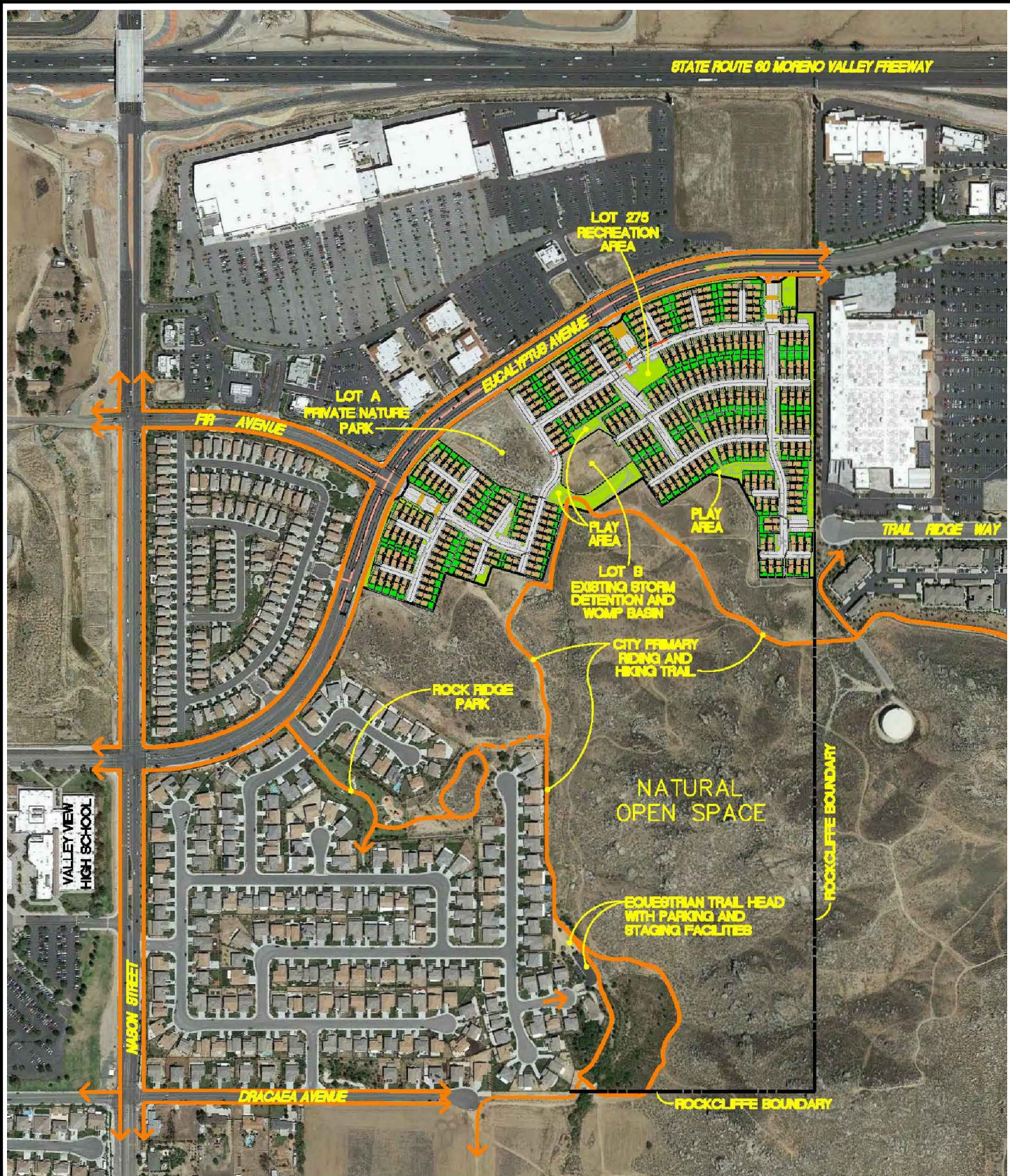
VISTA  
NO SCALE



FIGURE 5A

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)





SOURCE: MDS Consulting

# CONNECTIVITY

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

VISTA  
NO SCALE



FIGURE 6

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

3.b

FIRST FLOOR PLAN

AREA TABULATION

CONDITIONS SPACE	85 SQ. FT.
SECOND FLOOR AREA	815 SQ. FT.
TOTAL DWELLING	1,542 SQ. FT.
UNCONDITIONS SPACE	428 SQ. FT.
GARAGE	24 SQ. FT.
PORCH	

SECOND FLOOR PLAN

SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

FLOOR PLAN 1

ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

FIGURE 7A

Packet Pg. 626

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



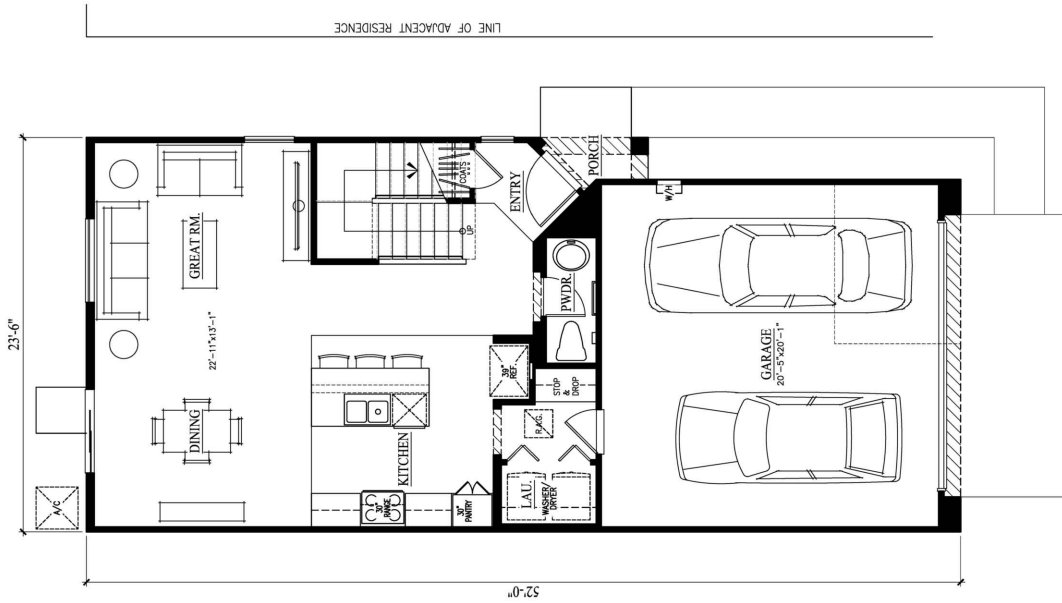
SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

# PLAN 1 ELEVATIONS

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

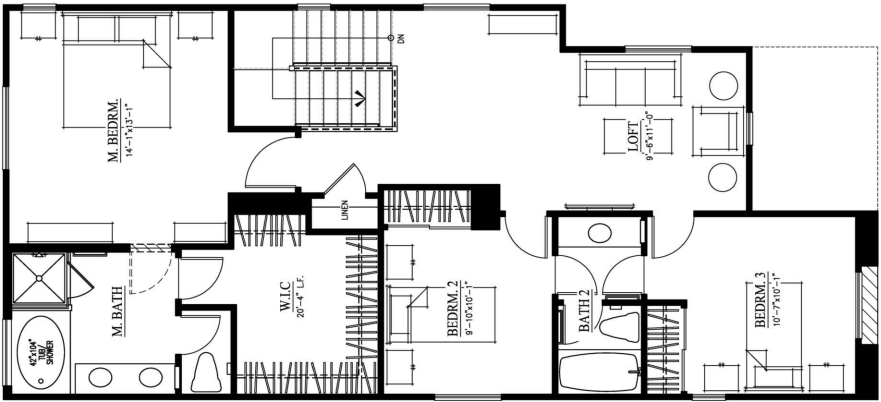
### FIGURE 7B



FIRST FLOOR PLAN

AREA TABULATION

UNCONDITIONED SPACE	111.50 SQ. FT.
SECOND FLOOR AREA	1,203.50 SQ. FT.
TOTAL DWELLING	1,733.50 SQ. FT.
UNCONDITIONED SPACE	428.50 SQ. FT.
GARAGE PORCH	15.50 SQ. FT.



SECOND FLOOR PLAN

SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

FLOOR PLAN 2

ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

FIGURE 7C

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

# PLAN 2 ELEVATIONS

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

### FIGURE 7D

3.b

FIRST FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	78	SQ. FT.
UNCONDITIONED SPACE	1,248	SQ. FT.
ESCAPE AREA	1,818	SQ. FT.
TOTAL DWELLING	428	SQ. FT.
UNCONDITIONED SPACE	22	SQ. FT.
GARAGE PORCH		

PLAN 3

SECOND FLOOR PLAN

SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

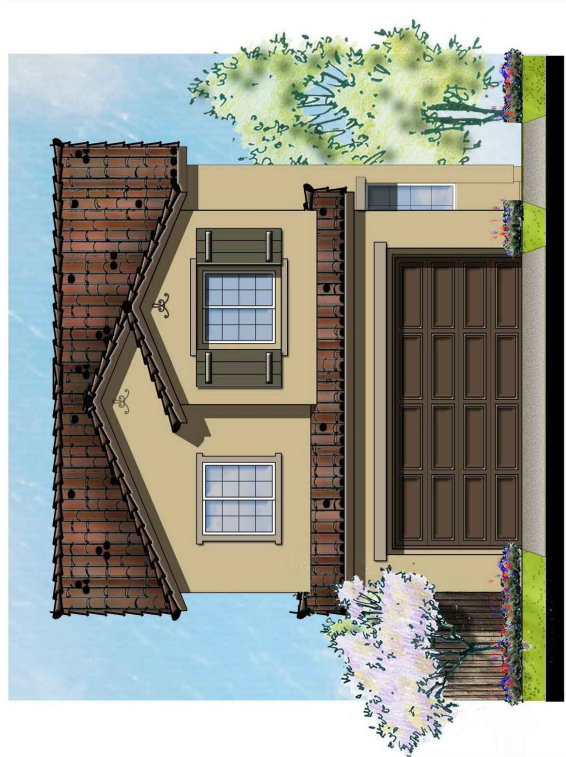
FLOOR PLAN 3

ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

FIGURE 7E

Packet Pg. 630

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

# PLAN 3 ELEVATIONS

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

### FIGURE 7F

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

3.b

SECOND FLOOR PLAN

PLAN 4

AREA TABULATION

CONDITIONED SPACE	803 SQ. FT.
FIRST FLOOR AREA	1,179 SQ. FT.
SECOND FLOOR AREA	1,982 SQ. FT.
TOTAL DWELLING	3,161 SQ. FT.
UNCONDITIONED SPACE	418 SQ. FT.
SCREENED PORCH	418 SQ. FT.

FIRST FLOOR PLAN

VISTA  
NO SCALE

FIGURE 7G

FLOOR PLAN 4

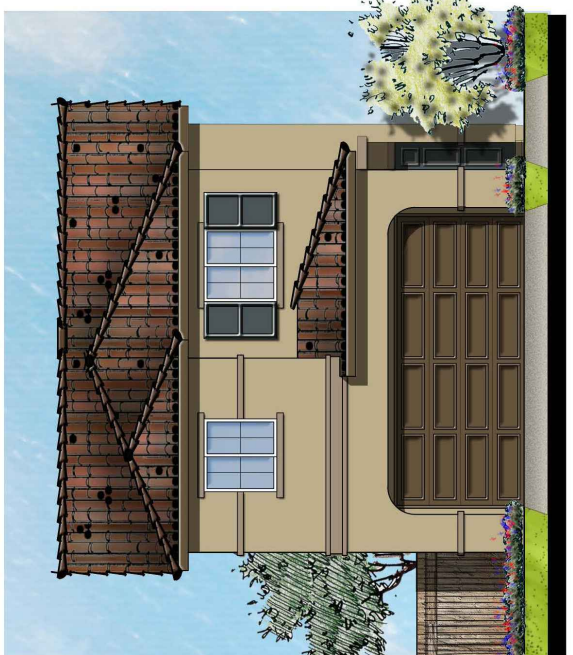
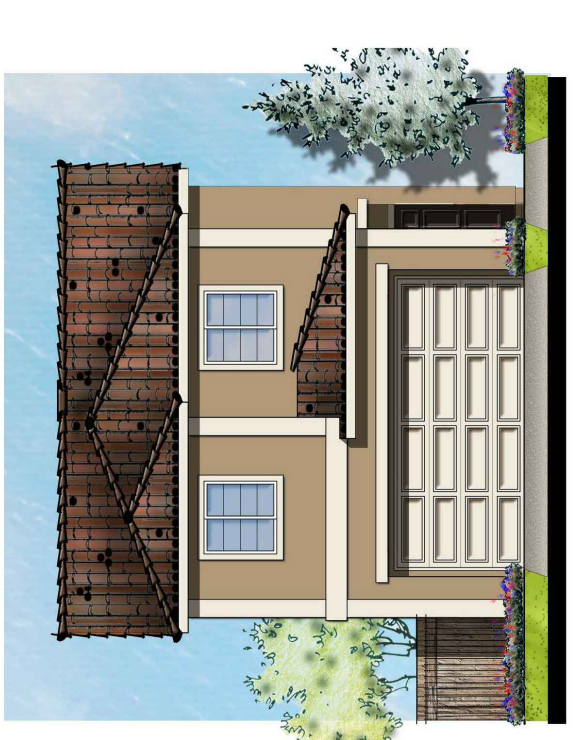
ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

SOURCE: Kevin L. Crook Architect, Inc.

Packet Pg. 632

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)





SOURCE: Kevin L. Crook Architect, Inc.

VISTA  
NO SCALE

# PLAN 4 ELEVATIONS

## ROCKCLIFFE PROJECT - CITY OF MORENO VALLEY

### FIGURE 7H

### 3.0 ENVIRONMENTAL ANALYSIS

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### 3.0 Environmental Analysis

As discussed in Section 1.0, Introduction, this comparative analysis has been undertaken pursuant to the provisions of the State CEQA Sections 15162 and 15164. This 2016 Addendum evaluates whether modifications/refinements to the proposed project design (2016 Modified Project) would result in any new or substantially more adverse significant effects or require any new mitigation measures not identified in the 2005 IS/MND or 2011 Addendum.

As described in Section 2.0, Project Description, the 2016 Modified Project is requesting approval of the 2016 PUD to reflect the new design elements of the proposed project. Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project provides a comparison of the changes requested. These modified design elements include but are not limited to:

1. **Private Residential Home Backyards:** Each residence will have a private backyard for open space and personal use. This will reduce common open space and increase private open space areas.
2. **Paseo System:** The approved project included a paseo system that would be maintained by a homeowners association. The 2016 Modified Project amends the paseo system to allow for individual private open space areas for each homeowner. The revised paseo system allows for connectivity to on-site parks and natural open space within the project as well as regional trails, open space and park areas beyond the site's boundaries.
3. **Elevations & Floor Plans:** The updated elevations and floor plans are provided in Figure 7: Building & Floor Plans. Four floor plans will be offered along with a reverse version of each, for a total of 8 unique floor plans. Four elevations will be offered for each floor plan. The homes will range from 1,542 square feet to 1,982 square feet with three (3) to five (5) bedrooms.

A new analysis of impacts within the project area is provided in this 2016 Addendum. The environmental analysis provided in the 2005 IS/MND and 2011 Addendum remains current and applicable to the 2016 Modified Plan in areas unaffected by the design refinements for the environmental topics, as listed below:

#### 3.1 Aesthetics

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to aesthetics. The 2016 Modified Plan would establish a revised design that would not result in potential additional impacts to aesthetics resources based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The 2016 Modified Plan would allow for detached residential units with private backyards for open space and personal use. The backyards reduce the common open space areas that the Home Owner's Association would be required to maintain and allow residences to have private open space areas.

Private backyards will not change the visual character of the project site. Additionally, this change allows the 2016 Modified Plan to be consistent with surrounding neighborhoods. The surrounding neighborhoods have been developed with single-family detached residences with private yards.

The 2016 Modified Project amends the paseo system to allow for individual private open space areas for each homeowner. The revised paseo system will not change the visual character of the developed project site.

### 3.0 Environmental Analysis

However, the 2016 Modified Project would maintain a revised paseo system that allows for connectivity to the on-site open space and recreation, and off-site regional trails, parks and open space. Additionally, the revised paseo allows the 2016 Modified Plan to be consistent with the surrounding neighborhoods that are not developed with paseo systems, but with private backyards. As previously noted, the surrounding neighborhoods are developed with single-family detached residences with private yards.

The 2016 Modified Plan provides updated elevations and floor plans. The updated elevations and floor plans are provided in Figure 7: Building & Floor Plans. Four floor plans will be offered along with a reverse version of each, for a total of 8 unique floor plans. Four elevations will be offered for each floor plan. The homes will range from 1,542 square feet to 1,982 square feet with three (3) to five (5) bedrooms. As noted in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project, no significant changes are proposed in the elevations of the proposed homes that would significantly alter the visual character of the project site.

The project site was partially graded at the time the 2011 Addendum was approved by the City. The additional grading required to implement the 2016 Modified Plan would not create new aesthetic impacts. Additionally, the 2016 Modified Plan is within the approved project's development footprint. Implementation of the 2016 Modified Plan would not result in a substantial adverse effect on a scenic vista, damage to scenic resources, degrade the existing visual character, or create additional light and glare impacts beyond those identified related to the approved project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.2 Agriculture and Forestry Resources

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to agriculture and forestry resources. The 2016 Modified Project would not result in additional impacts to agriculture beyond those identified in the 2005 IS/MND and 2011 Addendum because there are no prime, unique, or statewide important farmlands in the project area based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The 2005 IS/MND and 2011 Addendum did not identify any impacts to agricultural uses; therefore, mitigation was not required. Additionally, the project site has not been used for forest uses nor was the project site zoned for those purposes.

Implementation of the 2016 Modified Project would not result in the conversion of agricultural or forest land, nor would it conflict with existing zoning for these purposes or Williamson Act contract. The 2005 IS/MND and 2011 Addendum did not identify any impacts to agricultural and forestry resources; therefore, mitigation was not required. No new mitigation measures are required for the changes to the approved projects. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.3 Air Quality

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to air quality. The project site is located in the South Coast Air Basin (Basin). The air emissions created in the Basin are regulated by the South Coast Air Quality Management District (SCAQMD). The City relies on the expertise of the

### 3.0 Environmental Analysis

SCAQMD and utilizes the SCAQMD CEQA Air Quality Handbook, 1993 as a guidance document for environmental review of plans and development proposals within the City. The thresholds of significances provided by the SCAQMD have not changed since the approval of the 2005 IS/MND and 2011 Addendum. As such, no changes to the significance levels have occurred. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.4 Biological Resources

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to biological resources. The 2016 Modified Project would not result in additional impacts to biological resources. The project site was partially graded and construction and demolition has occurred. The portion of the project site that was not graded does not have biological resources based on the information presented in previous environmental documentation (2005 IS/MND and 2011 Addendum). The changes to the 2016 Modified Project related to the development footprint, construction intensity, and location would not vary substantially related to the approved project evaluated in the 2005 IS/MND and 2011 Addendum based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.5 Cultural Resources

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to cultural resources. The 2016 Modified Project would not result in changes to the cultural resources based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The project site is presently partially graded. While the 2016 Modified Project involves changes to the type of residential development, the development footprint revisions will not represent a substantial deviation from the project analyzed in the 2005 IS/MND and 2011 Addendum, and the conclusions of the 2005 IS/MND and 2011 Addendum remain valid. Compliance with applicable code standards and conditions of approval will reduce potential cultural resources impacts to less than significant levels. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.6 Geology and Soils

The 2005 IS/MND and 2011 Addendum did not identify any impacts or mitigation measures related to geology and soils. The 2016 Modified Project would not result in changes to the geology and soils based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The 2016 Modified Project does not substantially deviate from the project analyzed in the 2005 IS/MND and 2011 Addendum related to grading and soils, and the conclusions remain valid. Compliance with applicable code standards and seismic requirements will reduce geotechnical concerns to below a level of significance. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.0 Environmental Analysis

#### 3.7 Greenhouse Gas Emissions

Neither the 2005 IS/MND nor the 2011 Addendum included a section evaluating greenhouse gas emissions. The current CEQA guidelines (State CEQA Guidelines, Appendix G) require that Greenhouse Gas Emissions be addressed in environmental documentation.

Greenhouse gases (GHGs) are present in the atmosphere naturally, are released by natural sources, or are formed from secondary reactions taking place in the atmosphere. The gases that are widely seen as the principal contributors to human-induced global climate change are: carbon dioxide (CO<sub>2</sub>) methane (CH<sub>4</sub>), nitrous oxide (N<sub>2</sub>O), hydrofluorocarbons (HFCs), perfluorocarbons (PFCs), and sulfur hexafluoride (SF<sub>6</sub>).

For the last 200 years, human activities have caused substantial quantities of GHGs to be released into the atmosphere. These extra emissions are increasing GHG concentrations in the atmosphere, and enhancing the natural greenhouse effect, which is believed to be causing global warming. While GHGs produced by human activities include naturally-occurring GHGs such as CO<sub>2</sub>, methane, and N<sub>2</sub>O, some gases, like HFCs, PFCs, and SF<sub>6</sub> are completely new to the atmosphere. Certain other gases, such as water vapor, are short-lived in the atmosphere as compared to these GHGs that remain in the atmosphere for significant periods of time, contributing to climate change in the long term. Water vapor is generally excluded from the list of GHGs because it is short-lived in the atmosphere and its atmospheric concentrations are largely determined by natural processes, such as oceanic evaporation.

The California Air Resources Board (ARB) is the lead agency for implementing climate change regulations in the State. Since its formation, the ARB has worked with the public, the business sector, and local governments to find solutions to California's air pollution problems. Important regulatory actions related to GHG emissions include:

**Assembly Bill 1493 (2002)** requires the ARB to set GHG emission standards for passenger vehicles and light duty trucks (and other vehicles whose primary use is noncommercial personal transportation in the State) manufactured in 2009 and all subsequent model years.

**Assembly Bill 32 (2006)**, California Global Warming Solutions Act aims at reducing GHG emissions to 1990 levels by 2020. The ARB has established the level of GHG emissions in 1990 at 427 MMT of CO<sub>2</sub>eq. The emissions target of 427 MMT requires the reduction of 169 MMT from the State's projected business-as-usual 2020 emissions of 596 MMT. In addition, AB 32 directed the ARB and the newly created Climate Action Team (CAT) 6 to identify a list of "discrete early action GHG reduction measures" that can be adopted and made enforceable by January 1, 2010.

**Senate Bill 375 (2008)**. SB 375, signed into law on October 1, 2008, enhances the ARB's ability to reach AB 32 goals by developing regional GHG emissions reduction targets for the automobile and light truck sectors. The ARB will work with California's 18 metropolitan planning organizations to align their regional transportation, housing, and land use plans and prepare a "Sustainable Communities Strategy" to reduce the number of vehicle miles and demonstrate the region's ability to attain its greenhouse gas reduction targets.

**Office of Planning and Research.** To assist public agencies in analyzing the effects of GHGs under CEQA, Senate Bill 97 (Chapter 185, 2007) requires the Governor's Office of Planning and Research (OPR) to develop CEQA

### 3.0 Environmental Analysis

guidelines on how to minimize and mitigate a project's GHG emissions. The Natural Resources Agency adopted CEQA Guidelines amendments related to climate change that became effective on March 18, 2010.

Revisions to Appendix G of the CEQA Guidelines require that unlike the Original Project, the 2016 Modified Project be evaluated for the following impacts:

- Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- Would the project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

**City of Moreno Valley.** The City of Moreno Valley (City) adopted the City of Moreno Valley Energy Efficiency and Climate Action Strategy, on October 9, 2012, along with the City Greenhouse Gas Analysis, prepared February 2012. The City Greenhouse Gas Analysis details potential programs and policies to reduce overall City energy consumption and increase the use of renewable energy. The City Greenhouse Gas Analysis established a target of a 15 percent decrease in GHG emissions over 2007 levels by 2020. The City Greenhouse Gas Analysis was prepared to assist the City in conforming to the GHG emissions reductions as mandated under AB 32. Consistent with the CARB Scoping Plan, the City has chosen a reduction target of 15 percent below 2007 GHG emissions levels by 2020.

#### GHG Emissions Created from 2016 Modified Project

The 2016 Modified Project may generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. The 2016 Modified Project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste disposal, water usage, and construction equipment.

The City has adopted the City of Moreno Valley Greenhouse Gas Analysis that requires a 15 percent reduction in GHG emissions between years 2007 and 2020. In order to determine if the 2016 Modified Project would comply with the Plan's Standards, the GHG emissions from the 2016 Modified Project were analyzed for both year 2010, (closest year available in CalEEMod to 2007) and year 2020. Using year 2010 versus 2007 provides a worst-case analysis, since the State has enacted several laws that took effect after 2007 that reduce GHG emissions and using the latter date means that less GHG reductions can be accounted for from the State measures.

#### 2016 Modified Project Greenhouse Gas Emissions

The project's GHG emissions have been calculated with CalEEMod model. A summary of the results is shown below in Table 3-1: Project Related Greenhouse Gas Annual Emissions.

## 3.0 Environmental Analysis

Table 3-1: Project Related Greenhouse Gas Annual Emissions

Category	Greenhouse Gas Emissions (Metric Tons per Year)					
	Bio-CO2	NonBio-CO2	Total CO2	CH4	N2O	CO2e
Year 2010 Emissions						
Area Sources <sup>1</sup>	0.00	4.62	4.62	0.01	0.00	4.73
Energy Usage <sup>2</sup>	0.00	1,095.89	1,095.89	0.04	0.01	1,101.25
Mobile Sources <sup>3</sup>	0.00	4,227.57	4,227.57	0.23	0.00	4,232.40
Solid Waste <sup>4</sup>	65.25	0.00	65.25	3.86	0.00	146.23
Water and Wastewater <sup>5</sup>	5.66	102.30	107.96	0.59	0.01	124.84
Construction <sup>6</sup>	0.00	35.54	35.54	0.01	0.00	35.68
Vegetation <sup>7</sup>						-16.07
Total 2010 Emissions	70.91	5,465.92	5,536.83	4.73	0.02	5,629.06
Year 2020 Emissions						
Area Sources	0.00	4.62	4.62	0.00	0.00	4.71
Energy Usage	0.00	974.98	974.98	0.03	0.01	979.64
Mobile Sources	0.00	2,999.15	2,999.15	0.09	0.00	3,001.03
Solid Waste	32.62	0.00	32.62	1.93	0.00	73.11
Water and Wastewater	4.53	89.00	93.53	0.47	0.01	107.05
Construction	0.00	35.61	35.61	0.01	0.00	35.75
Vegetation						-16.07
Total 2020 Emissions	37.15	4,103.36	4,140.51	2.53	0.02	4,185.22
Percent Reduction between 2010 and 2020						25.6%
City of Moreno Valley Reduction Threshold						15%
Notes:						
<ol style="list-style-type: none"> <li>Area sources consist of GHG emissions from hearths, consumer products, architectural coatings, and landscaping equipment.</li> <li>Energy usages consist of GHG emissions from electricity and natural gas usage (not including hearths).</li> <li>Mobile sources consist of GHG emissions from vehicles.</li> <li>Waste includes the CO<sub>2</sub> and CH<sub>4</sub> emissions created from the solid waste placed in landfills.</li> <li>Water includes GHG emissions from electricity used for transport of water and processing of wastewater.</li> <li>Construction emissions amortized over 30 years.</li> <li>Vegetation sequestration amortized over 30 years.</li> </ol>						
Source: Appendix A						



### 3.0 Environmental Analysis

Table 3-1: Project Related Greenhouse Gas Annual Emissions shows that the proposed project would create 5,629.06 MTCO<sub>2</sub>e per year based on the default year 2010 GHG emissions rates and in year 2020 would produce 4,185.22 MTCO<sub>2</sub>e per year based on approved Statewide GHG reduction regulations that would be fully implemented by year 2020. Table 3-1: Project Related Greenhouse Gas Annual Emissions shows that through implementation of 1. EO S-1-07, which establishes performance standards for the carbon intensity of transportation fuels, 2. AB 149, which limits GHG emissions from new vehicles sold in California, 3. implementation of the CCR Title 24, Part 6 2013 Building Energy Efficiency Standards and CCR Title 24 Part 11 2013 CalGreen Standards which improves the energy efficiency of the proposed project, and 4. project design features such as providing sidewalks, providing recycling bins, and planting a minimum of 681 trees on the project site, the proposed project's GHG emissions would be reduced by 25.6 percent and would meet the City's minimum 15 percent GHG reduction standard. Therefore, a less than significant generation of GHG emissions would occur from the development and operation of the proposed project and no additional mitigation measures would be required.

#### Greenhouse Gas Plan Consistency

The proposed project would not conflict with any applicable plan, policy or regulation adopted for the purpose of reducing GHG emissions. The applicable plans for the proposed project are the City of Moreno Valley Greenhouse Gas Analysis, adopted February 2012 and the City of Moreno Valley Energy Efficiency and Climate Action Strategy, adopted October 2012 ("Plans"). The City has adopted these Plans in order to assist the City in conforming to the GHG emissions reductions as mandated under AB 32. Both Plans provide the same reduction measures to be implemented in new developments to reduce GHG emissions as well as a GHG emissions reduction target of 15 percent below 2007 GHG emissions levels by 2020. Consistent with the CARB Scoping Plan, the City has chosen a reduction target of 15 percent below 2007 GHG emissions levels by 2020. The proposed project is considered to be consistent with the City's Plans. The proposed project implements all applicable measures identified. Additionally, the proposed project's GHG emissions are 15 percent less than GHG emissions from business-as-usual conditions for a similar size project in year 2007.

The applicable measures provided in the City's GHG Plans were incorporated into the design of the proposed project and include providing housing along a high quality transit corridor, promotion of alternative transportation methods through the construction of sidewalks throughout the project, utilization of shade trees to reduce heat island impacts, utilization of low-flow water fixtures and smart irrigation controls to reduce water use, and through providing recycling bins to reduce waste sent to landfills. Table 3-1: Project Related Greenhouse Gas Annual Emissions found that the implementation of various state requirements as well as from GHG emission reduction design features that have been incorporated into the proposed site plan, the proposed project's GHG emissions would be reduced by 25.6 percent by year 2020. As such, the proposed project will be consistent with the City's GHG reduction plans. Additionally, the proposed project is centrally located that allows for walkability to shopping centers (i.e. Stoneridge Town Centre and Moreno Beach Plaza). Therefore, the proposed project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases and no additional mitigation measures would be required.

### 3.0 Environmental Analysis

#### 3.8 Hazards and Hazardous Materials

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to hazards and hazardous materials. The 2016 Modified Project would not increase risks related to hazards or hazardous materials based on the information provided in Table 3-1: Project Related Greenhouse Gas Annual Emissions. The proposed construction would not require additional construction equipment or increased use of such equipment. Additionally the project site is vacant and partially graded. There is no impact related to potential hazards associated with asbestos-containing materials, lead-based paint, or similar hazards. Given the similarity in overall construction activities and operational characteristics, the 2016 Modified Project would not result in new or greater impacts. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.9 Hydrology and Water Quality

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to hydrology and water quality. The 2016 Modified Project would be required, as under the approved project, to comply with all applicable water quality regulations during and following construction activities and meet operational standards. As is the case with the approved project, compliance with stormwater regulations would preclude the potential for significant impacts. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.10 Land Use and Planning

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to land use and planning. The 2016 Modified Project would require the same entitlements, permits, and/or other approvals as the approved project. The changes in the approved project from the 2016 Modified Project would not result in notably increased adverse impacts on adjacent land uses, as the overall proximity and intensity of construction and operationally activities would not be substantially different than under the approved project based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.11 Mineral Resources

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to mineral resources. The 2016 Modified Project would not result in additional impacts to mineral resources beyond those identified in the IS/MND and the project site is not located within an area of known mineral resources, either of regional or local value based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project.

The IS/MND did not identify any impacts to mineral resources; therefore, mitigation was not required. No new mitigation measures are required for the changes to the approved project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

### 3.0 Environmental Analysis

#### 3.12 Noise

The 2005 IS/MND and 2011 Addendum identified less than significant impact with mitigation incorporated related to noise. The noise analyses prepared for the prior approvals for the project site found that through implementation of the following noise mitigation measures, potential noise impacts would be reduced to less than significant levels.

- NO-1** During project construction, all construction vehicles or equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.
- NO-2** All construction activities shall comply with the City of Moreno Valley Noise Control Ordinance that limits construction activities to the hours between 7:00 a.m. to 7:00 p.m. Monday through Saturday.
- NO-3** During project construction, the project proponent shall make best efforts to locate stockpiling and/or vehicle staging areas as far as practicable from existing residential dwellings.
- NO-4** Prior to the issuance of any Certificate of Occupancy, the applicant to meet Exterior Noise Mitigation shall construct:
- Construct a 5.0-foot high patio enclosure for all units facing Eucalyptus Avenue. <sup>1</sup>
- NO-5** Prior to the issuance of any Certificate of Occupancy, the applicant to meet Interior Noise Mitigation shall construct:
- Provide a “windows closed” condition requiring a means of mechanical ventilation (e.g. air conditioning) for all units adjacent to Eucalyptus Avenue.
  - Provide upgraded windows with a Sound Transmission Class (STC) rating of 29 or higher for all units facing Eucalyptus Avenue. <sup>2</sup>

#### 2016 Modified Project Noise Impacts

A noise analysis of the 2016 Modified Project was prepared Vista Environmental (Appendix B). This noise analysis was limited to analyzing the noise impacts associated with the differences between the currently approved plans for the project site and the 2016 Modified Project. This limits the noise analysis to an evaluation of whether the placement of any of the homes in the 2016 Modified Project would exceed the City noise standards.

The noise analysis of the 2016 Modified Project identified a potential noise impact related to homes located adjacent to Eucalyptus Avenue. These homes would potentially be exposed to noise levels in excess of the City

<sup>1</sup> For all of the homes that are adjacent to Eucalyptus Avenue, the proposed project provides a 6-foot high solid wall between the side and rear yards and Eucalyptus Avenue. This meets the City’s wall standards per Section 9.08.070 of the Municipal Code.

<sup>2</sup> Limited to the first row of homes adjacent to Eucalyptus Avenue. However, the project applicant is proposing a solid wall along all of Eucalyptus Avenue which achieves this requirement.

### 3.0 Environmental Analysis

residential exterior and interior noise standards. The following details the City noise standards; the noise modeling parameters; and, the exterior and interior potential noise impacts related to homes adjacent to Eucalyptus Avenue.

#### *City of Moreno Valley Residential Noise Standards*

The City's General Plan Policy 6.3.1 requires that sound mitigation be provided for new residential detached buildings that are exposed to future exterior noise levels that exceed 20 dBA CNEL above the 45 dBA CNEL interior noise standard, or exceed 65 dBA CNEL at the exterior of the proposed residential detached homes. General Plan Policy 6.3.1 also requires that masonry walls be installed between residential homes and major roadways.

#### *Exterior Noise Impacts*

The backyards of the homes adjacent to Eucalyptus Avenue have the potential to exceed the City's residential exterior noise standard of 65 dBA CNEL. The proposed Landscape Plan for the 2016 Modified Project provides that a 6-foot high slump block wall will be constructed between Eucalyptus Avenue and the rear and side yards of the proposed homes.

In order to quantify the traffic noise impacts at the proposed homes that are adjacent to Eucalyptus Avenue, the exterior noise levels were calculated through use of the FHWA RD-77-108 traffic noise prediction model. The model was based on a receiver located 10 feet in from the proposed wall location and the traffic volumes for Eucalyptus Avenue was obtained from multiplying the year 2035 with project PM peak hour volume by 12 for Eucalyptus Avenue east of Moreno Beach Drive as detailed in Traffic Impact Analysis Report for The World Logistics Center, prepared by Parsons Brinckerhoff, Inc., January 2013.

The calculated noise levels of representative proposed homes adjacent to Eucalyptus Avenue are provided below in Table 3-2: Proposed Homes Exterior Noise Levels. Table 3-2: Proposed Homes Exterior Noise Levels also shows the required sound wall heights in order to meet the City's 65 dBA CNEL exterior standard for the residential detached homes.

**Table 3-2: Proposed Homes Exterior Noise Levels**

<b>Lot</b>	<b>Distance from Eucalyptus Ave C.L. to Receptor (feet)</b>	<b>Without Wall Noise Level (dBA CNEL)</b>	<b>With Wall Noise<sup>1</sup> Level (dBA CNEL)</b>
1	79	68	59
11	73	69	61
21	72	69	63
80	73	68	62
99	73	68	61
109	72	68	61
119	72	68	61
129	71	68	61
Notes: <sup>1</sup> With Wall Noise Levels include noise attenuation provided by the proposed 6-foot high block wall that is shown in the Fence & Wall Concept Plan. Source: Appendix B			

### 3.0 Environmental Analysis

Table 3-2: Proposed Homes Exterior Noise Levels with development of the proposed 6-foot high sound wall as detailed in the Fence & Wall Concept Plan the noise level at the exterior areas of all analyzed homes would be within the City's 65 dBA CNEL residential exterior noise standard. Impacts would be less than significant.

#### Interior Noise Impacts

The homes adjacent to Eucalyptus Avenue have the potential to exceed the City's residential interior noise standard of 45 dBA CNEL. The interior noise levels have been calculated based on the shortest distance from the centerline of Eucalyptus Avenue to the home on the lots that were analyzed above for the exterior noise impact analysis. A typical new home provides a minimum of 12 dB attenuation when the windows are open and this attenuation rate was utilized to analyze the unmitigated condition. The mitigated condition was based on implementation of Mitigation Measure NO-5 that would provide a "windows closed" condition and require the installation of 29 STC windows for all windows facing toward Eucalyptus Avenue, which is anticipated to provide a minimum of 25 dB of attenuation. The exterior noise level at the façade of the first floor and possible second floors were calculated and are shown in Table 3-3: Proposed Residential Interior Noise Levels. Table 3-3: Proposed Residential Interior Noise Levels also shows the calculated unmitigated and mitigated interior noise levels based on the attenuation rates detailed above.

**Table 3-3: Proposed Residential Interior Noise Levels**

Lot	Floor	Exterior Noise Level at Façade (dBA CNEL)	Interior Noise Levels (dBA CNEL)	
			Unmitigated <sup>1</sup>	Mitigated
1	1	61	49	36
	2	68	56	43
11	1	63	51	38
	2	70	58	45
21	1	64	52	39
	2	70	58	45
80	1	63	51	38
	2	69	57	44
99	1	63	51	38
	2	69	57	44
109	1	63	51	38
	2	69	57	44
119	1	62	50	37
	2	69	57	44
129	1	63	51	38
	2	69	57	44

Notes:

1. Unmitigated interior noise level calculated by subtracting 12 dBA from the exterior noise level at façade.
2. Mitigated interior noise level calculated by subtracting 25 dBA from the exterior noise level at façade.

Exceedance of City's residential interior noise standard shown in bold.  
Source: Appendix B, Noise.

### 3.0 Environmental Analysis

Table 3-3: Proposed Residential Interior Noise Levels shows that the homes adjacent to Eucalyptus Avenue would exceed the City's 45 dBA CNEL interior noise standard for the unmitigated condition. This would be considered a significant impact.

With implementation of the previously adopted Mitigation Measure NO-5 that would provide a "windows closed" condition and require the installation of 29 STC windows for all windows facing toward Eucalyptus Avenue, Table 3-3: Proposed Residential Interior Noise Levels shows that interior noise levels at the proposed homes would be reduced to within the City's 45 dBA CNEL interior noise standard. Therefore, the interior noise impacts would be reduced to less than significant levels with implementation of the previously adopted Mitigation Measure NO-5.

In summary, the noise analyses prepared for the prior approvals for the proposed project found that through implementation of Mitigation Measures NO-1 through NO-5, the noise impacts from the previously approved projects would be reduced to less than significant levels. The analysis provided above found through implementation of Mitigation Measures NO-1 through NO-5, the noise impacts from the 2016 Modified Project would reduce to less than significant levels.

#### 3.13 Population and Housing

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to population and housing. The 2016 Modified Project would not result in changes to population and housing. The 2016 Modified Project would not induce substantial growth, displace any existing housing units or people, and would not necessitate the construction of replacement housing elsewhere based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The 2016 Modified Project provides a similar number of homes as the approved project. Therefore, no new or substantially more severe significant effects would occur and additional no additional mitigation measures would be required.

#### 3.14 Public Services

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to public services. The 2016 Modified Project would not result in additional impacts to public services. The 2016 Modified Project would be located in the same area that was evaluated in the 2005 IS/MND and 2011 Addendum and, like the approved project, would not result in the need for increased public services based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. The 2016 Modified Project would have a similar number of homes and would be required to pay impact fees similar to the approved project. The approved project and 2016 Modified Project would result in the same increase to local populations. The 2016 Modified Project would not require construction of new schools, or result in schools exceeding their capacities. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.15 Recreation

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to recreation. The 2016 Modified Project would not result in any impacts to recreation. The 2005 IS/MND and 2011 Addendum did not identify any permanent impacts to recreational resources based on the information provided in Table 2-2:

### 3.0 Environmental Analysis

Comparison of 2011 Amended PUD & 2016 Modified Project. The 2016 Modified Project would provide a restroom facility, pool, and spa area, three tot lots, a revised paseo system, and natural open space. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.16 Transportation and Traffic

The 2005 IS/MND and 2011 Addendum identified less than significant impact with mitigation incorporated related to transportation and traffic. The traffic impact report prepared for the prior approvals for the project site found that through implementation of the following traffic mitigation measures, traffic impacts would be reduced to less than significant levels.

- TR-1** Prior to the issuance of building permits, the project proponent shall participate in funding of such off-site improvements that are needed to serve cumulative future conditions through the payment of appropriate fees, including City and County Transportation Uniform Mitigation Fee (TUMF).
- TR-2** Prior to the issuance of certificates of occupancy permits, the project proponent shall comply with the traffic improvement mitigation requirements set forth in Appendix C and summarized below:
- Site specific circulation and access recommendations described below.
  - Construct Nason Street from Eucalyptus Avenue to Dracaea Avenue at its ultimate half-section width as a Modified Divided Major (120 foot right-of-way) including landscaping and sidewalks in conjunction with development.
  - Construct Eucalyptus Avenue from Nason Street to Fir Avenue at its ultimate half-section width as an Arterial (100 foot right-of-way) including landscaping and sidewalks in conjunction with development.
  - Construct Fir Avenue from Nason Street to Eucalyptus Avenue at its ultimate half-section width as a Minor Arterial (88 foot right-of-way) including landscaping and sidewalks in conjunction with development.
  - Onsite traffic signing/stripping should be implemented in conjunction with detailed construction plans for the project site.
  - Sight distance at the project accesses should be reviewed with respect to standard Caltrans/City of Moreno Valley sight distance standards at the time of preparation of final grading, landscape, and street improvement plans.
  - Participate in the phased construction of off-site traffic signals through payment of traffic signal mitigation fees. The traffic signals within the study area per the Traffic Study shall specifically include an interconnect of the traffic signals to function in a coordinated system.

### 3.0 Environmental Analysis

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The 2016 Modified Project would not result in additional impacts to transportation/traffic beyond those identified in the 2005 IS/MND and 2011 Addendum. City Staff concerns related to stacking distances and lines-of-sight have been evaluated by the project Civil Engineering and Traffic Engineering firms and determined to be less than significant. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.17 Utilities and Service Systems

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to utilities and service systems. The 2016 Modified Project would not require or result in the construction or expansion of any public utilities beyond those required for the approved project based on the information provided in Table 2-2: Comparison of 2011 Amended PUD & 2016 Modified Project. Temporary short-term and operational demands on public utilities or other infrastructure would not measurably change under the 2016 Modified Project and therefore impacts would be less than significant and no mitigation measures are required. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.

#### 3.18 Mandatory Findings of Significance

The 2005 IS/MND and 2011 Addendum did not identify any impact or mitigation measures related to mandatory findings of significance. The potential impacts of the 2016 Modified Project with regard to biological resources, cultural resources, and direct and indirect effects on human beings would be comparable to the approved project. As impacts with the 2016 Modified Project would be similar to the approved project, impacts would be less than significant and no mitigation measures are required. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required.



## **4.0 REFERENCES**

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#### 4.0 References

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#### 4.0 References

1. Air Quality and Greenhouse Gas Emissions Impact Memo Beazer Homes Project, VISTA Environmental March 2, 2016
2. City of Moreno Valley, General Plan, as updated in July 2006
3. City of Moreno Valley, General Plan Final Program EIR SCH #20091075, P & D Consultants, July 2006
4. City of Moreno Valley, Zoning Ordinance, as updated on May 2014
5. Hydrology Report, Beazer Homes, MDS Consulting, January 2016
6. Noise Impact Analysis Memo Beazer Homes, VISTA Environmental, March 3, 2016

## APPENDIX

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## Appendix A: Air Quality and Greenhouse Gas Emissions Impact Analysis

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

# VISTA ENVIRONMENTAL

March 2, 2016

Fred Talarico  
 Vista Community Planners  
 1278 Glenneyre Street, Suite 110  
 Laguna Beach, CA 92651

**Subject: Greenhouse Gas Emissions Analysis of the Modified Rockcliffe at Stoneridge Ranch Residential Project, Moreno Valley, CA.**

Dear Mr. Talarico:

Vista Environmental has prepared this greenhouse gas (GHG) emissions analysis in order to evaluate whether the proposed Modified Rockcliffe at Stoneridge Ranch Project (Modified Project) would result in any GHG emissions impacts or require any new mitigation measures not identified in the previous environmental documents. The prior approvals for the Rockcliffe at Stoneridge Ranch residential project are detailed below:

- **Stoneridge Ranch Specific Plan EIR** – In 1989 the project site was evaluated as part of the overall Stoneridge Ranch Specific Plan EIR. The approximately 29.07-acre project site was designated for development as Recreation/Entertainment and Open Space.
- **Stoneridge Ranch Village General Plan and Zone Change Amendment** – On November 16, 2004, the City adopted a General Plan Amendment and Change of Zone that repealed the Stoneridge Specific Plan and established General Plan and zoning designations for the overall Stoneridge area. With this action the project site was approved for the development of 276 residential condominium units.
- **Stoneridge Ranch Village III Planned Unit Development and 2005 IS/MND** – On April 4, 2005 the City certified the Stoneridge Ranch Village III Initial Study/Mitigated Negative Declaration (IS/MND). With this action the project site was approved for the development of 276 townhomes.
- **Stoneridge Ranch Village III Amended PUD and 2011 Addendum** – In February 2011, the City adopted an Amended PUD that allowed for the development of 275 residential detached homes on the project site.

The Modified Project would result in the development of 274 residential detached homes on the project site, which is approximately the same as the currently approved plans for the project site as detailed in the 2011 Amended PUD. The differences between the currently approved plans for the project site and the Modified Project consists of modifications to the site plan layout, including revisions to the placement of the proposed residential detached homes and private open space areas.

None of the environmental documents that were prepared for the prior approvals analyzed the project impacts to global climate change nor quantified the project's GHG emissions. The following details the City of Moreno GHG emissions regulations, a quantification of the Modified Project's GHG emissions, and an assessment of whether the proposed project conforms to the applicable GHG reduction plans.

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### City of Moreno Valley GHG Regulations

The City of Moreno Valley adopted the *City of Moreno Valley Energy Efficiency and Climate Action Strategy*, on October 9, 2012, which along with the *City of Moreno Valley Greenhouse Gas Analysis*, prepared February 2012, detail potential programs and policies to reduce overall City energy consumption and increase the use of renewable energy. The Greenhouse Gas Analysis develops a target of a 15 percent decrease in GHG emissions over 2007 levels by 2020. The Greenhouse Gas Analysis has been prepared to assist the City in conforming to the GHG emissions reductions as mandated under AB 32. Consistent with the CARB Scoping Plan, the City of Moreno Valley has chosen a reduction target of 15 percent below 2007 GHG emissions levels by 2020.

Therefore, the proposed project would be considered to create a significant cumulative GHG emissions impact if the proposed project's GHG emissions are not 15 percent less in 2020 than GHG emissions from business-as-usual conditions for a similar size project in year 2007.

### GHG Emissions Created from Modified Project

The Modified Project may generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. The Modified Project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste disposal, water usage, and construction equipment.

As noted above, the City of Moreno Valley has adopted the *City of Moreno Valley Greenhouse Gas Analysis* that requires a 15 percent reduction in GHG emissions between years 2007 and 2020. In order to determine if the Modified Project would comply with the Plan's Standards, the GHG emissions from the Modified Project were analyzed for both year 2010, (closest year available in CalEEMod to 2007) and year 2020. Using year 2010 versus 2007 provides a worst-case analysis, since the State has enacted several laws that took effect after 2007 that reduce GHG emissions and using the latter date means that less GHG reductions can be accounted for from the State measures.

The following provides the methodology used to calculate the project-related GHG emissions, the project impacts and a consistency analysis of the proposed project with any applicable GHG reduction plans, policies or regulations.

#### Methodology

The CalEEMod Version 2013.2.2 was used to calculate the GHG emissions from the Modified Project. Each source of GHG emissions is described in greater detail below.

#### *Area Sources*

Area sources include emissions from hearths, consumer products, landscape equipment and architectural coatings. The area source emissions were based on the on-going use of the proposed 274 residential detached homes in the CalEEMod model. The CalEEMod model default parameters for woodstoves and fireplaces were changed based on no woodstoves and no fireplaces in the proposed homes, which is based on the architectural plans for the Modified Project.

#### *Energy Usage*

Energy usage includes emissions from the electricity and natural gas used on-site. The energy usage was based on the on-going use of the proposed 274 residential detached homes in the CalEEMod model. No changes were made to the default energy usage parameters.

Since the CCR Title 24, Part 6 2013 Building Energy Efficiency Standards that became effective on January 1, 2014, result in a 25 percent improvement to the prior 2008 Title 24 building standards that the

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CalEEMod emission rates are based on, a 25 percent reduction was applied to the year 2020 GHG analysis energy usage calculations.

***Mobile Sources***

Mobile sources include GHG emissions created from the additional vehicle miles generated from operation of the Modified Project. The vehicle trips associated with the Modified Project have been analyzed by utilizing the default trip rates from the CalEEMod for residential detached housing of 9.57 weekday, 10.08 Saturday, and 8.77 Sunday daily trips per home. The CalEEMod default vehicle trip lengths of 14.7 miles for home to work, 5.9 miles for home to shopping, and 8.7 miles for home to other locations were also used in the analysis.

The year 2020 GHG analysis included implementation of Executive Order S-1-07 (EO S-1-07), and Assembly Bill 1493 (AB 1493). EO S-1-07 establishes performance standards for the carbon intensity of transportation fuels and AB 149, which limits GHG emissions from new vehicles sold in California. The year 2020 GHG analysis also accounted for the bus stop for RTA Route 35 that is located on Eucalyptus Avenue adjacent to the project site as well as the construction of sidewalks on the project site adjacent to Eucalyptus Avenue, which are detailed on the site plans.

***Solid Waste***

Waste includes the GHG emissions associated with the processing of waste from the Modified Project as well as the GHG emissions from the waste once it is interred into a landfill. The analysis was based on the default CalEEMod waste generation rate of 321.44 tons of solid waste per year from the 274 residential detached homes. All emission factors were based on the default emission levels in the CalEEMod model.

The year 2020 GHG analysis included implementation of Senate Bills 939 and 1374, which require that a minimum of 50 percent of solid waste be diverted from landfills.

***Water and Wastewater***

Water includes the water used for the interior of the building as well as for landscaping and is based on the GHG emissions associated with the energy used to transport and filter the water. The analysis was based on the default CalEEMod water usage rate of 17,852,203 gallons per year of indoor water usage and 11,254,650 gallons per year of outdoor water usage from the 274 residential detached homes. All emission factors were based on the default emission levels in the CalEEMod model.

The year 2020 GHG analysis included implementation of the 2013 CCR Title 24 Part 11 (CalGreen) standards, which require the use of low flow faucets, shower heads, and toilets and use of smart irrigation system controllers. In addition, the City of Moreno Valley Municipal Code Section 9.17.030 requires the installation of smart irrigation systems and Municipal Code Section 9.17.080 limit the amount of turf to a maximum of 25 percent, which were both accounted for in the year 2020 GHG analysis.

***Construction***

The construction-related GHG emissions were also included in the analysis and were based on a 30-year amortization rate as recommended in the SCAQMD GHG Working Group meeting on November 19, 2009. The construction-related GHG emissions were calculated by the default construction assumptions utilized by CalEEMod.

***Vegetation***

According to the Landscape Plan for the Modified Project there will be a total of 681 trees planted on the project site. In order to account for the sequestration of GHG emissions that the trees provide from development of the proposed project the net additional 681 miscellaneous trees were analyzed in the CalEEMod model. Since the CalEEMod model provides the total metric tons anticipated to be

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sequestered over the trees lifetime, the CalEEMod results have been amortized over 30 years in order to obtain the anticipated annual GHG emissions reductions.

#### Project Greenhouse Gas Emissions

The project's GHG emissions have been calculated with CalEEMod model based on the parameters detailed above. A summary of the results is shown below in Table A and CalEEMod model run printouts are attached to this letter.

**Table A – Project Related Greenhouse Gas Annual Emissions**

Category	Greenhouse Gas Emissions (Metric Tons per Year)					
	Bio-CO <sub>2</sub>	NonBio-CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2e</sub>
<b>Year 2010 Emissions</b>						
Area Sources <sup>1</sup>	0.00	4.62	4.62	0.01	0.00	4.73
Energy Usage <sup>2</sup>	0.00	1,095.89	1,095.89	0.04	0.01	1,101.25
Mobile Sources <sup>3</sup>	0.00	4,227.57	4,227.57	0.23	0.00	4,232.40
Solid Waste <sup>4</sup>	65.25	0.00	65.25	3.86	0.00	146.23
Water and Wastewater <sup>5</sup>	5.66	102.30	107.96	0.59	0.01	124.84
Construction <sup>6</sup>	0.00	35.54	35.54	0.01	0.00	35.68
Vegetation <sup>7</sup>						-16.07
<b>Total 2010 Emissions</b>	<b>70.91</b>	<b>5,465.92</b>	<b>5,536.83</b>	<b>4.73</b>	<b>0.02</b>	<b>5,629.06</b>
<b>Year 2020 Emissions</b>						
Area Sources	0.00	4.62	4.62	0.00	0.00	4.71
Energy Usage	0.00	974.98	974.98	0.03	0.01	979.64
Mobile Sources	0.00	2,999.15	2,999.15	0.09	0.00	3,001.03
Solid Waste	32.62	0.00	32.62	1.93	0.00	73.11
Water and Wastewater	4.53	89.00	93.53	0.47	0.01	107.05
Construction	0.00	35.61	35.61	0.01	0.00	35.75
Vegetation						-16.07
<b>Total 2020 Emissions</b>	<b>37.15</b>	<b>4,103.36</b>	<b>4,140.51</b>	<b>2.53</b>	<b>0.02</b>	<b>4,185.22</b>
<b>Percent Reduction between 2010 and 2020</b>						<b>25.6%</b>
<b>City of Moreno Valley Reduction Threshold</b>						<b>15%</b>

Notes:

<sup>1</sup> Area sources consist of GHG emissions from hearths, consumer products, architectural coatings, and landscaping equipment.

<sup>2</sup> Energy usage consist of GHG emissions from electricity and natural gas usage (not including hearths).

<sup>3</sup> Mobile sources consist of GHG emissions from vehicles.

<sup>4</sup> Waste includes the CO<sub>2</sub> and CH<sub>4</sub> emissions created from the solid waste placed in landfills.

<sup>5</sup> Water includes GHG emissions from electricity used for transport of water and processing of wastewater.

<sup>6</sup> Construction emissions amortized over 30 years.

<sup>7</sup> Vegetation sequestration amortized over 30 years.

Source: CalEEMod Version 2013.2.2.

The data provided in Table A above shows that the proposed project would create 5,629.06 MTCO<sub>2e</sub> per year based on the default year 2010 GHG emissions rates and in year 2020 would produce 4,185.22 MTCO<sub>2e</sub> per year that is based on approved Statewide GHG reduction regulations that would be fully implemented by year 2020. Table A shows that through implementation of EO S-1-07, that establishes performance standards for the carbon intensity of transportation fuels, AB 149, which limits GHG emissions from new vehicles sold in California, implementation of the CCR Title 24, Part 6 2013 Building Energy Efficiency Standards and CCR Title 24 Part 11 2013 CalGreen Standards that improves

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the energy efficiency of the proposed project, and project design features such as providing sidewalks, providing recycling bins, and planting a minimum of 681 trees on the project site, the proposed project's GHG emissions would be reduced by 25.6 percent and would meet the City of Moreno Valley's minimum 15 percent GHG reduction standard. Therefore, a less than significant generation of GHG emissions would occur from development and operation of the proposed project.

### Greenhouse Gas Plan Consistency

The proposed project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing GHG emissions. The applicable plans for the proposed project are the *City of Moreno Valley Greenhouse Gas Analysis*, adopted February 2012 and the *City of Moreno Valley Energy Efficiency and Climate Action Strategy*, adopted October 2012. The City of Moreno Valley has adopted these plans in order to assist the City in conforming to the GHG emissions reductions as mandated under AB 32. Both Plans provide the same reduction measures to be implemented in new developments to reduce GHG emissions as well as a GHG emissions reduction target of 15 percent below 2007 GHG emissions levels by 2020. Consistent with the CARB Scoping Plan, the City of Moreno Valley has chosen a reduction target of 15 percent below 2007 GHG emissions levels by 2020. Therefore, the proposed project would be considered to be inconsistent with the City's Plans if the proposed project did not implement all applicable measures identified in the Plans and if the proposed project's GHG emissions are not 15 percent less than GHG emissions from business-as-usual conditions for a similar size project in year 2007.

The applicable measures provided in the City's GHG Plans were incorporated into the project design of the proposed project and include providing housing along a high quality transit corridor, promotion of alternative transportation methods through the providing of sidewalks throughout the project, utilization of shade trees to reduce heat island impacts, utilization of low-flow water fixtures and smart irrigation controls to reduce water use, and through providing recycling bins to reduce waste sent to landfills. Table A above found that with implementation of various state requirements as well as from GHG emission reduction design features that have been incorporated into the proposed site plan, the proposed project's GHG emissions would be reduced by 25.6 percent by year 2020. As such, the proposed project would not conflict with the City's GHG reduction plans. Therefore, the proposed project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases.

Please call me at (949) 510-5355 if you have any questions related to the above.

Sincerely,



Greg Tonkovich, AICP, INCE  
Senior Analyst  
Vista Environmental

Encl.: CalEEMod Model Printouts

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## Modified RockCliffe at Stoneridge Ranch Year 2010 Riverside-South Coast County, Annual

### 1.0 Project Characteristics

#### 1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	274.00	Dwelling Unit	29.07	493,200.00	784

#### 1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.4	Precipitation Freq (Days)	28
Climate Zone	10			Operational Year	2010

Utility Company      Southern California Edison

CO2 Intensity (lb/MW/hr)	630.89	CH4 Intensity (lb/MW/hr)	0.029	N2O Intensity (lb/MW/hr)	0.006
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#### 1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - 274 Single-family homes on 29.07 acres

Construction Phase -

Woodstoves - Per architectural plans, no fireplaces would be constructed in the homes.

Sequestration - 681 Miscellaneous Trees would be planted on project site.

Table Name	Column Name	Default Value	New Value
tblFireplaces	NumberGas	232.90	0.00
tblFireplaces	NumberNoFireplace	27.40	274.00
tblFireplaces	NumberWood	13.70	0.00
tblLandUse	LotAcreage	88.96	29.07
tblProjectCharacteristics	OperationalYear	2014	2010
tblSequestration	NumberOfNewTrees	0.00	681.00
tblWoodstoves	NumberCatalytic	13.70	0.00
tblWoodstoves	NumberNoncatalytic	13.70	0.00

**2.0 Emissions Summary**

**2.1 Overall Construction**  
Unmitigated Construction

Year	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2016											0.0000	497.2631	497.2631	0.1046	0.0000	499.4600
2017											0.0000	497.3433	497.3433	0.0822	0.0000	499.0696
2018											0.0000	71.6776	71.6776	0.0161	0.0000	72.0154
<b>Total</b>											<b>0.0000</b>	<b>1,066.284</b>	<b>1,066.284</b>	<b>0.2029</b>	<b>0.0000</b>	<b>1,070.544</b>

**Mitigated Construction**

Year	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2016											0.0000	497.2627	497.2627	0.1046	0.0000	499.4596
2017											0.0000	497.3429	497.3429	0.0822	0.0000	499.0692
2018											0.0000	71.6776	71.6776	0.0161	0.0000	72.0153
<b>Total</b>											<b>0.0000</b>	<b>1,066.283</b>	<b>1,066.283</b>	<b>0.2029</b>	<b>0.0000</b>	<b>1,070.544</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**2.2 Overall Operational**  
**Unmitigated Operational**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Area											0.0000	4.6157	4.6157	5.6200e-003	0.0000	4.7338
Energy											0.0000	1,095.8877	1,095.8877	0.0371	0.0148	1,101.2490
Mobile											0.0000	4,227.5733	4,227.5733	0.2299	0.0000	4,232.4018
Waste											65,2494	0.0000	65,2494	3.8561	0.0000	146.2281
Water											5.6637	102.3026	107.9663	0.5864	0.0147	124.8406
<b>Total</b>											<b>70.9131</b>	<b>5,430.3792</b>	<b>5,501.2923</b>	<b>4.7152</b>	<b>0.0295</b>	<b>5,609.4534</b>

**2.2 Overall Operational  
Mitigated Operational**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Area											0.0000	4.6157	4.6157	5.6200e-003	0.0000	4.7338
Energy											0.0000	1,095.8877	1,095.8877	0.0371	0.0148	1,101,2490
Mobile											0.0000	4,227.5733	4,227.5733	0.2299	0.0000	4,232,4018
Waste											65.2494	0.0000	65.2494	3.8561	0.0000	146.2281
Water											5.6637	102.3026	107.9663	0.5863	0.0147	124.8316
<b>Total</b>											<b>70.9131</b>	<b>5,430.3792</b>	<b>5,501.2923</b>	<b>4.7151</b>	<b>0.0295</b>	<b>5,609.4444</b>

Percent Reduction																
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.07	0.00

**2.3 Vegetation**

Vegetation

	CO2e
Category	MT
New Trees	482,1480
<b>Total</b>	<b>482,1480</b>

**3.0 Construction Detail**

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	2/12/2016	3/10/2016	5	20	
2	Grading	Grading	3/11/2016	5/12/2016	5	45	
3	Building Construction	Building Construction	5/13/2016	1/18/2018	5	440	
4	Paving	Paving	1/19/2018	3/8/2018	5	35	
5	Architectural Coating	Architectural Coating	3/9/2018	4/26/2018	5	35	

**Acres of Grading (Site Preparation Phase): 0**

**Acres of Grading (Grading Phase): 112.5**

**Acres of Paving: 0**

**Residential Indoor: 998,730; Residential Outdoor: 332,910; Non-Residential Indoor: 0; Non-Residential Outdoor: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Rubber Tired Dozers	3	8.00	255	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	162	0.38
Grading	Graders	1	8.00	174	0.41
Grading	Rubber Tired Dozers	1	8.00	255	0.40
Grading	Scrapers	2	8.00	361	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	226	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	125	0.42
Paving	Paving Equipment	2	8.00	130	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	99.00	29.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	20.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT



**3.1 Mitigation Measures Construction**

**3.2 Site Preparation - 2016**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
tons/yr																
Fugitive Dust											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	36.8771	36.8771	0.0111	0.0000	37.1107
<b>Total</b>											<b>0.0000</b>	<b>36.8771</b>	<b>36.8771</b>	<b>0.0111</b>	<b>0.0000</b>	<b>37.1107</b>
MT/yr																

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
tons/yr																
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.6784	1.6784	8.0000e-005	0.0000	1.6800
<b>Total</b>											<b>0.0000</b>	<b>1.6784</b>	<b>1.6784</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>1.6800</b>
MT/yr																

**3.2 Site Preparation - 2016**  
**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Fugitive Dust											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	36.8771	36.8771	0.0111	0.0000	37.1107
<b>Total</b>											<b>0.0000</b>	<b>36.8771</b>	<b>36.8771</b>	<b>0.0111</b>	<b>0.0000</b>	<b>37.1107</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.6784	1.6784	8.0000e-005	0.0000	1.6800
<b>Total</b>											<b>0.0000</b>	<b>1.6784</b>	<b>1.6784</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>1.6800</b>

**3.3 Grading - 2016**

**Unmitigated Construction On-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Fugitive Dust												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road												0.0000	130.9404	130.9404	0.0395	0.0000	131.7698
<b>Total</b>												<b>0.0000</b>	<b>130.9404</b>	<b>130.9404</b>	<b>0.0395</b>	<b>0.0000</b>	<b>131.7698</b>

**Unmitigated Construction Off-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Hauling												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker												0.0000	4.1959	4.1959	2.0000e-004	0.0000	4.2000
<b>Total</b>												<b>0.0000</b>	<b>4.1959</b>	<b>4.1959</b>	<b>2.0000e-004</b>	<b>0.0000</b>	<b>4.2000</b>

**3.3 Grading - 2016**

**Mitigated Construction On-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Fugitive Dust													0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road													0.0000	130.9402	130.9402	0.0395	131.7697
<b>Total</b>													<b>0.0000</b>	<b>130.9402</b>	<b>130.9402</b>	<b>0.0395</b>	<b>131.7697</b>

**Mitigated Construction Off-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Hauling													0.0000	0.0000	0.0000	0.0000	0.0000
Vendor													0.0000	0.0000	0.0000	0.0000	0.0000
Worker													0.0000	4.1959	4.1959	2.0000e-004	4.2000
<b>Total</b>													<b>0.0000</b>	<b>4.1959</b>	<b>4.1959</b>	<b>2.0000e-004</b>	<b>4.2000</b>

**3.4 Building Construction - 2016**  
**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	200.9875	200.9875	0.0499	0.0000	202.0343
<b>Total</b>											<b>0.0000</b>	<b>200.9875</b>	<b>200.9875</b>	<b>0.0499</b>	<b>0.0000</b>	<b>202.0343</b>

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	45.9673	45.9673	3.0000e-004	0.0000	45.9737
Worker											0.0000	76.6166	76.6166	3.5700e-003	0.0000	76.6915
<b>Total</b>											<b>0.0000</b>	<b>122.5839</b>	<b>122.5839</b>	<b>3.8700e-003</b>	<b>0.0000</b>	<b>122.6652</b>

**3.4 Building Construction - 2016**  
**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	200.9872	200.9872	0.0499	0.0000	202.0341
<b>Total</b>											<b>0.0000</b>	<b>200.9872</b>	<b>200.9872</b>	<b>0.0499</b>	<b>0.0000</b>	<b>202.0341</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	45.9673	45.9673	3.0000e-004	0.0000	45.9737
Worker											0.0000	76.6166	76.6166	3.5700e-003	0.0000	76.6915
<b>Total</b>											<b>0.0000</b>	<b>122.5839</b>	<b>122.5839</b>	<b>3.8700e-003</b>	<b>0.0000</b>	<b>122.6652</b>

**3.4 Building Construction - 2017**  
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	311.3228	311.3228	0.0766	0.0000	312.9319
<b>Total</b>											<b>0.0000</b>	<b>311.3228</b>	<b>311.3228</b>	<b>0.0766</b>	<b>0.0000</b>	<b>312.9319</b>

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	70.7805	70.7805	4.6000e-004	0.0000	70.7902
Worker											0.0000	115.2399	115.2399	5.1300e-003	0.0000	115.3475
<b>Total</b>											<b>0.0000</b>	<b>186.0204</b>	<b>186.0204</b>	<b>5.5900e-003</b>	<b>0.0000</b>	<b>186.1377</b>

**3.4 Building Construction - 2017**

**Mitigated Construction On-Site**

Category	tons/yr											MT/yr				CO2e
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	
Off-Road											0.0000	311.3225	311.3225	0.0766	0.0000	312.9315
<b>Total</b>											<b>0.0000</b>	<b>311.3225</b>	<b>311.3225</b>	<b>0.0766</b>	<b>0.0000</b>	<b>312.9315</b>

**Mitigated Construction Off-Site**

Category	tons/yr											MT/yr				CO2e
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	70.7805	70.7805	4.6000e-004	0.0000	70.7902
Worker											0.0000	115.2399	115.2399	5.1300e-003	0.0000	115.3475
<b>Total</b>											<b>0.0000</b>	<b>186.0204</b>	<b>186.0204</b>	<b>5.5900e-003</b>	<b>0.0000</b>	<b>186.1377</b>



**3.4 Building Construction - 2018**  
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	16.5739	16.5739	4.0600e-003	0.0000	16.6591
<b>Total</b>											<b>0.0000</b>	<b>16.5739</b>	<b>16.5739</b>	<b>4.0600e-003</b>	<b>0.0000</b>	<b>16.6591</b>

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	3.7449	3.7449	2.0000e-005	0.0000	3.7454
Worker											0.0000	5.9694	5.9694	2.6000e-004	0.0000	5.9747
<b>Total</b>											<b>0.0000</b>	<b>9.7143</b>	<b>9.7143</b>	<b>2.8000e-004</b>	<b>0.0000</b>	<b>9.7202</b>

**3.4 Building Construction - 2018**  
**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	16.5739	16.5739	4.0600e-003	0.0000	16.6590
<b>Total</b>											<b>0.0000</b>	<b>16.5739</b>	<b>16.5739</b>	<b>4.0600e-003</b>	<b>0.0000</b>	<b>16.6590</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	3.7449	3.7449	2.0000e-005	0.0000	3.7454
Worker											0.0000	5.9694	5.9694	2.6000e-004	0.0000	5.9747
<b>Total</b>											<b>0.0000</b>	<b>9.7143</b>	<b>9.7143</b>	<b>2.8000e-004</b>	<b>0.0000</b>	<b>9.7202</b>

**3.5 Paving - 2018**

**Unmitigated Construction On-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	35.6453	35.6453	0.0111	0.0000	35.8783
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>35.6453</b>	<b>35.6453</b>	<b>0.0111</b>	<b>0.0000</b>	<b>35.8783</b>

**Unmitigated Construction Off-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	2.2611	2.2611	1.0000e-004	0.0000	2.2632
<b>Total</b>											<b>0.0000</b>	<b>2.2611</b>	<b>2.2611</b>	<b>1.0000e-004</b>	<b>0.0000</b>	<b>2.2632</b>

**3.5 Paving - 2018**

**Mitigated Construction On-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	35.6453	35.6453	0.0111	0.0000	35.8783
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>35.6453</b>	<b>35.6453</b>	<b>0.0111</b>	<b>0.0000</b>	<b>35.8783</b>

**Mitigated Construction Off-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	2.2611	2.2611	1.0000e-004	0.0000	2.2632
<b>Total</b>											<b>0.0000</b>	<b>2.2611</b>	<b>2.2611</b>	<b>1.0000e-004</b>	<b>0.0000</b>	<b>2.2632</b>

**3.6 Architectural Coating - 2018**  
**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Archit. Coating											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	4.4682	4.4682	4.2000e-004	0.0000	4.4771
<b>Total</b>											<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>4.4771</b>

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	3.0148	3.0148	1.3000e-004	0.0000	3.0175
<b>Total</b>											<b>0.0000</b>	<b>3.0148</b>	<b>3.0148</b>	<b>1.3000e-004</b>	<b>0.0000</b>	<b>3.0175</b>

**3.6 Architectural Coating - 2018**

**Mitigated Construction On-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Archit. Coating											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	4.4682	4.4682	4.2000e-004	0.0000	4.4771
<b>Total</b>											<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>4.4771</b>

**Mitigated Construction Off-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	3.0148	3.0148	1.3000e-004	0.0000	3.0175
<b>Total</b>											<b>0.0000</b>	<b>3.0148</b>	<b>3.0148</b>	<b>1.3000e-004</b>	<b>0.0000</b>	<b>3.0175</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Category	tons/yr											MT/yr				CO2e
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	
Mitigated											0.0000	4,227.573 3	4,227.573 3	0.2299	0.0000	4,232.401 8
Unmitigated											0.0000	4,227.573 3	4,227.573 3	0.2299	0.0000	4,232.401 8

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Single Family Housing	2,622.18	2,761.92	2402.98	8,921,598	8,921,598
Total	2,622.18	2,761.92	2,402.98	8,921,598	8,921,598

**4.3 Trip Type Information**

Land Use	Miles						Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-C	H-W or C-W	H-S or C-C	H-O or C-C	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by	
Single Family Housing	14.70	5.90	8.70	40.20	19.20	40.60	86	11	86	11	3	

**5.0 Energy Detail**

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.474432	0.069206	0.171278	0.172385	0.046184	0.007940	0.011579	0.034388	0.001128	0.001133	0.006100	0.000973	0.003274

**5.1 Mitigation Measures Energy**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Electricity Mitigated											0.0000	602.1585	602.1585	0.0277	5.7300e-003	604.5150
Electricity Unmitigated											0.0000	602.1585	602.1585	0.0277	5.7300e-003	604.5150
NaturalGas Mitigated											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340
NaturalGas Unmitigated											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

Land Use	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr																
Land Use	kBTU/yr																
Single Family Housing	9.25214e+006											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340
<b>Total</b>												<b>0.0000</b>	<b>493.7292</b>	<b>493.7292</b>	<b>9.4600e-003</b>	<b>9.0500e-003</b>	<b>496.7340</b>



**5.2 Energy by Land Use - NaturalGas**

**Mitigated**

Land Use	NaturalGas Use kBTU/yr	ROG	NOx	CO	SO2	Fugitive PM10 tons/yr	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
MT/yr																	
Single Family Housing	9.25214e+006											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340
<b>Total</b>												<b>0.0000</b>	<b>493.7292</b>	<b>493.7292</b>	<b>9.4600e-003</b>	<b>9.0500e-003</b>	<b>496.7340</b>

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

Land Use	Electricity Use kWh/yr	Total CO2	CH4	N2O	CO2e
MT/yr					
Single Family Housing	2.10422e+006	602.1585	0.0277	5.7300e-003	604.5150
<b>Total</b>		<b>602.1585</b>	<b>0.0277</b>	<b>5.7300e-003</b>	<b>604.5150</b>

**5.3 Energy by Land Use - Electricity**

**Mitigated**

Land Use	Electricity Use kWh/yr	Total CO2	CH4	N2O	CO2e
Single Family Housing	2.10422e+006	602.1585	0.0277	5.7300e-003	604.5150
<b>Total</b>		<b>602.1585</b>	<b>0.0277</b>	<b>5.7300e-003</b>	<b>604.5150</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated											0.0000	4.6157	4.6157	5.6200e-003	0.0000	4.7338
Unmitigated											0.0000	4.6157	4.6157	5.6200e-003	0.0000	4.7338

**6.2 Area by SubCategory**

Unmitigated

SubCategory	ROG	NOx	CO	SO2	tons/yr			MT/yr					CO2e										
					Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2		Total CO2	CH4	N2O							
Architectural Coating												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	
Consumer Products												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping												0.0000	4.6157	4.6157	5.6200e-003	0.0000	0.0000	4.6157	5.6200e-003	0.0000	0.0000	0.0000	4.7338
<b>Total</b>												<b>0.0000</b>	<b>4.6157</b>	<b>4.6157</b>	<b>5.6200e-003</b>	<b>0.0000</b>	<b>4.6157</b>	<b>5.6200e-003</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>4.7338</b>

**6.2 Area by SubCategory**

**Mitigated**

SubCategory	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Architectural Coating											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping											0.0000	4.6157	4.6157	5.6200e-003	0.0000	4.7338
<b>Total</b>											<b>0.0000</b>	<b>4.6157</b>	<b>4.6157</b>	<b>5.6200e-003</b>	<b>0.0000</b>	<b>4.7338</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

Category	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	107.9663	0.5863	0.0147	124.8316
Unmitigated	107.9663	0.5864	0.0147	124.8406

**7.2 Water by Land Use**

**Unmitigated**

Land Use	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
	Mgal	MT/yr			
Single Family Housing	17.8522 / 11.2546	107.9663	0.5864	0.0147	124.8406
<b>Total</b>		<b>107.9663</b>	<b>0.5864</b>	<b>0.0147</b>	<b>124.8406</b>

**Mitigated**

Land Use	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
	Mgal	MT/yr			
Single Family Housing	17.8522 / 11.2546	107.9663	0.5863	0.0147	124.8316
<b>Total</b>		<b>107.9663</b>	<b>0.5863</b>	<b>0.0147</b>	<b>124.8316</b>

**8.0 Waste Detail**

**8.1 Mitigation Measures Waste**

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	65.2494	3.8561	0.0000	146.2281
Unmitigated	65.2494	3.8561	0.0000	146.2281

**8.2 Waste by Land Use**

**Unmitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Single Family Housing	321.44	65.2494	3.8561	0.0000	146.2281
<b>Total</b>		<b>65.2494</b>	<b>3.8561</b>	<b>0.0000</b>	<b>146.2281</b>

**8.2 Waste by Land Use**

**Mitigated**

Land Use	Waste Disposed tons	Total CO2	CH4	N2O	CO2e
		MT/yr			
Single Family Housing	321.44	65.2494	3.8561	0.0000	146.2281
<b>Total</b>		<b>65.2494</b>	<b>3.8561</b>	<b>0.0000</b>	<b>146.2281</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Vegetation**

	Total CO2	CH4	N2O	CO2e
Category	MT			
Unmitigated	482.1480	0.0000	0.0000	482.1480

**10.2 Net New Trees**

**Species Class**

	Number of Trees	Total CO2	CH4	N2O	CO2e
	MT				
Miscellaneous	681	482.1480	0.0000	0.0000	482.1480
<b>Total</b>		<b>482.1480</b>	<b>0.0000</b>	<b>0.0000</b>	<b>482.1480</b>



## Modified RockCliffe at Stoneridge Ranch Year 2020

### Riverside-South Coast County, Annual

#### 1.0 Project Characteristics

##### 1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Single Family Housing	274.00	Dwelling Unit	29.07	493,200.00	784

##### 1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.4	Precipitation Freq (Days)	28
Climate Zone	10			Operational Year	2020

Utility Company      Southern California Edison

CO2 Intensity (lb/MW/hr)	630.89	CH4 Intensity (lb/MW/hr)	0.029	N2O Intensity (lb/MW/hr)	0.006
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##### 1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - 274 Single-family homes on 29.07 acres

Construction Phase -

Woodstoves - Per architectural plans, no fireplaces would be constructed in the homes.

Sequestration - 681 Miscellaneous Trees would be planted on project site.

Grading -

Mobile Land Use Mitigation - Increase Density to 9.4 dwelling units per acre; RTA Route 35 is located adjacent to project site (0.1 mile); Improve Pedestrian Network on Project Site.

Area Mitigation -

Energy Mitigation - Per 2013 Title 24 Part 6 Energy Efficiency Standards a 25% improvement in Title 24 Standards was accounted for.

Water Mitigation - Per CalGreen Standard the use of low-flow water fixtures were selected; Per M.C. Section 9.17.080 turf reduced to 25% of total landscaped area.

Waste Mitigation - 50% reduction in waste disposed selected in order to account for SB 939 and 1374.

Table Name	Column Name	Default Value	New Value
tblFireplaces	NumberGas	232.90	0.00
tblFireplaces	NumberNoFireplace	27.40	274.00
tblFireplaces	NumberWood	13.70	0.00
tblLandUse	LotAcreage	88.96	29.07
tblProjectCharacteristics	OperationalYear	2014	2020
tblSequestration	NumberOfNewTrees	0.00	681.00
tblWoodstoves	NumberCatalytic	13.70	0.00
tblWoodstoves	NumberNoncatalytic	13.70	0.00

2.0 Emissions Summary

**2.1 Overall Construction**  
Unmitigated Construction

Year	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2016											0.0000	555.7399	555.7399	0.1143	0.0000	558.1406
2017											0.0000	484.3667	484.3667	0.0823	0.0000	486.0944
2018											0.0000	28.0608	28.0608	6.6300e-003	0.0000	28.2000
<b>Total</b>											<b>0.0000</b>	<b>1,068.1674</b>	<b>1,068.1674</b>	<b>0.2032</b>	<b>0.0000</b>	<b>1,072.4351</b>

**Mitigated Construction**

Year	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2016											0.0000	555.7394	555.7394	0.1143	0.0000	558.1402
2017											0.0000	484.3664	484.3664	0.0823	0.0000	486.0940
2018											0.0000	28.0608	28.0608	6.6300e-003	0.0000	28.2000
<b>Total</b>											<b>0.0000</b>	<b>1,068.1665</b>	<b>1,068.1665</b>	<b>0.2032</b>	<b>0.0000</b>	<b>1,072.4342</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**2.2 Overall Operational**  
Unmitigated Operational

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Area											0.0000	4.6157	4.6157	4.5000e-003	0.0000	4.7102
Energy											0.0000	1,095.8877	1,095.8877	0.0371	0.0148	1,101.2490
Mobile											0.0000	3,354.8954	3,354.8954	0.0992	0.0000	3,356.9787
Waste											65,2494	0.0000	65,2494	3.8561	0.0000	146.2281
Water											5.6637	102.3026	107.9663	0.5864	0.0147	124.8406
<b>Total</b>											<b>70.9131</b>	<b>4,557.7014</b>	<b>4,628.6145</b>	<b>4.5834</b>	<b>0.0295</b>	<b>4,734.0067</b>

**2.2 Overall Operational  
Mitigated Operational**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Area											0.0000	4.6157	4.6157	4.5000e-003	0.0000	4.7102
Energy											0.0000	974.9759	974.9759	0.0343	0.0127	979.6431
Mobile											0.0000	2,999.1525	2,999.1525	0.0893	0.0000	3,001.0283
Waste											32.6247	0.0000	32.6247	1.9281	0.0000	73.1141
Water											4.5309	88.9985	93.5294	0.4694	0.0118	107.0497
<b>Total</b>											<b>37.1557</b>	<b>4,067.7425</b>	<b>4,104.8981</b>	<b>2.5256</b>	<b>0.0246</b>	<b>4,165.5453</b>

Percent Reduction																
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	47.60	10.75	11.31	44.90	16.75	12.01

**2.3 Vegetation**

Vegetation

	CO2e
Category	MT
New Trees	482,1480
<b>Total</b>	<b>482,1480</b>

**3.0 Construction Detail**

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	1/1/2016	1/28/2016	5	20	
2	Grading	Grading	1/29/2016	3/31/2016	5	45	
3	Building Construction	Building Construction	4/1/2016	12/7/2017	5	440	
4	Paving	Paving	12/8/2017	1/25/2018	5	35	
5	Architectural Coating	Architectural Coating	1/26/2018	3/15/2018	5	35	

**Acres of Grading (Site Preparation Phase): 0**

**Acres of Grading (Grading Phase): 112.5**

**Acres of Paving: 0**

**Residential Indoor: 998,730; Residential Outdoor: 332,910; Non-Residential Indoor: 0; Non-Residential Outdoor: 0 (Architectural Coating – sqft)**

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Site Preparation	Rubber Tired Dozers	3	8.00	255	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	162	0.38
Grading	Graders	1	8.00	174	0.41
Grading	Rubber Tired Dozers	1	8.00	255	0.40
Grading	Scrapers	2	8.00	361	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	226	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	125	0.42
Paving	Paving Equipment	2	8.00	130	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	99.00	29.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	20.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

**3.2 Site Preparation - 2016**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
tons/yr																
Fugitive Dust											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	36.8771	36.8771	0.0111	0.0000	37.1107
<b>Total</b>											<b>0.0000</b>	<b>36.8771</b>	<b>36.8771</b>	<b>0.0111</b>	<b>0.0000</b>	<b>37.1107</b>
MT/yr																

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
tons/yr																
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.6784	1.6784	8.0000e-005	0.0000	1.6800
<b>Total</b>											<b>0.0000</b>	<b>1.6784</b>	<b>1.6784</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>1.6800</b>
MT/yr																



**3.2 Site Preparation - 2016**  
**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Fugitive Dust											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	36.8771	36.8771	0.0111	0.0000	37.1107
<b>Total</b>											<b>0.0000</b>	<b>36.8771</b>	<b>36.8771</b>	<b>0.0111</b>	<b>0.0000</b>	<b>37.1107</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.6784	1.6784	8.0000e-005	0.0000	1.6800
<b>Total</b>											<b>0.0000</b>	<b>1.6784</b>	<b>1.6784</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>1.6800</b>

**3.3 Grading - 2016**

**Unmitigated Construction On-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Fugitive Dust												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road												0.0000	130.9404	130.9404	0.0395	0.0000	131.7698
<b>Total</b>												<b>0.0000</b>	<b>130.9404</b>	<b>130.9404</b>	<b>0.0395</b>	<b>0.0000</b>	<b>131.7698</b>

**Unmitigated Construction Off-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Hauling												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker												0.0000	4.1959	4.1959	2.0000e-004	0.0000	4.2000
<b>Total</b>												<b>0.0000</b>	<b>4.1959</b>	<b>4.1959</b>	<b>2.0000e-004</b>	<b>0.0000</b>	<b>4.2000</b>

**3.3 Grading - 2016**

**Mitigated Construction On-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Fugitive Dust												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road												0.0000	130.9402	130.9402	0.0395	0.0000	131.7697
<b>Total</b>												<b>0.0000</b>	<b>130.9402</b>	<b>130.9402</b>	<b>0.0395</b>	<b>0.0000</b>	<b>131.7697</b>

**Mitigated Construction Off-Site**

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Hauling												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker												0.0000	4.1959	4.1959	2.0000e-004	0.0000	4.2000
<b>Total</b>												<b>0.0000</b>	<b>4.1959</b>	<b>4.1959</b>	<b>2.0000e-004</b>	<b>0.0000</b>	<b>4.2000</b>

**3.4 Building Construction - 2016**  
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	237.3105	237.3105	0.0589	0.0000	238.5465
<b>Total</b>											<b>0.0000</b>	<b>237.3105</b>	<b>237.3105</b>	<b>0.0589</b>	<b>0.0000</b>	<b>238.5465</b>

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	54.2747	54.2747	3.6000e-004	0.0000	54.2822
Worker											0.0000	90.4630	90.4630	4.2100e-003	0.0000	90.5514
<b>Total</b>											<b>0.0000</b>	<b>144.7377</b>	<b>144.7377</b>	<b>4.5700e-003</b>	<b>0.0000</b>	<b>144.8337</b>

**3.4 Building Construction - 2016**  
**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	237.3102	237.3102	0.0589	0.0000	238.5462
<b>Total</b>											<b>0.0000</b>	<b>237.3102</b>	<b>237.3102</b>	<b>0.0589</b>	<b>0.0000</b>	<b>238.5462</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	54.2747	54.2747	3.6000e-004	0.0000	54.2822
Worker											0.0000	90.4630	90.4630	4.2100e-003	0.0000	90.5514
<b>Total</b>											<b>0.0000</b>	<b>144.7377</b>	<b>144.7377</b>	<b>4.5700e-003</b>	<b>0.0000</b>	<b>144.8337</b>

**3.4 Building Construction - 2017**  
**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road											0.0000	292.1645	292.1645	0.0719	0.0000	293.6746
<b>Total</b>											<b>0.0000</b>	<b>292.1645</b>	<b>292.1645</b>	<b>0.0719</b>	<b>0.0000</b>	<b>293.6746</b>

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	66.4248	66.4248	4.3000e-004	0.0000	66.4338
Worker											0.0000	108.1482	108.1482	4.8100e-003	0.0000	108.2492
<b>Total</b>											<b>0.0000</b>	<b>174.5730</b>	<b>174.5730</b>	<b>5.2400e-003</b>	<b>0.0000</b>	<b>174.6831</b>

**3.4 Building Construction - 2017**

**Mitigated Construction On-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	292.1642	292.1642	0.0719	0.0000	293.6742
<b>Total</b>											<b>0.0000</b>	<b>292.1642</b>	<b>292.1642</b>	<b>0.0719</b>	<b>0.0000</b>	<b>293.6742</b>

**Mitigated Construction Off-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	66.4248	66.4248	4.3000e-004	0.0000	66.4338
Worker											0.0000	108.1482	108.1482	4.8100e-003	0.0000	108.2492
<b>Total</b>											<b>0.0000</b>	<b>174.5730</b>	<b>174.5730</b>	<b>5.2400e-003</b>	<b>0.0000</b>	<b>174.6831</b>

**3.5 Paving - 2017**

**Unmitigated Construction On-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	16.5547	16.5547	5.0700e-003	0.0000	16.6613
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>16.5547</b>	<b>16.5547</b>	<b>5.0700e-003</b>	<b>0.0000</b>	<b>16.6613</b>

**Unmitigated Construction Off-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.0745	1.0745	5.0000e-005	0.0000	1.0755
<b>Total</b>											<b>0.0000</b>	<b>1.0745</b>	<b>1.0745</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>1.0755</b>



**3.5 Paving - 2017**

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Off-Road											0.0000	16.5547	16.5547	5.0700e-003	0.0000	16.6612
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>16.5547</b>	<b>16.5547</b>	<b>5.0700e-003</b>	<b>0.0000</b>	<b>16.6612</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.0745	1.0745	5.0000e-005	0.0000	1.0755
<b>Total</b>											<b>0.0000</b>	<b>1.0745</b>	<b>1.0745</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>1.0755</b>

**3.5 Paving - 2018**

**Unmitigated Construction On-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	19.3503	19.3503	6.0200e-003	0.0000	19.4768
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>19.3503</b>	<b>19.3503</b>	<b>6.0200e-003</b>	<b>0.0000</b>	<b>19.4768</b>

**Unmitigated Construction Off-Site**

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.2275	1.2275	5.0000e-005	0.0000	1.2286
<b>Total</b>											<b>0.0000</b>	<b>1.2275</b>	<b>1.2275</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>1.2286</b>

**3.5 Paving - 2018**

**Mitigated Construction On-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road											0.0000	19.3503	19.3503	6.0200e-003	0.0000	19.4768
Paving											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>											<b>0.0000</b>	<b>19.3503</b>	<b>19.3503</b>	<b>6.0200e-003</b>	<b>0.0000</b>	<b>19.4768</b>

**Mitigated Construction Off-Site**

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	1.2275	1.2275	5.0000e-005	0.0000	1.2286
<b>Total</b>											<b>0.0000</b>	<b>1.2275</b>	<b>1.2275</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>1.2286</b>

**3.6 Architectural Coating - 2018**  
**Unmitigated Construction On-Site**

Category	tons/yr										MT/yr					CO2e
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	
Archit. Coating											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	4.4682	4.4682	4.2000e-004	0.0000	4.4771
<b>Total</b>											<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>4.4771</b>

**Unmitigated Construction Off-Site**

Category	tons/yr										MT/yr					CO2e
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	3.0148	3.0148	1.3000e-004	0.0000	3.0175
<b>Total</b>											<b>0.0000</b>	<b>3.0148</b>	<b>3.0148</b>	<b>1.3000e-004</b>	<b>0.0000</b>	<b>3.0175</b>

**3.6 Architectural Coating - 2018**

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Archit. Coating											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road											0.0000	4.4682	4.4682	4.2000e-004	0.0000	4.4771
<b>Total</b>											<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>4.2000e-004</b>	<b>0.0000</b>	<b>4.4771</b>

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
	MT/yr															
Hauling											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor											0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker											0.0000	3.0148	3.0148	1.3000e-004	0.0000	3.0175
<b>Total</b>											<b>0.0000</b>	<b>3.0148</b>	<b>3.0148</b>	<b>1.3000e-004</b>	<b>0.0000</b>	<b>3.0175</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

- Increase Density
- Increase Transit Accessibility
- Improve Pedestrian Network

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated											0.0000	2,999,152	2,999,152	0.0893	0.0000	3,001,028
Unmitigated											0.0000	3,354,895	3,354,895	0.0992	0.0000	3,356,978

**4.2 Trip Summary Information**

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Single Family Housing	2,622.18	2,761.92	2402.98	8,921,598	7,949,144
Total	2,622.18	2,761.92	2,402.98	8,921,598	7,949,144

**4.3 Trip Type Information**

Land Use	Miles						Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Single Family Housing	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3			

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.457065	0.068684	0.178597	0.172280	0.046891	0.007460	0.012475	0.043976	0.000902	0.001056	0.006515	0.000828	0.003272

**5.0 Energy Detail**

Historical Energy Use: N

**5.1 Mitigation Measures Energy**

Exceed Title 24

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Electricity Mitigated											0.0000	582.9287	582.9287	0.0268	5.5400e-003	585.2100
Electricity Unmitigated											0.0000	602.1585	602.1585	0.0277	5.7300e-003	604.5150
NaturalGas Mitigated											0.0000	392.0472	392.0472	7.5100e-003	7.1900e-003	394.4331
NaturalGas Unmitigated											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

Land Use	NaturalGas Use kBTU/yr	ROG	NOx	CO	SO2	tons/yr				MTT/yr				CO2e			
						Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2		Total CO2	CH4	N2O
Single Family Housing	9.25214e+006											0.0000	493.7292	493.7292	9.4600e-003	9.0500e-003	496.7340
<b>Total</b>												<b>0.0000</b>	<b>493.7292</b>	<b>493.7292</b>	<b>9.4600e-003</b>	<b>9.0500e-003</b>	<b>496.7340</b>

**Mitigated**

Land Use	NaturalGas Use kBTU/yr	ROG	NOx	CO	SO2	tons/yr				MTT/yr				CO2e			
						Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2		Total CO2	CH4	N2O
Single Family Housing	7.34669e+006											0.0000	392.0472	392.0472	7.5100e-003	7.1900e-003	394.4331
<b>Total</b>												<b>0.0000</b>	<b>392.0472</b>	<b>392.0472</b>	<b>7.5100e-003</b>	<b>7.1900e-003</b>	<b>394.4331</b>



**5.3 Energy by Land Use - Electricity**

**Unmitigated**

Land Use	Electricity Use kWh/yr	Total CO2	CH4	N2O	CO2e
Single Family Housing	2.10422e+006	602.1585	0.0277	5.7300e-003	604.5150
<b>Total</b>		<b>602.1585</b>	<b>0.0277</b>	<b>5.7300e-003</b>	<b>604.5150</b>

**Mitigated**

Land Use	Electricity Use kWh/yr	Total CO2	CH4	N2O	CO2e
Single Family Housing	2.03702e+006	582.9287	0.0268	5.5400e-003	585.2100
<b>Total</b>		<b>582.9287</b>	<b>0.0268</b>	<b>5.5400e-003</b>	<b>585.2100</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

No Hearths Installed

Category	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Mitigated												0.0000	4.6157	4.6157	4.5000e-003	0.0000	4.7102
Unmitigated												0.0000	4.6157	4.6157	4.5000e-003	0.0000	4.7102

**6.2 Area by SubCategory**

Unmitigated

SubCategory	tons/yr										MT/yr					CO2e	
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O		
Architectural Coating												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping												0.0000	4.6157	4.6157	4.5000e-003	0.0000	4.7102
<b>Total</b>												<b>0.0000</b>	<b>4.6157</b>	<b>4.6157</b>	<b>4.5000e-003</b>	<b>0.0000</b>	<b>4.7102</b>

**6.2 Area by SubCategory**

**Mitigated**

SubCategory	ROG	NOx	CO	SO2	tons/yr				MTT/yr				CO2e														
					Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2		Total CO2	CH4	N2O											
Architectural Coating												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		
Consumer Products												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth												0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping												0.0000	4.6157	4.6157	4.5000e-003	4.6157	4.6157	4.5000e-003	4.6157	4.6157	4.5000e-003	4.6157	0.0000	0.0000	0.0000	4.7102	4.7102
<b>Total</b>												<b>0.0000</b>	<b>4.6157</b>	<b>4.6157</b>	<b>4.5000e-003</b>	<b>4.6157</b>	<b>4.6157</b>	<b>4.5000e-003</b>	<b>4.6157</b>	<b>4.6157</b>	<b>4.5000e-003</b>	<b>4.6157</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>4.7102</b>	<b>4.7102</b>

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

- Install Low Flow Bathroom Faucet
- Install Low Flow Kitchen Faucet
- Install Low Flow Toilet
- Install Low Flow Shower
- Turf Reduction

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	93.5294	0.4694	0.0118	107.0497
Unmitigated	107.9663	0.5864	0.0147	124.8406

**7.2 Water by Land Use**

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Single Family Housing	17.8522 / 11.2546	107.9663	0.5864	0.0147	124.8406
<b>Total</b>		<b>107.9663</b>	<b>0.5864</b>	<b>0.0147</b>	<b>124.8406</b>

**7.2 Water by Land Use**

**Mitigated**

Land Use	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
	Mgal	MT/yr			
Single Family Housing	14.2818 / 11.2546	93.5294	0.4694	0.0118	107.0497
<b>Total</b>		<b>93.5294</b>	<b>0.4694</b>	<b>0.0118</b>	<b>107.0497</b>

**8.0 Waste Detail**

**8.1 Mitigation Measures Waste**

Institute Recycling and Composting Services

**Category/Year**

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	32.6247	1.9281	0.0000	73.1141
Unmitigated	65.2494	3.8561	0.0000	146.2281

**8.2 Waste by Land Use**

Unmitigated

Land Use	Waste Disposed tons	Total CO2	CH4	N2O	CO2e
		MT/yr			
Single Family Housing	321.44	65.2494	3.8561	0.0000	146.2281
<b>Total</b>		<b>65.2494</b>	<b>3.8561</b>	<b>0.0000</b>	<b>146.2281</b>

Mitigated

Land Use	Waste Disposed tons	Total CO2	CH4	N2O	CO2e
		MT/yr			
Single Family Housing	160.72	32.6247	1.9281	0.0000	73.1141
<b>Total</b>		<b>32.6247</b>	<b>1.9281</b>	<b>0.0000</b>	<b>73.1141</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

### 10.0 Vegetation

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	Total CO2	CH4	N2O	CO2e
Category	MT			
Unmitigated	482.1480	0.0000	0.0000	482.1480

### 10.2 Net New Trees

#### Species Class

	Number of Trees	Total CO2	CH4	N2O	CO2e
	MT				
Miscellaneous	681	482.1480	0.0000	0.0000	482.1480
<b>Total</b>		<b>482.1480</b>	<b>0.0000</b>	<b>0.0000</b>	<b>482.1480</b>

## Appendix B: Noise

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



# VISTA ENVIRONMENTAL

March 3, 2016

Fred Talarico  
 Vista Community Planners  
 1278 Glenneyre Street, Suite 110  
 Laguna Beach, CA 92651

**Subject: Noise Analysis of the Modified RockCliffe at Stoneridge Ranch Residential Project, Moreno Valley, CA.**

Dear Mr. Talarico:

Vista Environmental has prepared this noise analysis in order to evaluate whether the proposed Modified RockCliffe at Stoneridge Ranch Project (Modified Project) would result in any new or substantially greater significant noise impacts or require any new mitigation measures not identified in the previous environmental documents. The prior approvals for the RockCliffe at Stoneridge Ranch residential project are detailed below:

- **Stoneridge Ranch Specific Plan EIR** – In 1989 the project site was evaluated as part of the overall Stoneridge Ranch Specific Plan EIR. The approximately 29.07-acre project site was designated for development as Recreation/Entertainment and Open Space.
- **Stoneridge Ranch Village General Plan and Zone Change Amendment** – On November 16, 2004, the City adopted a General Plan Amendment and Change of Zone that repealed the Stoneridge Specific Plan and established General Plan and zoning designations for the overall Stoneridge area. With this action the project site was approved for the development of 276 residential condominium units.
- **Stoneridge Ranch Village III Planned Unit Development and 2005 IS/MND** – On April 4, 2005 the City certified the Stoneridge Ranch Village III Initial Study/Mitigated Negative Declaration (IS/MND). With this action the project site was approved for the development of 276 townhomes.
- **Stoneridge Ranch Village III Amended PUD and 2011 Addendum** – In February 2011, the City adopted an Amended PUD that allowed for the development of 275 residential detached homes on the project site.

The Modified Project would result in the development of 274 residential detached homes on the project site, which is the same as the currently approved plans for the project site as detailed in the 2011 Amended PUD. The differences between the currently approved plans for the project site and the Modified Project consists of modifications to the site plan layout, including revisions to the placement of the proposed residential detached homes and private open space areas.

## Mitigation Measures

The noise analyses prepared for the prior approvals for the project site found that through implementation of the following noise mitigation measures, noise impacts would be reduced to less than significant levels.

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- NO-1 During project construction, all construction vehicles or equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.
- NO-2 All construction activities shall comply with the City of Moreno Valley Noise Control Ordinance that limits construction activities to the hours between 7:00 a.m. to 7:00 p.m. Monday through Saturday.
- NO-3 During project construction, the project proponent shall make best efforts to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings.
- NO-4 Prior to the issuance of any Certificate of Occupancy, the applicant to meet Exterior Noise Mitigation shall construct:
- Construct a 5.0-foot high patio enclosure for all units facing Eucalyptus Avenue.<sup>1</sup>
- NO-5 Prior to the issuance of any Certificate of Occupancy, the applicant to meet Interior Noise Mitigation shall construct:
- Provide a “windows closed” condition requiring a means of mechanical ventilation (e.g. air conditioning) for all units adjacent to Eucalyptus Avenue.
  - Provide upgraded windows with a Sound Transmission Class (STC) rating of 29 or higher for all units facing Eucalyptus Avenue.<sup>2</sup>

### Modified Project Noise Impacts

This noise analysis is limited to analyzing the noise impacts associated with the differences between the currently approved plans for the project site and the Modified Project. This limits the noise analysis to an evaluation of whether the placement of any of the homes in the Modified Project would exceed the City of Moreno Valley noise standards.

The proposed homes would be located adjacent to Eucalyptus Avenue, which may create noise levels in excess of the City of Moreno Valley Residential exterior and interior noise standards. The following details the City noise standards, the noise modeling parameters and the exterior and interior noise impacts to the proposed homes adjacent to Eucalyptus Avenue.

#### City of Moreno Valley Residential Noise Standards

The City’s General Plan Policy 6.3.1 requires that sound mitigation be provided for new residential detached buildings that are exposed to future exterior noise levels that exceed 20 dBA CNEL above the 45 dBA CNEL interior noise standard, or exceed 65 dBA CNEL at the exterior of the proposed residential detached homes. General Plan Policy 6.3.1 also requires that masonry walls be installed between residential detached homes and major roadways.

#### Proposed Homes Exterior Noise Impacts

The backyards of the homes adjacent to Eucalyptus Avenue have the potential to exceed the City’s residential exterior noise standard of 65 dBA CNEL. The proposed Landscape Plan for the Modified

<sup>1</sup> For all of the homes that are adjacent to Eucalyptus Avenue, the proposed project provides a 6-foot high solid wall between the side and rear yards and Eucalyptus Avenue. This meets the City’s wall standards per Section 9.08.070 of the Municipal Code.

<sup>2</sup> Limited to the first row of homes adjacent to Eucalyptus Avenue.

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Project details that a 6-foot high slump block wall will be constructed between Eucalyptus Avenue and the rear and side yards of the proposed homes.

In order to quantify the traffic noise impacts at the proposed homes that are adjacent to Eucalyptus Avenue, the exterior noise levels were calculated through use of the FHWA RD-77-108 traffic noise prediction model. The model was based on a receiver located 10 feet in from the proposed wall location and the traffic volumes for Eucalyptus Avenue was obtained from multiplying the year 2035 with project PM peak hour volume by 12 for Eucalyptus Avenue east of Moreno Beach Drive as detailed in *Traffic Impact Analysis Report for The World Logistics Center*, prepared by Parsons Brinckerhoff, Inc., January 2013.

The calculated noise levels of representative proposed homes adjacent to Eucalyptus Avenue are provided below in Table A and the FHWA model printouts are attached to this letter. Table A also shows the required sound wall heights in order to meet the City's 65 dBA CNEL exterior standard for the residential detached homes.

**Table A – Proposed Homes Exterior Noise Levels**

<b>Lot</b>	<b>Distance from Eucalyptus Ave C.L. to Receptor (feet)</b>	<b>Without Wall Noise Level (dBA CNEL)</b>	<b>With Wall Noise Level<sup>1</sup> (dBA CNEL)</b>
1	79	68	59
11	73	69	61
21	72	69	63
80	73	68	62
99	73	68	61
109	72	68	61
119	72	68	61
129	71	68	61

Notes:

<sup>1</sup> With Wall Noise Levels include noise attenuation provided by the proposed 6-foot high block wall that is shown in the Fence & Wall Concept Plan.

Source: FHWA RD-77-108 Model.

Table A shows that with development of the proposed 6-foot high solid wall as detailed in the Fence & Wall Concept Plan the noise level at the exterior areas of all analyzed homes would be within the City's 65 dBA CNEL residential exterior noise standard. Impacts would be less than significant.

#### Proposed Homes Interior Noise Impacts

The homes adjacent to Eucalyptus Avenue have the potential to exceed the City's residential interior noise standard of 45 dBA CNEL. The interior noise levels have been calculated based on the shortest distance from the centerline of Eucalyptus Avenue to the home on the lots that were analyzed above for the exterior noise impact analysis. A typical new home provides a minimum of 12 dB attenuation when the windows are open and this attenuation rate was utilized to analyze the unmitigated condition. The mitigated condition was based on implementation of Mitigation Measure NO-5 that would provide a "windows closed" condition and require the installation of 29 STC windows for all windows facing toward Eucalyptus Avenue, which is anticipated to provide a minimum of 25 dB of attenuation. The exterior noise level at the façade of the first floor and possible second floors were calculated and are shown below in Table B and the FHWA model printouts are provided in Appendix C. Table B also

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shows the calculated unmitigated and mitigated interior noise levels based on the attenuation rates detailed above.

**Table B – Proposed Residential Interior Noise Levels**

Lot	Floor	Exterior Noise Level at Façade (dBA CNEL)	Interior Noise Levels (dBA CNEL)	
			Unmitigated <sup>1</sup>	Mitigated
1	1	61	<b>49</b>	36
	2	68	<b>56</b>	43
11	1	63	<b>51</b>	38
	2	70	<b>58</b>	45
21	1	64	<b>52</b>	39
	2	70	<b>58</b>	45
80	1	63	<b>51</b>	38
	2	69	<b>57</b>	44
99	1	63	<b>51</b>	38
	2	69	<b>57</b>	44
109	1	63	<b>51</b>	38
	2	69	<b>57</b>	44
119	1	62	<b>50</b>	37
	2	69	<b>57</b>	44
129	1	63	<b>51</b>	38
	2	69	<b>57</b>	44

Notes:

<sup>1</sup> Unmitigated interior noise level calculated by subtracting 12 dBA from the exterior noise level at façade.

<sup>2</sup> Mitigated interior noise level calculated by subtracting 25 dBA from the exterior noise level at façade.

Exceedance of City's residential interior noise standard shown in **bold**.

Source: FHWA RD-77-108 Model.

Table B shows that the homes adjacent to Eucalyptus Avenue would exceed the City's 45 dBA CNEL interior noise standard for the unmitigated condition. This would be considered a significant impact.

With implementation of the previously adopted Mitigation Measure NO-5 that would provide a "windows closed" condition and require the installation of 29 STC windows for all windows facing toward Eucalyptus Avenue, Table B shows that interior noise levels at the proposed homes would be reduced to within the City's 45 dBA CNEL interior noise standard. Therefore, the interior noise impacts would be reduced to less than significant levels with implementation of the previously adopted Mitigation Measure NO-5.

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Summary of Findings

In summary, the noise analyses prepared for the prior approvals for the project found that through implementation of Mitigation Measures NO-1 through NO-5, the noise impacts from the previously approved projects would be reduced to less than significant levels. The analysis provided above found through implementation of Mitigation Measures NO-1 through NO-5, the noise impacts from the Modified Project would be reduced to less than significant levels. Please call me at (949) 510-5355 if you have any questions related to the above.

Sincerely,



Greg Tonkovich, AICP, INCE  
Senior Analyst  
Vista Environmental

Encl.: FHWA RD-77-108 Model Printouts

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## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 1

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,728.1 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,721.0 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	69 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	79 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	75 feet	Pad Elevation: 1,728.1 feet				
Barrier Dist. To Observer (Structure):	6 feet	Observer Heights Above Pad Elevation				
Road Grade:	3.30 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-1.98	-1.20	1.00	-9.3	-7.95	0
Med Trucks:	76.31	-12.07	-1.98	-1.20	1.00	-9.3	-7.95	0
Hvy Trucks:	81.16	-9.85	-1.98	-1.20	1.00	-7.6	-6.48	0

### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	67.8	65.4	64.1	58.1	66.5	67.1
Med Trucks:	61.9	42.7	35.0	44.2	50.3	50.4
Hvy Trucks:	69.1	52.1	44.4	53.6	59.7	59.8
<b>Traffic Noise:</b>	<b>72.0</b>	<b>65.6</b>	<b>64.2</b>	<b>59.5</b>	<b>67.4</b>	<b>67.9</b>

### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	58.7	56.3	55.0	49.0	57.4	58.0
Med Trucks:	52.8	33.6	25.8	35.0	41.1	41.2
Hvy Trucks:	61.5	44.5	36.8	46.0	52.1	52.2
<b>Traffic Noise:</b>	<b>63.7</b>	<b>56.6</b>	<b>55.1</b>	<b>50.8</b>	<b>58.6</b>	<b>59.1</b>

### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	60.5	58.1	56.8	50.8	59.2	59.8
Med Trucks:	54.6	35.4	27.6	36.8	43.0	43.0
Hvy Trucks:	63.1	46.1	38.4	47.6	53.7	53.7
<b>Traffic Noise:</b>	<b>65.4</b>	<b>58.4</b>	<b>56.9</b>	<b>52.6</b>	<b>60.4</b>	<b>60.9</b>

### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.2	65.8	64.5	58.5	66.9	67.5
Med Trucks:	62.3	43.1	35.3	44.5	50.7	50.7
Hvy Trucks:	69.4	52.4	44.6	53.8	59.9	60.0
<b>Traffic Noise:</b>	<b>72.3</b>	<b>66.0</b>	<b>64.6</b>	<b>59.9</b>	<b>67.8</b>	<b>68.3</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 11

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,729.7 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,727.0 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	63 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	73 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	67 feet	Pad Elevation: 1,729.7 feet				
Barrier Dist. To Observer (Structure):	4 feet	Observer Heights Above Pad Elevation				
Road Grade:	3.40 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-1.15	-1.20	1.00	-8.35	-7.15	0
Med Trucks:	76.31	-12.07	-1.15	-1.20	1.00	-8.15	-7.01	0
Hvy Trucks:	81.16	-9.85	-1.15	-1.20	1.00	-6.24	-5.8	0

#### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.7	66.3	65.0	58.9	67.4	68.0
Med Trucks:	62.9	43.7	35.9	45.1	51.3	51.3
Hvy Trucks:	70.0	53.0	45.2	54.4	60.5	60.6
<b>Traffic Noise:</b>	<b>72.8</b>	<b>66.5</b>	<b>65.1</b>	<b>60.4</b>	<b>68.3</b>	<b>68.8</b>

#### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	60.5	58.1	56.8	50.7	59.2	59.8
Med Trucks:	54.7	35.5	27.8	37.0	43.1	43.1
Hvy Trucks:	63.7	46.7	38.9	48.2	54.3	54.3
<b>Traffic Noise:</b>	<b>65.8</b>	<b>58.4</b>	<b>56.9</b>	<b>52.8</b>	<b>60.5</b>	<b>61.0</b>

#### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.6	60.2	58.9	52.8	61.3	61.9
Med Trucks:	56.8	37.6	29.8	39.0	45.2	45.2
Hvy Trucks:	65.1	48.1	40.3	49.5	55.6	55.7
<b>Traffic Noise:</b>	<b>67.4</b>	<b>60.5</b>	<b>59.0</b>	<b>54.6</b>	<b>62.4</b>	<b>62.9</b>

#### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	69.4	67.1	65.8	59.7	68.1	68.8
Med Trucks:	63.5	44.3	36.5	45.7	51.9	51.9
Hvy Trucks:	70.6	53.6	45.8	55.0	61.2	61.2
<b>Traffic Noise:</b>	<b>73.5</b>	<b>67.3</b>	<b>65.8</b>	<b>61.1</b>	<b>69.0</b>	<b>69.5</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 21

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,732.9 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,736.0 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	62 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	72 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	66 feet	Pad Elevation: 1,732.9 feet				
Barrier Dist. To Observer (Structure):	4 feet	Observer Heights Above Pad Elevation				
Road Grade:	3.30 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-0.96	-1.20	1.00	-6.64	-6	0
Med Trucks:	76.31	-12.07	-0.96	-1.20	1.00	-6.16	-5.8	0
Hvy Trucks:	81.16	-9.85	-0.96	-1.20	1.00	-4.9	-4.9	0

### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	69.0	66.6	65.3	59.3	67.7	68.3
Med Trucks:	63.1	43.9	36.1	45.3	51.5	51.5
Hvy Trucks:	70.2	53.2	45.4	54.6	60.7	60.8
<b>Traffic Noise:</b>	<b>73.1</b>	<b>66.8</b>	<b>65.4</b>	<b>60.7</b>	<b>68.6</b>	<b>69.1</b>

### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.4	60.0	58.7	52.6	61.1	61.7
Med Trucks:	56.9	37.7	29.9	39.1	45.3	45.3
Hvy Trucks:	65.3	48.3	40.5	49.7	55.8	55.9
<b>Traffic Noise:</b>	<b>67.5</b>	<b>60.3</b>	<b>58.8</b>	<b>54.5</b>	<b>62.3</b>	<b>62.8</b>

### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	64.0	61.6	60.3	54.2	62.7	63.3
Med Trucks:	58.2	39.0	31.3	40.5	46.6	46.6
Hvy Trucks:	66.2	49.2	41.4	50.6	56.8	56.8
<b>Traffic Noise:</b>	<b>68.6</b>	<b>61.8</b>	<b>60.3</b>	<b>55.9</b>	<b>63.8</b>	<b>64.3</b>

### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	69.8	67.4	66.1	60.1	68.5	69.1
Med Trucks:	63.9	44.7	36.9	46.1	52.2	52.3
Hvy Trucks:	70.9	54.0	46.2	55.4	61.5	61.6
<b>Traffic Noise:</b>	<b>73.9</b>	<b>67.6</b>	<b>66.2</b>	<b>61.5</b>	<b>69.4</b>	<b>69.9</b>



## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 80

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,748.0 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,752.8 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	63 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	73 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	66 feet	Pad Elevation: 1,748.0 feet				
Barrier Dist. To Observer (Structure):	3 feet	Observer Heights Above Pad Elevation				
Road Grade:	0.00 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-1.10	-1.20	0.00	-6.08	-5.9	0
Med Trucks:	76.31	-12.07	-1.10	-1.20	0.00	-5.7	-5.7	0
Hvy Trucks:	81.16	-9.85	-1.10	-1.20	0.00	-4.9	-5.1	0

### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	67.9	65.5	64.2	58.1	66.6	67.2
Med Trucks:	61.9	42.7	35.0	44.2	50.3	50.4
Hvy Trucks:	69.0	52.0	44.2	53.4	59.6	59.6
<b>Traffic Noise:</b>	<b>71.9</b>	<b>65.7</b>	<b>64.2</b>	<b>59.5</b>	<b>67.5</b>	<b>68.0</b>

### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	61.8	59.4	58.1	52.1	60.5	61.1
Med Trucks:	56.2	37.0	29.3	38.5	44.6	44.7
Hvy Trucks:	64.1	47.1	39.3	48.5	54.7	54.7
<b>Traffic Noise:</b>	<b>66.5</b>	<b>59.7</b>	<b>58.2</b>	<b>53.8</b>	<b>61.6</b>	<b>62.1</b>

### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	63.1	60.7	59.4	53.3	61.8	62.4
Med Trucks:	57.3	38.1	30.4	39.6	45.7	45.8
Hvy Trucks:	65.0	48.0	40.2	49.4	55.6	55.6
<b>Traffic Noise:</b>	<b>67.6</b>	<b>60.9</b>	<b>59.5</b>	<b>55.0</b>	<b>62.8</b>	<b>63.3</b>

### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.8	66.5	65.2	59.1	67.5	68.2
Med Trucks:	62.9	43.7	35.9	45.1	51.3	51.3
Hvy Trucks:	70.0	53.0	45.2	54.4	60.6	60.6
<b>Traffic Noise:</b>	<b>72.9</b>	<b>66.7</b>	<b>65.2</b>	<b>60.5</b>	<b>68.4</b>	<b>69.0</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 99

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,751.1 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,751.5 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	63 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	73 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	66 feet	Pad Elevation: 1,751.1 feet				
Barrier Dist. To Observer (Structure):	3 feet	Observer Heights Above Pad Elevation				
Road Grade:	0.00 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-1.12	-1.20	0.00	-7.5	-6.64	0
Med Trucks:	76.31	-12.07	-1.12	-1.20	0.00	-7.08	-6.56	0
Hvy Trucks:	81.16	-9.85	-1.12	-1.20	0.00	-5.4	-5.5	0

#### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	67.8	65.5	64.2	58.1	66.6	67.2
Med Trucks:	61.9	42.7	34.9	44.1	50.3	50.3
Hvy Trucks:	69.0	52.0	44.2	53.4	59.6	59.6
<b>Traffic Noise:</b>	<b>71.9</b>	<b>65.7</b>	<b>64.2</b>	<b>59.5</b>	<b>67.4</b>	<b>68.0</b>

#### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	60.3	58.0	56.7	50.6	59.1	59.7
Med Trucks:	54.8	35.6	27.9	37.1	43.2	43.3
Hvy Trucks:	63.6	46.6	38.8	48.0	54.2	54.2
<b>Traffic Noise:</b>	<b>65.7</b>	<b>58.3</b>	<b>56.8</b>	<b>52.6</b>	<b>60.4</b>	<b>60.8</b>

#### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.3	59.9	58.6	52.6	61.0	61.6
Med Trucks:	56.5	37.2	29.5	38.7	44.8	44.9
Hvy Trucks:	64.6	47.6	39.8	49.0	55.2	55.2
<b>Traffic Noise:</b>	<b>67.0</b>	<b>60.2</b>	<b>58.7</b>	<b>54.3</b>	<b>62.1</b>	<b>62.6</b>

#### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.7	66.3	65.0	59.0	67.4	68.0
Med Trucks:	62.8	43.6	35.8	45.0	51.2	51.2
Hvy Trucks:	69.9	52.9	45.1	54.3	60.4	60.5
<b>Traffic Noise:</b>	<b>72.8</b>	<b>66.5</b>	<b>65.1</b>	<b>60.4</b>	<b>68.3</b>	<b>68.8</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 109

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,753.3 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,752.6 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	62 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	72 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	66 feet	Pad Elevation: 1,753.3 feet				
Barrier Dist. To Observer (Structure):	4 feet	Observer Heights Above Pad Elevation				
Road Grade:	0.80 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-0.99	-1.20	0.00	-7.8	-6.72	0
Med Trucks:	76.31	-12.07	-0.99	-1.20	0.00	-7.55	-6.56	0
Hvy Trucks:	81.16	-9.85	-0.99	-1.20	0.00	-5.6	-5.5	0

#### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	67.9	65.5	64.2	58.1	66.6	67.2
Med Trucks:	62.1	42.8	35.1	44.3	50.4	50.5
Hvy Trucks:	69.1	52.1	44.4	53.6	59.7	59.7
<b>Traffic Noise:</b>	<b>72.0</b>	<b>65.7</b>	<b>64.2</b>	<b>59.6</b>	<b>67.5</b>	<b>68.0</b>

#### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	60.2	57.8	56.5	50.5	58.9	59.5
Med Trucks:	54.5	35.3	27.5	36.7	42.9	42.9
Hvy Trucks:	63.5	46.5	38.8	48.0	54.1	54.1
<b>Traffic Noise:</b>	<b>65.5</b>	<b>58.1</b>	<b>56.6</b>	<b>52.5</b>	<b>60.2</b>	<b>60.7</b>

#### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.2	59.8	58.5	52.5	60.9	61.5
Med Trucks:	56.4	37.2	29.4	38.7	44.8	44.8
Hvy Trucks:	64.6	47.6	39.8	49.0	55.2	55.2
<b>Traffic Noise:</b>	<b>67.0</b>	<b>60.1</b>	<b>58.6</b>	<b>54.2</b>	<b>62.0</b>	<b>62.5</b>

#### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.7	66.3	65.0	58.9	67.4	68.0
Med Trucks:	62.8	43.5	35.8	45.0	51.1	51.2
Hvy Trucks:	69.8	52.8	45.0	54.3	60.4	60.4
<b>Traffic Noise:</b>	<b>72.7</b>	<b>66.5</b>	<b>65.0</b>	<b>60.3</b>	<b>68.3</b>	<b>68.8</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 119

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,755.2 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,754.3 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	62 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	72 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	66 feet	Pad Elevation: 1,755.2 feet				
Barrier Dist. To Observer (Structure):	4 feet	Observer Heights Above Pad Elevation				
Road Grade:	1.00 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-0.99	-1.20	0.00	-7.85	-6.8	0
Med Trucks:	76.31	-12.07	-0.99	-1.20	0.00	-7.6	-6.64	0
Hvy Trucks:	81.16	-9.85	-0.99	-1.20	0.00	-5.7	-5.5	0

### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	67.9	65.5	64.2	58.1	66.6	67.2
Med Trucks:	62.1	42.8	35.1	44.3	50.4	50.5
Hvy Trucks:	69.1	52.1	44.3	53.6	59.7	59.7
<b>Traffic Noise:</b>	<b>72.0</b>	<b>65.7</b>	<b>64.2</b>	<b>59.6</b>	<b>67.5</b>	<b>68.0</b>

### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	60.1	57.7	56.5	50.4	58.8	59.5
Med Trucks:	54.5	35.2	27.5	36.7	42.8	42.9
Hvy Trucks:	63.4	46.4	38.6	47.9	54.0	54.0
<b>Traffic Noise:</b>	<b>65.4</b>	<b>58.1</b>	<b>56.5</b>	<b>52.4</b>	<b>60.1</b>	<b>60.6</b>

### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.1	59.7	58.4	52.4	60.8	61.4
Med Trucks:	56.4	37.1	29.4	38.6	44.7	44.8
Hvy Trucks:	64.6	47.6	39.8	49.0	55.1	55.2
<b>Traffic Noise:</b>	<b>66.9</b>	<b>60.0</b>	<b>58.5</b>	<b>54.1</b>	<b>61.9</b>	<b>62.4</b>

### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.7	66.3	65.0	58.9	67.4	68.0
Med Trucks:	62.7	43.5	35.8	45.0	51.1	51.1
Hvy Trucks:	69.8	52.8	45.0	54.2	60.4	60.4
<b>Traffic Noise:</b>	<b>72.7</b>	<b>66.5</b>	<b>65.0</b>	<b>60.3</b>	<b>68.2</b>	<b>68.8</b>

## FHWA-RD-77-108 HIGHWAY TRAFFIC NOISE PREDICTION MODEL

Road Name: Eucalyptus Avenue  
Lot Number: 129

Project Name: Rockcliffe  
Job Number: 15062

### NOISE MODEL INPUTS

Highway Data		Vehicle Mix				
Average Daily Traffic:	28,100 vehicles	Day	Evening	Night	Daily	
Peak Hour Volume:	2,810 vehicles	Autos:	69.5%	12.9%	9.6%	92.0%
Vehicle Speed:	40 mph	Medium Trucks:	1.4%	0.1%	1.5%	3.0%
Near/Far Lane Distance:	88 feet	Heavy Trucks:	2.4%	0.1%	2.5%	5.0%
Site Data		Elevations				
<b>Barrier Height:</b>	<b>6 feet</b>	Barrier Base Elevation: 1,756.2 feet				
Barrier Type(Wall/Berm):	Wall	Road Elevation: 1,757.6 feet				
Site Conditions(Hard/Soft):	Soft	Noise Source Elevation above Road				
Centerline (C.L.) Dist. to Barrier:	61 feet	Autos: 0 feet				
C.L. Dist. To Observer (Backyard):	71 feet	Med Trucks: 2.3 feet				
Barrier Dist. To Observer (Backyard):	10 feet	Hvy Trucks: 8 feet				
C.L. Dist. To Observer (Structure):	65 feet	Pad Elevation: 1,756.2 feet				
Barrier Dist. To Observer (Structure):	4 feet	Observer Heights Above Pad Elevation				
Road Grade:	1.20 %	Exterior: 5 feet				
Left View:	-90 degrees	First Floor: 5.5 feet				
Right View:	90 degrees	Second Floor: 14 feet				

### FHWA NOISE MODEL CALCULATIONS

	REMEL	Traffic Flow	Distance	Finite Road	Grade	Barrier Attenuation		
						Exterior	1st Flr	2nd Flr
Autos:	67.36	2.80	-0.82	-1.20	0.00	-7.15	-6.32	0
Med Trucks:	76.31	-12.07	-0.82	-1.20	0.00	-6.8	-6.16	0
Hvy Trucks:	81.16	-9.85	-0.82	-1.20	0.00	-5.2	-5.2	0

#### UNMITIGATED NOISE LEVELS (with topographical and existing barrier attenuation)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.1	65.8	64.5	58.4	66.8	67.5
Med Trucks:	62.2	43.0	35.2	44.4	50.6	50.6
Hvy Trucks:	69.3	52.3	44.5	53.7	59.9	59.9
<b>Traffic Noise:</b>	<b>72.2</b>	<b>66.0</b>	<b>64.5</b>	<b>59.8</b>	<b>67.7</b>	<b>68.3</b>

#### MITIGATED NOISE LEVELS (Backyard)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	61.0	58.6	57.3	51.3	59.7	60.3
Med Trucks:	55.4	36.2	28.4	37.6	43.8	43.8
Hvy Trucks:	64.1	47.1	39.3	48.5	54.7	54.7
<b>Traffic Noise:</b>	<b>66.2</b>	<b>58.9</b>	<b>57.4</b>	<b>53.2</b>	<b>61.0</b>	<b>61.5</b>

#### MITIGATED NOISE LEVELS (First Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	62.8	60.4	59.1	53.1	61.5	62.1
Med Trucks:	57.0	37.8	30.1	39.3	45.4	45.5
Hvy Trucks:	65.1	48.1	40.3	49.5	55.7	55.7
<b>Traffic Noise:</b>	<b>67.5</b>	<b>60.7</b>	<b>59.2</b>	<b>54.8</b>	<b>62.6</b>	<b>63.1</b>

#### MITIGATED NOISE LEVELS (Second Floor)

	Leq Peak Hour	Leq Day	Leq Evening	Leq Night	Ldn	CNEL
Autos:	68.9	66.5	65.2	59.2	67.6	68.2
Med Trucks:	63.0	43.8	36.0	45.2	51.4	51.4
Hvy Trucks:	70.1	53.1	45.3	54.5	60.6	60.7
<b>Traffic Noise:</b>	<b>73.0</b>	<b>66.7</b>	<b>65.3</b>	<b>60.6</b>	<b>68.5</b>	<b>69.0</b>

## Appendix C: Hydrology Report

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

# PRELIMINARY HYDROLOGY CALCULATIONS

## TENTATIVE TRACT No. 36933 ROCKCLIFFE AT STONERIDGE RANCH

City of Moreno Valley  
County of Riverside

Prepared Date: February 2016

Prepared For:  
**BEAZER HOMES**  
1800 E. Imperial Highway, Suite 200  
Brea, CA 92821  
(714) 285-2900

Prepared By:

**MDS CONSULTING**  
17350 Redhill Avenue, Suite 350  
Irvine, CA 92614  
(949) 251-8821



# PRELIMINARY HYDROLOGY CALCULATIONS

## TENTATIVE TRACT No. 36933 ROCKCLIFFE AT STONERIDGE RANCH

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Prepared Date: February 2016

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MDS CONSULTING  
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Irvine, CA 92614  
(949) 251-8821





<b>MDS</b> CONSULTING	MORSE	17320 Redhill Ave. Suite 350 Irvine, CA 92614
	SCHULTZ	Voice: 949-251-8821 FAX: 949-251-0516
PLANNERS ENGINEERS SURVEYORS		

**Preliminary Hydrology  
 Calculations**  
**Tentative Tract No. 36933**  
**Rockcliffe at Stoneridge Ranch**  
 City of Moreno Valley, County of Riverside

JN 597-20  
 January 2016

\_\_\_\_\_  
 Feldronio Esperanza RCE 55246      \_\_\_\_\_  
 Date

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



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- A. Site/Project Description/Discussion
  - Discussion
  - Project Location Map
  - Tentative Tract Map
  
- B. Developed Condition Rational Method Hydrology Calculations
  - 100-Year Storm
  - 10-Year Storm
  
- C. References and Map
  - Point Precipitation Frequency, NOAA Atlas 14, Vol. 6, Ver. 2
  - Soils Group Map
  - Hydrology Map

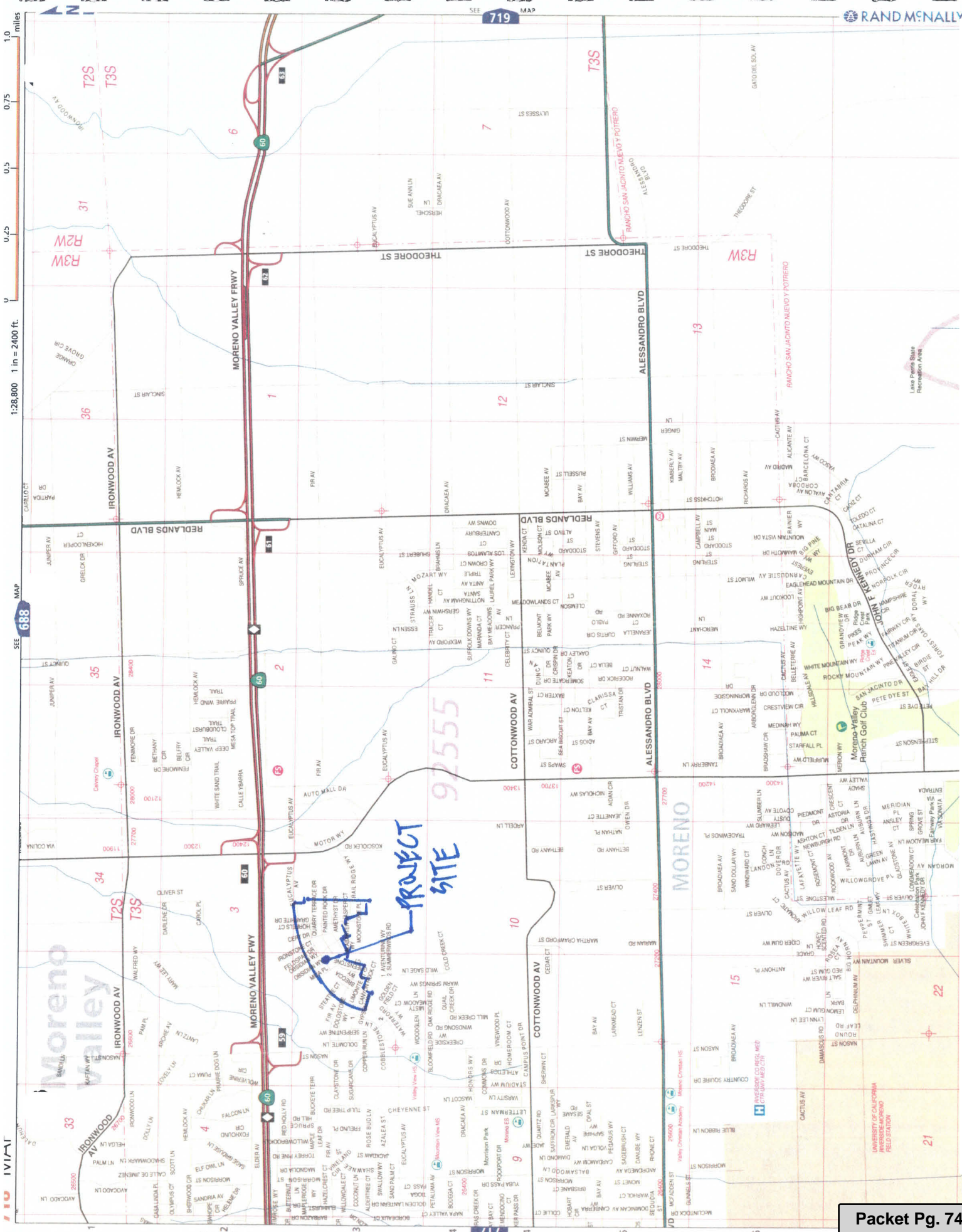


## **SITE/PROJECT DESCRIPTION/DISCUSSION**

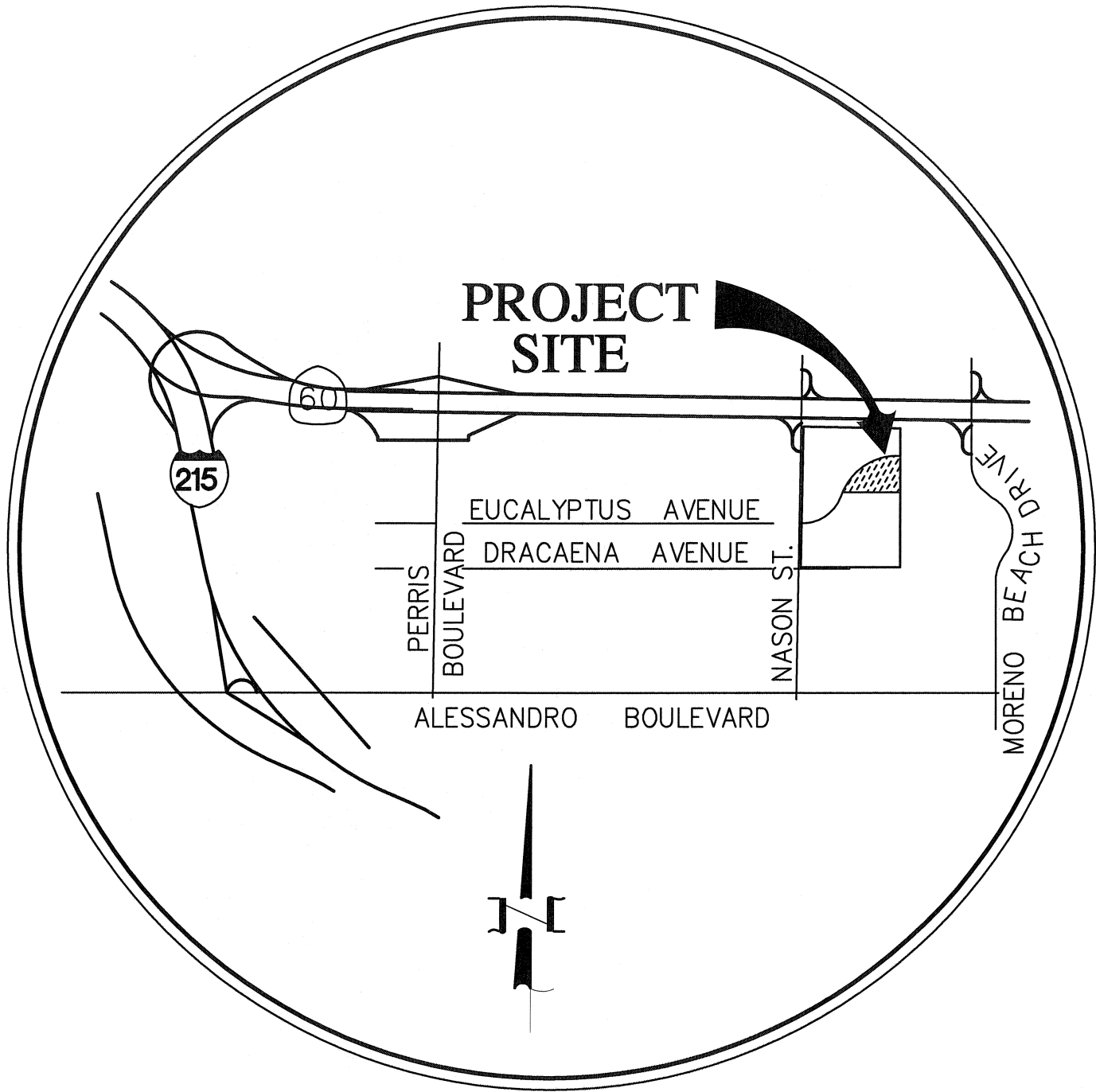
The purpose of this report is to demonstrate that the proposed grading, street and storm drain system is adequate to protect the proposed Rockcliffe development, Tentative Tract No. 36933, from a 100-year storm event. Rockcliffe is part of the Stoneridge Ranch community, located in the city of Moreno Valley, county of Riverside. The site was originally proposed for the construction of townhomes and was graded in 2005 under the Tract No. 32835. The street on the west side was graded and the storm detention and Water Quality Management Plan (WQMP) basin and underground utilities built. The project was later terminated. In 2011, the developer converted the product to 274 small-lot, single-family residential under the Tract No. 36933. This project was also later terminated. The latest proposal for this 29.3-acre site, is the construction of 273 small-lot, residential dwelling units and will include a community recreation building, Private Park and various open space lots. The project will keep the street and street grades as it was originally approved except for the replacement of most of the catch basins. The development has three drainage areas and four storm drain systems. Three are private system and the fourth a public system. The east systems are all built. Two are private and discharges into the existing basin. A hydro dynamic separator will be added upstream the system before storm water discharges into the basin. The other system on the east is a public-owned and maintained storm drain. It intercepts runoff from the east (Walmart project) and conveys and by-pass the basin. It discharges into an open area where the detention basin pipe also outlets. The system to the west is not yet built. Runoff on the west side will go through a hydro dynamic separator before discharging into the public storm drain system along Eucalyptus Avenue. The basin, a detention and WQMP basin, was constructed in 2005 and is operational.

Advanced Engineering Software (AES) was used to execute the Rational Method Hydrology and using parameters specified in the Riverside County Flood Control and Water Conversation District Hydrology Manual. The soil types within the project are Type "C". A copy of the Hydrologic Soils Group Map is in Section C of this report. The intensity data used for the hydrology calculations are based on data from NOAA Atlas 14, Volume 6, Version 2; a copy of the data is also included in Section C of this report.





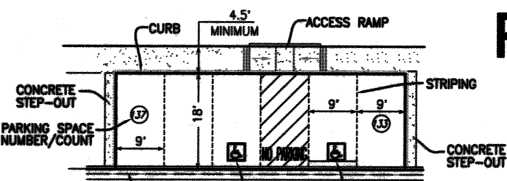
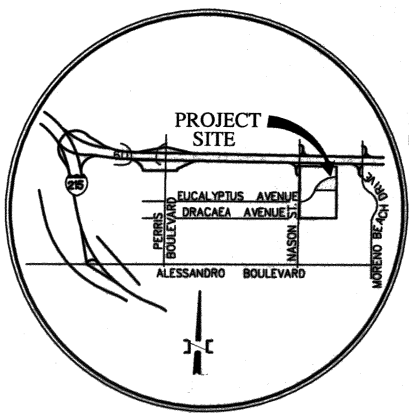
Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



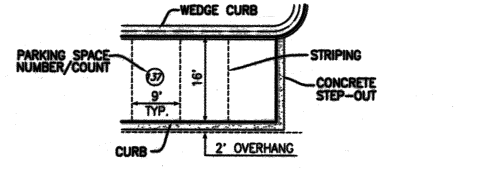
**VICINITY MAP**

NOT TO SCALE

# PRELIMINARY GRADING PLAN TRACT MAP No. 36933 ROCKCLIFFE AT STONE RIDGE RANCH CITY OF MORENO VALLEY, CA



**NOTE:**  
ALL HANDICAP PARKING RAMP, AND ACCESS ROUTES TO MEET ALL ADA REQUIREMENT



**PARKING SPACE DIMENSIONS**  
NOT TO SCALE

**LEGAL DESCRIPTION**  
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, AND A PORTION OF PARCEL 4 AS DESCRIBED IN LOT LINE ADJUSTMENT NO. 948 AND CERTIFICATE OF COMPLIANCE, RECORDED 10/27/04 AS DOCUMENT NO. 850896 OF SAID COUNTY.

**FLOOD NOTE**  
SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP 06065C0770G, EFFECTIVE DATE OF AUGUST 28, 2008.

**ASSESSOR'S PARCEL NUMBERS**  
A.P.N. 488-090-026  
A.P.N. 488-090-027  
A.P.N. 488-090-028  
A.P.N. 488-090-031  
A.P.N. 488-091-025  
A.P.N. 488-091-031  
A.P.N. 488-091-053  
A.P.N. 488-091-073

**CML ENGINEER**

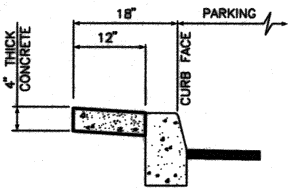
**MDS CONSULTING**  
PLANNERS ENGINEERS SURVEYORS



*Stanley Morse*  
STANLEY C. MORSE  
DATE 1-14-16

**SHEET INDEX**

COVER SHEET  
PRELIMINARY GRADING PLAN  
SHEET 1  
SHEETS 2-4

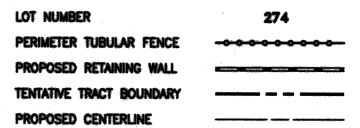


**CONCRETE STEP-OUT**  
NOT TO SCALE

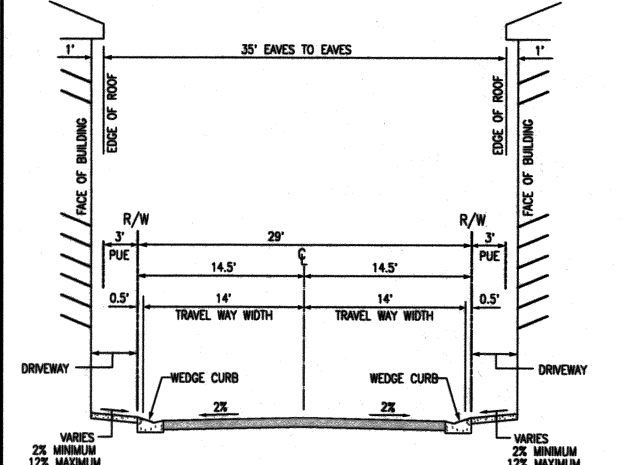
**NOTE:**  
A CONCRETE STEP-OUT IS TO BE CONSTRUCTED AT PARKING SPACE ADJACENT TO A LANDSCAPING AREA

**LEGEND/ABBREVIATION**

- EXISTING STREET ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SEWER SYSTEM
- PROPOSED WATER SYSTEM
- PROPOSED CONTOUR
- PROPOSED CONCRETE DRAINAGE DITCH
- PROPOSED PARKING STALL STRIPING
- PROPOSED PAD ELEVATION PAD=720.0
- PROPOSED FINISH FLOOR ELEVATION FF=720.50
- TOP OF CURB TC
- EXPOSED PORT. OF RET. WALL HEIGHT H=±X'
- DECORATIVE PAVING
- CONCRETE
- ENHANCED LANDSCAPING (NO TURF)
- PROPOSED (2:1 UNLESS NOTED) SLOPE
- PROPOSED CENTERLINE RADIUS R=300'
- PRIVATE STREET
- STREET 'A'
- BEGIN OF VERTICAL CURB BVC
- MIDDLE OF VERTICAL CURB MVC
- END OF VERTICAL CURB EVC
- EXISTING
- MAXIMUM MAX.
- CATCH BASIN CB
- PROPOSED LOT NUMBER 26



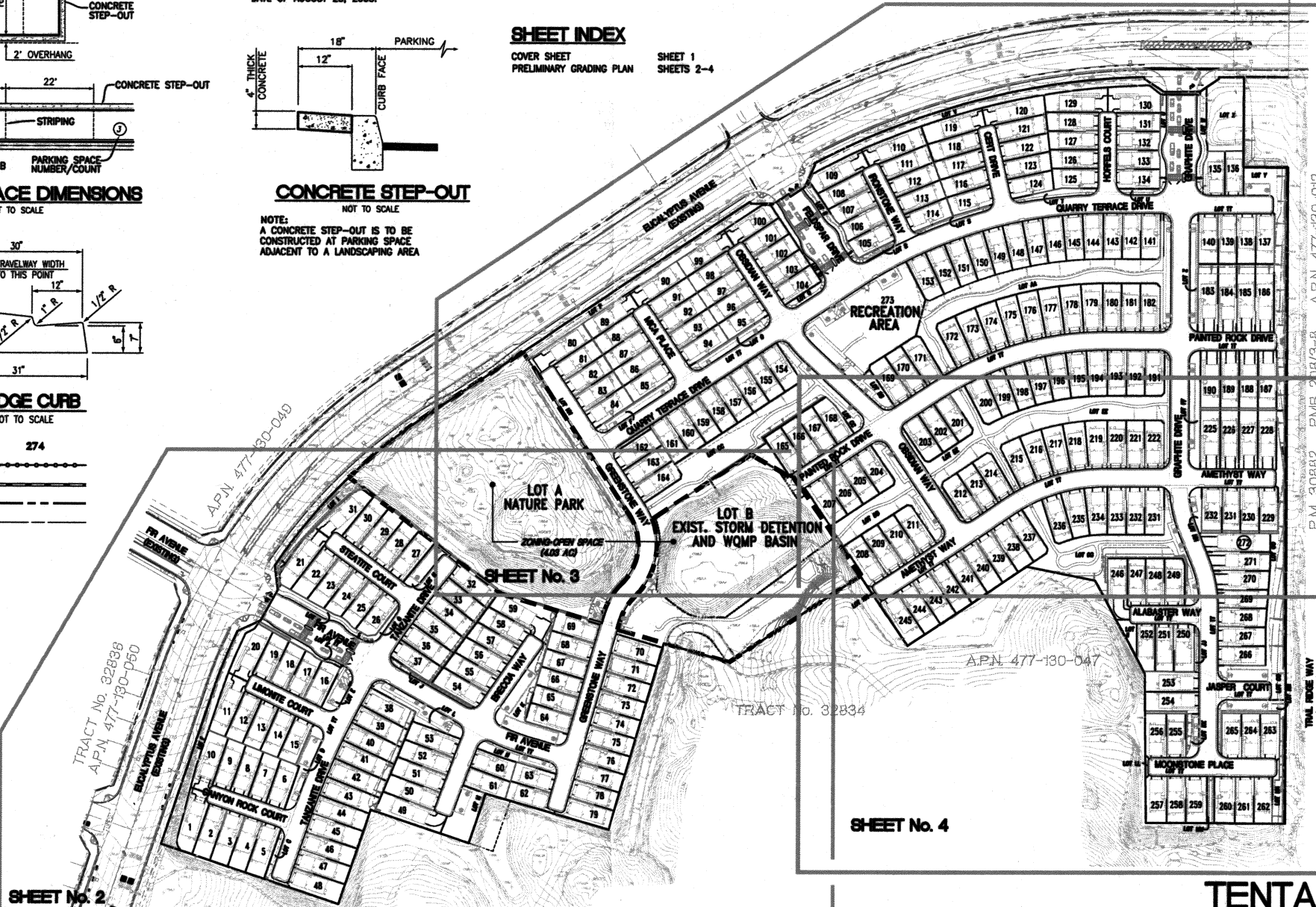
**4' WEDGE CURB**  
NOT TO SCALE



**TYPICAL PRIVATE DRIVE SECTION**  
NOT TO SCALE

**DRIVEWAY NOTE:**  
18' MINIMUM PARKING ALLOWED  
3' TO 8' NO PARKING ALLOWED (ROLL UP GARAGE DOORS REQUIRED)

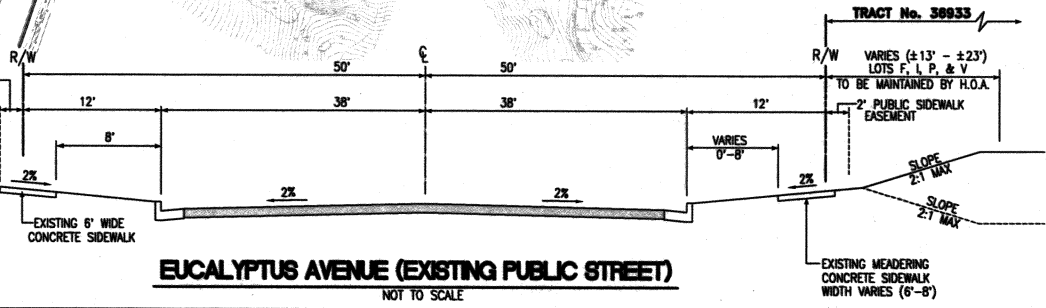
CHANGE	DATE	REVISION
1/14/16		CITY COMMENTS



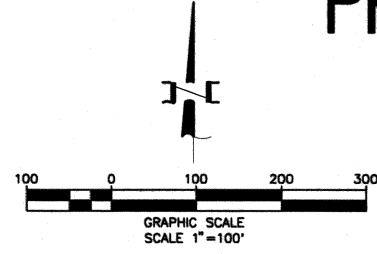
**SHEET No. 2**

**SHEET No. 3**

**SHEET No. 4**



**EUCALYPTUS AVENUE (EXISTING PUBLIC STREET)**  
NOT TO SCALE



**GENERAL NOTES**

- NUMBER OF UNITS: 274 SINGLE FAMILY DETACHED HOMES (2 STORIES) AND A RECREATION BUILDING
- THERE ARE NO KNOWN EXISTING WELLS IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS.
- ALL INTERIOR STREET RIGHTS OF WAY TO BE PRIVATELY OWNED AND MAINTAINED.
- THE SITE HAS BEEN PREVIOUSLY GRADED WITH TRACT 32835. THERE ARE NO LIQUID OR SOLID WASTE SITES WITHIN THE PROJECT.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN ALL COMMON FACILITIES, VISIBLE FRONT YARDS AND REVERSE FRONTAGE AREAS NOT ACCEPTED BY THE CITY'S SPECIAL DISTRICTS.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE DETENTION BASIN.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE PRIVATE STREETS, COMMON AREA AMENITIES AND COMMON LANDSCAPING AREAS.
- THE SITE WAS APPROVED FOR 274 CONDOMINIUM UNITS, TENTATIVE TRACT NO. 32835 (CASE # PA04-0120 \ PA04-0182) AND TENTATIVE TRACT NO. 36340 (CASE #PA10-0036 AND PA10-0039).
- ALL HOMES SHALL BE FIRE SPRINKLERED.

**ZONING**

CURRENT: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
PROPOSED: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)

R15 (RESIDENTIAL) ZONE: 25.04 ACRES CURRENT AND PROPOSED  
OS (OPEN SPACE) ZONE: 4.03 ACRES CURRENT AND PROPOSED

**LOT SUMMARY**

MINIMUM LOT SIZE	1,846 SF
MAXIMUM LOT SIZE	3,181 SF
AVERAGE LOT SIZE	2,067 SF
ADJUSTED NET ACRES	28.97 AC
NET ACRES	24.48 AC
NUMBER OF DWELLING UNITS	275 DU
ADJUSTED NET DENSITY (275/28.97)	9.5 DU/AC
NET DENSITY (275/24.48)	11.2 DU/AC

\*EXCLUDES NATURE PARK, DETENTION BASIN & RECREATION AREA

**LAND USE SUMMARY**

LOTS	LAND USE	ACREAGE	PERCENT(%)
1-272	SINGLE-FAMILY RESIDENTIAL	14.84	51.0%
273	RECREATION	0.37	1.3%
A	NATURE PARK	2.33	8.0%
B	DETENTION BASIN (EXISTING)	1.66	5.7%
C-PP	OPEN COMMON AREA	6.35	21.9%
	PRIVATE STREETS	3.52	12.1%
	<b>GROSS ACREAGE</b>	<b>29.07 AC</b>	<b>100.0%</b>

**TENTATIVE TRACT No. 36933**

NUMBER OF NUMBERED LOTS	272
SINGLE FAMILY DETACHED RESIDENTIAL	272
RECREATION AREA	1
TOTAL	273
NUMBER OF LETTERED LOTS	4
PRIVATE STREET	4
NATURE PARK	1
DETENTION BASIN	1
OPEN SPACE	40
TOTAL	46
GROSS ACREAGE:	29.07 AC
CONTOUR INTERVAL:	1 FOOT
SCALE:	1"=100'
DATE:	JAN. 2016

**APPLICANT / DEVELOPER**

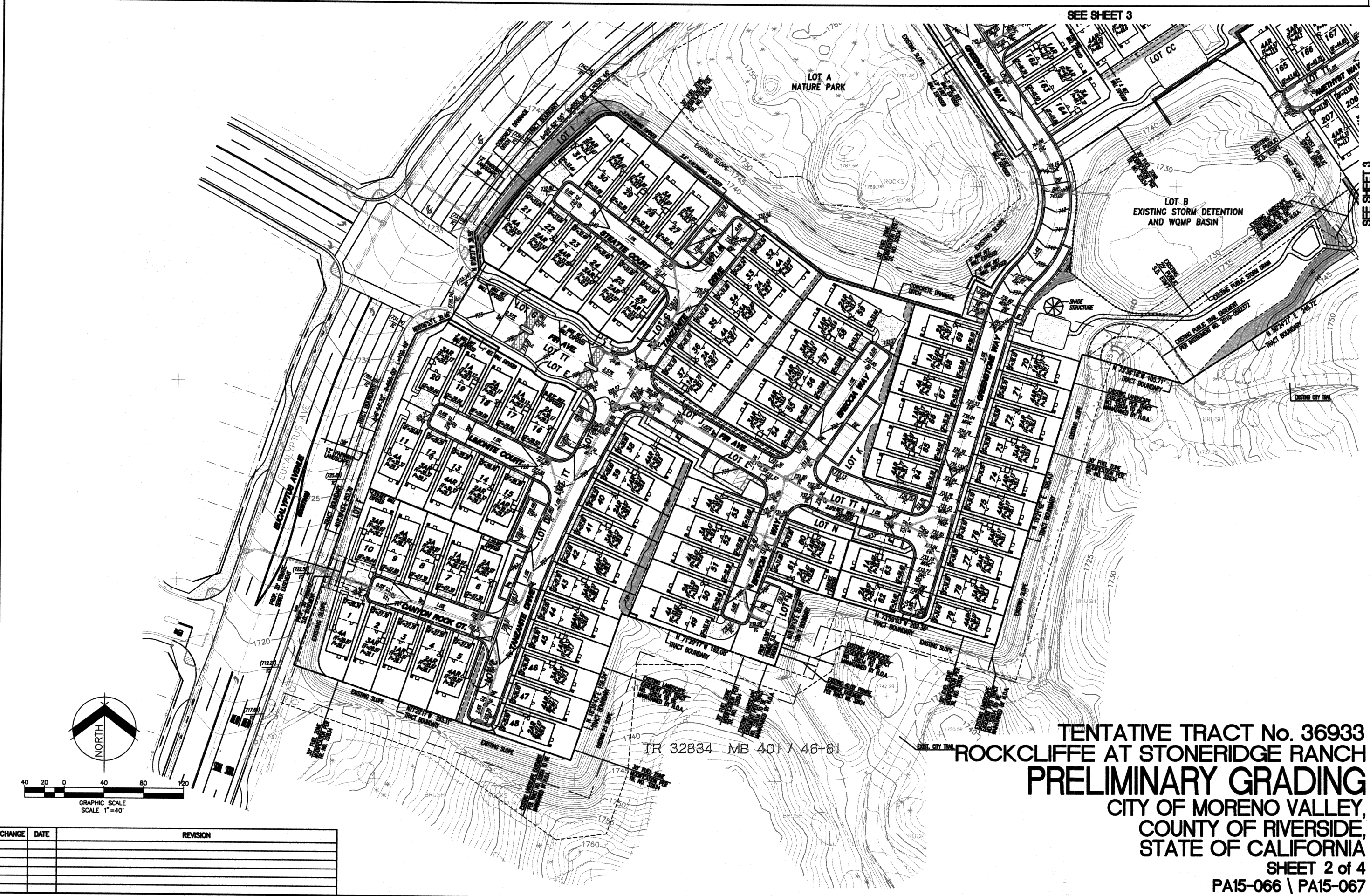
**BEAZER HOMES**  
1800 E. IMPERIAL HIGHWAY, SUITE. 200  
BREA, CA 92821  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

**OWNER**

**BEAZER HOMES**  
1800 E. IMPERIAL HIGHWAY, SUITE. 200  
BREA, CA 92821  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

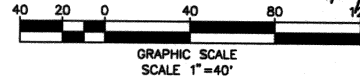
## TENTATIVE TRACT No. 36933 ROCKCLIFFE AT STONERIDGE RANCH PRELIMINARY GRADING CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA SHEET 1 of 4 PA15-066 \ PA15-067

ATTACHMENT: ENVIRONMENTAL ADDENDUM (1924 : TENTATIVE TRACT MAP AND CONDITIONAL USE PERMIT FOR A RESIDENTIAL PLANNED UNIT DEVELOPMENT)



SEE SHEET 3

SEE SHEET 3



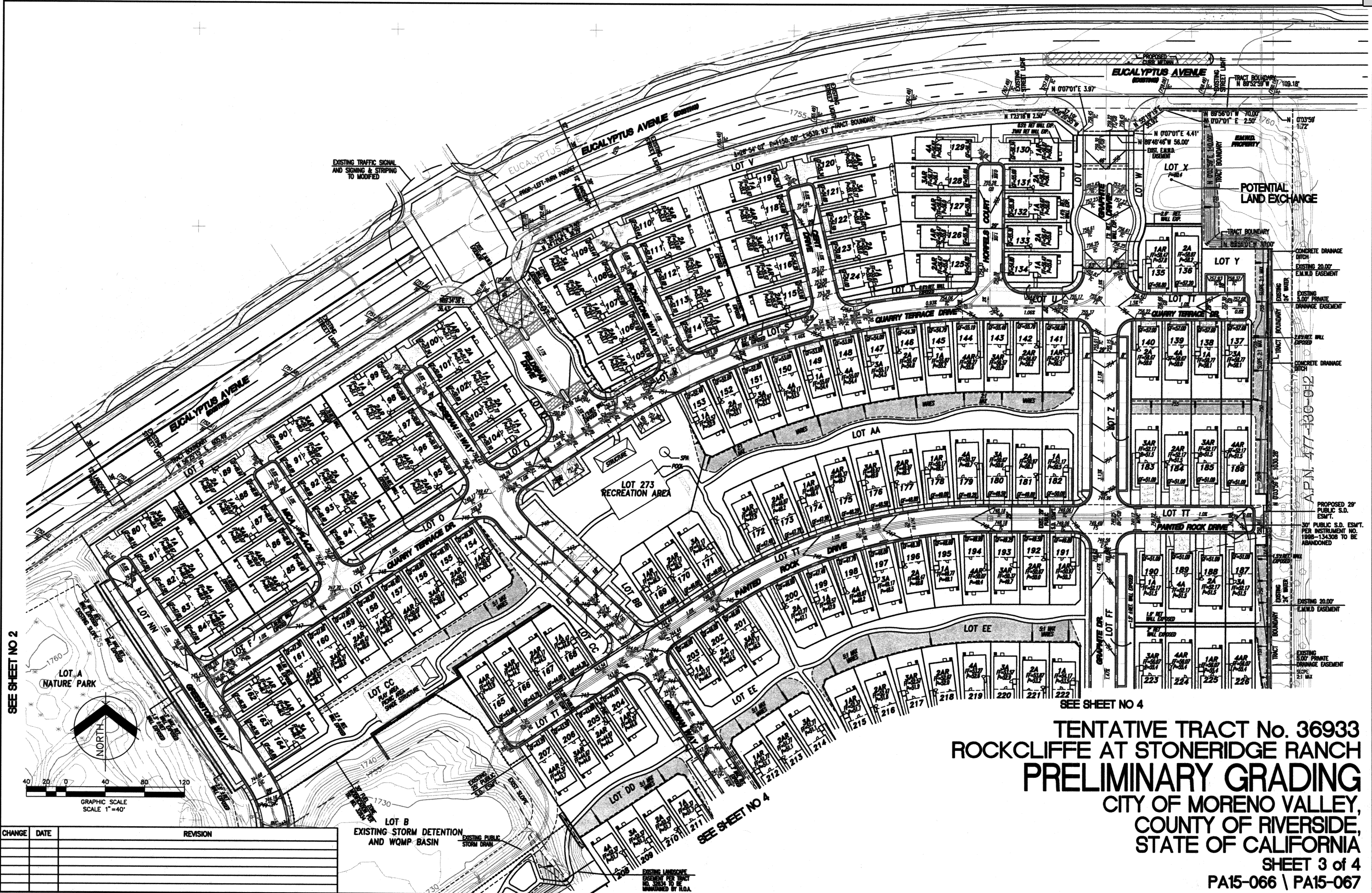
CHANGE	DATE	REVISION

TENTATIVE TRACT No. 36933  
**ROCKCLIFFE AT STONERIDGE RANCH**  
**PRELIMINARY GRADING**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA  
 SHEET 2 of 4  
 PA15-066 \ PA15-067

TR 32834 MB 401 / 46-61

T.M. 36933 - PRELIMINARY GRADING

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

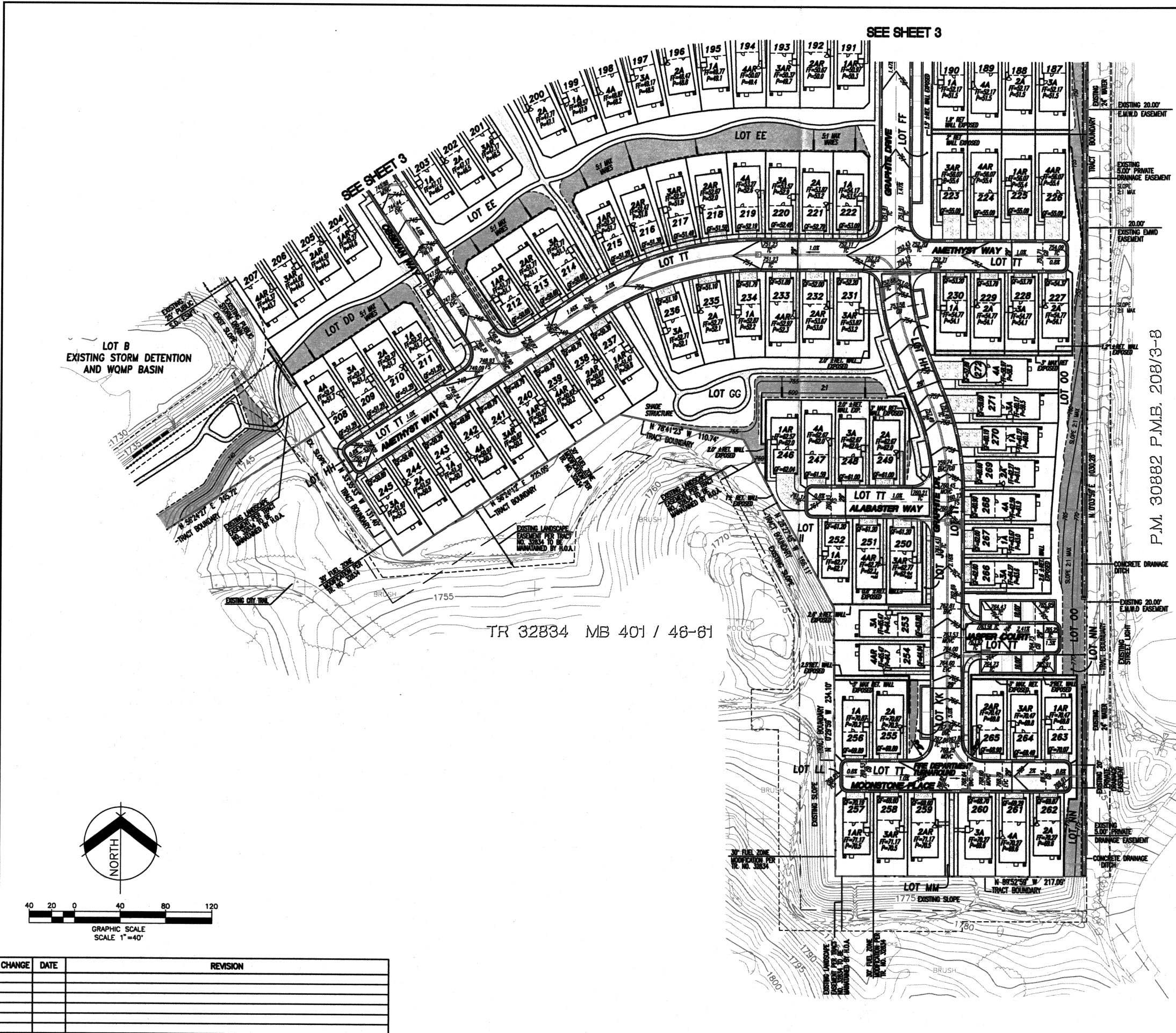


TENTATIVE TRACT No. 36933  
 ROCKCLIFFE AT STONERIDGE RANCH  
**PRELIMINARY GRADING**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA  
 SHEET 3 of 4  
 PA15-066 \ PA15-067

T.M. 36933 - PRELIMINARY GRADING

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)





SEE SHEET 3

SEE SHEET 3

LOT B  
EXISTING STORM DETENTION  
AND WOMP BASIN

TR 32834 MB 401 / 46-61

P.M. 30882 P.M.B. 208/3-8

TENTATIVE TRACT No. 36933  
 ROCKCLIFFE AT  
 STONERIDGE RANCH  
**PRELIMINARY GRADING**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA  
 SHEET 4 of 4  
 PA15-066 \ PA15-067

CHANGE	DATE	REVISION

TM 36933 - PRELIMINARY GRADING

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



\*\*\*\*\*  
 RATIONAL METHOD HYDROLOGY COMPUTER PROGRAM BASED ON  
 RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 (RCFC&WCD) 1978 HYDROLOGY MANUAL  
 (c) Copyright 1982-2006 Advanced Engineering Software (aes)  
 (Rational Tabling Version 6.0D)  
 Release Date: 06/01/2005 License ID 1269

Analysis prepared by:

MDS Consulting  
 17320 Redhill Avenue, Suite 350  
 Irvine, CA 92614  
 Phone: (949) 251-8821

\*\*\*\*\* DESCRIPTION OF STUDY \*\*\*\*\*  
 \* Tentative Tract No. 36933 \*  
 \* Southwest Drainage Area \*  
 \* 100-year storm \*  
 \*\*\*\*\*

FILE NAME: 36340B.100  
 TIME/DATE OF STUDY: 11:35 02/03/2016

-----  
 USER SPECIFIED HYDROLOGY AND HYDRAULIC MODEL INFORMATION:  
 -----

USER SPECIFIED STORM EVENT(YEAR) = 100.00  
 SPECIFIED MINIMUM PIPE SIZE(INCH) = 18.00  
 SPECIFIED PERCENT OF GRADIENTS(DECIMAL) TO USE FOR FRICTION SLOPE = 0.95  
 2-YEAR, 1-HOUR PRECIPITATION(INCH) = 0.496  
 100-YEAR, 1-HOUR PRECIPITATION(INCH) = 1.310  
 COMPUTED RAINFALL INTENSITY DATA:  
 STORM EVENT = 100.00 1-HOUR INTENSITY(INCH/HOUR) = 1.310  
 SLOPE OF INTENSITY DURATION CURVE = 0.5000  
 RCFC&WCD HYDROLOGY MANUAL "c"-VALUES USED FOR RATIONAL METHOD  
 NOTE: COMPUTE CONFLUENCE VALUES ACCORDING TO RCFC&WCD HYDROLOGY MANUAL  
 AND IGNORE OTHER CONFLUENCE COMBINATIONS FOR DOWNSTREAM ANALYSES  
 \*SIZE PIPE WITH A FLOW CAPACITY GREATER THAN  
 OR EQUAL TO THE UPSTREAM TRIBUTARY PIPE.\*

A-1

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.10 TO NODE 51.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<  
 =====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{**0.2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 105.00  
 UPSTREAM ELEVATION(FEET) = 755.00  
 DOWNSTREAM ELEVATION(FEET) = 735.50  
 ELEVATION DIFFERENCE(FEET) = 19.50  
 $TC = 0.709 * [(105.00^{**3}) / (19.50)]^{**0.2} = 6.391$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.014  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7831  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 0.38  
 TOTAL AREA(ACRES) = 0.12 TOTAL RUNOFF(CFS) = 0.38

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.20 TO NODE 51.30 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<  
 =====

ELEVATION DATA: UPSTREAM(FEET) = 31.00 DOWNSTREAM(FEET) = 30.00  
 FLOW LENGTH(FEET) = 46.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 3.62  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.38  
 PIPE TRAVEL TIME(MIN.) = 0.21 Tc(MIN.) = 6.60  
 LONGEST FLOWPATH FROM NODE 51.10 TO NODE 51.30 = 151.00 FEET.

A-2

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.30 TO NODE 51.30 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<  
 =====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.949  
 CONDOMINIUM DEVELOPMENT RUNOFF COEFFICIENT = .8585  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.13 SUBAREA RUNOFF(CFS) = 0.44  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.82  
 TC(MIN.) = 6.60

100B.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.30 TO NODE 50.00 IS CODE = 31

-----  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 730.00 DOWNSTREAM(FEET) = 724.60  
 FLOW LENGTH(FEET) = 202.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.91  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.82  
 PIPE TRAVEL TIME(MIN.) = 0.69 Tc(MIN.) = 7.29  
 LONGEST FLOWPATH FROM NODE 51.10 TO NODE 50.00 = 353.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 81

-----  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.759  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8753  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.34 SUBAREA RUNOFF(CFS) = 1.12  
 TOTAL AREA(ACRES) = 0.59 TOTAL RUNOFF(CFS) = 1.94  
 TC(MIN.) = 7.29

A-3

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 81

-----  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.759  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8753  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.28 SUBAREA RUNOFF(CFS) = 0.92  
 TOTAL AREA(ACRES) = 0.87 TOTAL RUNOFF(CFS) = 2.86  
 TC(MIN.) = 7.29

A-4

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 1

-----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.29  
 RAINFALL INTENSITY(INCH/HR) = 3.76  
 TOTAL STREAM AREA(ACRES) = 0.87  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.86

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.40 TO NODE 50.00 IS CODE = 21

-----  
 >>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{.67}) / (ELEVATION CHANGE)^{.5}]^{.2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 357.00  
 UPSTREAM ELEVATION(FEET) = 743.70  
 DOWNSTREAM ELEVATION(FEET) = 733.70  
 ELEVATION DIFFERENCE(FEET) = 10.00  
 $TC = 0.303 * [(357.00^{.67}) / (10.00)^{.5}]^{.2} = 6.504$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.979  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8882  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.64  
 TOTAL AREA(ACRES) = 0.18 TOTAL RUNOFF(CFS) = 0.64

A-5

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 1

-----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.50  
 RAINFALL INTENSITY(INCH/HR) = 3.98  
 TOTAL STREAM AREA(ACRES) = 0.18  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.64

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.86	7.29	3.759	0.87
2	0.64	6.50	3.979	0.18

100B.RES

\*\*\*\*\*WARNING\*\*\*\*\*  
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	3.19	6.50	3.979
2	3.46	7.29	3.759

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 3.46 Tc(MIN.) = 7.29  
TOTAL AREA(ACRES) = 1.05  
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.00 = 357.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.00 TO NODE 50.30 IS CODE = 31  
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 724.60 DOWNSTREAM(FEET) = 724.00  
FLOW LENGTH(FEET) = 46.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.7 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.76  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 3.46  
PIPE TRAVEL TIME(MIN.) = 0.13 Tc(MIN.) = 7.42  
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.30 = 403.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.10 TO NODE 50.30 IS CODE = 1  
-----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 7.42  
RAINFALL INTENSITY(INCH/HR) = 3.72  
TOTAL STREAM AREA(ACRES) = 1.05  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 3.46

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.10 TO NODE 50.20 IS CODE = 21  
-----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 61.00  
UPSTREAM ELEVATION(FEET) = 734.30  
DOWNSTREAM ELEVATION(FEET) = 733.70  
ELEVATION DIFFERENCE(FEET) = 0.60  
TC = 0.303\*[(61.00\*\*3)/(0.60)]\*\*.2 = 3.955  
COMPUTED TIME OF CONCENTRATION INCREASED TO 5 MIN.  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8895  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.16  
TOTAL AREA(ACRES) = 0.04 TOTAL RUNOFF(CFS) = 0.16

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.20 TO NODE 50.20 IS CODE = 81  
-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8790  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.60  
TOTAL AREA(ACRES) = 0.19 TOTAL RUNOFF(CFS) = 0.76  
TC(MIN.) = 5.00

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.20 TO NODE 50.20 IS CODE = 81  
-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8790  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.36  
TOTAL AREA(ACRES) = 0.28 TOTAL RUNOFF(CFS) = 1.12  
TC(MIN.) = 5.00

100B.RES

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.20 TO NODE 50.30 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 724.60 DOWNSTREAM(FEET) = 724.00  
FLOW LENGTH(FEET) = 50.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.8 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.06  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 1.12  
PIPE TRAVEL TIME(MIN.) = 0.21 Tc(MIN.) = 5.21  
LONGEST FLOWPATH FROM NODE 50.10 TO NODE 50.30 = 111.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.30 TO NODE 50.30 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 5.21  
RAINFALL INTENSITY(INCH/HR) = 4.45  
TOTAL STREAM AREA(ACRES) = 0.28  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.12

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	3.46	7.42	3.725	1.05
2	1.12	5.21	4.448	0.28

\*\*\*\*\*WARNING\*\*\*\*\*  
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	3.54	5.21	4.448
2	4.40	7.42	3.725

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
PEAK FLOW RATE(CFS) = 4.40 Tc(MIN.) = 7.42  
TOTAL AREA(ACRES) = 1.33  
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.30 = 403.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 50.30 TO NODE 51.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 724.00 DOWNSTREAM(FEET) = 722.20  
FLOW LENGTH(FEET) = 133.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.6 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.23  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 4.40  
PIPE TRAVEL TIME(MIN.) = 0.36 Tc(MIN.) = 7.78  
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 10

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
FLOW PROCESS FROM NODE 51.40 TO NODE 51.50 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 498.00  
UPSTREAM ELEVATION(FEET) = 743.70  
DOWNSTREAM ELEVATION(FEET) = 731.90  
ELEVATION DIFFERENCE(FEET) = 11.80  
TC = 0.303\*[( 498.00\*\*3)/( 11.80)]\*\*.2 = 7.683

A-9

100B.RES

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.661  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8873  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 1.79  
TOTAL AREA(ACRES) = 0.55 TOTAL RUNOFF(CFS) = 1.79

\*\*\*\*\*  
FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 7.68  
RAINFALL INTENSITY(INCH/HR) = 3.66  
TOTAL STREAM AREA(ACRES) = 0.55  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.79

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.10 TO NODE 52.20 IS CODE = 21

A-10

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 200.00  
UPSTREAM ELEVATION(FEET) = 751.00  
DOWNSTREAM ELEVATION(FEET) = 738.00  
ELEVATION DIFFERENCE(FEET) = 13.00  
TC = 0.709\*[(200.00\*\*3)/(13.00)]\*\*.2 = 10.203  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.177  
UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7572  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.53  
TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.53

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.20 TO NODE 51.50 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 731.00 DOWNSTREAM(FEET) = 722.60  
FLOW LENGTH(FEET) = 190.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.9 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.13  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 0.53  
PIPE TRAVEL TIME(MIN.) = 0.62 Tc(MIN.) = 10.82  
LONGEST FLOWPATH FROM NODE 52.10 TO NODE 51.50 = 390.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 81

A-11

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.085  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8707  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.33 SUBAREA RUNOFF(CFS) = 0.89  
TOTAL AREA(ACRES) = 0.55 TOTAL RUNOFF(CFS) = 1.42  
TC(MIN.) = 10.82

\*\*\*\*\*  
FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 10.82  
RAINFALL INTENSITY(INCH/HR) = 3.08  
TOTAL STREAM AREA(ACRES) = 0.55  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.42

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.79	7.68	3.661	0.55
2	1.42	10.82	3.085	0.55

\*\*\*\*\*WARNING\*\*\*\*\*  
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO

100B.RES

CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.79	7.68	3.661
2	2.92	10.82	3.085

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 2.79 Tc(MIN.) = 7.68  
 TOTAL AREA(ACRES) = 1.10  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.50 = 498.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.50 TO NODE 51.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 722.60 DOWNSTREAM(FEET) = 722.20  
 FLOW LENGTH(FEET) = 37.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.08  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.79  
 PIPE TRAVEL TIME(MIN.) = 0.12 Tc(MIN.) = 7.80  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 535.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 11

>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.79	7.80	3.632	1.10

LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 535.00 FEET.

\*\* MEMORY BANK # 1 CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	4.40	7.78	3.639	1.33

LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	7.18	7.78	3.639
2	7.18	7.80	3.632

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 7.18 Tc(MIN.) = 7.78  
 TOTAL AREA(ACRES) = 2.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 10

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 2 <<<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.60 TO NODE 51.70 IS CODE = 21

A-12

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 270.00  
 UPSTREAM ELEVATION(FEET) = 770.20  
 DOWNSTREAM ELEVATION(FEET) = 727.00  
 ELEVATION DIFFERENCE(FEET) = 43.20  
 $TC = 0.709 * [(270.00**3)/(43.20)]** .2 = 9.608$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.274  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7608  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 2.99  
 TOTAL AREA(ACRES) = 1.20 TOTAL RUNOFF(CFS) = 2.99

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.70 TO NODE 51.80 IS CODE = 31



100B.RES

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 723.50 DOWNSTREAM(FEET) = 722.80
FLOW LENGTH(FEET) = 150.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.80
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.99
PIPE TRAVEL TIME(MIN.) = 0.66 TC(MIN.) = 10.26
LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.80 = 420.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 10.26
RAINFALL INTENSITY(INCH/HR) = 3.17
TOTAL STREAM AREA(ACRES) = 1.20
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.99

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.90 TO NODE 51.80 IS CODE = 21

A-13

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 244.00
UPSTREAM ELEVATION(FEET) = 734.30
DOWNSTREAM ELEVATION(FEET) = 731.80
ELEVATION DIFFERENCE(FEET) = 2.50
TC = 0.303\*[(244.00\*\*3)/(2.50)]\*\*.2 = 6.830
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.883
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8880
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.90
TOTAL AREA(ACRES) = 0.26 TOTAL RUNOFF(CFS) = 0.90

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81

A-14

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.883
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8759
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.31
TOTAL AREA(ACRES) = 0.35 TOTAL RUNOFF(CFS) = 1.20
TC(MIN.) = 6.83

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81

A-15

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.883
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8759
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.99
TOTAL AREA(ACRES) = 0.64 TOTAL RUNOFF(CFS) = 2.19
TC(MIN.) = 6.83

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81

A-16

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.883
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8880
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.05 SUBAREA RUNOFF(CFS) = 0.17
TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 2.36
TC(MIN.) = 6.83

\*\*\*\*\*
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.83
RAINFALL INTENSITY(INCH/HR) = 3.88
TOTAL STREAM AREA(ACRES) = 0.69

PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.36 100B.RES

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.99	10.26	3.167	1.20
2	2.36	6.83	3.883	0.69

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	4.35	6.83	3.883
2	4.91	10.26	3.167

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 4.91 Tc(MIN.) = 10.26  
 TOTAL AREA(ACRES) = 1.89  
 LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.80 = 420.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.80 TO NODE 51.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 722.80 DOWNSTREAM(FEET) = 722.20  
 FLOW LENGTH(FEET) = 62.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.66  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 4.91  
 PIPE TRAVEL TIME(MIN.) = 0.18 Tc(MIN.) = 10.45  
 LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.00 = 482.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 11  
 -----

>>>>CONFLUENCE MEMORY BANK # 2 WITH THE MAIN-STREAM MEMORY<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	4.91	10.45	3.139	1.89

LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.00 = 482.00 FEET.

\*\* MEMORY BANK # 2 CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	7.18	7.78	3.639	2.43

LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	10.84	7.78	3.639
2	11.11	10.45	3.139

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 10.84 Tc(MIN.) = 7.78  
 TOTAL AREA(ACRES) = 4.32

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 52.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 722.20 DOWNSTREAM(FEET) = 720.60  
 FLOW LENGTH(FEET) = 150.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 12.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.13  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 10.84  
 PIPE TRAVEL TIME(MIN.) = 0.35 Tc(MIN.) = 8.13

100B.RES  
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 52.00 = 686.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====  
TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 8.13  
RAINFALL INTENSITY(INCH/HR) = 3.56  
TOTAL STREAM AREA(ACRES) = 4.32  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 10.84

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.10 TO NODE 52.20 IS CODE = 21

A-17

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====  
ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 320.00  
UPSTREAM ELEVATION(FEET) = 733.80  
DOWNSTREAM ELEVATION(FEET) = 729.60  
ELEVATION DIFFERENCE(FEET) = 4.20  
TC = 0.303\*[( 320.00\*\*3)/( 4.20)]\*\*.2 = 7.245  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.770  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8877  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.74  
TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.74

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.20 TO NODE 52.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====  
ELEVATION DATA: UPSTREAM(FEET) = 720.80 DOWNSTREAM(FEET) = 720.60  
FLOW LENGTH(FEET) = 13.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.92  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 0.74  
PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 7.30  
LONGEST FLOWPATH FROM NODE 52.10 TO NODE 52.00 = 333.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====  
TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 7.30  
RAINFALL INTENSITY(INCH/HR) = 3.76  
TOTAL STREAM AREA(ACRES) = 0.22  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.74

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.30 TO NODE 52.40 IS CODE = 21

A-18

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====  
ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 150.00  
UPSTREAM ELEVATION(FEET) = 731.70  
DOWNSTREAM ELEVATION(FEET) = 729.30  
ELEVATION DIFFERENCE(FEET) = 2.40  
TC = 0.303\*[( 150.00\*\*3)/( 2.40)]\*\*.2 = 5.143  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.475  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8894  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.52  
TOTAL AREA(ACRES) = 0.13 TOTAL RUNOFF(CFS) = 0.52

\*\*\*\*\*  
FLOW PROCESS FROM NODE 52.40 TO NODE 52.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====  
ELEVATION DATA: UPSTREAM(FEET) = 720.80 DOWNSTREAM(FEET) = 720.60  
FLOW LENGTH(FEET) = 10.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.3 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.88

100B.RES  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.52  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.19  
 LONGEST FLOWPATH FROM NODE 52.30 TO NODE 52.00 = 160.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.19  
 RAINFALL INTENSITY(INCH/HR) = 4.46  
 TOTAL STREAM AREA(ACRES) = 0.13  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.52

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	10.84	8.13	3.559	4.32
2	0.74	7.30	3.756	0.22
3	0.52	5.19	4.456	0.13

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	7.95	5.19	4.456
2	10.90	7.30	3.756
3	11.95	8.13	3.559

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 11.95 Tc(MIN.) = 8.13  
 TOTAL AREA(ACRES) = 4.67  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 52.00 = 686.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 52.00 TO NODE 55.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 720.60 DOWNSTREAM(FEET) = 720.30  
 FLOW LENGTH(FEET) = 41.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 15.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.22  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 11.95  
 PIPE TRAVEL TIME(MIN.) = 0.11 Tc(MIN.) = 8.24  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 55.00 = 727.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 12  
 -----

>>>>CLEAR MEMORY BANK # 2 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 2 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.10 TO NODE 5.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 140.00  
 UPSTREAM ELEVATION(FEET) = 743.00  
 DOWNSTREAM ELEVATION(FEET) = 732.00  
 ELEVATION DIFFERENCE(FEET) = 11.00  
 $TC = 0.709 * [(140.00**3)/(11.00)]** .2 = 8.517$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.477  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7677  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 0.19  
 TOTAL AREA(ACRES) = 0.07 TOTAL RUNOFF(CFS) = 0.19

A1-1

100B.RES

\*\*\*\*\*  
FLOW PROCESS FROM NODE 5.20 TO NODE 53.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 728.00 DOWNSTREAM(FEET) = 724.20  
FLOW LENGTH(FEET) = 170.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.4 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 2.93  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 0.19  
PIPE TRAVEL TIME(MIN.) = 0.97 Tc(MIN.) = 9.48  
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 310.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81

A1-2

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.295  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8723  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.78  
TOTAL AREA(ACRES) = 0.34 TOTAL RUNOFF(CFS) = 0.96  
TC(MIN.) = 9.48

\*\*\*\*\*  
FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81

A1-3

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.295  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8723  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.37 SUBAREA RUNOFF(CFS) = 1.06  
TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 2.03  
TC(MIN.) = 9.48

\*\*\*\*\*  
FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 9.48  
RAINFALL INTENSITY(INCH/HR) = 3.29  
TOTAL STREAM AREA(ACRES) = 0.71  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.03

\*\*\*\*\*  
FLOW PROCESS FROM NODE 5.00 TO NODE 53.00 IS CODE = 21

A1-4

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 140.00  
UPSTREAM ELEVATION(FEET) = 732.00  
DOWNSTREAM ELEVATION(FEET) = 731.30  
ELEVATION DIFFERENCE(FEET) = 0.70  
TC = 0.303\*[(140.00\*\*3)/(0.70)]\*\*.2 = 6.313  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.039  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8884  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.50  
TOTAL AREA(ACRES) = 0.14 TOTAL RUNOFF(CFS) = 0.50

\*\*\*\*\*  
FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 6.31  
RAINFALL INTENSITY(INCH/HR) = 4.04  
TOTAL STREAM AREA(ACRES) = 0.14  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.50

\*\*\*\*\*  
FLOW PROCESS FROM NODE 5.10 TO NODE 5.40 IS CODE = 21

A1-5

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

100B.RES

TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 205.00  
 UPSTREAM ELEVATION(FEET) = 743.00  
 DOWNSTREAM ELEVATION(FEET) = 734.00  
 ELEVATION DIFFERENCE(FEET) = 9.00  
 TC = 0.709\*[( 205.00\*\*3)/( 9.00)]\*\*.2 = 11.145  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.039  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7518  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.32  
 TOTAL AREA(ACRES) = 0.14 TOTAL RUNOFF(CFS) = 0.32

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.40 TO NODE 53.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 728.00 DOWNSTREAM(FEET) = 724.20  
 FLOW LENGTH(FEET) = 100.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.22  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.32  
 PIPE TRAVEL TIME(MIN.) = 0.40 Tc(MIN.) = 11.54  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 305.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81  
 -----

A1-6

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.987  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8699  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.16 SUBAREA RUNOFF(CFS) = 0.42  
 TOTAL AREA(ACRES) = 0.30 TOTAL RUNOFF(CFS) = 0.74  
 TC(MIN.) = 11.54

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 11.54  
 RAINFALL INTENSITY(INCH/HR) = 2.99  
 TOTAL STREAM AREA(ACRES) = 0.30  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.74

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.03	9.48	3.295	0.71
2	0.50	6.31	4.039	0.14
3	0.74	11.54	2.987	0.30

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.25	6.31	4.039
2	3.04	9.48	3.295
3	2.94	11.54	2.987

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 3.04 Tc(MIN.) = 9.48  
 TOTAL AREA(ACRES) = 1.15  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 310.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 54.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 724.20 DOWNSTREAM(FEET) = 720.70  
 FLOW LENGTH(FEET) = 122.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.1 INCHES

100B.RES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.38  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 3.04  
 PIPE TRAVEL TIME(MIN.) = 0.28 Tc(MIN.) = 9.76  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 54.00 = 432.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 81

A1-7

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<  
 =====  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.248  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8720  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.16 SUBAREA RUNOFF(CFS) = 0.45  
 TOTAL AREA(ACRES) = 1.31 TOTAL RUNOFF(CFS) = 3.49  
 TC(MIN.) = 9.76

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<  
 =====  
 TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.76  
 RAINFALL INTENSITY(INCH/HR) = 3.25  
 TOTAL STREAM AREA(ACRES) = 1.31  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 3.49

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.20 TO NODE 54.10 IS CODE = 21

A1-8

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<  
 =====  
 ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 240.00  
 UPSTREAM ELEVATION(FEET) = 735.50  
 DOWNSTREAM ELEVATION(FEET) = 729.80  
 ELEVATION DIFFERENCE(FEET) = 5.70  
 TC = 0.303\*[(240.00\*\*3)/(5.70)]\*\*.2 = 5.735  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.237  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8889  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.39  
 TOTAL AREA(ACRES) = 0.37 TOTAL RUNOFF(CFS) = 1.39

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.10 TO NODE 54.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<  
 =====  
 ELEVATION DATA: UPSTREAM(FEET) = 729.90 DOWNSTREAM(FEET) = 720.70  
 FLOW LENGTH(FEET) = 34.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.91  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.39  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.78  
 LONGEST FLOWPATH FROM NODE 54.20 TO NODE 54.00 = 274.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<<  
 =====  
 TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.78  
 RAINFALL INTENSITY(INCH/HR) = 4.22  
 TOTAL STREAM AREA(ACRES) = 0.37  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.39

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	3.49	9.76	3.248	1.31
2	1.39	5.78	4.221	0.37

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO

100B.RES

CONFLUENCE FORMULA USED FOR 2 STREAMS.

```

** PEAK FLOW RATE TABLE **
STREAM  RUNOFF      Tc      INTENSITY
NUMBER  (CFS)        (MIN.)  (INCH/HOUR)
  1      3.46        5.78    4.221
  2      4.57        9.76    3.248

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 4.57 Tc(MIN.) = 9.76  
 TOTAL AREA(ACRES) = 1.68  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 54.00 = 432.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 54.00 TO NODE 55.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 720.70 DOWNSTREAM(FEET) = 720.30
FLOW LENGTH(FEET) = 42.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.53
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 4.57
PIPE TRAVEL TIME(MIN.) = 0.13 Tc(MIN.) = 9.89
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 55.00 = 474.00 FEET.
=====

```

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 11  
 -----

>>>>CONFLUENCE MEMORY BANK # 2 WITH THE MAIN-STREAM MEMORY<<<<<

```

** MAIN STREAM CONFLUENCE DATA **
STREAM  RUNOFF      Tc      INTENSITY      AREA
NUMBER  (CFS)        (MIN.)  (INCH/HOUR)    (ACRE)
  1      4.57        9.89    3.227          1.68
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 55.00 = 474.00 FEET.

```

```

** MEMORY BANK # 2 CONFLUENCE DATA **
STREAM  RUNOFF      Tc      INTENSITY      AREA
NUMBER  (CFS)        (MIN.)  (INCH/HOUR)    (ACRE)
  1      11.95       8.24    3.535          4.67
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 55.00 = 727.00 FEET.

```

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

```

** PEAK FLOW RATE TABLE **
STREAM  RUNOFF      Tc      INTENSITY
NUMBER  (CFS)        (MIN.)  (INCH/HOUR)
  1      15.75       8.24    3.535
  2      15.47       9.89    3.227

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 15.75 Tc(MIN.) = 8.24  
 TOTAL AREA(ACRES) = 6.35

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 12  
 -----

>>>>CLEAR MEMORY BANK # 2 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 55.00 TO NODE 57.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 720.30 DOWNSTREAM(FEET) = 719.50
FLOW LENGTH(FEET) = 111.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 24.0 INCH PIPE IS 16.9 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.68
ESTIMATED PIPE DIAMETER(INCH) = 24.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 15.75
PIPE TRAVEL TIME(MIN.) = 0.28 Tc(MIN.) = 8.51
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 57.00 = 838.00 FEET.
=====

```

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.477  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8735

AI-9



100B.RES

SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.17 SUBAREA RUNOFF(CFS) = 0.52  
TOTAL AREA(ACRES) = 6.52 TOTAL RUNOFF(CFS) = 16.27  
TC(MIN.) = 8.51

\*\*\*\*\*  
FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====  
TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 8.51  
RAINFALL INTENSITY(INCH/HR) = 3.48  
TOTAL STREAM AREA(ACRES) = 6.52  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 16.27

\*\*\*\*\*  
FLOW PROCESS FROM NODE 9.00 TO NODE 56.00 IS CODE = 21

A1-10

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====  
ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 252.00  
UPSTREAM ELEVATION(FEET) = 733.30  
DOWNSTREAM ELEVATION(FEET) = 728.00  
ELEVATION DIFFERENCE(FEET) = 5.30  
TC = 0.303\*[( 252.00\*\*3)/( 5.30)]\*\*.2 = 5.992  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.145  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8886  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.99  
TOTAL AREA(ACRES) = 0.27 TOTAL RUNOFF(CFS) = 0.99

\*\*\*\*\*  
FLOW PROCESS FROM NODE 56.00 TO NODE 56.00 IS CODE = 81

A1-11

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.145  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8773  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.87  
TOTAL AREA(ACRES) = 0.51 TOTAL RUNOFF(CFS) = 1.87  
TC(MIN.) = 5.99

\*\*\*\*\*  
FLOW PROCESS FROM NODE 56.00 TO NODE 56.00 IS CODE = 81

A1-12

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.145  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8773  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.91  
TOTAL AREA(ACRES) = 0.76 TOTAL RUNOFF(CFS) = 2.78  
TC(MIN.) = 5.99

\*\*\*\*\*  
FLOW PROCESS FROM NODE 56.00 TO NODE 57.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====  
ELEVATION DATA: UPSTREAM(FEET) = 721.10 DOWNSTREAM(FEET) = 719.50  
FLOW LENGTH(FEET) = 47.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.7 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 7.64  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 2.78  
PIPE TRAVEL TIME(MIN.) = 0.10 Tc(MIN.) = 6.09  
LONGEST FLOWPATH FROM NODE 9.00 TO NODE 57.00 = 299.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====  
TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 6.09  
RAINFALL INTENSITY(INCH/HR) = 4.11  
TOTAL STREAM AREA(ACRES) = 0.76  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.78

\*\* CONFLUENCE DATA \*\*  
STREAM RUNOFF TC INTENSITY AREA

NUMBER	(CFS)	(MIN.)	(INCH/HOUR)	(ACRE)	100B.RES
1	16.27	8.51	3.477	6.52	
2	2.78	6.09	4.110	0.76	

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	14.42	6.09	4.110
2	18.62	8.51	3.477

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 18.62 Tc(MIN.) = 8.51  
 TOTAL AREA(ACRES) = 7.28  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 57.00 = 838.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 57.00 TO NODE 60.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 719.50 DOWNSTREAM(FEET) = 718.60  
 FLOW LENGTH(FEET) = 160.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 27.0 INCH PIPE IS 18.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.36  
 ESTIMATED PIPE DIAMETER(INCH) = 27.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 18.62  
 PIPE TRAVEL TIME(MIN.) = 0.42 Tc(MIN.) = 8.93  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.00 = 998.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.395  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8730  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.80  
 TOTAL AREA(ACRES) = 7.55 TOTAL RUNOFF(CFS) = 19.42  
 TC(MIN.) = 8.93

A1-3

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.395  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8865  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.06 SUBAREA RUNOFF(CFS) = 0.18  
 TOTAL AREA(ACRES) = 7.61 TOTAL RUNOFF(CFS) = 19.60  
 TC(MIN.) = 8.93

A1-4

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 12  
 -----

>>>>CLEAR MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 10  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

A1-5

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 370.00  
 UPSTREAM ELEVATION(FEET) = 729.50  
 DOWNSTREAM ELEVATION(FEET) = 725.30  
 ELEVATION DIFFERENCE(FEET) = 4.20  
 TC = 0.303\*[( 370.00\*\*3)/( 4.20)]\*\*.2 = 7.904  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.609  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8872  
 SOIL CLASSIFICATION IS "c"

```

100B.RES
SUBAREA RUNOFF(CFS) = 0.54
TOTAL AREA(ACRES) = 0.17 TOTAL RUNOFF(CFS) = 0.54
*****
FLOW PROCESS FROM NODE 58.00 TO NODE 58.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.609
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8744
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.18 SUBAREA RUNOFF(CFS) = 0.57
TOTAL AREA(ACRES) = 0.35 TOTAL RUNOFF(CFS) = 1.11
TC(MIN.) = 7.90
*****
FLOW PROCESS FROM NODE 58.00 TO NODE 58.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 7.90
RAINFALL INTENSITY(INCH/HR) = 3.61
TOTAL STREAM AREA(ACRES) = 0.35
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.11
*****
FLOW PROCESS FROM NODE 58.10 TO NODE 58.00 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 390.00
UPSTREAM ELEVATION(FEET) = 729.90
DOWNSTREAM ELEVATION(FEET) = 725.30
ELEVATION DIFFERENCE(FEET) = 4.60
TC = 0.303*[( 390.00**3)/( 4.60)]**.2 = 8.011
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.585
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8871
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.99
TOTAL AREA(ACRES) = 0.31 TOTAL RUNOFF(CFS) = 0.99
*****
FLOW PROCESS FROM NODE 58.00 TO NODE 58.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 8.01
RAINFALL INTENSITY(INCH/HR) = 3.59
TOTAL STREAM AREA(ACRES) = 0.31
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.99

** CONFLUENCE DATA **
STREAM RUNOFF TC INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 1.11 7.90 3.609 0.35
2 0.99 8.01 3.585 0.31

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM RUNOFF TC INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 2.09 7.90 3.609
2 2.09 8.01 3.585

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 2.09 Tc(MIN.) = 7.90
TOTAL AREA(ACRES) = 0.66
LONGEST FLOWPATH FROM NODE 58.10 TO NODE 58.00 = 390.00 FEET.
*****
FLOW PROCESS FROM NODE 58.00 TO NODE 60.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====

```

A1-6

A1-7

100B.RES  
 ELEVATION DATA: UPSTREAM(FEET) = 719.80 DOWNSTREAM(FEET) = 718.60  
 FLOW LENGTH(FEET) = 106.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.75  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.09  
 PIPE TRAVEL TIME(MIN.) = 0.37 Tc(MIN.) = 8.28  
 LONGEST FLOWPATH FROM NODE 58.10 TO NODE 60.00 = 496.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 11  
 >>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<<  
 =====

\*\* MAIN STREAM CONFLUENCE DATA \*\*  

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.09	8.28	3.527	0.66

 LONGEST FLOWPATH FROM NODE 58.10 TO NODE 60.00 = 496.00 FEET.

\*\* MEMORY BANK # 1 CONFLUENCE DATA \*\*  

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	19.60	8.93	3.395	7.61

 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.00 = 998.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*  

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	20.24	8.28	3.527
2	21.60	8.93	3.395

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 21.60 Tc(MIN.) = 8.93  
 TOTAL AREA(ACRES) = 8.27

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.10 IS CODE = 31  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<  
 =====

ELEVATION DATA: UPSTREAM(FEET) = 718.60 DOWNSTREAM(FEET) = 718.00  
 FLOW LENGTH(FEET) = 161.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 30.0 INCH PIPE IS 21.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.62  
 ESTIMATED PIPE DIAMETER(INCH) = 30.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 21.60  
 PIPE TRAVEL TIME(MIN.) = 0.48 Tc(MIN.) = 9.41  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.10 = 1159.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.10 TO NODE 60.10 IS CODE = 81  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<  
 =====

A1-8

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.307  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8724  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.28 SUBAREA RUNOFF(CFS) = 0.81  
 TOTAL AREA(ACRES) = 8.55 TOTAL RUNOFF(CFS) = 22.41  
 TC(MIN.) = 9.41

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.10 TO NODE 60.10 IS CODE = 81  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<  
 =====

A1-9

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.307  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8724  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.26 SUBAREA RUNOFF(CFS) = 0.75  
 TOTAL AREA(ACRES) = 8.81 TOTAL RUNOFF(CFS) = 23.16  
 TC(MIN.) = 9.41

END OF STUDY SUMMARY:  
 TOTAL AREA(ACRES) = 8.81 TC(MIN.) = 9.41  
 PEAK FLOW RATE(CFS) = 23.16

END OF RATIONAL METHOD ANALYSIS

□



100.RES

\*\*\*\*\*

RATIONAL METHOD HYDROLOGY COMPUTER PROGRAM BASED ON RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT (RCFC&WCD) 1978 HYDROLOGY MANUAL (c) Copyright 1982-2006 Advanced Engineering Software (aes) (Rational Tabling Version 6.0d) Release Date: 06/01/2005 License ID 1269

Analysis prepared by:

MDS Consulting 17320 Redhill Avenue, Suite 350 Irvine, CA 92614 Phone: (949) 251-8821

\*\*\*\*\* DESCRIPTION OF STUDY \*\*\*\*\*

- \* Tentative Tract No. 36933 \*
\* Drainage Area Tributary to the Existing Detention/WQMP Basin \*
\* 100-year storm \*

FILE NAME: 36340.100
TIME/DATE OF STUDY: 11:23 02/03/2016

USER SPECIFIED HYDROLOGY AND HYDRAULIC MODEL INFORMATION:

USER SPECIFIED STORM EVENT(YEAR) = 100.00
SPECIFIED MINIMUM PIPE SIZE(INCH) = 18.00
SPECIFIED PERCENT OF GRADIENTS(DECIMAL) TO USE FOR FRICTION SLOPE = 0.95
2-YEAR, 1-HOUR PRECIPITATION(INCH) = 0.496
100-YEAR, 1-HOUR PRECIPITATION(INCH) = 1.310
COMPUTED RAINFALL INTENSITY DATA:
STORM EVENT = 100.00 1-HOUR INTENSITY(INCH/HOUR) = 1.310
SLOPE OF INTENSITY DURATION CURVE = 0.5000
RCFC&WCD HYDROLOGY MANUAL "C"-VALUES USED FOR RATIONAL METHOD
NOTE: COMPUTE CONFLUENCE VALUES ACCORDING TO RCFC&WCD HYDROLOGY MANUAL AND IGNORE OTHER CONFLUENCE COMBINATIONS FOR DOWNSTREAM ANALYSES
\*SIZE PIPE WITH A FLOW CAPACITY GREATER THAN OR EQUAL TO THE UPSTREAM TRIBUTARY PIPE.\*

northeast corner @Eucalyptus Avenue

FLOW PROCESS FROM NODE 1.00 TO NODE 10.00 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 412.00
UPSTREAM ELEVATION(FEET) = 760.90
DOWNSTREAM ELEVATION(FEET) = 755.80
ELEVATION DIFFERENCE(FEET) = 5.10
TC = 0.303\*[( 412.00\*\*3)/( 5.10)]\*\*.2 = 8.110
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.563
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8870
SOIL CLASSIFICATION IS "c"
SUBAREA RUNOFF(CFS) = 1.77
TOTAL AREA(ACRES) = 0.56 TOTAL RUNOFF(CFS) = 1.77

FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.563
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8870
SOIL CLASSIFICATION IS "c"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.47
TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 2.24
TC(MIN.) = 8.11

FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.563
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8741
SOIL CLASSIFICATION IS "c"
SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.28

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

TOTAL AREA(ACRES) = 0.80 TOTAL RUNOFF(CFS) = 100.RES  
TC(MIN.) = 8.11

\*\*\*\*\*  
FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.563  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8741  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.21 SUBAREA RUNOFF(CFS) = 0.65  
TOTAL AREA(ACRES) = 1.01 TOTAL RUNOFF(CFS) = 3.18  
TC(MIN.) = 8.11

\*\*\*\*\*  
FLOW PROCESS FROM NODE 10.00 TO NODE 11.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 748.00 DOWNSTREAM(FEET) = 744.30  
FLOW LENGTH(FEET) = 177.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.7 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.68  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 3.18  
PIPE TRAVEL TIME(MIN.) = 0.44 TC(MIN.) = 8.55  
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 11.00 = 589.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.470  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8735  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.42  
TOTAL AREA(ACRES) = 1.15 TOTAL RUNOFF(CFS) = 3.60  
TC(MIN.) = 8.55

\*\*\*\*\*  
FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 8.55  
RAINFALL INTENSITY(INCH/HR) = 3.47  
TOTAL STREAM AREA(ACRES) = 1.15  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 3.60

\*\*\*\*\*  
FLOW PROCESS FROM NODE 11.20 TO NODE 11.10 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 250.00  
UPSTREAM ELEVATION(FEET) = 758.10  
DOWNSTREAM ELEVATION(FEET) = 754.40  
ELEVATION DIFFERENCE(FEET) = 3.70  
TC = 0.303\*[( 250.00\*\*3)/( 3.70)]\*\*.2 = 6.408  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.009  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8883  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.85  
TOTAL AREA(ACRES) = 0.24 TOTAL RUNOFF(CFS) = 0.85

\*\*\*\*\*  
FLOW PROCESS FROM NODE 11.10 TO NODE 11.10 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.009  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8766  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.88  
TOTAL AREA(ACRES) = 0.49 TOTAL RUNOFF(CFS) = 1.73  
TC(MIN.) = 6.41

\*\*\*\*\*  
FLOW PROCESS FROM NODE 11.10 TO NODE 11.10 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100.RES

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.009
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8766
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.26 SUBAREA RUNOFF(CFS) = 0.91
TOTAL AREA(ACRES) = 0.75 TOTAL RUNOFF(CFS) = 2.65
TC(MIN.) = 6.41

\*\*\*\*\*
FLOW PROCESS FROM NODE 11.10 TO NODE 11.00 IS CODE = 31
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 749.00 DOWNSTREAM(FEET) = 744.30
FLOW LENGTH(FEET) = 50.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 10.81
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.65
PIPE TRAVEL TIME(MIN.) = 0.08 Tc(MIN.) = 6.48
LONGEST FLOWPATH FROM NODE 11.20 TO NODE 11.00 = 300.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 1
-----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.48
RAINFALL INTENSITY(INCH/HR) = 3.98
TOTAL STREAM AREA(ACRES) = 0.75
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.65

\*\* CONFLUENCE DATA \*\*

Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR), AREA (ACRE). Rows 1 and 2.

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR). Rows 1 and 2.

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 5.91 Tc(MIN.) = 8.55
TOTAL AREA(ACRES) = 1.90
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 11.00 = 589.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 11.00 TO NODE 12.00 IS CODE = 31
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 744.30 DOWNSTREAM(FEET) = 742.80
FLOW LENGTH(FEET) = 117.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 9.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.59
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 5.91
PIPE TRAVEL TIME(MIN.) = 0.30 Tc(MIN.) = 8.85
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 12.00 = 706.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 81
-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.411
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8731
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.57
TOTAL AREA(ACRES) = 2.09 TOTAL RUNOFF(CFS) = 6.47
TC(MIN.) = 8.85

\*\*\*\*\*
Page 3

C-9



100.RES  
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 8.85  
RAINFALL INTENSITY(INCH/HR) = 3.41  
TOTAL STREAM AREA(ACRES) = 2.09  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 6.47

\*\*\*\*\*  
FLOW PROCESS FROM NODE 12.10 TO NODE 12.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 252.00  
UPSTREAM ELEVATION(FEET) = 756.30  
DOWNSTREAM ELEVATION(FEET) = 753.10  
ELEVATION DIFFERENCE(FEET) = 3.20  
TC = 0.303\*[(252.00\*\*3)/(3.20)]\*\*.2 = 6.628  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.941  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8881  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.77  
TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.77

C-10

\*\*\*\*\*  
FLOW PROCESS FROM NODE 12.20 TO NODE 12.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.941  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8763  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.26 SUBAREA RUNOFF(CFS) = 0.90  
TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 1.67  
TC(MIN.) = 6.63

C-11

\*\*\*\*\*  
FLOW PROCESS FROM NODE 12.20 TO NODE 12.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.941  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8763  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.86  
TOTAL AREA(ACRES) = 0.73 TOTAL RUNOFF(CFS) = 2.53  
TC(MIN.) = 6.63

C-12

\*\*\*\*\*  
FLOW PROCESS FROM NODE 12.20 TO NODE 12.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 746.00 DOWNSTREAM(FEET) = 742.80  
FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 13.92  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 2.53  
PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.65  
LONGEST FLOWPATH FROM NODE 12.10 TO NODE 12.00 = 268.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 6.65  
RAINFALL INTENSITY(INCH/HR) = 3.94  
TOTAL STREAM AREA(ACRES) = 0.73  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.53

\*\*\*\*\*  
FLOW PROCESS FROM NODE 20.10 TO NODE 12.30 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 218.00

C-13

```

100.RES
UPSTREAM ELEVATION(FEET) = 755.40
DOWNSTREAM ELEVATION(FEET) = 753.20
ELEVATION DIFFERENCE(FEET) = 2.20
TC = 0.303*[( 218.00**3)/( 2.20)]**.2 = 6.549
.100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.965
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8882
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.39
TOTAL AREA(ACRES) = 0.11 TOTAL RUNOFF(CFS) = 0.39
*****
FLOW PROCESS FROM NODE 12.30 TO NODE 12.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 746.00 DOWNSTREAM(FEET) = 742.80
FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.70
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.39
PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.57
LONGEST FLOWPATH FROM NODE 20.10 TO NODE 12.00 = 230.00 FEET.
*****
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:
TIME OF CONCENTRATION(MIN.) = 6.57
RAINFALL INTENSITY(INCH/HR) = 3.96
TOTAL STREAM AREA(ACRES) = 0.11
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.39

** CONFLUENCE DATA **
STREAM RUNOFF TC INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 6.47 8.85 3.411 2.09
2 2.53 6.65 3.936 0.73
3 0.39 6.57 3.958 0.11

*****WARNING*****
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ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 3 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM RUNOFF TC INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 7.70 6.57 3.958
2 7.78 6.65 3.936
3 9.00 8.85 3.411

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 9.00 Tc(MIN.) = 8.85
TOTAL AREA(ACRES) = 2.93
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 12.00 = 706.00 FEET.
*****
FLOW PROCESS FROM NODE 12.00 TO NODE 13.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 742.80 DOWNSTREAM(FEET) = 741.40
FLOW LENGTH(FEET) = 197.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 21.0 INCH PIPE IS 12.8 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.84
ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 9.00
PIPE TRAVEL TIME(MIN.) = 0.56 Tc(MIN.) = 9.41
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 13.00 = 903.00 FEET.
*****
FLOW PROCESS FROM NODE 13.00 TO NODE 13.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 9.41
RAINFALL INTENSITY(INCH/HR) = 3.31

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100.RES

TOTAL STREAM AREA(ACRES) = 2.93  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 9.00

\*\*\*\*\*  
FLOW PROCESS FROM NODE 13.10 TO NODE 13.20 IS CODE = 21

C-14

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 280.00
UPSTREAM ELEVATION(FEET) = 755.20
DOWNSTREAM ELEVATION(FEET) = 751.30
ELEVATION DIFFERENCE(FEET) = 3.90
TC = 0.303\*[( 280.00\*\*3)/( 3.90)]\*\*.2 = 6.787
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.895
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8880
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.69
TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 0.69

\*\*\*\*\*
FLOW PROCESS FROM NODE 13.20 TO NODE 13.20 IS CODE = 81

C-15

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.895
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8760
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.85
TOTAL AREA(ACRES) = 0.45 TOTAL RUNOFF(CFS) = 1.54
TC(MIN.) = 6.79

\*\*\*\*\*
FLOW PROCESS FROM NODE 13.20 TO NODE 13.20 IS CODE = 81

C-16

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.895
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8760
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.82
TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 2.36
TC(MIN.) = 6.79

\*\*\*\*\*
FLOW PROCESS FROM NODE 13.20 TO NODE 13.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====
ELEVATION DATA: UPSTREAM(FEET) = 746.60 DOWNSTREAM(FEET) = 741.40
FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.73
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.36
PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 6.84
LONGEST FLOWPATH FROM NODE 13.10 TO NODE 13.00 = 320.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 13.00 TO NODE 13.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.84
RAINFALL INTENSITY(INCH/HR) = 3.88
TOTAL STREAM AREA(ACRES) = 0.69
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.36

\*\* CONFLUENCE DATA \*\*
STREAM RUNOFF TC INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 9.00 9.41 3.308 2.93
2 2.36 6.84 3.879 0.69

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

100.RES

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	8.91	6.84	3.879
2	11.02	9.41	3.308

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 11.02 Tc(MIN.) = 9.41  
 TOTAL AREA(ACRES) = 3.62  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 13.00 = 903.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.00 TO NODE 14.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 741.40 DOWNSTREAM(FEET) = 740.90  
 FLOW LENGTH(FEET) = 60.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 14.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.49  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 11.02  
 PIPE TRAVEL TIME(MIN.) = 0.15 Tc(MIN.) = 9.56  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 14.00 = 963.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.56  
 RAINFALL INTENSITY(INCH/HR) = 3.28  
 TOTAL STREAM AREA(ACRES) = 3.62  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 11.02

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.10 TO NODE 14.20 IS CODE = 21

G-11

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 185.00  
 UPSTREAM ELEVATION(FEET) = 753.30  
 DOWNSTREAM ELEVATION(FEET) = 750.80  
 ELEVATION DIFFERENCE(FEET) = 2.50  
 $TC = 0.303 * [(185.00**3)/(2.50)]**.2 = 5.785$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.219  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8888  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 0.94  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.94

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.20 TO NODE 14.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 1745.50 DOWNSTREAM(FEET) = 1740.90  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 11.73  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.94  
 PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 5.81  
 LONGEST FLOWPATH FROM NODE 14.10 TO NODE 14.00 = 201.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.81  
 RAINFALL INTENSITY(INCH/HR) = 4.21  
 TOTAL STREAM AREA(ACRES) = 0.25  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.94

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.30 TO NODE 14.40 IS CODE = 21

C-18

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL

100.RES

TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 220.00  
 UPSTREAM ELEVATION(FEET) = 753.30  
 DOWNSTREAM ELEVATION(FEET) = 750.80  
 ELEVATION DIFFERENCE(FEET) = 2.50  
 TC = 0.303\*[( 220.00\*\*3)/( 2.50)]\*\*.2 = 6.419  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.005  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8883  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.43  
 TOTAL AREA(ACRES) = 0.12 TOTAL RUNOFF(CFS) = 0.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.40 TO NODE 14.40 IS CODE = 81

C-19

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.005  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8766  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 1.02  
 TOTAL AREA(ACRES) = 0.41 TOTAL RUNOFF(CFS) = 1.45  
 TC(MIN.) = 6.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.40 TO NODE 14.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

ELEVATION DATA: UPSTREAM(FEET) = 745.50 DOWNSTREAM(FEET) = 740.90  
 FLOW LENGTH(FEET) = 13.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 14.35  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.45  
 PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.43  
 LONGEST FLOWPATH FROM NODE 14.30 TO NODE 14.00 = 233.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.43  
 RAINFALL INTENSITY(INCH/HR) = 4.00  
 TOTAL STREAM AREA(ACRES) = 0.41  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.45

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	11.02	9.56	3.281	3.62
2	0.94	5.81	4.211	0.25
3	1.45	6.43	4.000	0.41

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)
1	8.93	5.81	4.211
2	9.75	6.43	4.000
3	12.93	9.56	3.281

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 12.93 Tc(MIN.) = 9.56  
 TOTAL AREA(ACRES) = 4.28  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 14.00 = 963.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 17.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

ELEVATION DATA: UPSTREAM(FEET) = 740.90 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 136.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 16.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.56

100.RES  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 12.93  
 PIPE TRAVEL TIME(MIN.) = 0.35 Tc(MIN.) = 9.91  
 LONGEST FLOWPATH FROM NODE 17.00 TO NODE 17.00 = 1099.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.91  
 RAINFALL INTENSITY(INCH/HR) = 3.22  
 TOTAL STREAM AREA(ACRES) = 4.28  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 12.93

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.10 TO NODE 17.20 IS CODE = 21

C-20

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 240.00  
 UPSTREAM ELEVATION(FEET) = 751.30  
 DOWNSTREAM ELEVATION(FEET) = 749.40  
 ELEVATION DIFFERENCE(FEET) = 1.90  
 TC = 0.303\*[( 240.00\*\*3)/( 1.90)]\*\*.2 = 7.144  
 .100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.796  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8877  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.84  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.84

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.20 IS CODE = 81

C-21

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

.100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.796  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8755  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.22 SUBAREA RUNOFF(CFS) = 0.73  
 TOTAL AREA(ACRES) = 0.47 TOTAL RUNOFF(CFS) = 1.57  
 TC(MIN.) = 7.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.20 IS CODE = 81

C-22

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

.100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.796  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8755  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.80  
 TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 2.37  
 TC(MIN.) = 7.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 744.90 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 32.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.59  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.37  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 7.19  
 LONGEST FLOWPATH FROM NODE 17.10 TO NODE 17.00 = 272.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.19  
 RAINFALL INTENSITY(INCH/HR) = 3.79  
 TOTAL STREAM AREA(ACRES) = 0.71  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.37

\*\* CONFLUENCE DATA \*\*  
 STREAM RUNOFF Tc INTENSITY AREA

NUMBER	(CFS)	(MIN.)	(INCH/HOUR)	(ACRE)	100.RES
1	12.93	9.91	3.223	4.28	
2	2.37	7.19	3.785	0.71	

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	11.75	7.19	3.785
2	14.95	9.91	3.223

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 14.95 Tc(MIN.) = 9.91  
 TOTAL AREA(ACRES) = 4.99  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 17.00 = 1099.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.223  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8859  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.33 SUBAREA RUNOFF(CFS) = 0.94  
 TOTAL AREA(ACRES) = 5.32 TOTAL RUNOFF(CFS) = 15.90  
 TC(MIN.) = 9.91

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 18.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 739.80 DOWNSTREAM(FEET) = 732.60  
 FLOW LENGTH(FEET) = 194.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 12.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.42  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 15.90  
 PIPE TRAVEL TIME(MIN.) = 0.26 Tc(MIN.) = 10.17  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 18.00 = 1293.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 18.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 10.17  
 RAINFALL INTENSITY(INCH/HR) = 3.18  
 TOTAL STREAM AREA(ACRES) = 5.32  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 15.90

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.10 TO NODE 18.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 275.00  
 UPSTREAM ELEVATION(FEET) = 750.90  
 DOWNSTREAM ELEVATION(FEET) = 745.00  
 ELEVATION DIFFERENCE(FEET) = 5.90  
 TC = 0.303\*[( 275.00\*\*3)/( 5.90)]\*\*.2 = 6.180  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.082  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8885  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.09  
 TOTAL AREA(ACRES) = 0.30 TOTAL RUNOFF(CFS) = 1.09

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.20 TO NODE 18.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 733.10 DOWNSTREAM(FEET) = 732.60  
 FLOW LENGTH(FEET) = 14.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000

100.RES  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.93  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.09  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 6.22  
 LONGEST FLOWPATH FROM NODE 18.10 TO NODE 18.00 = 289.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 18.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<<  
 =====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.22  
 RAINFALL INTENSITY(INCH/HR) = 4.07  
 TOTAL STREAM AREA(ACRES) = 0.30  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.09

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	15.90	10.17	3.182	5.32
2	1.09	6.22	4.069	0.30

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	10.81	6.22	4.069
2	16.75	10.17	3.182

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 16.75 Tc(MIN.) = 10.17  
 TOTAL AREA(ACRES) = 5.62  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 18.00 = 1293.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 28.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<  
 =====

ELEVATION DATA: UPSTREAM(FEET) = 732.60 DOWNSTREAM(FEET) = 732.30  
 FLOW LENGTH(FEET) = 30.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 24.0 INCH PIPE IS 15.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.72  
 ESTIMATED PIPE DIAMETER(INCH) = 24.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 16.75  
 PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 10.23  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<<  
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\*\*\*\*\*  
 FLOW PROCESS FROM NODE 2.00 TO NODE 19.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<  
 =====

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 334.00  
 UPSTREAM ELEVATION(FEET) = 757.60  
 DOWNSTREAM ELEVATION(FEET) = 749.10  
 ELEVATION DIFFERENCE(FEET) = 8.50  
 TC = 0.303\*[( 334.00\*\*3)/( 8.50)]\*\*.2 = 6.456  
 .100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.994  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8883  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.82  
 TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.82

D-1



100.RES

\*\*\*\*\*  
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 81

D-2

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.994
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8765
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 1.02
TOTAL AREA(ACRES) = 0.52 TOTAL RUNOFF(CFS) = 1.83
TC(MIN.) = 6.46

\*\*\*\*\*
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<

=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 6.46
RAINFALL INTENSITY(INCH/HR) = 3.99
TOTAL STREAM AREA(ACRES) = 0.52
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.83

\*\*\*\*\*
FLOW PROCESS FROM NODE 19.10 TO NODE 19.20 IS CODE = 21

D-3

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH( FEET) = 340.00
UPSTREAM ELEVATION( FEET) = 754.10
DOWNSTREAM ELEVATION( FEET) = 742.00
ELEVATION DIFFERENCE( FEET) = 12.10
TC = 0.303\*[( 340.00\*\*3)/( 12.10)]\*\*.2 = 6.080
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.115
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8886
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.91
TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.91

\*\*\*\*\*
FLOW PROCESS FROM NODE 19.20 TO NODE 19.20 IS CODE = 81

D-4

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.115
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8771
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.90
TOTAL AREA(ACRES) = 0.50 TOTAL RUNOFF(CFS) = 1.82
TC(MIN.) = 6.08

\*\*\*\*\*
FLOW PROCESS FROM NODE 19.20 TO NODE 19.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

=====
ELEVATION DATA: UPSTREAM( FEET) = 742.00 DOWNSTREAM( FEET) = 736.70
FLOW LENGTH( FEET) = 22.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER( INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.3 INCHES
PIPE-FLOW VELOCITY( FEET/SEC.) = 13.47
ESTIMATED PIPE DIAMETER( INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW( CFS) = 1.82
PIPE TRAVEL TIME( MIN.) = 0.03 Tc( MIN.) = 6.11
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 19.00 = 362.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<

=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.11
RAINFALL INTENSITY(INCH/HR) = 4.11
TOTAL STREAM AREA(ACRES) = 0.50
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.82

\*\* CONFLUENCE DATA \*\*
Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR), AREA (ACRE). Rows 1 and 2.

100.RES

\*\*\*\*\*WARNING\*\*\*\*\*  
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	3.55	6.11	4.106
2	3.60	6.46	3.994

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
PEAK FLOW RATE(CFS) = 3.60 Tc(MIN.) = 6.46  
TOTAL AREA(ACRES) = 1.02  
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 19.00 = 362.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 81  
-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.994  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8765  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 1.02  
TOTAL AREA(ACRES) = 1.31 TOTAL RUNOFF(CFS) = 4.61  
TC(MIN.) = 6.46

\*\*\*\*\*  
FLOW PROCESS FROM NODE 19.00 TO NODE 20.00 IS CODE = 31  
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 7436.70 DOWNSTREAM(FEET) = 735.40  
FLOW LENGTH(FEET) = 264.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.2 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 90.57  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 4.61  
PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 6.50  
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.00 = 626.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1  
-----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 6.50  
RAINFALL INTENSITY(INCH/HR) = 3.98  
TOTAL STREAM AREA(ACRES) = 1.31  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 4.61

\*\*\*\*\*  
FLOW PROCESS FROM NODE 20.10 TO NODE 20.20 IS CODE = 21  
-----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 408.00  
UPSTREAM ELEVATION(FEET) = 755.40  
DOWNSTREAM ELEVATION(FEET) = 746.90  
ELEVATION DIFFERENCE(FEET) = 8.50  
TC = 0.303\*[( 408.00\*\*3)/( 8.50)]\*\*.2 = 7.279  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.761  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8876  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.77  
TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.77

\*\*\*\*\*  
FLOW PROCESS FROM NODE 20.20 TO NODE 20.00 IS CODE = 31  
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 740.00 DOWNSTREAM(FEET) = 735.40  
FLOW LENGTH(FEET) = 8.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.3 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 14.07  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1

100.RES  
 PIPE-FLOW(CFS) = 0.77  
 PIPE TRAVEL TIME(MIN.) = 0.01 Tc(MIN.) = 7.29  
 LONGEST FLOWPATH FROM NODE 20.10 TO NODE 20.00 = 416.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 81

D-4

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.759  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8753  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.36 SUBAREA RUNOFF(CFS) = 1.18  
 TOTAL AREA(ACRES) = 0.59 TOTAL RUNOFF(CFS) = 1.95  
 TC(MIN.) = 7.29

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.29  
 RAINFALL INTENSITY(INCH/HR) = 3.76  
 TOTAL STREAM AREA(ACRES) = 0.59  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.95

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.30 TO NODE 20.40 IS CODE = 21

D-7

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 400.00  
 UPSTREAM ELEVATION(FEET) = 752.10  
 DOWNSTREAM ELEVATION(FEET) = 746.90  
 ELEVATION DIFFERENCE(FEET) = 5.20  
 TC = 0.303\*[( 400.00\*\*3)/( 5.20)]\*\*.2 = 7.936  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.602  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8872  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.61  
 TOTAL AREA(ACRES) = 0.19 TOTAL RUNOFF(CFS) = 0.61

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.40 TO NODE 20.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 740.00 DOWNSTREAM(FEET) = 735.40  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 10.31  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.61  
 PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 7.96  
 LONGEST FLOWPATH FROM NODE 20.30 TO NODE 20.00 = 416.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 81

D-8

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.596  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8743  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.91  
 TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 1.52  
 TC(MIN.) = 7.96

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.96  
 RAINFALL INTENSITY(INCH/HR) = 3.60  
 TOTAL STREAM AREA(ACRES) = 0.48  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.52

\*\* CONFLUENCE DATA \*\*  
 STREAM RUNOFF Tc INTENSITY AREA  
 NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)

				100.RES
1	4.61	6.50	3.979	1.31
2	1.95	7.29	3.759	0.59
3	1.52	7.96	3.596	0.48

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	7.60	6.50	3.979
2	7.70	7.29	3.759
3	7.56	7.96	3.596

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 7.60 Tc(MIN.) = 6.50  
 TOTAL AREA(ACRES) = 2.38  
 LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.00 = 626.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.60 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 735.40 DOWNSTREAM(FEET) = 733.90  
 FLOW LENGTH(FEET) = 147.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 11.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.40  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 7.60  
 PIPE TRAVEL TIME(MIN.) = 0.38 Tc(MIN.) = 6.89  
 LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.60 = 773.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.867  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8759  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.21 SUBAREA RUNOFF(CFS) = 0.71  
 TOTAL AREA(ACRES) = 2.59 TOTAL RUNOFF(CFS) = 8.31  
 TC(MIN.) = 6.89

D-9

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.50 TO NODE 20.50 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.867  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8759  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.20 SUBAREA RUNOFF(CFS) = 0.68  
 TOTAL AREA(ACRES) = 2.79 TOTAL RUNOFF(CFS) = 8.98  
 TC(MIN.) = 6.89

D-10

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.867  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8034  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.35 SUBAREA RUNOFF(CFS) = 1.09  
 TOTAL AREA(ACRES) = 3.14 TOTAL RUNOFF(CFS) = 10.07  
 TC(MIN.) = 6.89

D-11

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.867  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8034  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.78  
 TOTAL AREA(ACRES) = 3.39 TOTAL RUNOFF(CFS) = 10.85  
 TC(MIN.) = 6.89

D-12

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.60 TO NODE 28.00 IS CODE = 31  
 -----

100.RES

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 733.90 DOWNSTREAM(FEET) = 732.30
FLOW LENGTH(FEET) = 130.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 18.0 INCH PIPE IS 14.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 7.32
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 10.85
PIPE TRAVEL TIME(MIN.) = 0.30 Tc(MIN.) = 7.18
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 28.00 = 903.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 81

D-13

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.786
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8754
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.46
TOTAL AREA(ACRES) = 3.53 TOTAL RUNOFF(CFS) = 11.31
TC(MIN.) = 7.18

\*\*\*\*\*
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 81

D-14

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.786
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8754
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.50
TOTAL AREA(ACRES) = 3.68 TOTAL RUNOFF(CFS) = 11.81
TC(MIN.) = 7.18

\*\*\*\*\*
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 11

>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM RUNOFF TC INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 11.81 7.18 3.786 3.68
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 28.00 = 903.00 FEET.

\*\* MEMORY BANK # 1 CONFLUENCE DATA \*\*

STREAM RUNOFF TC INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 16.75 10.23 3.172 5.62
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
\*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM RUNOFF TC INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 23.56 7.18 3.786
2 26.64 10.23 3.172

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 26.64 Tc(MIN.) = 10.23
TOTAL AREA(ACRES) = 9.30

\*\*\*\*\*
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 12

>>>>CLEAR MEMORY BANK # 1 <<<<<

\*\*\*\*\*
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 10

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

-----
Southeast area
-----

\*\*\*\*\*
FLOW PROCESS FROM NODE 3.00 TO NODE 21.00 IS CODE = 21

E-1

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2 INITIAL SUBAREA FLOW-LENGTH(FEET) = 405.00 UPSTREAM ELEVATION(FEET) = 810.80 DOWNSTREAM ELEVATION(FEET) = 773.00 ELEVATION DIFFERENCE(FEET) = 37.80 TC = 0.709\*[( 405.00\*\*3)/( 37.80)]\*\*.2 = 12.585 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.860 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7442 SOIL CLASSIFICATION IS "C" SUBAREA RUNOFF(CFS) = 1.81 TOTAL AREA(ACRES) = 0.85 TOTAL RUNOFF(CFS) = 1.81

\*\*\*\*\* FLOW PROCESS FROM NODE 21.00 TO NODE 22.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<< >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

ELEVATION DATA: UPSTREAM(FEET) = 765.90 DOWNSTREAM(FEET) = 760.20 FLOW LENGTH(FEET) = 98.00 MANNING'S N = 0.013 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000 DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.3 INCHES PIPE-FLOW VELOCITY(FEET/SEC.) = 8.16 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1 PIPE-FLOW(CFS) = 1.81 PIPE TRAVEL TIME(MIN.) = 0.20 Tc(MIN.) = 12.79 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 22.00 = 503.00 FEET.

\*\*\*\*\* FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<

TOTAL NUMBER OF STREAMS = 2 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE: TIME OF CONCENTRATION(MIN.) = 12.79 RAINFALL INTENSITY(INCH/HR) = 2.84 TOTAL STREAM AREA(ACRES) = 0.85 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.81

\*\*\*\*\* FLOW PROCESS FROM NODE 22.10 TO NODE 22.20 IS CODE = 21

E-2

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2 INITIAL SUBAREA FLOW-LENGTH(FEET) = 113.00 UPSTREAM ELEVATION(FEET) = 769.90 DOWNSTREAM ELEVATION(FEET) = 768.60 ELEVATION DIFFERENCE(FEET) = 1.30 TC = 0.303\*[( 113.00\*\*3)/( 1.30)]\*\*.2 = 4.905 COMPUTED TIME OF CONCENTRATION INCREASED TO 5 MIN. 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8895 SOIL CLASSIFICATION IS "C" SUBAREA RUNOFF(CFS) = 0.36 TOTAL AREA(ACRES) = 0.09 TOTAL RUNOFF(CFS) = 0.36

\*\*\*\*\* FLOW PROCESS FROM NODE 22.20 TO NODE 22.20 IS CODE = 81

E-3

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8790 SOIL CLASSIFICATION IS "C" SUBAREA AREA(ACRES) = 0.34 SUBAREA RUNOFF(CFS) = 1.36 TOTAL AREA(ACRES) = 0.43 TOTAL RUNOFF(CFS) = 1.72 TC(MIN.) = 5.00

\*\*\*\*\* FLOW PROCESS FROM NODE 22.20 TO NODE 22.20 IS CODE = 81

E-4

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.538 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8790 SOIL CLASSIFICATION IS "C" SUBAREA AREA(ACRES) = 0.10 SUBAREA RUNOFF(CFS) = 0.40 TOTAL AREA(ACRES) = 0.53 TOTAL RUNOFF(CFS) = 2.12 TC(MIN.) = 5.00

\*\*\*\*\* FLOW PROCESS FROM NODE 22.20 TO NODE 22.00 IS CODE = 31

100.RES

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 762.00 DOWNSTREAM(FEET) = 760.20
FLOW LENGTH(FEET) = 19.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 10.15
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.12
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 5.03
LONGEST FLOWPATH FROM NODE 22.10 TO NODE 22.00 = 132.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 81

E-5

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.524
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8790
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.16 SUBAREA RUNOFF(CFS) = 0.64
TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 2.75
TC(MIN.) = 5.03

\*\*\*\*\*
FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 5.03
RAINFALL INTENSITY(INCH/HR) = 4.52
TOTAL STREAM AREA(ACRES) = 0.69
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.75

\*\* CONFLUENCE DATA \*\*

Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR), AREA (ACRE). Rows 1 and 2.

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR). Rows 1 and 2.

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 3.47 Tc(MIN.) = 5.03
TOTAL AREA(ACRES) = 1.54
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 22.00 = 503.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 22.00 TO NODE 23.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 760.20 DOWNSTREAM(FEET) = 755.80
FLOW LENGTH(FEET) = 105.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.0 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.77
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 3.47
PIPE TRAVEL TIME(MIN.) = 0.20 Tc(MIN.) = 5.23
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 23.00 = 608.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 23.00 TO NODE 23.00 IS CODE = 81

F-6

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.437
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8893
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.07 SUBAREA RUNOFF(CFS) = 0.28
TOTAL AREA(ACRES) = 1.61 TOTAL RUNOFF(CFS) = 3.74
TC(MIN.) = 5.23

100.RES

\*\*\*\*\*  
FLOW PROCESS FROM NODE 23.30 TO NODE 24.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 755.80 DOWNSTREAM(FEET) = 751.80  
FLOW LENGTH(FEET) = 100.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.2 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.81  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 3.74  
PIPE TRAVEL TIME(MIN.) = 0.19 Tc(MIN.) = 5.42  
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.00 = 708.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 81

F-7

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.359  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8783  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.12 SUBAREA RUNOFF(CFS) = 0.46  
TOTAL AREA(ACRES) = 1.73 TOTAL RUNOFF(CFS) = 4.20  
TC(MIN.) = 5.42

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 5.42  
RAINFALL INTENSITY(INCH/HR) = 4.36  
TOTAL STREAM AREA(ACRES) = 1.73  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 4.20

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.10 TO NODE 24.20 IS CODE = 21

F-8

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 300.00  
UPSTREAM ELEVATION(FEET) = 769.90  
DOWNSTREAM ELEVATION(FEET) = 761.70  
ELEVATION DIFFERENCE(FEET) = 8.20  
TC = 0.303\*[( 300.00\*\*3)/( 8.20)]\*\*.2 = 6.097  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.110  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8886  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.84  
TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.84

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.10 TO NODE 24.20 IS CODE = 81

F-9

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.110  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8771  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.54  
TOTAL AREA(ACRES) = 0.38 TOTAL RUNOFF(CFS) = 1.38  
TC(MIN.) = 6.10

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.20 TO NODE 24.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 756.00 DOWNSTREAM(FEET) = 751.80  
FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.9 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 14.10  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 1.38  
PIPE TRAVEL TIME(MIN.) = 0.01 Tc(MIN.) = 6.11  
LONGEST FLOWPATH FROM NODE 24.10 TO NODE 24.00 = 312.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1



100.RES

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.11
RAINFALL INTENSITY(INCH/HR) = 4.10
TOTAL STREAM AREA(ACRES) = 0.38
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.38

\*\*\*\*\*
FLOW PROCESS FROM NODE 22.10 TO NODE 24.30 IS CODE = 21

E-10

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 325.00
UPSTREAM ELEVATION(FEET) = 769.90
DOWNSTREAM ELEVATION(FEET) = 760.40
ELEVATION DIFFERENCE(FEET) = 9.50
TC = 0.303\*[( 325.00\*\*3)/( 9.50)]\*\*.2 = 6.211
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.072
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8885
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.76
TOTAL AREA(ACRES) = 0.21 TOTAL RUNOFF(CFS) = 0.76

\*\*\*\*\*
FLOW PROCESS FROM NODE 24.30 TO NODE 24.30 IS CODE = 81

E-11

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.072
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8769
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.54
TOTAL AREA(ACRES) = 0.36 TOTAL RUNOFF(CFS) = 1.30
TC(MIN.) = 6.21

\*\*\*\*\*
FLOW PROCESS FROM NODE 24.30 TO NODE 24.30 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

E-12

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.072
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8769
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.22 SUBAREA RUNOFF(CFS) = 0.79
TOTAL AREA(ACRES) = 0.58 TOTAL RUNOFF(CFS) = 2.08
TC(MIN.) = 6.21

\*\*\*\*\*
FLOW PROCESS FROM NODE 24.30 TO NODE 24.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 1754.00 DOWNSTREAM(FEET) = 1751.80
FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.34
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.08
PIPE TRAVEL TIME(MIN.) = 0.08 Tc(MIN.) = 6.29
LONGEST FLOWPATH FROM NODE 22.10 TO NODE 24.00 = 365.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:
TIME OF CONCENTRATION(MIN.) = 6.29
RAINFALL INTENSITY(INCH/HR) = 4.05
TOTAL STREAM AREA(ACRES) = 0.58
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.08

\*\* CONFLUENCE DATA \*\*
Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR), AREA (ACRE). Rows 1, 2, 3.

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
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Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

100.RES

WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	7.22	5.42	4.359
2	7.36	6.11	4.105
3	7.34	6.29	4.046

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 7.22 Tc(MIN.) = 5.42  
 TOTAL AREA(ACRES) = 2.69  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.00 = 708.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.40 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 751.80 DOWNSTREAM(FEET) = 746.60  
 FLOW LENGTH(FEET) = 140.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 10.30  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 7.22  
 PIPE TRAVEL TIME(MIN.) = 0.23 Tc(MIN.) = 5.65  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.40 = 848.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.40 TO NODE 24.40 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.270  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8779  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.37 SUBAREA RUNOFF(CFS) = 1.39  
 TOTAL AREA(ACRES) = 3.06 TOTAL RUNOFF(CFS) = 8.61  
 TC(MIN.) = 5.65

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.40 TO NODE 25.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 746.60 DOWNSTREAM(FEET) = 743.20  
 FLOW LENGTH(FEET) = 82.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 11.23  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 8.61  
 PIPE TRAVEL TIME(MIN.) = 0.12 Tc(MIN.) = 5.77  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.00 = 930.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.77  
 RAINFALL INTENSITY(INCH/HR) = 4.23  
 TOTAL STREAM AREA(ACRES) = 3.06  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 8.61

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.20 TO NODE 25.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 235.00  
 UPSTREAM ELEVATION(FEET) = 761.70  
 DOWNSTREAM ELEVATION(FEET) = 752.70  
 ELEVATION DIFFERENCE(FEET) = 9.00  
 $TC = 0.303 * [(235.00**3)/(9.00)]** .2 = 5.169$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.463  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8894  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 0.79

TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 100.RES  
0.79

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.20 TO NODE 25.20 IS CODE = 81

E-16

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.463  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8787  
SOIL CLASSIFICATION IS "c"  
SUBAREA AREA(ACRES) = 0.21 SUBAREA RUNOFF(CFS) = 0.82  
TOTAL AREA(ACRES) = 0.41 TOTAL RUNOFF(CFS) = 1.62  
TC(MIN.) = 5.17

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.20 TO NODE 25.20 IS CODE = 81

E-16

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.463  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8787  
SOIL CLASSIFICATION IS "c"  
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.98  
TOTAL AREA(ACRES) = 0.66 TOTAL RUNOFF(CFS) = 2.60  
TC(MIN.) = 5.17

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.20 TO NODE 25.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

ELEVATION DATA: UPSTREAM(FEET) = 747.80 DOWNSTREAM(FEET) = 743.20  
FLOW LENGTH(FEET) = 32.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.2 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 12.50  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 2.60  
PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.21  
LONGEST FLOWPATH FROM NODE 24.20 TO NODE 25.00 = 267.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 5.21  
RAINFALL INTENSITY(INCH/HR) = 4.45  
TOTAL STREAM AREA(ACRES) = 0.66  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.60

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.10 TO NODE 25.30 IS CODE = 21

E-17

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 281.00  
UPSTREAM ELEVATION(FEET) = 762.00  
DOWNSTREAM ELEVATION(FEET) = 753.00  
ELEVATION DIFFERENCE(FEET) = 9.00  
TC = 0.303\*[( 281.00\*\*3)/( 9.00)]\*\*.2 = 5.754  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.230  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8888  
SOIL CLASSIFICATION IS "c"  
SUBAREA RUNOFF(CFS) = 0.64  
TOTAL AREA(ACRES) = 0.17 TOTAL RUNOFF(CFS) = 0.64

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.30 TO NODE 25.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

ELEVATION DATA: UPSTREAM(FEET) = 744.90 DOWNSTREAM(FEET) = 743.20  
FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.7 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 7.37  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 0.64  
PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.79  
LONGEST FLOWPATH FROM NODE 25.10 TO NODE 25.00 = 297.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:
TIME OF CONCENTRATION(MIN.) = 5.79
RAINFALL INTENSITY(INCH/HR) = 4.22
TOTAL STREAM AREA(ACRES) = 0.17
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.64

\*\* CONFLUENCE DATA \*\*

Table with 5 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR), AREA (ACRE). Rows 1-3.

\*\*\*\*\*WARNING\*\*\*\*\*
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

Table with 4 columns: STREAM NUMBER, RUNOFF (CFS), Tc (MIN.), INTENSITY (INCH/HOUR). Rows 1-3.

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 11.71 Tc(MIN.) = 5.77
TOTAL AREA(ACRES) = 3.89
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.00 = 930.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 25.00 TO NODE 25.40 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 743.20 DOWNSTREAM(FEET) = 741.20
FLOW LENGTH(FEET) = 260.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 21.0 INCH PIPE IS 15.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.34
ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 11.71
PIPE TRAVEL TIME(MIN.) = 0.68 Tc(MIN.) = 6.45
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.40 = 1190.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81

E-18

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.995
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8765
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.95
TOTAL AREA(ACRES) = 4.16 TOTAL RUNOFF(CFS) = 12.66
TC(MIN.) = 6.45

\*\*\*\*\*
FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81

E-19

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.995
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8765
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.38 SUBAREA RUNOFF(CFS) = 1.33
TOTAL AREA(ACRES) = 4.54 TOTAL RUNOFF(CFS) = 13.99
TC(MIN.) = 6.45

\*\*\*\*\*
FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81

E-20

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.995
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8061
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.77
TOTAL AREA(ACRES) = 4.78 TOTAL RUNOFF(CFS) = 14.76
TC(MIN.) = 6.45

\*\*\*\*\*
Page 23

100.RES  
 FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

E-21

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.995  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8061  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.02 SUBAREA RUNOFF(CFS) = 0.06  
 TOTAL AREA(ACRES) = 4.80 TOTAL RUNOFF(CFS) = 14.83  
 TC(MIN.) = 6.45

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.40 TO NODE 26.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 741.20 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 135.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 16.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.44  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 14.83  
 PIPE TRAVEL TIME(MIN.) = 0.30 TC(MIN.) = 6.75  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.00 = 1325.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.75  
 RAINFALL INTENSITY(INCH/HR) = 3.90  
 TOTAL STREAM AREA(ACRES) = 4.80  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 14.83

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.30 TO NODE 26.10 IS CODE = 21

E-22

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{.33}) / (ELEVATION CHANGE)]^{.2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 334.00  
 UPSTREAM ELEVATION(FEET) = 753.00  
 DOWNSTREAM ELEVATION(FEET) = 748.80  
 ELEVATION DIFFERENCE(FEET) = 4.20  
 $TC = 0.303 * [(334.00^{.33}) / (4.20)]^{.2} = 7.433$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.722  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8875  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.66  
 TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 0.66

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.10 TO NODE 26.10 IS CODE = 81

E-23

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.722  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8750  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.47 SUBAREA RUNOFF(CFS) = 1.53  
 TOTAL AREA(ACRES) = 0.67 TOTAL RUNOFF(CFS) = 2.19  
 TC(MIN.) = 7.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.10 TO NODE 26.10 IS CODE = 81

E-24

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.722  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8750  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.20 SUBAREA RUNOFF(CFS) = 0.65  
 TOTAL AREA(ACRES) = 0.87 TOTAL RUNOFF(CFS) = 2.84  
 TC(MIN.) = 7.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.10 TO NODE 26.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 740.40 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 41.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.9 INCHES

100.RES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.69  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.84  
 PIPE TRAVEL TIME(MIN.) = 0.12 Tc(MIN.) = 7.55  
 LONGEST FLOWPATH FROM NODE 25.30 TO NODE 26.00 = 375.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 81

E-25

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.692  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8749  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.48  
 TOTAL AREA(ACRES) = 1.02 TOTAL RUNOFF(CFS) = 3.33  
 TC(MIN.) = 7.55

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.55  
 RAINFALL INTENSITY(INCH/HR) = 3.69  
 TOTAL STREAM AREA(ACRES) = 1.02  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 3.33

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	14.83	6.75	3.904	4.80
2	3.33	7.55	3.692	1.02

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	17.80	6.75	3.904
2	17.35	7.55	3.692

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 17.80 Tc(MIN.) = 6.75  
 TOTAL AREA(ACRES) = 5.82  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.00 = 1325.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.00 TO NODE 26.20 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 739.80 DOWNSTREAM(FEET) = 735.50  
 FLOW LENGTH(FEET) = 125.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 13.8 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.21  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 17.80  
 PIPE TRAVEL TIME(MIN.) = 0.17 Tc(MIN.) = 6.92  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.20 = 1450.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.20 TO NODE 26.20 IS CODE = 81

E-26

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.856  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8032  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.12 SUBAREA RUNOFF(CFS) = 0.37  
 TOTAL AREA(ACRES) = 5.94 TOTAL RUNOFF(CFS) = 18.17  
 TC(MIN.) = 6.92

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.20 TO NODE 26.20 IS CODE = 81

E-27

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.856  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .8032

100.RES  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.10 SUBAREA RUNOFF(CFS) = 0.31  
 TOTAL AREA(ACRES) = 6.04 TOTAL RUNOFF(CFS) = 18.48  
 TC(MIN.) = 6.92

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.20 TO NODE 27.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 735.50 DOWNSTREAM(FEET) = 732.70  
 FLOW LENGTH(FEET) = 45.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 11.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 15.75  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 18.48  
 PIPE TRAVEL TIME(MIN.) = 0.05 TC(MIN.) = 6.97  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 27.00 = 1495.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.00 TO NODE 27.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.97  
 RAINFALL INTENSITY(INCH/HR) = 3.84  
 TOTAL STREAM AREA(ACRES) = 6.04  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 18.48

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.30 TO NODE 27.10 IS CODE = 21  
 -----

*E-28*

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 488.00  
 UPSTREAM ELEVATION(FEET) = 752.10  
 DOWNSTREAM ELEVATION(FEET) = 744.10  
 ELEVATION DIFFERENCE(FEET) = 8.00  
 TC = 0.303\*[( 488.00\*\*3)/( 8.00)]\*\*.2 = 8.204  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.543  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8870  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.10  
 TOTAL AREA(ACRES) = 0.35 TOTAL RUNOFF(CFS) = 1.10

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.10 TO NODE 27.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 733.60 DOWNSTREAM(FEET) = 732.70  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.97  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.10  
 PIPE TRAVEL TIME(MIN.) = 0.04 TC(MIN.) = 8.24  
 LONGEST FLOWPATH FROM NODE 20.30 TO NODE 27.00 = 504.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.00 TO NODE 27.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 8.24  
 RAINFALL INTENSITY(INCH/HR) = 3.53  
 TOTAL STREAM AREA(ACRES) = 0.35  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.10

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	18.48	6.97	3.843	6.04
2	1.10	8.24	3.534	0.35

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

100.RES

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	19.41	6.97	3.843
2	18.10	8.24	3.534

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 19.41 Tc(MIN.) = 6.97  
TOTAL AREA(ACRES) = 6.39  
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 27.00 = 1495.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 27.00 TO NODE 28.00 IS CODE = 31  
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 732.70 DOWNSTREAM(FEET) = 732.30  
FLOW LENGTH(FEET) = 39.00 MANNING'S N = 0.013  
DEPTH OF FLOW IN 24.0 INCH PIPE IS 17.3 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.01  
ESTIMATED PIPE DIAMETER(INCH) = 24.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 19.41  
PIPE TRAVEL TIME(MIN.) = 0.08 Tc(MIN.) = 7.05  
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 28.00 = 1534.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 11  
-----

>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	19.41	7.05	3.821	6.39

LONGEST FLOWPATH FROM NODE 3.00 TO NODE 28.00 = 1534.00 FEET.

\*\* MEMORY BANK # 1 CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	26.64	10.23	3.172	9.30

LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
\*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	37.77	7.05	3.821
2	42.76	10.23	3.172

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 42.76 Tc(MIN.) = 10.23  
TOTAL AREA(ACRES) = 15.69

\*\*\*\*\*  
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 12  
-----

>>>>CLEAR MEMORY BANK # 1 <<<<<<

\*\*\*\*\*  
FLOW PROCESS FROM NODE 28.00 TO NODE 29.00 IS CODE = 31  
-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 732.30 DOWNSTREAM(FEET) = 730.90  
FLOW LENGTH(FEET) = 153.00 MANNING'S N = 0.013  
DEPTH OF FLOW IN 33.0 INCH PIPE IS 23.7 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 9.35  
ESTIMATED PIPE DIAMETER(INCH) = 33.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 42.76  
PIPE TRAVEL TIME(MIN.) = 0.27 Tc(MIN.) = 10.51  
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 29.00 = 1687.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1  
-----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<

=====

TOTAL NUMBER OF STREAMS = 3

Page 27



100.RES

CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 10.51  
RAINFALL INTENSITY(INCH/HR) = 3.13  
TOTAL STREAM AREA(ACRES) = 15.69  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 42.76

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.10 TO NODE 29.20 IS CODE = 21

F-1

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 467.00
UPSTREAM ELEVATION(FEET) = 750.50
DOWNSTREAM ELEVATION(FEET) = 742.50
ELEVATION DIFFERENCE(FEET) = 8.00
TC = 0.303\*[( 467.00\*\*3)/( 8.00)]\*\*.2 = 7.990
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.590
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8871
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.86
TOTAL AREA(ACRES) = 0.27 TOTAL RUNOFF(CFS) = 0.86

\*\*\*\*\*
FLOW PROCESS FROM NODE 29.20 TO NODE 29.20 IS CODE = 81

F-2

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.590
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8743
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.60
TOTAL AREA(ACRES) = 0.46 TOTAL RUNOFF(CFS) = 1.46
TC(MIN.) = 7.99

\*\*\*\*\*
FLOW PROCESS FROM NODE 29.20 TO NODE 29.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====
ELEVATION DATA: UPSTREAM(FEET) = 735.00 DOWNSTREAM(FEET) = 730.90
FLOW LENGTH(FEET) = 21.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.70
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.46
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 8.02
LONGEST FLOWPATH FROM NODE 29.10 TO NODE 29.00 = 488.00 FEET.

\*\*\*\*\*
FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 8.02
RAINFALL INTENSITY(INCH/HR) = 3.58
TOTAL STREAM AREA(ACRES) = 0.46
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.46

\*\*\*\*\*
FLOW PROCESS FROM NODE 29.30 TO NODE 29.40 IS CODE = 21

F-3

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 328.00
UPSTREAM ELEVATION(FEET) = 749.20
DOWNSTREAM ELEVATION(FEET) = 742.50
ELEVATION DIFFERENCE(FEET) = 6.70
TC = 0.303\*[( 328.00\*\*3)/( 6.70)]\*\*.2 = 6.697
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.921
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8881
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.80
TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.80

\*\*\*\*\*
FLOW PROCESS FROM NODE 29.40 TO NODE 29.40 IS CODE = 81

F-4

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.921
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8761

100.RES  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.20 SUBAREA RUNOFF(CFS) = 0.69  
 TOTAL AREA(ACRES) = 0.43 TOTAL RUNOFF(CFS) = 1.49  
 TC(MIN.) = 6.70

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 29.40 TO NODE 29.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 735.00 DOWNSTREAM(FEET) = 730.90  
 FLOW LENGTH(FEET) = 17.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.66  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.49  
 PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.72  
 LONGEST FLOWPATH FROM NODE 29.30 TO NODE 29.00 = 345.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.72  
 RAINFALL INTENSITY(INCH/HR) = 3.91  
 TOTAL STREAM AREA(ACRES) = 0.43  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.49

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	42.76	10.51	3.130	15.69
2	1.46	8.02	3.583	0.46
3	1.49	6.72	3.914	0.43

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	30.05	6.72	3.914
2	35.45	8.02	3.583
3	45.22	10.51	3.130

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 45.22 Tc(MIN.) = 10.51  
 TOTAL AREA(ACRES) = 16.58  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 29.00 = 1687.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 29.00 TO NODE 39.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 730.90 DOWNSTREAM(FEET) = 729.90  
 FLOW LENGTH(FEET) = 57.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 30.0 INCH PIPE IS 21.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.12  
 ESTIMATED PIPE DIAMETER(INCH) = 30.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 45.22  
 PIPE TRAVEL TIME(MIN.) = 0.08 Tc(MIN.) = 10.59  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 39.00 = 1744.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 39.10 TO NODE 39.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS SINGLE FAMILY(1-ACRE LOTS)  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{** .2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 330.00  
 UPSTREAM ELEVATION(FEET) = 747.80  
 DOWNSTREAM ELEVATION(FEET) = 730.00  
 ELEVATION DIFFERENCE(FEET) = 17.80  
 $TC = 0.469 * [( 330.00^{**3}) / ( 17.80)]^{** .2} = 8.560$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.468

G-1

100.RES  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7940  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.88  
 TOTAL AREA(ACRES) = 0.32 TOTAL RUNOFF(CFS) = 0.88

@Lot 99 - Obsidian Way

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 4.00 TO NODE 30.00 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS SINGLE FAMILY (1/4 ACRE)  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 300.00  
 UPSTREAM ELEVATION(FEET) = 751.10  
 DOWNSTREAM ELEVATION(FEET) = 747.70  
 ELEVATION DIFFERENCE(FEET) = 3.40  
 $TC = 0.393 * [(300.00**3)/(3.40)]**.2 = 9.417$   
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.307  
 SINGLE-FAMILY(1/4 ACRE LOT) RUNOFF COEFFICIENT = .8310  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.66  
 TOTAL AREA(ACRES) = 0.24 TOTAL RUNOFF(CFS) = 0.66

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 30.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.307  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8724  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.69  
 TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 1.35  
 TC(MIN.) = 9.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 30.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.307  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8724  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.69  
 TOTAL AREA(ACRES) = 0.72 TOTAL RUNOFF(CFS) = 2.04  
 TC(MIN.) = 9.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 31.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 743.60 DOWNSTREAM(FEET) = 738.00  
 FLOW LENGTH(FEET) = 42.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 11.34  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.04  
 PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 9.48  
 LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.00 = 342.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 31.00 TO NODE 31.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.48  
 RAINFALL INTENSITY(INCH/HR) = 3.30  
 TOTAL STREAM AREA(ACRES) = 0.72  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.04

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 29.30 TO NODE 30.10 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 137.00

100.RES

UPSTREAM ELEVATION(FEET) = 749.20  
 DOWNSTREAM ELEVATION(FEET) = 747.70  
 ELEVATION DIFFERENCE(FEET) = 1.50  
 TC = 0.303\*[( 137.00\*\*3)/( 1.50)]\*\*.2 = 5.351  
 100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.387  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8892  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.23  
 TOTAL AREA(ACRES) = 0.06 TOTAL RUNOFF(CFS) = 0.23

\*\*\*\*\*

FLOW PROCESS FROM NODE 30.10 TO NODE 30.10 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 4.387  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8784  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.23 SUBAREA RUNOFF(CFS) = 0.89  
 TOTAL AREA(ACRES) = 0.29 TOTAL RUNOFF(CFS) = 1.12  
 TC(MIN.) = 5.35

\*\*\*\*\*

FLOW PROCESS FROM NODE 30.10 TO NODE 31.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 743.00 DOWNSTREAM(FEET) = 738.00  
 FLOW LENGTH(FEET) = 28.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 10.47  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.12  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.40  
 LONGEST FLOWPATH FROM NODE 29.30 TO NODE 31.00 = 165.00 FEET.

\*\*\*\*\*

FLOW PROCESS FROM NODE 31.00 TO NODE 31.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.40  
 RAINFALL INTENSITY(INCH/HR) = 4.37  
 TOTAL STREAM AREA(ACRES) = 0.29  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.12

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.04	9.48	3.296	0.72
2	1.12	5.40	4.369	0.29

\*\*\*\*\*WARNING\*\*\*\*\*

IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.28	5.40	4.369
2	2.89	9.48	3.296

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 2.89 Tc(MIN.) = 9.48  
 TOTAL AREA(ACRES) = 1.01  
 LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.00 = 342.00 FEET.

\*\*\*\*\*

FLOW PROCESS FROM NODE 31.00 TO NODE 31.10 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 738.00 DOWNSTREAM(FEET) = 737.50  
 FLOW LENGTH(FEET) = 70.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.41  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.89  
 PIPE TRAVEL TIME(MIN.) = 0.26 Tc(MIN.) = 9.74

LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.10 = 412.00 FEET. 100.RES

\*\*\*\*\*  
FLOW PROCESS FROM NODE 31.10 TO NODE 31.10 IS CODE = 81

B-6

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.251  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8720  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.40  
TOTAL AREA(ACRES) = 1.15 TOTAL RUNOFF(CFS) = 3.29  
TC(MIN.) = 9.74

\*\*\*\*\*  
FLOW PROCESS FROM NODE 31.10 TO NODE 32.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 737.50 DOWNSTREAM(FEET) = 736.80  
FLOW LENGTH(FEET) = 72.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.1 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.10  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 3.29  
PIPE TRAVEL TIME(MIN.) = 0.24 Tc(MIN.) = 9.98  
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 32.00 = 484.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.00 TO NODE 32.00 IS CODE = 81

B-7

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.212  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8859  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.06 SUBAREA RUNOFF(CFS) = 0.17  
TOTAL AREA(ACRES) = 1.21 TOTAL RUNOFF(CFS) = 3.46  
TC(MIN.) = 9.98

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.00 TO NODE 32.00 IS CODE = 81

B-8

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.212  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8717  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.67  
TOTAL AREA(ACRES) = 1.45 TOTAL RUNOFF(CFS) = 4.13  
TC(MIN.) = 9.98

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.00 TO NODE 32.10 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 736.80 DOWNSTREAM(FEET) = 736.40  
FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.0 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.49  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 4.13  
PIPE TRAVEL TIME(MIN.) = 0.12 Tc(MIN.) = 10.10  
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 32.10 = 524.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.10 TO NODE 32.10 IS CODE = 81

B-9

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.193  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8716  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.42  
TOTAL AREA(ACRES) = 1.60 TOTAL RUNOFF(CFS) = 4.55  
TC(MIN.) = 10.10

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.10 TO NODE 32.10 IS CODE = 81

B-10

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.193  
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7863  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.47 SUBAREA RUNOFF(CFS) = 1.18

TOTAL AREA(ACRES) = 2.07 TOTAL RUNOFF(CFS) = 100.RES  
TC(MIN.) = 10.10

\*\*\*\*\*  
FLOW PROCESS FROM NODE 32.10 TO NODE 35.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 736.40 DOWNSTREAM(FEET) = 732.70  
FLOW LENGTH(FEET) = 132.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.2 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.73  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 5.73  
PIPE TRAVEL TIME(MIN.) = 0.25 Tc(MIN.) = 10.35  
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 35.00 = 656.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 35.00 TO NODE 35.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.154  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8856  
SOIL CLASSIFICATION IS "c"  
SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.53  
TOTAL AREA(ACRES) = 2.26 TOTAL RUNOFF(CFS) = 6.26  
TC(MIN.) = 10.35

\*\*\*\*\*  
FLOW PROCESS FROM NODE 35.00 TO NODE 35.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.154  
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7851  
SOIL CLASSIFICATION IS "c"  
SUBAREA AREA(ACRES) = 0.44 SUBAREA RUNOFF(CFS) = 1.09  
TOTAL AREA(ACRES) = 2.70 TOTAL RUNOFF(CFS) = 7.35  
TC(MIN.) = 10.35

\*\*\*\*\*  
FLOW PROCESS FROM NODE 35.00 TO NODE 36.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 732.70 DOWNSTREAM(FEET) = 732.40  
FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.5 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 8.94  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 7.35  
PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 10.37  
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 36.00 = 668.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 36.00 TO NODE 36.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 10.37  
RAINFALL INTENSITY(INCH/HR) = 3.15  
TOTAL STREAM AREA(ACRES) = 2.70  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 7.35

\*\*\*\*\*  
FLOW PROCESS FROM NODE 36.10 TO NODE 36.00 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 474.00  
UPSTREAM ELEVATION(FEET) = 749.60  
DOWNSTREAM ELEVATION(FEET) = 743.00  
ELEVATION DIFFERENCE(FEET) = 6.60  
TC = 0.303\*[( 474.00\*\*3)/( 6.60)]\*\*.2 = 8.378  
100 YEAR RAINFALL INTENSITY(INCH/HOUR) = 3.506  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8869  
SOIL CLASSIFICATION IS "c"  
SUBAREA RUNOFF(CFS) = 0.78  
TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.78

\*\*\*\*\*  
Page 33

100.RES  
 FLOW PROCESS FROM NODE 36.00 TO NODE 36.00 IS CODE = 1

-----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<<  
 =====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 8.38  
 RAINFALL INTENSITY(INCH/HR) = 3.51  
 TOTAL STREAM AREA(ACRES) = 0.25  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.78

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	7.35	10.37	3.150	2.70
2	0.78	8.38	3.506	0.25

\*\*\*\*\*WARNING\*\*\*\*\*

IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	6.71	8.38	3.506
2	8.04	10.37	3.150

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 8.04 Tc(MIN.) = 10.37  
 TOTAL AREA(ACRES) = 2.95  
 LONGEST FLOWPATH FROM NODE 4.00 TO NODE 36.00 = 668.00 FEET.

\*\*\*\*\*

FLOW PROCESS FROM NODE 36.00 TO NODE 39.30 IS CODE = 31

-----  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<  
 =====

ELEVATION DATA: UPSTREAM(FEET) = 732.40 DOWNSTREAM(FEET) = 728.90  
 FLOW LENGTH(FEET) = 35.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 15.20  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 8.04  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 10.41  
 LONGEST FLOWPATH FROM NODE 4.00 TO NODE 39.30 = 703.00 FEET.

END OF STUDY SUMMARY:

TOTAL AREA(ACRES) = 2.95 TC(MIN.) = 10.41  
 PEAK FLOW RATE(CFS) = 8.04

-----  
 END OF RATIONAL METHOD ANALYSIS

□





10B.RES

\*\*\*\*\*  
 RATIONAL METHOD HYDROLOGY COMPUTER PROGRAM BASED ON  
 RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 (RCFC&WCD) 1978 HYDROLOGY MANUAL  
 (c) Copyright 1982-2006 Advanced Engineering Software (aes)  
 (Rational Tabling Version 6.0D)  
 Release Date: 06/01/2005 License ID 1269

Analysis prepared by:

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 Irvine, CA 92614  
 Phone: (949) 251-8821

\*\*\*\*\* DESCRIPTION OF STUDY \*\*\*\*\*  
 \* Tentative Tract No. 36933 \*  
 \* Southwest Drainage Area \*  
 \* 10-year storm \*  
 \*\*\*\*\*

FILE NAME: 36340B.100  
 TIME/DATE OF STUDY: 11:28 02/03/2016

-----  
 USER SPECIFIED HYDROLOGY AND HYDRAULIC MODEL INFORMATION:  
 -----

USER SPECIFIED STORM EVENT(YEAR) = 10.00  
 SPECIFIED MINIMUM PIPE SIZE(INCH) = 18.00  
 SPECIFIED PERCENT OF GRADIENTS(DECIMAL) TO USE FOR FRICTION SLOPE = 0.95  
 2-YEAR, 1-HOUR PRECIPITATION(INCH) = 0.496  
 100-YEAR, 1-HOUR PRECIPITATION(INCH) = 1.310  
 COMPUTED RAINFALL INTENSITY DATA:  
 STORM EVENT = 10.00 1-HOUR INTENSITY(INCH/HOUR) = 0.839  
 SLOPE OF INTENSITY DURATION CURVE = 0.5000  
 RCFC&WCD HYDROLOGY MANUAL "C"-VALUES USED FOR RATIONAL METHOD  
 NOTE: COMPUTE CONFLUENCE VALUES ACCORDING TO RCFC&WCD HYDROLOGY MANUAL  
 AND IGNORE OTHER CONFLUENCE COMBINATIONS FOR DOWNSTREAM ANALYSES  
 \*SIZE PIPE WITH A FLOW CAPACITY GREATER THAN  
 OR EQUAL TO THE UPSTREAM TRIBUTARY PIPE.\*

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.10 TO NODE 51.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH ** 3) / (ELEVATION CHANGE)] ** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 105.00  
 UPSTREAM ELEVATION(FEET) = 755.00  
 DOWNSTREAM ELEVATION(FEET) = 735.50  
 ELEVATION DIFFERENCE(FEET) = 19.50  
 $TC = 0.709 * [(105.00 ** 3) / (19.50)] ** .2 = 6.391$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.571  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7299  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.23  
 TOTAL AREA(ACRES) = 0.12 TOTAL RUNOFF(CFS) = 0.23

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.20 TO NODE 51.30 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 31.00 DOWNSTREAM(FEET) = 30.00  
 FLOW LENGTH(FEET) = 46.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 3.10  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.23  
 PIPE TRAVEL TIME(MIN.) = 0.25 Tc(MIN.) = 6.64  
 LONGEST FLOWPATH FROM NODE 51.10 TO NODE 51.30 = 151.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.30 TO NODE 51.30 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.523  
 CONDOMINIUM DEVELOPMENT RUNOFF COEFFICIENT = .8396  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.13 SUBAREA RUNOFF(CFS) = 0.28  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.50  
 TC(MIN.) = 6.64

10B.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.30 TO NODE 50.00 IS CODE = 31

-----  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 730.00 DOWNSTREAM(FEET) = 724.60  
 FLOW LENGTH(FEET) = 202.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.24  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.50  
 PIPE TRAVEL TIME(MIN.) = 0.79 Tc(MIN.) = 7.43  
 LONGEST FLOWPATH FROM NODE 51.10 TO NODE 50.00 = 353.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 81

-----  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.384  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8639  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.34 SUBAREA RUNOFF(CFS) = 0.70  
 TOTAL AREA(ACRES) = 0.59 TOTAL RUNOFF(CFS) = 1.20  
 TC(MIN.) = 7.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 81

-----  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.384  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8639  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.28 SUBAREA RUNOFF(CFS) = 0.58  
 TOTAL AREA(ACRES) = 0.87 TOTAL RUNOFF(CFS) = 1.78  
 TC(MIN.) = 7.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 1

-----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.43  
 RAINFALL INTENSITY(INCH/HR) = 2.38  
 TOTAL STREAM AREA(ACRES) = 0.87  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.78

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.40 TO NODE 50.00 IS CODE = 21

-----  
 >>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 357.00  
 UPSTREAM ELEVATION(FEET) = 743.70  
 DOWNSTREAM ELEVATION(FEET) = 733.70  
 ELEVATION DIFFERENCE(FEET) = 10.00  
 $TC = 0.303 * [(357.00**3)/(10.00)]**.2 = 6.504$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.549  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8829  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.41  
 TOTAL AREA(ACRES) = 0.18 TOTAL RUNOFF(CFS) = 0.41

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.00 IS CODE = 1

-----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.50  
 RAINFALL INTENSITY(INCH/HR) = 2.55  
 TOTAL STREAM AREA(ACRES) = 0.18  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.41

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.78	7.43	2.384	0.87
2	0.41	6.50	2.549	0.18

10B.RES

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*  

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	1.96	6.50	2.549
2	2.16	7.43	2.384

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 2.16 Tc(MIN.) = 7.43  
 TOTAL AREA(ACRES) = 1.05  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.00 = 357.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.00 TO NODE 50.30 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 724.60 DOWNSTREAM(FEET) = 724.00  
 FLOW LENGTH(FEET) = 46.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.05  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.16  
 PIPE TRAVEL TIME(MIN.) = 0.15 Tc(MIN.) = 7.59  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.30 = 403.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.30 TO NODE 50.30 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.59  
 RAINFALL INTENSITY(INCH/HR) = 2.36  
 TOTAL STREAM AREA(ACRES) = 1.05  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.16

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.10 TO NODE 50.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{**0.2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 61.00  
 UPSTREAM ELEVATION(FEET) = 734.30  
 DOWNSTREAM ELEVATION(FEET) = 733.70  
 ELEVATION DIFFERENCE(FEET) = 0.60  
 $TC = 0.303 * [(61.00^{**3}) / (0.60)]^{**0.2} = 3.955$   
 COMPUTED TIME OF CONCENTRATION INCREASED TO 5 MIN.  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8846  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.10  
 TOTAL AREA(ACRES) = 0.04 TOTAL RUNOFF(CFS) = 0.10

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.20 TO NODE 50.20 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8692  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.38  
 TOTAL AREA(ACRES) = 0.19 TOTAL RUNOFF(CFS) = 0.48  
 TC(MIN.) = 5.00

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.20 TO NODE 50.20 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8692  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.23  
 TOTAL AREA(ACRES) = 0.28 TOTAL RUNOFF(CFS) = 0.71  
 TC(MIN.) = 5.00

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10B.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.20 TO NODE 50.30 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 724.60 DOWNSTREAM(FEET) = 724.00  
 FLOW LENGTH(FEET) = 50.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 3.55  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.71  
 PIPE TRAVEL TIME(MIN.) = 0.24 Tc(MIN.) = 5.24  
 LONGEST FLOWPATH FROM NODE 50.10 TO NODE 50.30 = 111.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.30 TO NODE 50.30 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.24  
 RAINFALL INTENSITY(INCH/HR) = 2.84  
 TOTAL STREAM AREA(ACRES) = 0.28  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.71

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.16	7.59	2.360	1.05
2	0.71	5.24	2.841	0.28

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.20	5.24	2.841
2	2.75	7.59	2.360

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 2.75 Tc(MIN.) = 7.59  
 TOTAL AREA(ACRES) = 1.33  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 50.30 = 403.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 50.30 TO NODE 51.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 724.00 DOWNSTREAM(FEET) = 722.20  
 FLOW LENGTH(FEET) = 133.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.48  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.75  
 PIPE TRAVEL TIME(MIN.) = 0.40 Tc(MIN.) = 7.99  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.40 TO NODE 51.50 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{** .2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 498.00  
 UPSTREAM ELEVATION(FEET) = 743.70  
 DOWNSTREAM ELEVATION(FEET) = 731.90  
 ELEVATION DIFFERENCE(FEET) = 11.80  
 $TC = 0.303 * [( 498.00^{**3}) / ( 11.80)]^{** .2} = 7.683$

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10B.RES

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.345  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8817  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.14  
 TOTAL AREA(ACRES) = 0.55 TOTAL RUNOFF(CFS) = 1.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.68  
 RAINFALL INTENSITY(INCH/HR) = 2.35  
 TOTAL STREAM AREA(ACRES) = 0.55  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 52.10 TO NODE 52.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 200.00  
 UPSTREAM ELEVATION(FEET) = 751.00  
 DOWNSTREAM ELEVATION(FEET) = 738.00  
 ELEVATION DIFFERENCE(FEET) = 13.00  
 $TC = 0.709 * [(200.00**3)/(13.00)]**.2 = 10.203$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.035  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .6953  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.31  
 TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.31

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 52.20 TO NODE 51.50 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 731.00 DOWNSTREAM(FEET) = 722.60  
 FLOW LENGTH(FEET) = 190.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.37  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.31  
 PIPE TRAVEL TIME(MIN.) = 0.72 TC(MIN.) = 10.93  
 LONGEST FLOWPATH FROM NODE 52.10 TO NODE 51.50 = 390.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 1.966  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8580  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.33 SUBAREA RUNOFF(CFS) = 0.56  
 TOTAL AREA(ACRES) = 0.55 TOTAL RUNOFF(CFS) = 0.87  
 TC(MIN.) = 10.93

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.50 TO NODE 51.50 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 10.93  
 RAINFALL INTENSITY(INCH/HR) = 1.97  
 TOTAL STREAM AREA(ACRES) = 0.55  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.87

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.14	7.68	2.345	0.55
2	0.87	10.93	1.966	0.55

\*\*\*\*\*WARNING\*\*\*\*\*

IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.

\*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO

10B.RES

CONFLUENCE FORMULA USED FOR 2 STREAMS.

```

** PEAK FLOW RATE TABLE **
STREAM   RUNOFF   TC       INTENSITY
NUMBER   (CFS)     (MIN.)   (INCH/HOUR)
  1       1.75     7.68     2.345
  2       1.82     10.93    1.966

```

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 1.75   TC(MIN.) = 7.68
TOTAL AREA(ACRES) = 1.10
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.50 = 498.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 51.50 TO NODE 51.00 IS CODE = 31

```

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

```

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 722.60  DOWNSTREAM(FEET) = 722.20
FLOW LENGTH(FEET) = 37.00  MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.9 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.45
ESTIMATED PIPE DIAMETER(INCH) = 18.00  NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.75
PIPE TRAVEL TIME(MIN.) = 0.14  Tc(MIN.) = 7.82
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 535.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 11

```

```

>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<

```

```

** MAIN STREAM CONFLUENCE DATA **
STREAM   RUNOFF   TC       INTENSITY   AREA
NUMBER   (CFS)     (MIN.)   (INCH/HOUR) (ACRE)
  1       1.75     7.82     2.324      1.10
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 535.00 FEET.

```

```

** MEMORY BANK # 1 CONFLUENCE DATA **
STREAM   RUNOFF   TC       INTENSITY   AREA
NUMBER   (CFS)     (MIN.)   (INCH/HOUR) (ACRE)
  1       2.75     7.99     2.300      1.33
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

```

```

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

```

```

** PEAK FLOW RATE TABLE **
STREAM   RUNOFF   Tc       INTENSITY
NUMBER   (CFS)     (MIN.)   (INCH/HOUR)
  1       4.44     7.82     2.324
  2       4.47     7.99     2.300

```

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 4.47   Tc(MIN.) = 7.99
TOTAL AREA(ACRES) = 2.43

```

```

*****
FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 10

```

```

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 2 <<<<<

```

```

*****
FLOW PROCESS FROM NODE 51.60 TO NODE 51.70 IS CODE = 21

```

```

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

```

```

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 270.00
UPSTREAM ELEVATION(FEET) = 770.20
DOWNSTREAM ELEVATION(FEET) = 727.00
ELEVATION DIFFERENCE(FEET) = 43.20
TC = 0.709*[( 270.00**3)/( 43.20)]**.2 = 9.608
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.097
UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7000
SOIL CLASSIFICATION IS 'C'
SUBAREA RUNOFF(CFS) = 1.76
TOTAL AREA(ACRES) = 1.20  TOTAL RUNOFF(CFS) = 1.76

```

```

*****
FLOW PROCESS FROM NODE 51.70 TO NODE 51.80 IS CODE = 31

```

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```

10B.RES
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 723.50 DOWNSTREAM(FEET) = 722.80
FLOW LENGTH(FEET) = 150.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.30
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.76
PIPE TRAVEL TIME(MIN.) = 0.76 Tc(MIN.) = 10.37
LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.80 = 420.00 FEET.
*****
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 10.37
RAINFALL INTENSITY(INCH/HR) = 2.02
TOTAL STREAM AREA(ACRES) = 1.20
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.76
*****
FLOW PROCESS FROM NODE 51.90 TO NODE 51.80 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 244.00
UPSTREAM ELEVATION(FEET) = 734.30
DOWNSTREAM ELEVATION(FEET) = 731.80
ELEVATION DIFFERENCE(FEET) = 2.50
TC = 0.303*[( 244.00**3)/( 2.50)]**.2 = 6.830
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.487
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8825
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.57
TOTAL AREA(ACRES) = 0.26 TOTAL RUNOFF(CFS) = 0.57
*****
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.487
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8651
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.19
TOTAL AREA(ACRES) = 0.35 TOTAL RUNOFF(CFS) = 0.76
TC(MIN.) = 6.83
*****
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.487
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8651
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.62
TOTAL AREA(ACRES) = 0.64 TOTAL RUNOFF(CFS) = 1.39
TC(MIN.) = 6.83
*****
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.487
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8825
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.05 SUBAREA RUNOFF(CFS) = 0.11
TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 1.50
TC(MIN.) = 6.83
*****
FLOW PROCESS FROM NODE 51.80 TO NODE 51.80 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.83
RAINFALL INTENSITY(INCH/HR) = 2.49
TOTAL STREAM AREA(ACRES) = 0.69

```

PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.50

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.76	10.37	2.019	1.20
2	1.50	6.83	2.487	0.69

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.66	6.83	2.487
2	2.98	10.37	2.019

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 2.98 Tc(MIN.) = 10.37  
 TOTAL AREA(ACRES) = 1.89  
 LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.80 = 420.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.80 TO NODE 51.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 722.80 DOWNSTREAM(FEET) = 722.20  
 FLOW LENGTH(FEET) = 62.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 4.96  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.98  
 PIPE TRAVEL TIME(MIN.) = 0.21 Tc(MIN.) = 10.57  
 LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.00 = 482.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 51.00 IS CODE = 11  
 -----

>>>>CONFLUENCE MEMORY BANK # 2 WITH THE MAIN-STREAM MEMORY<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.98	10.57	1.999	1.89

LONGEST FLOWPATH FROM NODE 51.60 TO NODE 51.00 = 482.00 FEET.

\*\* MEMORY BANK # 2 CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	4.47	7.99	2.300	2.43

LONGEST FLOWPATH FROM NODE 51.40 TO NODE 51.00 = 536.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	6.72	7.99	2.300
2	6.87	10.57	1.999

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 6.72 Tc(MIN.) = 7.99  
 TOTAL AREA(ACRES) = 4.32

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 51.00 TO NODE 52.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 722.20 DOWNSTREAM(FEET) = 720.60  
 FLOW LENGTH(FEET) = 150.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 10.4 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.34  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 6.72  
 PIPE TRAVEL TIME(MIN.) = 0.39 Tc(MIN.) = 8.38



```

                                10B.RES
LONGEST FLOWPATH FROM NODE    51.40 TO NODE    52.00 = 686.00 FEET.
*****
FLOW PROCESS FROM NODE    52.00 TO NODE    52.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 8.38
RAINFALL INTENSITY(INCH/HR) = 2.25
TOTAL STREAM AREA(ACRES) = 4.32
PEAK FLOW RATE(CFS) AT CONFLUENCE = 6.72
*****
FLOW PROCESS FROM NODE    52.10 TO NODE    52.20 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 320.00
UPSTREAM ELEVATION(FEET) = 733.80
DOWNSTREAM ELEVATION(FEET) = 729.60
ELEVATION DIFFERENCE(FEET) = 4.20
TC = 0.303*[( 320.00**3)/( 4.20)]**.2 = 7.245
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.415
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8821
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.47
TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.47
*****
FLOW PROCESS FROM NODE    52.20 TO NODE    52.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 720.80 DOWNSTREAM(FEET) = 720.60
FLOW LENGTH(FEET) = 13.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.4 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.40
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.47
PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 7.31
LONGEST FLOWPATH FROM NODE    52.10 TO NODE    52.00 = 333.00 FEET.
*****
FLOW PROCESS FROM NODE    52.00 TO NODE    52.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 7.31
RAINFALL INTENSITY(INCH/HR) = 2.40
TOTAL STREAM AREA(ACRES) = 0.22
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.47
*****
FLOW PROCESS FROM NODE    52.30 TO NODE    52.40 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 150.00
UPSTREAM ELEVATION(FEET) = 731.70
DOWNSTREAM ELEVATION(FEET) = 729.30
ELEVATION DIFFERENCE(FEET) = 2.40
TC = 0.303*[( 150.00**3)/( 2.40)]**.2 = 5.143
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.866
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8844
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.33
TOTAL AREA(ACRES) = 0.13 TOTAL RUNOFF(CFS) = 0.33
*****
FLOW PROCESS FROM NODE    52.40 TO NODE    52.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 720.80 DOWNSTREAM(FEET) = 720.60
FLOW LENGTH(FEET) = 10.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.9 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.35

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```

10B.RES
ESTIMATED PIPE DIAMETER(INCH) = 18.00    NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.33
PIPE TRAVEL TIME(MIN.) = 0.05    Tc(MIN.) = 5.19
LONGEST FLOWPATH FROM NODE 52.30 TO NODE 52.00 = 160.00 FEET.
*****
FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:
TIME OF CONCENTRATION(MIN.) = 5.19
RAINFALL INTENSITY(INCH/HR) = 2.85
TOTAL STREAM AREA(ACRES) = 0.13
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.33

** CONFLUENCE DATA **
STREAM    RUNOFF    Tc    INTENSITY    AREA
NUMBER    (CFS)    (MIN.)    (INCH/HOUR)    (ACRE)
1         6.72     8.38     2.245         4.32
2         0.47     7.31     2.405         0.22
3         0.33     5.19     2.853         0.13
*****
*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 3 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM    RUNOFF    Tc    INTENSITY
NUMBER    (CFS)    (MIN.)    (INCH/HOUR)
1         4.83     5.19     2.853
2         6.61     7.31     2.405
3         7.42     8.38     2.245

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 7.42    Tc(MIN.) = 8.38
TOTAL AREA(ACRES) = 4.67
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 52.00 = 686.00 FEET.
*****
FLOW PROCESS FROM NODE 52.00 TO NODE 55.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 720.60    DOWNSTREAM(FEET) = 720.30
FLOW LENGTH(FEET) = 41.00    MANNING'S N = 0.013
DEPTH OF FLOW IN 18.0 INCH PIPE IS 12.7 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.56
ESTIMATED PIPE DIAMETER(INCH) = 18.00    NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 7.42
PIPE TRAVEL TIME(MIN.) = 0.12    Tc(MIN.) = 8.51
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 55.00 = 727.00 FEET.
*****
FLOW PROCESS FROM NODE 52.00 TO NODE 52.00 IS CODE = 12
-----
>>>>CLEAR MEMORY BANK # 2 <<<<<
=====
*****
FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 10
-----
>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 2 <<<<<
=====
*****
FLOW PROCESS FROM NODE 5.10 TO NODE 5.20 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 140.00
UPSTREAM ELEVATION(FEET) = 743.00
DOWNSTREAM ELEVATION(FEET) = 732.00
ELEVATION DIFFERENCE(FEET) = 11.00
TC = 0.709*[(140.00**3)/(11.00)]**.2 = 8.517
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.227
UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .7093
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.11
TOTAL AREA(ACRES) = 0.07    TOTAL RUNOFF(CFS) = 0.11
Page 10

```

10B.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.20 TO NODE 53.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 728.00 DOWNSTREAM(FEET) = 724.20  
 FLOW LENGTH(FEET) = 170.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 2.55  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.11  
 PIPE TRAVEL TIME(MIN.) = 1.11 Tc(MIN.) = 9.63  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 310.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.095  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8600  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.49  
 TOTAL AREA(ACRES) = 0.34 TOTAL RUNOFF(CFS) = 0.60  
 TC(MIN.) = 9.63

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.095  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8600  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.37 SUBAREA RUNOFF(CFS) = 0.67  
 TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 1.26  
 TC(MIN.) = 9.63

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.63  
 RAINFALL INTENSITY(INCH/HR) = 2.09  
 TOTAL STREAM AREA(ACRES) = 0.71  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.26

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.00 TO NODE 53.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{**2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 140.00  
 UPSTREAM ELEVATION(FEET) = 732.00  
 DOWNSTREAM ELEVATION(FEET) = 731.30  
 ELEVATION DIFFERENCE(FEET) = 0.70  
 $TC = 0.303 * [(140.00^{**3}) / (0.70)]^{**2} = 6.313$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.587  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8831  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.32  
 TOTAL AREA(ACRES) = 0.14 TOTAL RUNOFF(CFS) = 0.32

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.31  
 RAINFALL INTENSITY(INCH/HR) = 2.59  
 TOTAL STREAM AREA(ACRES) = 0.14  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.32

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.10 TO NODE 5.40 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER

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10B.RES

TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 205.00  
 UPSTREAM ELEVATION(FEET) = 743.00  
 DOWNSTREAM ELEVATION(FEET) = 734.00  
 ELEVATION DIFFERENCE(FEET) = 9.00  
 TC = 0.709\*[( 205.00\*\*3)/( 9.00)]\*\*.2 = 11.145  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 1.947  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .6883  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.19  
 TOTAL AREA(ACRES) = 0.14 TOTAL RUNOFF(CFS) = 0.19

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 5.40 TO NODE 53.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 728.00 DOWNSTREAM(FEET) = 724.20  
 FLOW LENGTH(FEET) = 100.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 3.54  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.19  
 PIPE TRAVEL TIME(MIN.) = 0.47 Tc(MIN.) = 11.62  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 305.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 1.907  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8570  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.16 SUBAREA RUNOFF(CFS) = 0.26  
 TOTAL AREA(ACRES) = 0.30 TOTAL RUNOFF(CFS) = 0.45  
 TC(MIN.) = 11.62

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 53.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 11.62  
 RAINFALL INTENSITY(INCH/HR) = 1.91  
 TOTAL STREAM AREA(ACRES) = 0.30  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.45

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.26	9.63	2.095	0.71
2	0.32	6.31	2.587	0.14
3	0.45	11.62	1.907	0.30

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	1.39	6.31	2.587
2	1.89	9.63	2.095
3	1.84	11.62	1.907

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 1.89 Tc(MIN.) = 9.63  
 TOTAL AREA(ACRES) = 1.15  
 LONGEST FLOWPATH FROM NODE 5.10 TO NODE 53.00 = 310.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 53.00 TO NODE 54.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 724.20 DOWNSTREAM(FEET) = 720.70  
 FLOW LENGTH(FEET) = 122.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.0 INCHES

```

                                10B.RES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.44
ESTIMATED PIPE DIAMETER(INCH) = 18.00   NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.89
PIPE TRAVEL TIME(MIN.) = 0.32   Tc(MIN.) = 9.94
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 54.00 = 432.00 FEET.
*****
FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.061
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8595
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.16   SUBAREA RUNOFF(CFS) = 0.28
TOTAL AREA(ACRES) = 1.31   TOTAL RUNOFF(CFS) = 2.18
TC(MIN.) = 9.94
*****
FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 9.94
RAINFALL INTENSITY(INCH/HR) = 2.06
TOTAL STREAM AREA(ACRES) = 1.31
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.18
*****
FLOW PROCESS FROM NODE 54.20 TO NODE 54.10 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 240.00
UPSTREAM ELEVATION(FEET) = 735.50
DOWNSTREAM ELEVATION(FEET) = 729.80
ELEVATION DIFFERENCE(FEET) = 5.70
TC = 0.303*[(240.00**3)/(5.70)]**.2 = 5.735
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.714
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8837
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.89
TOTAL AREA(ACRES) = 0.37   TOTAL RUNOFF(CFS) = 0.89
*****
FLOW PROCESS FROM NODE 54.10 TO NODE 54.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 729.90   DOWNSTREAM(FEET) = 720.70
FLOW LENGTH(FEET) = 34.00   MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.33
ESTIMATED PIPE DIAMETER(INCH) = 18.00   NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.89
PIPE TRAVEL TIME(MIN.) = 0.05   Tc(MIN.) = 5.79
LONGEST FLOWPATH FROM NODE 54.20 TO NODE 54.00 = 274.00 FEET.
*****
FLOW PROCESS FROM NODE 54.00 TO NODE 54.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 5.79
RAINFALL INTENSITY(INCH/HR) = 2.70
TOTAL STREAM AREA(ACRES) = 0.37
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.89

** CONFLUENCE DATA **
STREAM   RUNOFF   TC   INTENSITY   AREA
NUMBER  (CFS)   (MIN.) (INCH/HOUR) (ACRE)
1         2.18    9.94    2.061      1.31
2         0.89    5.79    2.703      0.37
*****
*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

```

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO

10B.RES

CONFLUENCE FORMULA USED FOR 2 STREAMS.

```

** PEAK FLOW RATE TABLE **
STREAM   RUNOFF   Tc      INTENSITY
NUMBER   (CFS)    (MIN.)  (INCH/HOUR)
  1       2.15     5.79    2.703
  2       2.86     9.94    2.061

```

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 2.86   Tc(MIN.) = 9.94
TOTAL AREA(ACRES) = 1.68
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 54.00 = 432.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 54.00 TO NODE 55.00 IS CODE = 31

```

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 720.70 DOWNSTREAM(FEET) = 720.30
FLOW LENGTH(FEET) = 42.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.88
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.86
PIPE TRAVEL TIME(MIN.) = 0.14 Tc(MIN.) = 10.09
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 55.00 = 474.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 11

```

```

>>>>CONFLUENCE MEMORY BANK # 2 WITH THE MAIN-STREAM MEMORY<<<<

```

```

** MAIN STREAM CONFLUENCE DATA **
STREAM   RUNOFF   Tc      INTENSITY   AREA
NUMBER   (CFS)    (MIN.)  (INCH/HOUR) (ACRE)
  1       2.86    10.09    2.047       1.68
LONGEST FLOWPATH FROM NODE 5.10 TO NODE 55.00 = 474.00 FEET.

```

```

** MEMORY BANK # 2 CONFLUENCE DATA **
STREAM   RUNOFF   Tc      INTENSITY   AREA
NUMBER   (CFS)    (MIN.)  (INCH/HOUR) (ACRE)
  1       7.42     8.51    2.229       4.67
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 55.00 = 727.00 FEET.

```

```

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

```

```

** PEAK FLOW RATE TABLE **
STREAM   RUNOFF   Tc      INTENSITY
NUMBER   (CFS)    (MIN.)  (INCH/HOUR)
  1       9.83     8.51    2.229
  2       9.67    10.09    2.047

```

```

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 9.83   Tc(MIN.) = 8.51
TOTAL AREA(ACRES) = 6.35

```

```

*****
FLOW PROCESS FROM NODE 55.00 TO NODE 55.00 IS CODE = 12

```

```

>>>>CLEAR MEMORY BANK # 2 <<<<

```

```

*****
FLOW PROCESS FROM NODE 55.00 TO NODE 57.00 IS CODE = 31

```

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 720.30 DOWNSTREAM(FEET) = 719.50
FLOW LENGTH(FEET) = 111.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 21.0 INCH PIPE IS 13.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.98
ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 9.83
PIPE TRAVEL TIME(MIN.) = 0.31 Tc(MIN.) = 8.82
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 57.00 = 838.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 81

```

```

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

```

```

=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.189
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8613

```

Page 14

10B.RES

SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.17 SUBAREA RUNOFF(CFS) = 0.32  
 TOTAL AREA(ACRES) = 6.52 TOTAL RUNOFF(CFS) = 10.15  
 TC(MIN.) = 8.82

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 8.82  
 RAINFALL INTENSITY(INCH/HR) = 2.19  
 TOTAL STREAM AREA(ACRES) = 6.52  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 10.15

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 9.00 TO NODE 56.00 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{** .2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 252.00  
 UPSTREAM ELEVATION(FEET) = 733.30  
 DOWNSTREAM ELEVATION(FEET) = 728.00  
 ELEVATION DIFFERENCE(FEET) = 5.30  
 $TC = 0.303 * [(252.00^{**3}) / (5.30)]^{** .2} = 5.992$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.656  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8834  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.63  
 TOTAL AREA(ACRES) = 0.27 TOTAL RUNOFF(CFS) = 0.63

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 56.00 TO NODE 56.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.656  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8669  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.55  
 TOTAL AREA(ACRES) = 0.51 TOTAL RUNOFF(CFS) = 1.19  
 TC(MIN.) = 5.99

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 56.00 TO NODE 56.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.656  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8669  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.58  
 TOTAL AREA(ACRES) = 0.76 TOTAL RUNOFF(CFS) = 1.76  
 TC(MIN.) = 5.99

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 56.00 TO NODE 57.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 721.10 DOWNSTREAM(FEET) = 719.50  
 FLOW LENGTH(FEET) = 47.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.69  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.76  
 PIPE TRAVEL TIME(MIN.) = 0.12 Tc(MIN.) = 6.11  
 LONGEST FLOWPATH FROM NODE 9.00 TO NODE 57.00 = 299.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 57.00 TO NODE 57.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.11  
 RAINFALL INTENSITY(INCH/HR) = 2.63  
 TOTAL STREAM AREA(ACRES) = 0.76  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.76

\*\* CONFLUENCE DATA \*\*  
 STREAM RUNOFF TC INTENSITY AREA

NUMBER	(CFS)	(MIN.)	(INCH/HOUR)	(ACRE)	10B.RES
1	10.15	8.82	2.189	6.52	
2	1.76	6.11	2.630	0.76	

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	8.79	6.11	2.630
2	11.62	8.82	2.189

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 11.62 Tc(MIN.) = 8.82  
 TOTAL AREA(ACRES) = 7.28  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 57.00 = 838.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 57.00 TO NODE 60.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 719.50 DOWNSTREAM(FEET) = 718.60  
 FLOW LENGTH(FEET) = 160.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 24.0 INCH PIPE IS 14.8 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.70  
 ESTIMATED PIPE DIAMETER(INCH) = 24.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 11.62  
 PIPE TRAVEL TIME(MIN.) = 0.47 Tc(MIN.) = 9.28  
 LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.00 = 998.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.133  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8605  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.50  
 TOTAL AREA(ACRES) = 7.55 TOTAL RUNOFF(CFS) = 12.11  
 TC(MIN.) = 9.28

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.133  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8803  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.06 SUBAREA RUNOFF(CFS) = 0.11  
 TOTAL AREA(ACRES) = 7.61 TOTAL RUNOFF(CFS) = 12.22  
 TC(MIN.) = 9.28

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 12  
 -----

>>>>CLEAR MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 58.20 TO NODE 58.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 370.00  
 UPSTREAM ELEVATION(FEET) = 729.50  
 DOWNSTREAM ELEVATION(FEET) = 725.30  
 ELEVATION DIFFERENCE(FEET) = 4.20  
 TC = 0.303\*[( 370.00\*\*3)/( 4.20)]\*\*.2 = 7.904  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.312  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8815  
 SOIL CLASSIFICATION IS "c"



```

                                10B.RES
SUBAREA RUNOFF(CFS) =      0.35
TOTAL AREA(ACRES) =      0.17  TOTAL RUNOFF(CFS) =      0.35
*****
FLOW PROCESS FROM NODE      58.00 TO NODE      58.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.312
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8630
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) =      0.18  SUBAREA RUNOFF(CFS) =      0.36
TOTAL AREA(ACRES) =      0.35  TOTAL RUNOFF(CFS) =      0.71
TC(MIN.) =      7.90
*****
FLOW PROCESS FROM NODE      58.00 TO NODE      58.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 7.90
RAINFALL INTENSITY(INCH/HR) = 2.31
TOTAL STREAM AREA(ACRES) =      0.35
PEAK FLOW RATE(CFS) AT CONFLUENCE =      0.71
*****
FLOW PROCESS FROM NODE      58.10 TO NODE      58.00 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 390.00
UPSTREAM ELEVATION(FEET) = 729.90
DOWNSTREAM ELEVATION(FEET) = 725.30
ELEVATION DIFFERENCE(FEET) = 4.60
TC = 0.303*[( 390.00**3)/( 4.60)]**.2 = 8.011
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.297
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8814
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) =      0.63
TOTAL AREA(ACRES) =      0.31  TOTAL RUNOFF(CFS) =      0.63
*****
FLOW PROCESS FROM NODE      58.00 TO NODE      58.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 8.01
RAINFALL INTENSITY(INCH/HR) = 2.30
TOTAL STREAM AREA(ACRES) =      0.31
PEAK FLOW RATE(CFS) AT CONFLUENCE =      0.63

** CONFLUENCE DATA **
STREAM  RUNOFF    TC    INTENSITY    AREA
NUMBER  (CFS)    (MIN.)  (INCH/HOUR)  (ACRE)
1        0.71    7.90    2.312        0.35
2        0.63    8.01    2.297        0.31

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM  RUNOFF    TC    INTENSITY
NUMBER  (CFS)    (MIN.)  (INCH/HOUR)
1        1.32    7.90    2.312
2        1.33    8.01    2.297

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) =      1.32  TC(MIN.) =      7.90
TOTAL AREA(ACRES) =      0.66
LONGEST FLOWPATH FROM NODE      58.10 TO NODE      58.00 = 390.00 FEET.
*****
FLOW PROCESS FROM NODE      58.00 TO NODE      60.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====

```

```

                                10B.RES
ELEVATION DATA: UPSTREAM(FEET) = 719.80  DOWNSTREAM(FEET) = 718.60
FLOW LENGTH(FEET) = 106.00  MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.18
ESTIMATED PIPE DIAMETER(INCH) = 18.00  NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.32
PIPE TRAVEL TIME(MIN.) = 0.42  Tc(MIN.) = 8.33
LONGEST FLOWPATH FROM NODE 58.10 TO NODE 60.00 = 496.00 FEET.
*****
FLOW PROCESS FROM NODE 60.00 TO NODE 60.00 IS CODE = 11
-----
>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<
=====
** MAIN STREAM CONFLUENCE DATA **
STREAM  RUNOFF  Tc  INTENSITY  AREA
NUMBER  (CFS)  (MIN.)  (INCH/HOUR)  (ACRE)
1       1.32   8.33    2.253       0.66
LONGEST FLOWPATH FROM NODE 58.10 TO NODE 60.00 = 496.00 FEET.

** MEMORY BANK # 1 CONFLUENCE DATA **
STREAM  RUNOFF  Tc  INTENSITY  AREA
NUMBER  (CFS)  (MIN.)  (INCH/HOUR)  (ACRE)
1       12.22  9.28    2.133       7.61
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.00 = 998.00 FEET.

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

** PEAK FLOW RATE TABLE **
STREAM  RUNOFF  Tc  INTENSITY
NUMBER  (CFS)  (MIN.)  (INCH/HOUR)
1       12.29  8.33    2.253
2       13.48  9.28    2.133

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 13.48  Tc(MIN.) = 9.28
TOTAL AREA(ACRES) = 8.27

*****
FLOW PROCESS FROM NODE 60.00 TO NODE 60.10 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 718.60  DOWNSTREAM(FEET) = 718.00
FLOW LENGTH(FEET) = 161.00  MANNING'S N = 0.013
DEPTH OF FLOW IN 27.0 INCH PIPE IS 17.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.06
ESTIMATED PIPE DIAMETER(INCH) = 27.00  NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 13.48
PIPE TRAVEL TIME(MIN.) = 0.53  Tc(MIN.) = 9.81
LONGEST FLOWPATH FROM NODE 51.40 TO NODE 60.10 = 1159.00 FEET.
*****
FLOW PROCESS FROM NODE 60.10 TO NODE 60.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.075
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8597
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.28  SUBAREA RUNOFF(CFS) = 0.50
TOTAL AREA(ACRES) = 8.55  TOTAL RUNOFF(CFS) = 13.98
TC(MIN.) = 9.81

*****
FLOW PROCESS FROM NODE 60.10 TO NODE 60.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.075
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8597
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.26  SUBAREA RUNOFF(CFS) = 0.46
TOTAL AREA(ACRES) = 8.81  TOTAL RUNOFF(CFS) = 14.44
TC(MIN.) = 9.81

=====
END OF STUDY SUMMARY:
TOTAL AREA(ACRES) = 8.81  TC(MIN.) = 9.81
PEAK FLOW RATE(CFS) = 14.44
=====
END OF RATIONAL METHOD ANALYSIS

```



10.RES

\*\*\*\*\*  
 RATIONAL METHOD HYDROLOGY COMPUTER PROGRAM BASED ON  
 RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT  
 (RCFC&WCD) 1978 HYDROLOGY MANUAL  
 (c) Copyright 1982-2006 Advanced Engineering Software (aes)  
 (Rational Tabling Version 6.0D)  
 Release Date: 06/01/2005 License ID 1269

Analysis prepared by:

MDS Consulting  
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 Irvine, CA 92614  
 Phone: (949) 251-8821

\*\*\*\*\* DESCRIPTION OF STUDY \*\*\*\*\*  
 \* Tentative Tract No. 36933 \*  
 \* Drainage Area Tributary to the Existing Detention/WQMP Basin \*  
 \* 10-year storm \*  
 \*\*\*\*\*

FILE NAME: 36340.10  
 TIME/DATE OF STUDY: 11:27 02/03/2016

-----  
 USER SPECIFIED HYDROLOGY AND HYDRAULIC MODEL INFORMATION:  
 -----

USER SPECIFIED STORM EVENT(YEAR) = 10.00  
 SPECIFIED MINIMUM PIPE SIZE(INCH) = 18.00  
 SPECIFIED PERCENT OF GRADIENTS(DECIMAL) TO USE FOR FRICTION SLOPE = 0.95  
 2-YEAR, 1-HOUR PRECIPITATION(INCH) = 0.496  
 100-YEAR, 1-HOUR PRECIPITATION(INCH) = 1.310  
 COMPUTED RAINFALL INTENSITY DATA:  
 STORM EVENT = 10.00 1-HOUR INTENSITY(INCH/HOUR) = 0.839  
 SLOPE OF INTENSITY DURATION CURVE = 0.5000  
 RCFC&WCD HYDROLOGY MANUAL "C"-VALUES USED FOR RATIONAL METHOD  
 NOTE: COMPUTE CONFLUENCE VALUES ACCORDING TO RCFC&WCD HYDROLOGY MANUAL  
 AND IGNORE OTHER CONFLUENCE COMBINATIONS FOR DOWNSTREAM ANALYSES  
 \*SIZE PIPE WITH A FLOW CAPACITY GREATER THAN  
 OR EQUAL TO THE UPSTREAM TRIBUTARY PIPE.\*

-----  
northeast corner @Eucalyptus Avenue

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 1.00 TO NODE 10.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 412.00  
 UPSTREAM ELEVATION(FEET) = 760.90  
 DOWNSTREAM ELEVATION(FEET) = 755.80  
 ELEVATION DIFFERENCE(FEET) = 5.10  
 $TC = 0.303 * [(412.00**3)/(5.10)]**.2 = 8.110$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.283  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8813  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.13  
 TOTAL AREA(ACRES) = 0.56 TOTAL RUNOFF(CFS) = 1.13

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.283  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8813  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.30  
 TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 1.43  
 TC(MIN.) = 8.11

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.283  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8626  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.09 SUBAREA RUNOFF(CFS) = 0.18

```

TOTAL AREA(ACRES) = 0.80 TOTAL RUNOFF(CFS) = 10.RES
TC(MIN.) = 8.11 TC(MIN.) = 1.61
*****
FLOW PROCESS FROM NODE 10.00 TO NODE 10.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.283
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8626
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.21 SUBAREA RUNOFF(CFS) = 0.41
TOTAL AREA(ACRES) = 1.01 TOTAL RUNOFF(CFS) = 2.02
TC(MIN.) = 8.11
*****
FLOW PROCESS FROM NODE 10.00 TO NODE 11.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 748.00 DOWNSTREAM(FEET) = 744.30
FLOW LENGTH(FEET) = 177.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.86
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.02
PIPE TRAVEL TIME(MIN.) = 0.50 TC(MIN.) = 8.61
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 11.00 = 589.00 FEET.
*****
FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.215
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8617
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.27
TOTAL AREA(ACRES) = 1.15 TOTAL RUNOFF(CFS) = 2.29
TC(MIN.) = 8.61
*****
FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 8.61
RAINFALL INTENSITY(INCH/HR) = 2.21
TOTAL STREAM AREA(ACRES) = 1.15
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.29
*****
FLOW PROCESS FROM NODE 11.20 TO NODE 11.10 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 250.00
UPSTREAM ELEVATION(FEET) = 758.10
DOWNSTREAM ELEVATION(FEET) = 754.40
ELEVATION DIFFERENCE(FEET) = 3.70
TC = 0.303*[(250.00**3)/(3.70)]**.2 = 6.408
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.568
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8830
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.54
TOTAL AREA(ACRES) = 0.24 TOTAL RUNOFF(CFS) = 0.54
*****
FLOW PROCESS FROM NODE 11.10 TO NODE 11.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.568
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8660
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.56
TOTAL AREA(ACRES) = 0.49 TOTAL RUNOFF(CFS) = 1.10
TC(MIN.) = 6.41
*****
FLOW PROCESS FROM NODE 11.10 TO NODE 11.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====

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10.RES

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.568  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8660  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.26 SUBAREA RUNOFF(CFS) = 0.58  
 TOTAL AREA(ACRES) = 0.75 TOTAL RUNOFF(CFS) = 1.68  
 TC(MIN.) = 6.41

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 11.10 TO NODE 11.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 749.00 DOWNSTREAM(FEET) = 744.30  
 FLOW LENGTH(FEET) = 50.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.8 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 9.45  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.68  
 PIPE TRAVEL TIME(MIN.) = 0.09 Tc(MIN.) = 6.50  
 LONGEST FLOWPATH FROM NODE 11.20 TO NODE 11.00 = 300.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 11.00 TO NODE 11.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.50  
 RAINFALL INTENSITY(INCH/HR) = 2.55  
 TOTAL STREAM AREA(ACRES) = 0.75  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.68

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.29	8.61	2.215	1.15
2	1.68	6.50	2.550	0.75

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	3.40	6.50	2.550
2	3.74	8.61	2.215

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 3.74 Tc(MIN.) = 8.61  
 TOTAL AREA(ACRES) = 1.90  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 11.00 = 589.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 11.00 TO NODE 12.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 744.30 DOWNSTREAM(FEET) = 742.80  
 FLOW LENGTH(FEET) = 117.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 7.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.85  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 3.74  
 PIPE TRAVEL TIME(MIN.) = 0.33 Tc(MIN.) = 8.95  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 12.00 = 706.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.173  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8611  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.36  
 TOTAL AREA(ACRES) = 2.09 TOTAL RUNOFF(CFS) = 4.10  
 TC(MIN.) = 8.95

\*\*\*\*\*

Page 3

```

10.RES
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 8.95
RAINFALL INTENSITY(INCH/HR) = 2.17
TOTAL STREAM AREA(ACRES) = 2.09
PEAK FLOW RATE(CFS) AT CONFLUENCE = 4.10
*****
FLOW PROCESS FROM NODE 12.10 TO NODE 12.20 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 252.00
UPSTREAM ELEVATION(FEET) = 756.30
DOWNSTREAM ELEVATION(FEET) = 753.10
ELEVATION DIFFERENCE(FEET) = 3.20
TC = 0.303*[(252.00**3)/(3.20)]**.2 = 6.628
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.525
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8827
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.49
TOTAL AREA(ACRES) = 0.22 TOTAL RUNOFF(CFS) = 0.49
*****
FLOW PROCESS FROM NODE 12.20 TO NODE 12.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.525
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8655
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.26 SUBAREA RUNOFF(CFS) = 0.57
TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 1.06
TC(MIN.) = 6.63
*****
FLOW PROCESS FROM NODE 12.20 TO NODE 12.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.525
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8655
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.55
TOTAL AREA(ACRES) = 0.73 TOTAL RUNOFF(CFS) = 1.60
TC(MIN.) = 6.63
*****
FLOW PROCESS FROM NODE 12.20 TO NODE 12.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 746.00 DOWNSTREAM(FEET) = 742.80
FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.3 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 12.15
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.60
PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.65
LONGEST FLOWPATH FROM NODE 12.10 TO NODE 12.00 = 268.00 FEET.
*****
FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.65
RAINFALL INTENSITY(INCH/HR) = 2.52
TOTAL STREAM AREA(ACRES) = 0.73
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.60
*****
FLOW PROCESS FROM NODE 20.10 TO NODE 12.30 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 218.00

```

10.RES

UPSTREAM ELEVATION(FEET) = 755.40  
 DOWNSTREAM ELEVATION(FEET) = 753.20  
 ELEVATION DIFFERENCE(FEET) = 2.20  
 $TC = 0.303 * [(218.00^{**3}) / (2.20)]^{**0.2} = 6.549$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.540  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8828  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.25  
 TOTAL AREA(ACRES) = 0.11 TOTAL RUNOFF(CFS) = 0.25

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 12.30 TO NODE 12.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 746.00 DOWNSTREAM(FEET) = 742.80  
 FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 0.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.68  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.25  
 PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 6.58  
 LONGEST FLOWPATH FROM NODE 20.10 TO NODE 12.00 = 230.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 12.00 TO NODE 12.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.58  
 RAINFALL INTENSITY(INCH/HR) = 2.54  
 TOTAL STREAM AREA(ACRES) = 0.11  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.25

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	4.10	8.95	2.173	2.09
2	1.60	6.65	2.521	0.73
3	0.25	6.58	2.535	0.11

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	4.85	6.58	2.535
2	4.90	6.65	2.521
3	5.69	8.95	2.173

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 5.69 Tc(MIN.) = 8.95  
 TOTAL AREA(ACRES) = 2.93  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 12.00 = 706.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 12.00 TO NODE 13.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 742.80 DOWNSTREAM(FEET) = 741.40  
 FLOW LENGTH(FEET) = 197.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 10.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.22  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 5.69  
 PIPE TRAVEL TIME(MIN.) = 0.63 Tc(MIN.) = 9.58  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 13.00 = 903.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.00 TO NODE 13.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.58  
 RAINFALL INTENSITY(INCH/HR) = 2.10



10.RES

TOTAL STREAM AREA(ACRES) = 2.93  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 5.69

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.10 TO NODE 13.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH^{**3}) / (ELEVATION CHANGE)]^{**2}$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 280.00  
 UPSTREAM ELEVATION(FEET) = 755.20  
 DOWNSTREAM ELEVATION(FEET) = 751.30  
 ELEVATION DIFFERENCE(FEET) = 3.90  
 $TC = 0.303 * [(280.00^{**3}) / (3.90)]^{**2} = 6.787$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.495  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8826  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.44  
 TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 0.44

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.20 TO NODE 13.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.495  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8652  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.54  
 TOTAL AREA(ACRES) = 0.45 TOTAL RUNOFF(CFS) = 0.98  
 TC(MIN.) = 6.79

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.20 TO NODE 13.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.495  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8652  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.52  
 TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 1.50  
 TC(MIN.) = 6.79

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.20 TO NODE 13.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 746.60 DOWNSTREAM(FEET) = 741.40  
 FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 10.23  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.50  
 PIPE TRAVEL TIME(MIN.) = 0.07 TC(MIN.) = 6.85  
 LONGEST FLOWPATH FROM NODE 13.10 TO NODE 13.00 = 320.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.00 TO NODE 13.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.85  
 RAINFALL INTENSITY(INCH/HR) = 2.48  
 TOTAL STREAM AREA(ACRES) = 0.69  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.50

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	5.69	9.58	2.101	2.93
2	1.50	6.85	2.483	0.69

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

10.RES

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	5.57	6.85	2.483
2	6.96	9.58	2.101

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 6.96 Tc(MIN.) = 9.58  
 TOTAL AREA(ACRES) = 3.62  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 13.00 = 903.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 13.00 TO NODE 14.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 741.40 DOWNSTREAM(FEET) = 740.90  
 FLOW LENGTH(FEET) = 60.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 11.6 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.80  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 6.96  
 PIPE TRAVEL TIME(MIN.) = 0.17 Tc(MIN.) = 9.75  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 14.00 = 963.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.75  
 RAINFALL INTENSITY(INCH/HR) = 2.08  
 TOTAL STREAM AREA(ACRES) = 3.62  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 6.96

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.10 TO NODE 14.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 185.00  
 UPSTREAM ELEVATION(FEET) = 753.30  
 DOWNSTREAM ELEVATION(FEET) = 750.80  
 ELEVATION DIFFERENCE(FEET) = 2.50  
 $TC = 0.303 * [(185.00**3)/(2.50)]** .2 = 5.785$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.703  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8837  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.60  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.60

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.20 TO NODE 14.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 1745.50 DOWNSTREAM(FEET) = 1740.90  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 10.25  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.60  
 PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 5.81  
 LONGEST FLOWPATH FROM NODE 14.10 TO NODE 14.00 = 201.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.81  
 RAINFALL INTENSITY(INCH/HR) = 2.70  
 TOTAL STREAM AREA(ACRES) = 0.25  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.60

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.30 TO NODE 14.40 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL

10.RES

TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 220.00  
 UPSTREAM ELEVATION(FEET) = 753.30  
 DOWNSTREAM ELEVATION(FEET) = 750.80  
 ELEVATION DIFFERENCE(FEET) = 2.50  
 TC = 0.303\*[( 220.00\*\*3)/( 2.50)]\*\*.2 = 6.419  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.566  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8830  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.27  
 TOTAL AREA(ACRES) = 0.12 TOTAL RUNOFF(CFS) = 0.27

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.40 TO NODE 14.40 IS CODE = 81  
 -----  
 >>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<  
 =====  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.566  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8659  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.64  
 TOTAL AREA(ACRES) = 0.41 TOTAL RUNOFF(CFS) = 0.92  
 TC(MIN.) = 6.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.40 TO NODE 14.00 IS CODE = 31  
 -----  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<  
 =====  
 ELEVATION DATA: UPSTREAM(FEET) = 745.50 DOWNSTREAM(FEET) = 740.90  
 FLOW LENGTH(FEET) = 13.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.53  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.92  
 PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.44  
 LONGEST FLOWPATH FROM NODE 14.30 TO NODE 14.00 = 233.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 14.00 IS CODE = 1  
 -----  
 >>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<  
 =====  
 TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.44  
 RAINFALL INTENSITY(INCH/HR) = 2.56  
 TOTAL STREAM AREA(ACRES) = 0.41  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.92

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	6.96	9.75	2.082	3.62
2	0.60	5.81	2.697	0.25
3	0.92	6.44	2.562	0.41

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	5.57	5.81	2.697
2	6.08	6.44	2.562
3	8.17	9.75	2.082

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 8.17 Tc(MIN.) = 9.75  
 TOTAL AREA(ACRES) = 4.28  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 14.00 = 963.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 14.00 TO NODE 17.00 IS CODE = 31  
 -----  
 >>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<  
 =====  
 ELEVATION DATA: UPSTREAM(FEET) = 740.90 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 136.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 13.2 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.89

ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 8.17  
 PIPE TRAVEL TIME(MIN.) = 0.38 Tc(MIN.) = 10.13  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 17.00 = 1099.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 10.13  
 RAINFALL INTENSITY(INCH/HR) = 2.04  
 TOTAL STREAM AREA(ACRES) = 4.28  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 8.17

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.10 TO NODE 17.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 240.00  
 UPSTREAM ELEVATION(FEET) = 751.30  
 DOWNSTREAM ELEVATION(FEET) = 749.40  
 ELEVATION DIFFERENCE(FEET) = 1.90  
 $TC = 0.303 * [(240.00**3)/(1.90)]**2 = 7.144$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.432  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8822  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.54  
 TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.54

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.432  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8644  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.22 SUBAREA RUNOFF(CFS) = 0.46  
 TOTAL AREA(ACRES) = 0.47 TOTAL RUNOFF(CFS) = 1.00  
 TC(MIN.) = 7.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.432  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8644  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.50  
 TOTAL AREA(ACRES) = 0.71 TOTAL RUNOFF(CFS) = 1.50  
 TC(MIN.) = 7.14

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.20 TO NODE 17.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 744.90 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 32.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.4 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 11.01  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.50  
 PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 7.19  
 LONGEST FLOWPATH FROM NODE 17.10 TO NODE 17.00 = 272.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.19  
 RAINFALL INTENSITY(INCH/HR) = 2.42  
 TOTAL STREAM AREA(ACRES) = 0.71  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.50

\*\* CONFLUENCE DATA \*\*  
 STREAM RUNOFF TC INTENSITY AREA

NUMBER	(CFS)	(MIN.)	(INCH/HOUR)	(ACRE)	10.RES
1	8.17	10.13	2.042	4.28	
2	1.50	7.19	2.424	0.71	

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*  

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	7.30	7.19	2.424
2	9.43	10.13	2.042

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 9.43 Tc(MIN.) = 10.13  
 TOTAL AREA(ACRES) = 4.99  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 17.00 = 1099.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 17.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.042  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8796  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.33 SUBAREA RUNOFF(CFS) = 0.59  
 TOTAL AREA(ACRES) = 5.32 TOTAL RUNOFF(CFS) = 10.03  
 TC(MIN.) = 10.13

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 17.00 TO NODE 18.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 739.80 DOWNSTREAM(FEET) = 732.60  
 FLOW LENGTH(FEET) = 194.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 9.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 11.21  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 10.03  
 PIPE TRAVEL TIME(MIN.) = 0.29 Tc(MIN.) = 10.42  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 18.00 = 1293.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 18.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 10.42  
 RAINFALL INTENSITY(INCH/HR) = 2.01  
 TOTAL STREAM AREA(ACRES) = 5.32  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 10.03

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.10 TO NODE 18.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3) / (ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 275.00  
 UPSTREAM ELEVATION(FEET) = 750.90  
 DOWNSTREAM ELEVATION(FEET) = 745.00  
 ELEVATION DIFFERENCE(FEET) = 5.90  
 $TC = 0.303 * [(275.00**3) / (5.90)]** .2 = 6.180$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.615  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8832  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.69  
 TOTAL AREA(ACRES) = 0.30 TOTAL RUNOFF(CFS) = 0.69

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.20 TO NODE 18.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 733.10 DOWNSTREAM(FEET) = 732.60  
 FLOW LENGTH(FEET) = 14.00 MANNING'S N = 0.013

10.RES

ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.16  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.69  
 PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 6.23  
 LONGEST FLOWPATH FROM NODE 18.10 TO NODE 18.00 = 289.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 18.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.23  
 RAINFALL INTENSITY(INCH/HR) = 2.61  
 TOTAL STREAM AREA(ACRES) = 0.30  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.69

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	10.03	10.42	2.014	5.32
2	0.69	6.23	2.605	0.30

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	6.68	6.23	2.605
2	10.56	10.42	2.014

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 10.56 Tc(MIN.) = 10.42  
 TOTAL AREA(ACRES) = 5.62  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 18.00 = 1293.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 18.00 TO NODE 28.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 732.60 DOWNSTREAM(FEET) = 732.30  
 FLOW LENGTH(FEET) = 30.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 12.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.91  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 10.56  
 PIPE TRAVEL TIME(MIN.) = 0.07 Tc(MIN.) = 10.49  
 LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 10  
 -----

>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<

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\*\*\*\*\*  
 FLOW PROCESS FROM NODE 2.00 TO NODE 19.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3) / (ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 334.00  
 UPSTREAM ELEVATION(FEET) = 757.60  
 DOWNSTREAM ELEVATION(FEET) = 749.10  
 ELEVATION DIFFERENCE(FEET) = 8.50  
 $TC = 0.303 * [(334.00**3) / (8.50)]** .2 = 6.456$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.558  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8829  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.52

```

TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 10.RES
0.52
*****
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.558
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8658
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.64
TOTAL AREA(ACRES) = 0.52 TOTAL RUNOFF(CFS) = 1.16
TC(MIN.) = 6.46
*****
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 6.46
RAINFALL INTENSITY(INCH/HR) = 2.56
TOTAL STREAM AREA(ACRES) = 0.52
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.16
*****
FLOW PROCESS FROM NODE 19.10 TO NODE 19.20 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 340.00
UPSTREAM ELEVATION(FEET) = 754.10
DOWNSTREAM ELEVATION(FEET) = 742.00
ELEVATION DIFFERENCE(FEET) = 12.10
TC = 0.303*[( 340.00**3)/( 12.10)]**.2 = 6.080
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.636
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8833
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.58
TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.58
*****
FLOW PROCESS FROM NODE 19.20 TO NODE 19.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.636
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8667
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.57
TOTAL AREA(ACRES) = 0.50 TOTAL RUNOFF(CFS) = 1.15
TC(MIN.) = 6.08
*****
FLOW PROCESS FROM NODE 19.20 TO NODE 19.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 742.00 DOWNSTREAM(FEET) = 736.70
FLOW LENGTH(FEET) = 22.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.9 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.73
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.15
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 6.11
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 19.00 = 362.00 FEET.
*****
FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 6.11
RAINFALL INTENSITY(INCH/HR) = 2.63
TOTAL STREAM AREA(ACRES) = 0.50
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.15

** CONFLUENCE DATA **
STREAM RUNOFF Tc INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 1.16 6.46 2.558 0.52
2 1.15 6.11 2.629 0.50

```

10.RES

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.25	6.11	2.629
2	2.28	6.46	2.558

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 2.28 Tc(MIN.) = 6.46  
 TOTAL AREA(ACRES) = 1.02  
 LONGEST FLOWPATH FROM NODE 19.10 TO NODE 19.00 = 362.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 19.00 TO NODE 19.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.558  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8658  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.64  
 TOTAL AREA(ACRES) = 1.31 TOTAL RUNOFF(CFS) = 2.93  
 TC(MIN.) = 6.46

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 19.00 TO NODE 20.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 7436.70 DOWNSTREAM(FEET) = 735.40  
 FLOW LENGTH(FEET) = 264.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.00  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 78.88  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.93  
 PIPE TRAVEL TIME(MIN.) = 0.06 Tc(MIN.) = 6.51  
 LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.00 = 626.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.51  
 RAINFALL INTENSITY(INCH/HR) = 2.55  
 TOTAL STREAM AREA(ACRES) = 1.31  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.93

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.10 TO NODE 20.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 408.00  
 UPSTREAM ELEVATION(FEET) = 755.40  
 DOWNSTREAM ELEVATION(FEET) = 746.90  
 ELEVATION DIFFERENCE(FEET) = 8.50  
 $TC = 0.303 * [(408.00**3)/(8.50)]**.2 = 7.279$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.409  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8821  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.49  
 TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.49

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.20 TO NODE 20.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 740.00 DOWNSTREAM(FEET) = 735.40  
 FLOW LENGTH(FEET) = 8.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.00  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.19

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ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.49  
 PIPE TRAVEL TIME(MIN.) = 0.01 Tc(MIN.) = 7.29  
 LONGEST FLOWPATH FROM NODE 20.10 TO NODE 20.00 = 416.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.407  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8641  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.36 SUBAREA RUNOFF(CFS) = 0.75  
 TOTAL AREA(ACRES) = 0.59 TOTAL RUNOFF(CFS) = 1.24  
 TC(MIN.) = 7.29

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.29  
 RAINFALL INTENSITY(INCH/HR) = 2.41  
 TOTAL STREAM AREA(ACRES) = 0.59  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.24

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.30 TO NODE 20.40 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3) / (ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 400.00  
 UPSTREAM ELEVATION(FEET) = 752.10  
 DOWNSTREAM ELEVATION(FEET) = 746.90  
 ELEVATION DIFFERENCE(FEET) = 5.20  
 $TC = 0.303 * [(400.00**3) / (5.20)]**.2 = 7.936$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.307  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8815  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.39  
 TOTAL AREA(ACRES) = 0.19 TOTAL RUNOFF(CFS) = 0.39

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.40 TO NODE 20.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 740.00 DOWNSTREAM(FEET) = 735.40  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 8.91  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.39  
 PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 7.97  
 LONGEST FLOWPATH FROM NODE 20.30 TO NODE 20.00 = 416.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.303  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8628  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.29 SUBAREA RUNOFF(CFS) = 0.58  
 TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 0.96  
 TC(MIN.) = 7.97

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.00 TO NODE 20.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.97  
 RAINFALL INTENSITY(INCH/HR) = 2.30  
 TOTAL STREAM AREA(ACRES) = 0.48  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.96

\*\* CONFLUENCE DATA \*\*  
 STREAM RUNOFF TC INTENSITY AREA

```

10. RES
NUMBER      (CFS)      (MIN.)      (INCH/HOUR)      (ACRE)
1           2.93       6.51       2.547           1.31
2           1.24       7.29       2.407           0.59
3           0.96       7.97       2.303           0.48

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 3 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM      RUNOFF      Tc          INTENSITY
NUMBER      (CFS)      (MIN.)      (INCH/HOUR)
1           4.82       6.51       2.547
2           4.88       7.29       2.407
3           4.79       7.97       2.303

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 4.82   Tc(MIN.) = 6.51
TOTAL AREA(ACRES) = 2.38
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.00 = 626.00 FEET.

*****
FLOW PROCESS FROM NODE 20.00 TO NODE 20.60 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 735.40  DOWNSTREAM(FEET) = 733.90
FLOW LENGTH(FEET) = 147.00  MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.75
ESTIMATED PIPE DIAMETER(INCH) = 18.00  NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 4.82
PIPE TRAVEL TIME(MIN.) = 0.43  Tc(MIN.) = 6.94
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 20.60 = 773.00 FEET.

*****
FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.468
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8648
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.21  SUBAREA RUNOFF(CFS) = 0.45
TOTAL AREA(ACRES) = 2.59  TOTAL RUNOFF(CFS) = 5.27
TC(MIN.) = 6.94

*****
FLOW PROCESS FROM NODE 20.50 TO NODE 20.50 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.468
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8648
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.20  SUBAREA RUNOFF(CFS) = 0.43
TOTAL AREA(ACRES) = 2.79  TOTAL RUNOFF(CFS) = 5.69
TC(MIN.) = 6.94

*****
FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.468
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7594
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.35  SUBAREA RUNOFF(CFS) = 0.66
TOTAL AREA(ACRES) = 3.14  TOTAL RUNOFF(CFS) = 6.35
TC(MIN.) = 6.94

*****
FLOW PROCESS FROM NODE 20.60 TO NODE 20.60 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.468
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7594
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25  SUBAREA RUNOFF(CFS) = 0.47
TOTAL AREA(ACRES) = 3.39  TOTAL RUNOFF(CFS) = 6.82
TC(MIN.) = 6.94

*****

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10.RES
FLOW PROCESS FROM NODE 20.60 TO NODE 28.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 733.90 DOWNSTREAM(FEET) = 732.30
FLOW LENGTH(FEET) = 130.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 10.1 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.72
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 6.82
PIPE TRAVEL TIME(MIN.) = 0.32 Tc(MIN.) = 7.26
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 28.00 = 903.00 FEET.
*****
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.412
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8642
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.29
TOTAL AREA(ACRES) = 3.53 TOTAL RUNOFF(CFS) = 7.11
TC(MIN.) = 7.26
*****
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.412
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8642
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.31
TOTAL AREA(ACRES) = 3.68 TOTAL RUNOFF(CFS) = 7.42
TC(MIN.) = 7.26
*****
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 11
-----
>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<
=====
** MAIN STREAM CONFLUENCE DATA **
STREAM RUNOFF Tc INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 7.42 7.26 2.412 3.68
LONGEST FLOWPATH FROM NODE 19.10 TO NODE 28.00 = 903.00 FEET.

** MEMORY BANK # 1 CONFLUENCE DATA **
STREAM RUNOFF Tc INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 10.56 10.49 2.007 5.62
LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

** PEAK FLOW RATE TABLE **
STREAM RUNOFF Tc INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 14.73 7.26 2.412
2 16.74 10.49 2.007

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 16.74 Tc(MIN.) = 10.49
TOTAL AREA(ACRES) = 9.30
*****
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 12
-----
>>>>CLEAR MEMORY BANK # 1 <<<<<
=====
*****
FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 10
-----
>>>>MAIN-STREAM MEMORY COPIED ONTO MEMORY BANK # 1 <<<<<
=====

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+-----+
| Southeast area |
+-----+

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10.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 3.00 TO NODE 21.00 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS: UNDEVELOPED WITH FAIR COVER  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 405.00  
 UPSTREAM ELEVATION(FEET) = 810.80  
 DOWNSTREAM ELEVATION(FEET) = 773.00  
 ELEVATION DIFFERENCE(FEET) = 37.80  
 $TC = 0.709 * [(405.00**3)/(37.80)]**.2 = 12.585$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 1.832  
 UNDEVELOPED WATERSHED RUNOFF COEFFICIENT = .6783  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 1.06  
 TOTAL AREA(ACRES) = 0.85 TOTAL RUNOFF(CFS) = 1.06

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 21.00 TO NODE 22.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 765.90 DOWNSTREAM(FEET) = 760.20  
 FLOW LENGTH(FEET) = 98.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.96  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.06  
 PIPE TRAVEL TIME(MIN.) = 0.23 Tc(MIN.) = 12.82  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 22.00 = 503.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 12.82  
 RAINFALL INTENSITY(INCH/HR) = 1.82  
 TOTAL STREAM AREA(ACRES) = 0.85  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.06

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.10 TO NODE 22.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 113.00  
 UPSTREAM ELEVATION(FEET) = 769.90  
 DOWNSTREAM ELEVATION(FEET) = 768.60  
 ELEVATION DIFFERENCE(FEET) = 1.30  
 $TC = 0.303 * [(113.00**3)/(1.30)]**.2 = 4.905$   
 COMPUTED TIME OF CONCENTRATION INCREASED TO 5 MIN.  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8846  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.23  
 TOTAL AREA(ACRES) = 0.09 TOTAL RUNOFF(CFS) = 0.23

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.20 TO NODE 22.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8692  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.34 SUBAREA RUNOFF(CFS) = 0.86  
 TOTAL AREA(ACRES) = 0.43 TOTAL RUNOFF(CFS) = 1.09  
 TC(MIN.) = 5.00

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.20 TO NODE 22.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.907  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8692  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.10 SUBAREA RUNOFF(CFS) = 0.25  
 TOTAL AREA(ACRES) = 0.53 TOTAL RUNOFF(CFS) = 1.34  
 TC(MIN.) = 5.00

10.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.20 TO NODE 22.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 762.00 DOWNSTREAM(FEET) = 760.20  
 FLOW LENGTH(FEET) = 19.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 8.85  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.34  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.04  
 LONGEST FLOWPATH FROM NODE 22.10 TO NODE 22.00 = 132.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.897  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8692  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.16 SUBAREA RUNOFF(CFS) = 0.40  
 TOTAL AREA(ACRES) = 0.69 TOTAL RUNOFF(CFS) = 1.75  
 TC(MIN.) = 5.04

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.00 TO NODE 22.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.04  
 RAINFALL INTENSITY(INCH/HR) = 2.90  
 TOTAL STREAM AREA(ACRES) = 0.69  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.75

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.06	12.82	1.815	0.85
2	1.75	5.04	2.897	0.69

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	2.16	5.04	2.897
2	2.15	12.82	1.815

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 2.16 Tc(MIN.) = 5.04  
 TOTAL AREA(ACRES) = 1.54  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 22.00 = 503.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.00 TO NODE 23.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 760.20 DOWNSTREAM(FEET) = 755.80  
 FLOW LENGTH(FEET) = 105.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 3.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.66  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.16  
 PIPE TRAVEL TIME(MIN.) = 0.23 Tc(MIN.) = 5.26  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 23.00 = 608.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 23.00 TO NODE 23.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.833  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8843  
 SOIL CLASSIFICATION IS "C"

SUBAREA AREA(ACRES) = 0.07 SUBAREA RUNOFF(CFS) = 0.18  
 TOTAL AREA(ACRES) = 1.61 TOTAL RUNOFF(CFS) = 2.34  
 TC(MIN.) = 5.26

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 23.30 TO NODE 24.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 755.80 DOWNSTREAM(FEET) = 751.80  
 FLOW LENGTH(FEET) = 100.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.69  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 2.34  
 PIPE TRAVEL TIME(MIN.) = 0.22 Tc(MIN.) = 5.48  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.00 = 708.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.777  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8681  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.12 SUBAREA RUNOFF(CFS) = 0.29  
 TOTAL AREA(ACRES) = 1.73 TOTAL RUNOFF(CFS) = 2.63  
 TC(MIN.) = 5.48

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.48  
 RAINFALL INTENSITY(INCH/HR) = 2.78  
 TOTAL STREAM AREA(ACRES) = 1.73  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.63

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.10 TO NODE 24.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 300.00  
 UPSTREAM ELEVATION(FEET) = 769.90  
 DOWNSTREAM ELEVATION(FEET) = 761.70  
 ELEVATION DIFFERENCE(FEET) = 8.20  
 $TC = 0.303 * [(300.00**3)/(8.20)]**.2 = 6.097$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.633  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8833  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.53  
 TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.53

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.20 TO NODE 24.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.633  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8666  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.34  
 TOTAL AREA(ACRES) = 0.38 TOTAL RUNOFF(CFS) = 0.88  
 TC(MIN.) = 6.10

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.20 TO NODE 24.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 756.00 DOWNSTREAM(FEET) = 751.80  
 FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 12.32  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.88  
 PIPE TRAVEL TIME(MIN.) = 0.02 Tc(MIN.) = 6.11  
 LONGEST FLOWPATH FROM NODE 24.10 TO NODE 24.00 = 312.00 FEET.

10.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1  
 \*\*\*\*\*

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.11  
 RAINFALL INTENSITY(INCH/HR) = 2.63  
 TOTAL STREAM AREA(ACRES) = 0.38  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.88

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 22.10 TO NODE 24.30 IS CODE = 21  
 \*\*\*\*\*

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 325.00  
 UPSTREAM ELEVATION(FEET) = 769.90  
 DOWNSTREAM ELEVATION(FEET) = 760.40  
 ELEVATION DIFFERENCE(FEET) = 9.50  
 $TC = 0.303 * [(325.00**3)/(9.50)]**2 = 6.211$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.608  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8832  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.48  
 TOTAL AREA(ACRES) = 0.21 TOTAL RUNOFF(CFS) = 0.48

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.30 TO NODE 24.30 IS CODE = 81  
 \*\*\*\*\*

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.608  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8664  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.34  
 TOTAL AREA(ACRES) = 0.36 TOTAL RUNOFF(CFS) = 0.82  
 TC(MIN.) = 6.21

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.30 TO NODE 24.30 IS CODE = 81  
 \*\*\*\*\*

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.608  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8664  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.22 SUBAREA RUNOFF(CFS) = 0.50  
 TOTAL AREA(ACRES) = 0.58 TOTAL RUNOFF(CFS) = 1.32  
 TC(MIN.) = 6.21

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.30 TO NODE 24.00 IS CODE = 31  
 \*\*\*\*\*

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 1754.00 DOWNSTREAM(FEET) = 1751.80  
 FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.30  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.32  
 PIPE TRAVEL TIME(MIN.) = 0.09 TC(MIN.) = 6.30  
 LONGEST FLOWPATH FROM NODE 22.10 TO NODE 24.00 = 365.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.00 IS CODE = 1  
 \*\*\*\*\*

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.30  
 RAINFALL INTENSITY(INCH/HR) = 2.59  
 TOTAL STREAM AREA(ACRES) = 0.58  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.32

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	TC (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	2.63	5.48	2.777	1.73
2	0.88	6.11	2.629	0.38
3	1.32	6.30	2.589	0.58

10.RES

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	4.56	5.48	2.777
2	4.64	6.11	2.629
3	4.63	6.30	2.589

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 4.56 Tc(MIN.) = 5.48  
 TOTAL AREA(ACRES) = 2.69  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.00 = 708.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.00 TO NODE 24.40 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 751.80 DOWNSTREAM(FEET) = 746.60  
 FLOW LENGTH(FEET) = 140.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.9 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 9.08  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 4.56  
 PIPE TRAVEL TIME(MIN.) = 0.26 Tc(MIN.) = 5.74  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 24.40 = 848.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.40 TO NODE 24.40 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.714  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8675  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.37 SUBAREA RUNOFF(CFS) = 0.87  
 TOTAL AREA(ACRES) = 3.06 TOTAL RUNOFF(CFS) = 5.43  
 TC(MIN.) = 5.74

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.40 TO NODE 25.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 746.60 DOWNSTREAM(FEET) = 743.20  
 FLOW LENGTH(FEET) = 82.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 9.92  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 5.43  
 PIPE TRAVEL TIME(MIN.) = 0.14 Tc(MIN.) = 5.88  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.00 = 930.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.88  
 RAINFALL INTENSITY(INCH/HR) = 2.68  
 TOTAL STREAM AREA(ACRES) = 3.06  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 5.43

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 24.2 NODE 25.20 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3) / (ELEVATION CHANGE)]**0.2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 235.00  
 UPSTREAM ELEVATION(FEET) = 761.70  
 DOWNSTREAM ELEVATION(FEET) = 752.70  
 ELEVATION DIFFERENCE(FEET) = 9.00  
 $TC = 0.303 * [(235.00**3) / (9.00)]**0.2 = 5.169$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.859



```

10.RES
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8844
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.51
TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 0.51
*****
FLOW PROCESS FROM NODE 25.20 TO NODE 25.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.859
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8688
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.21 SUBAREA RUNOFF(CFS) = 0.52
TOTAL AREA(ACRES) = 0.41 TOTAL RUNOFF(CFS) = 1.03
TC(MIN.) = 5.17
*****
FLOW PROCESS FROM NODE 25.20 TO NODE 25.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.859
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8688
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.25 SUBAREA RUNOFF(CFS) = 0.62
TOTAL AREA(ACRES) = 0.66 TOTAL RUNOFF(CFS) = 1.65
TC(MIN.) = 5.17
*****
FLOW PROCESS FROM NODE 25.20 TO NODE 25.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 747.80 DOWNSTREAM(FEET) = 743.20
FLOW LENGTH(FEET) = 32.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 10.91
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.65
PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 5.22
LONGEST FLOWPATH FROM NODE 24.20 TO NODE 25.00 = 267.00 FEET.
*****
FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 5.22
RAINFALL INTENSITY(INCH/HR) = 2.85
TOTAL STREAM AREA(ACRES) = 0.66
PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.65
*****
FLOW PROCESS FROM NODE 25.10 TO NODE 25.30 IS CODE = 21
-----
>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 281.00
UPSTREAM ELEVATION(FEET) = 762.00
DOWNSTREAM ELEVATION(FEET) = 753.00
ELEVATION DIFFERENCE(FEET) = 9.00
TC = 0.303*[(281.00**3)/(9.00)]**.2 = 5.754
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.710
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8837
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.41
TOTAL AREA(ACRES) = 0.17 TOTAL RUNOFF(CFS) = 0.41
*****
FLOW PROCESS FROM NODE 25.30 TO NODE 25.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 744.90 DOWNSTREAM(FEET) = 743.20
FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.4 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 6.45
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.41
PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 5.80
LONGEST FLOWPATH FROM NODE 25.10 TO NODE 25.00 = 297.00 FEET.

```

10.RES

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.00 TO NODE 25.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

=====

TOTAL NUMBER OF STREAMS = 3  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:  
 TIME OF CONCENTRATION(MIN.) = 5.80  
 RAINFALL INTENSITY(INCH/HR) = 2.70  
 TOTAL STREAM AREA(ACRES) = 0.17  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.41

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	5.43	5.88	2.682	3.06
2	1.65	5.22	2.846	0.66
3	0.41	5.80	2.700	0.17

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	6.84	5.22	2.846
2	7.33	5.80	2.700
3	7.39	5.88	2.682

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:  
 PEAK FLOW RATE(CFS) = 7.39 Tc(MIN.) = 5.88  
 TOTAL AREA(ACRES) = 3.89  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.00 = 930.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.00 TO NODE 25.40 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 743.20 DOWNSTREAM(FEET) = 741.20  
 FLOW LENGTH(FEET) = 260.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 12.4 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 5.67  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 7.39  
 PIPE TRAVEL TIME(MIN.) = 0.76 Tc(MIN.) = 6.64  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 25.40 = 1190.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.523  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8655  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.27 SUBAREA RUNOFF(CFS) = 0.59  
 TOTAL AREA(ACRES) = 4.16 TOTAL RUNOFF(CFS) = 7.98  
 TC(MIN.) = 6.64

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.523  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8655  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.38 SUBAREA RUNOFF(CFS) = 0.83  
 TOTAL AREA(ACRES) = 4.54 TOTAL RUNOFF(CFS) = 8.81  
 TC(MIN.) = 6.64

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.523  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7618  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.46  
 TOTAL AREA(ACRES) = 4.78 TOTAL RUNOFF(CFS) = 9.27

10.RES

TC(MIN.) = 6.64

\*\*\*\*\*

FLOW PROCESS FROM NODE 25.40 TO NODE 25.40 IS CODE = 81

-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.523  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7618  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.02 SUBAREA RUNOFF(CFS) = 0.04  
 TOTAL AREA(ACRES) = 4.80 TOTAL RUNOFF(CFS) = 9.31  
 TC(MIN.) = 6.64

\*\*\*\*\*

FLOW PROCESS FROM NODE 25.40 TO NODE 26.00 IS CODE = 31

-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 741.20 DOWNSTREAM(FEET) = 739.80  
 FLOW LENGTH(FEET) = 135.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 13.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.67  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 9.31  
 PIPE TRAVEL TIME(MIN.) = 0.34 Tc(MIN.) = 6.98  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.00 = 1325.00 FEET.

\*\*\*\*\*

FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 1

-----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 6.98  
 RAINFALL INTENSITY(INCH/HR) = 2.46  
 TOTAL STREAM AREA(ACRES) = 4.80  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 9.31

\*\*\*\*\*

FLOW PROCESS FROM NODE 25.30 TO NODE 26.10 IS CODE = 21

-----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3) / (ELEVATION CHANGE)]** .2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 334.00  
 UPSTREAM ELEVATION(FEET) = 753.00  
 DOWNSTREAM ELEVATION(FEET) = 748.80  
 ELEVATION DIFFERENCE(FEET) = 4.20  
 $TC = 0.303 * [(334.00**3) / (4.20)]** .2 = 7.433$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.384  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8819  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.42  
 TOTAL AREA(ACRES) = 0.20 TOTAL RUNOFF(CFS) = 0.42

\*\*\*\*\*

FLOW PROCESS FROM NODE 26.10 TO NODE 26.10 IS CODE = 81

-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.384  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8639  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.47 SUBAREA RUNOFF(CFS) = 0.97  
 TOTAL AREA(ACRES) = 0.67 TOTAL RUNOFF(CFS) = 1.39  
 TC(MIN.) = 7.43

\*\*\*\*\*

FLOW PROCESS FROM NODE 26.10 TO NODE 26.10 IS CODE = 81

-----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.384  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8639  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.20 SUBAREA RUNOFF(CFS) = 0.41  
 TOTAL AREA(ACRES) = 0.87 TOTAL RUNOFF(CFS) = 1.80  
 TC(MIN.) = 7.43

\*\*\*\*\*

FLOW PROCESS FROM NODE 26.10 TO NODE 26.00 IS CODE = 31

-----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 740.40 DOWNSTREAM(FEET) = 739.80

```

10.RES
FLOW LENGTH(FEET) = 41.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 5.00
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.80
PIPE TRAVEL TIME(MIN.) = 0.14 Tc(MIN.) = 7.57
LONGEST FLOWPATH FROM NODE 25.30 TO NODE 26.00 = 375.00 FEET.
*****
FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.363
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8636
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.31
TOTAL AREA(ACRES) = 1.02 TOTAL RUNOFF(CFS) = 2.11
TC(MIN.) = 7.57
*****
FLOW PROCESS FROM NODE 26.00 TO NODE 26.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 7.57
RAINFALL INTENSITY(INCH/HR) = 2.36
TOTAL STREAM AREA(ACRES) = 1.02
PEAK FLOW RATE(CFS) AT CONFLUENCE = 2.11

** CONFLUENCE DATA **
STREAM RUNOFF Tc INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 9.31 6.98 2.461 4.80
2 2.11 7.57 2.363 1.02
*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****
RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM RUNOFF Tc INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 11.25 6.98 2.461
2 11.04 7.57 2.363

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 11.25 Tc(MIN.) = 6.98
TOTAL AREA(ACRES) = 5.82
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.00 = 1325.00 FEET.
*****
FLOW PROCESS FROM NODE 26.00 TO NODE 26.20 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 739.80 DOWNSTREAM(FEET) = 735.50
FLOW LENGTH(FEET) = 125.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 10.0 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.20
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 11.25
PIPE TRAVEL TIME(MIN.) = 0.19 Tc(MIN.) = 7.16
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 26.20 = 1450.00 FEET.
*****
FLOW PROCESS FROM NODE 26.20 TO NODE 26.20 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.429
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7576
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.12 SUBAREA RUNOFF(CFS) = 0.22
TOTAL AREA(ACRES) = 5.94 TOTAL RUNOFF(CFS) = 11.47
TC(MIN.) = 7.16
*****
FLOW PROCESS FROM NODE 26.20 TO NODE 26.20 IS CODE = 81
-----

```

10.RES

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.429  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7576  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA AREA(ACRES) = 0.10 SUBAREA RUNOFF(CFS) = 0.18  
 TOTAL AREA(ACRES) = 6.04 TOTAL RUNOFF(CFS) = 11.65  
 TC(MIN.) = 7.16

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 26.20 TO NODE 27.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 735.50 DOWNSTREAM(FEET) = 732.70  
 FLOW LENGTH(FEET) = 45.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 8.5 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 14.12  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 11.65  
 PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 7.22  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 27.00 = 1495.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.00 TO NODE 27.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 7.22  
 RAINFALL INTENSITY(INCH/HR) = 2.42  
 TOTAL STREAM AREA(ACRES) = 6.04  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 11.65

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 20.30 TO NODE 27.10 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS COMMERCIAL  
 $TC = K * [(LENGTH**3)/(ELEVATION CHANGE)]**2$   
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 488.00  
 UPSTREAM ELEVATION(FEET) = 752.10  
 DOWNSTREAM ELEVATION(FEET) = 744.10  
 ELEVATION DIFFERENCE(FEET) = 8.00  
 $TC = 0.303 * [(488.00**3)/(8.00)]**2 = 8.204$   
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.269  
 COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8812  
 SOIL CLASSIFICATION IS "c"  
 SUBAREA RUNOFF(CFS) = 0.70  
 TOTAL AREA(ACRES) = 0.35 TOTAL RUNOFF(CFS) = 0.70

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.10 TO NODE 27.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 733.60 DOWNSTREAM(FEET) = 732.70  
 FLOW LENGTH(FEET) = 16.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.1 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 6.09  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 0.70  
 PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 8.25  
 LONGEST FLOWPATH FROM NODE 20.30 TO NODE 27.00 = 504.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.00 TO NODE 27.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<  
 >>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
 TIME OF CONCENTRATION(MIN.) = 8.25  
 RAINFALL INTENSITY(INCH/HR) = 2.26  
 TOTAL STREAM AREA(ACRES) = 0.35  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.70

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	11.65	7.22	2.420	6.04
2	0.70	8.25	2.263	0.35

10. RES

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
 CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	12.27	7.22	2.420
2	11.60	8.25	2.263

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 12.27 Tc(MIN.) = 7.22  
 TOTAL AREA(ACRES) = 6.39  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 27.00 = 1495.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 27.00 TO NODE 28.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 732.70 DOWNSTREAM(FEET) = 732.30  
 FLOW LENGTH(FEET) = 39.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 21.0 INCH PIPE IS 14.0 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 7.20  
 ESTIMATED PIPE DIAMETER(INCH) = 21.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 12.27  
 PIPE TRAVEL TIME(MIN.) = 0.09 Tc(MIN.) = 7.31  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 28.00 = 1534.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 11  
 -----

>>>>CONFLUENCE MEMORY BANK # 1 WITH THE MAIN-STREAM MEMORY<<<<<<

\*\* MAIN STREAM CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	12.27	7.31	2.405	6.39

LONGEST FLOWPATH FROM NODE 3.00 TO NODE 28.00 = 1534.00 FEET.

\*\* MEMORY BANK # 1 CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	16.74	10.49	2.007	9.30

LONGEST FLOWPATH FROM NODE 1.00 TO NODE 28.00 = 1323.00 FEET.

\*\*\*\*\*WARNING\*\*\*\*\*  
 IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED  
 ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA  
 WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.  
 \*\*\*\*\*

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	23.92	7.31	2.405
2	26.97	10.49	2.007

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

PEAK FLOW RATE(CFS) = 26.97 Tc(MIN.) = 10.49  
 TOTAL AREA(ACRES) = 15.69

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 28.00 TO NODE 28.00 IS CODE = 12  
 -----

>>>>CLEAR MEMORY BANK # 1 <<<<<<

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 28.00 TO NODE 29.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 732.30 DOWNSTREAM(FEET) = 730.90  
 FLOW LENGTH(FEET) = 153.00 MANNING'S N = 0.013  
 DEPTH OF FLOW IN 27.0 INCH PIPE IS 20.7 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 8.25  
 ESTIMATED PIPE DIAMETER(INCH) = 27.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 26.97  
 PIPE TRAVEL TIME(MIN.) = 0.31 Tc(MIN.) = 10.80  
 LONGEST FLOWPATH FROM NODE 3.00 TO NODE 29.00 = 1687.00 FEET.

\*\*\*\*\*  
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10.RES  
FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
TIME OF CONCENTRATION(MIN.) = 10.80  
RAINFALL INTENSITY(INCH/HR) = 1.98  
TOTAL STREAM AREA(ACRES) = 15.69  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 26.97

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.10 TO NODE 29.20 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 467.00  
UPSTREAM ELEVATION(FEET) = 750.50  
DOWNSTREAM ELEVATION(FEET) = 742.50  
ELEVATION DIFFERENCE(FEET) = 8.00  
TC = 0.303\*[( 467.00\*\*3)/( 8.00)]\*\*.2 = 7.990  
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.300  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8814  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.55  
TOTAL AREA(ACRES) = 0.27 TOTAL RUNOFF(CFS) = 0.55

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.20 TO NODE 29.20 IS CODE = 81

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.300  
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8628  
SOIL CLASSIFICATION IS "C"  
SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.38  
TOTAL AREA(ACRES) = 0.46 TOTAL RUNOFF(CFS) = 0.92  
TC(MIN.) = 7.99

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.20 TO NODE 29.00 IS CODE = 31

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

ELEVATION DATA: UPSTREAM(FEET) = 735.00 DOWNSTREAM(FEET) = 730.90  
FLOW LENGTH(FEET) = 21.00 MANNING'S N = 0.013  
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.8 INCHES  
PIPE-FLOW VELOCITY(FEET/SEC.) = 10.20  
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
PIPE-FLOW(CFS) = 0.92  
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 8.02  
LONGEST FLOWPATH FROM NODE 29.10 TO NODE 29.00 = 488.00 FEET.

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

TOTAL NUMBER OF STREAMS = 3  
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:  
TIME OF CONCENTRATION(MIN.) = 8.02  
RAINFALL INTENSITY(INCH/HR) = 2.29  
TOTAL STREAM AREA(ACRES) = 0.46  
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.92

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.30 TO NODE 29.40 IS CODE = 21

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

ASSUMED INITIAL SUBAREA UNIFORM  
DEVELOPMENT IS COMMERCIAL  
TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
INITIAL SUBAREA FLOW-LENGTH(FEET) = 328.00  
UPSTREAM ELEVATION(FEET) = 749.20  
DOWNSTREAM ELEVATION(FEET) = 742.50  
ELEVATION DIFFERENCE(FEET) = 6.70  
TC = 0.303\*[( 328.00\*\*3)/( 6.70)]\*\*.2 = 6.697  
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.512  
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8827  
SOIL CLASSIFICATION IS "C"  
SUBAREA RUNOFF(CFS) = 0.51  
TOTAL AREA(ACRES) = 0.23 TOTAL RUNOFF(CFS) = 0.51

\*\*\*\*\*  
FLOW PROCESS FROM NODE 29.40 TO NODE 29.40 IS CODE = 81

10.RES

&gt;&gt;&gt;&gt;ADDITION OF SUBAREA TO MAINLINE PEAK FLOW&lt;&lt;&lt;&lt;

```

=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.512
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8653
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.20 SUBAREA RUNOFF(CFS) = 0.43
TOTAL AREA(ACRES) = 0.43 TOTAL RUNOFF(CFS) = 0.94
TC(MIN.) = 6.70

```

```

*****
FLOW PROCESS FROM NODE 29.40 TO NODE 29.00 IS CODE = 31

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 735.00 DOWNSTREAM(FEET) = 730.90
FLOW LENGTH(FEET) = 17.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.7 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 11.06
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.94
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 6.72
LONGEST FLOWPATH FROM NODE 29.30 TO NODE 29.00 = 345.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 29.00 TO NODE 29.00 IS CODE = 1

```

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<

```

=====
TOTAL NUMBER OF STREAMS = 3
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 3 ARE:
TIME OF CONCENTRATION(MIN.) = 6.72
RAINFALL INTENSITY(INCH/HR) = 2.51
TOTAL STREAM AREA(ACRES) = 0.43
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.94

```

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	26.97	10.80	1.978	15.69
2	0.92	8.02	2.295	0.46
3	0.94	6.72	2.507	0.43

```

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

```

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 3 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	18.50	6.72	2.507
2	21.82	8.02	2.295
3	28.51	10.80	1.978

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

```

PEAK FLOW RATE(CFS) = 28.51 Tc(MIN.) = 10.80
TOTAL AREA(ACRES) = 16.58
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 29.00 = 1687.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 29.00 TO NODE 39.00 IS CODE = 31

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```

=====
ELEVATION DATA: UPSTREAM(FEET) = 730.90 DOWNSTREAM(FEET) = 729.90
FLOW LENGTH(FEET) = 57.00 MANNING'S N = 0.013
DEPTH OF FLOW IN 24.0 INCH PIPE IS 19.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 10.59
ESTIMATED PIPE DIAMETER(INCH) = 24.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 28.51
PIPE TRAVEL TIME(MIN.) = 0.09 Tc(MIN.) = 10.89
LONGEST FLOWPATH FROM NODE 3.00 TO NODE 39.00 = 1744.00 FEET.

```

```

*****
FLOW PROCESS FROM NODE 39.10 TO NODE 39.20 IS CODE = 21

```

&gt;&gt;&gt;&gt;RATIONAL METHOD INITIAL SUBAREA ANALYSIS&lt;&lt;&lt;&lt;

```

=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS SINGLE FAMILY(1-ACRE LOTS)
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 330.00

```

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10.RES

UPSTREAM ELEVATION(FEET) = 747.80  
 DOWNSTREAM ELEVATION(FEET) = 730.00  
 ELEVATION DIFFERENCE(FEET) = 17.80  
 TC = 0.469\*[( 330.00\*\*3)/( 17.80)]\*\*.2 = 8.560  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.222  
 SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7471  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.53  
 TOTAL AREA(ACRES) = 0.32 TOTAL RUNOFF(CFS) = 0.53

-----  
 @Lot 99 - Obsidian Way  
 -----

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 4.00 TO NODE 30.00 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

=====

ASSUMED INITIAL SUBAREA UNIFORM  
 DEVELOPMENT IS SINGLE FAMILY (1/4 ACRE)  
 TC = K\*[(LENGTH\*\*3)/(ELEVATION CHANGE)]\*\*.2  
 INITIAL SUBAREA FLOW-LENGTH(FEET) = 300.00  
 UPSTREAM ELEVATION(FEET) = 751.10  
 DOWNSTREAM ELEVATION(FEET) = 747.70  
 ELEVATION DIFFERENCE(FEET) = 3.40  
 TC = 0.393\*[( 300.00\*\*3)/( 3.40)]\*\*.2 = 9.417  
 10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.118  
 SINGLE-FAMILY(1/4 ACRE LOT) RUNOFF COEFFICIENT = .8008  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA RUNOFF(CFS) = 0.41  
 TOTAL AREA(ACRES) = 0.24 TOTAL RUNOFF(CFS) = 0.41

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 30.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.118  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8603  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.44  
 TOTAL AREA(ACRES) = 0.48 TOTAL RUNOFF(CFS) = 0.84  
 TC(MIN.) = 9.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 30.00 IS CODE = 81  
 -----

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<

=====

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.118  
 APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8603  
 SOIL CLASSIFICATION IS "C"  
 SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.44  
 TOTAL AREA(ACRES) = 0.72 TOTAL RUNOFF(CFS) = 1.28  
 TC(MIN.) = 9.42

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 30.00 TO NODE 31.00 IS CODE = 31  
 -----

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<  
 >>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<

=====

ELEVATION DATA: UPSTREAM(FEET) = 743.60 DOWNSTREAM(FEET) = 738.00  
 FLOW LENGTH(FEET) = 42.00 MANNING'S N = 0.013  
 ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000  
 DEPTH OF FLOW IN 18.0 INCH PIPE IS 2.3 INCHES  
 PIPE-FLOW VELOCITY(FEET/SEC.) = 9.87  
 ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1  
 PIPE-FLOW(CFS) = 1.28  
 PIPE TRAVEL TIME(MIN.) = 0.07 Tc(MIN.) = 9.49  
 LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.00 = 342.00 FEET.

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 31.00 TO NODE 31.00 IS CODE = 1  
 -----

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<

=====

TOTAL NUMBER OF STREAMS = 2  
 CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:  
 TIME OF CONCENTRATION(MIN.) = 9.49  
 RAINFALL INTENSITY(INCH/HR) = 2.11  
 TOTAL STREAM AREA(ACRES) = 0.72  
 PEAK FLOW RATE(CFS) AT CONFLUENCE = 1.28

\*\*\*\*\*  
 FLOW PROCESS FROM NODE 29.30 TO NODE 30.10 IS CODE = 21  
 -----

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<

```
=====
ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 137.00
UPSTREAM ELEVATION(FEET) = 749.20
DOWNSTREAM ELEVATION(FEET) = 747.70
ELEVATION DIFFERENCE(FEET) = 1.50
TC = 0.303*[( 137.00**3)/( 1.50)]**.2 = 5.351
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.810
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8842
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.15
TOTAL AREA(ACRES) = 0.06 TOTAL RUNOFF(CFS) = 0.15
=====
```

```
*****
FLOW PROCESS FROM NODE 30.10 TO NODE 30.10 IS CODE = 81
=====
```

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

```
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.810
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8684
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.23 SUBAREA RUNOFF(CFS) = 0.56
TOTAL AREA(ACRES) = 0.29 TOTAL RUNOFF(CFS) = 0.71
TC(MIN.) = 5.35
=====
```

```
*****
FLOW PROCESS FROM NODE 30.10 TO NODE 31.00 IS CODE = 31
=====
```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```
=====
ELEVATION DATA: UPSTREAM(FEET) = 743.00 DOWNSTREAM(FEET) = 738.00
FLOW LENGTH(FEET) = 28.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 1.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 9.17
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 0.71
PIPE TRAVEL TIME(MIN.) = 0.05 Tc(MIN.) = 5.40
LONGEST FLOWPATH FROM NODE 29.30 TO NODE 31.00 = 165.00 FEET.
=====
```

```
*****
FLOW PROCESS FROM NODE 31.00 TO NODE 31.00 IS CODE = 1
=====
```

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<  
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<

```
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 5.40
RAINFALL INTENSITY(INCH/HR) = 2.80
TOTAL STREAM AREA(ACRES) = 0.29
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.71
=====
```

\*\* CONFLUENCE DATA \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)	AREA (ACRE)
1	1.28	9.49	2.110	0.72
2	0.71	5.40	2.797	0.29

```
*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCFC&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****
```

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO  
CONFLUENCE FORMULA USED FOR 2 STREAMS.

\*\* PEAK FLOW RATE TABLE \*\*

STREAM NUMBER	RUNOFF (CFS)	Tc (MIN.)	INTENSITY (INCH/HOUR)
1	1.44	5.40	2.797
2	1.82	9.49	2.110

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:

```
PEAK FLOW RATE(CFS) = 1.82 Tc(MIN.) = 9.49
TOTAL AREA(ACRES) = 1.01
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.00 = 342.00 FEET.
```

```
*****
FLOW PROCESS FROM NODE 31.00 TO NODE 31.10 IS CODE = 31
=====
```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<  
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<

```
=====
ELEVATION DATA: UPSTREAM(FEET) = 738.00 DOWNSTREAM(FEET) = 737.50
FLOW LENGTH(FEET) = 70.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
=====
```

```

                                10.RES
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 3.88
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 1.82
PIPE TRAVEL TIME(MIN.) = 0.30 Tc(MIN.) = 9.79
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 31.10 = 412.00 FEET.
*****
FLOW PROCESS FROM NODE 31.10 TO NODE 31.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.078
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8597
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.14 SUBAREA RUNOFF(CFS) = 0.25
TOTAL AREA(ACRES) = 1.15 TOTAL RUNOFF(CFS) = 2.07
TC(MIN.) = 9.79
*****
FLOW PROCESS FROM NODE 31.10 TO NODE 32.00 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 737.50 DOWNSTREAM(FEET) = 736.80
FLOW LENGTH(FEET) = 72.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.49
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.07
PIPE TRAVEL TIME(MIN.) = 0.27 Tc(MIN.) = 10.06
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 32.00 = 484.00 FEET.
*****
FLOW PROCESS FROM NODE 32.00 TO NODE 32.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.050
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8796
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.06 SUBAREA RUNOFF(CFS) = 0.11
TOTAL AREA(ACRES) = 1.21 TOTAL RUNOFF(CFS) = 2.18
TC(MIN.) = 10.06
*****
FLOW PROCESS FROM NODE 32.00 TO NODE 32.00 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.050
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8593
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.24 SUBAREA RUNOFF(CFS) = 0.42
TOTAL AREA(ACRES) = 1.45 TOTAL RUNOFF(CFS) = 2.60
TC(MIN.) = 10.06
*****
FLOW PROCESS FROM NODE 32.00 TO NODE 32.10 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 736.80 DOWNSTREAM(FEET) = 736.40
FLOW LENGTH(FEET) = 40.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.2 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 4.83
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 2.60
PIPE TRAVEL TIME(MIN.) = 0.14 Tc(MIN.) = 10.19
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 32.10 = 524.00 FEET.
*****
FLOW PROCESS FROM NODE 32.10 TO NODE 32.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<
=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.036
APARTMENT DEVELOPMENT RUNOFF COEFFICIENT = .8591
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.15 SUBAREA RUNOFF(CFS) = 0.26
TOTAL AREA(ACRES) = 1.60 TOTAL RUNOFF(CFS) = 2.86
TC(MIN.) = 10.19
*****
FLOW PROCESS FROM NODE 32.10 TO NODE 32.10 IS CODE = 81
-----
>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<

```

10.RES

```

=====
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.036
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7363
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.47 SUBAREA RUNOFF(CFS) = 0.70
TOTAL AREA(ACRES) = 2.07 TOTAL RUNOFF(CFS) = 3.57
TC(MIN.) = 10.19
=====

```

```

*****
FLOW PROCESS FROM NODE 32.10 TO NODE 35.00 IS CODE = 31
=====

```

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====

```

```

ELEVATION DATA: UPSTREAM(FEET) = 736.40 DOWNSTREAM(FEET) = 732.70
FLOW LENGTH(FEET) = 132.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 5.6 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 7.66
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 3.57
PIPE TRAVEL TIME(MIN.) = 0.29 Tc(MIN.) = 10.48
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 35.00 = 656.00 FEET.
=====

```

```

*****
FLOW PROCESS FROM NODE 35.00 TO NODE 35.00 IS CODE = 81
=====

```

```

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====

```

```

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.008
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8793
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.19 SUBAREA RUNOFF(CFS) = 0.34
TOTAL AREA(ACRES) = 2.26 TOTAL RUNOFF(CFS) = 3.90
TC(MIN.) = 10.48
=====

```

```

*****
FLOW PROCESS FROM NODE 35.00 TO NODE 35.00 IS CODE = 81
=====

```

```

>>>>ADDITION OF SUBAREA TO MAINLINE PEAK FLOW<<<<<
=====

```

```

10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.008
SINGLE-FAMILY(1-ACRE LOT) RUNOFF COEFFICIENT = .7346
SOIL CLASSIFICATION IS "C"
SUBAREA AREA(ACRES) = 0.44 SUBAREA RUNOFF(CFS) = 0.65
TOTAL AREA(ACRES) = 2.70 TOTAL RUNOFF(CFS) = 4.55
TC(MIN.) = 10.48
=====

```

```

*****
FLOW PROCESS FROM NODE 35.00 TO NODE 36.00 IS CODE = 31
=====

```

```

>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====

```

```

ELEVATION DATA: UPSTREAM(FEET) = 732.70 DOWNSTREAM(FEET) = 732.40
FLOW LENGTH(FEET) = 12.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 6.5 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 7.87
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 4.55
PIPE TRAVEL TIME(MIN.) = 0.03 Tc(MIN.) = 10.51
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 36.00 = 668.00 FEET.
=====

```

```

*****
FLOW PROCESS FROM NODE 36.00 TO NODE 36.00 IS CODE = 1
=====

```

```

>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
=====

```

```

TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 1 ARE:
TIME OF CONCENTRATION(MIN.) = 10.51
RAINFALL INTENSITY(INCH/HR) = 2.01
TOTAL STREAM AREA(ACRES) = 2.70
PEAK FLOW RATE(CFS) AT CONFLUENCE = 4.55
=====

```

```

*****
FLOW PROCESS FROM NODE 36.10 TO NODE 36.00 IS CODE = 21
=====

```

```

>>>>RATIONAL METHOD INITIAL SUBAREA ANALYSIS<<<<<
=====

```

```

ASSUMED INITIAL SUBAREA UNIFORM
DEVELOPMENT IS COMMERCIAL
TC = K*[(LENGTH**3)/(ELEVATION CHANGE)]**.2
INITIAL SUBAREA FLOW-LENGTH(FEET) = 474.00
UPSTREAM ELEVATION(FEET) = 749.60
DOWNSTREAM ELEVATION(FEET) = 743.00
ELEVATION DIFFERENCE(FEET) = 6.60
TC = 0.303*[( 474.00**3)/( 6.60)]**.2 = 8.378
10 YEAR RAINFALL INTENSITY(INCH/HOUR) = 2.246
COMMERCIAL DEVELOPMENT RUNOFF COEFFICIENT = .8810
=====

```

```

10.RES
SOIL CLASSIFICATION IS "C"
SUBAREA RUNOFF(CFS) = 0.49
TOTAL AREA(ACRES) = 0.25 TOTAL RUNOFF(CFS) = 0.49
*****
FLOW PROCESS FROM NODE 36.00 TO NODE 36.00 IS CODE = 1
-----
>>>>DESIGNATE INDEPENDENT STREAM FOR CONFLUENCE<<<<<
>>>>AND COMPUTE VARIOUS CONFLUENCED STREAM VALUES<<<<<
=====
TOTAL NUMBER OF STREAMS = 2
CONFLUENCE VALUES USED FOR INDEPENDENT STREAM 2 ARE:
TIME OF CONCENTRATION(MIN.) = 8.38
RAINFALL INTENSITY(INCH/HR) = 2.25
TOTAL STREAM AREA(ACRES) = 0.25
PEAK FLOW RATE(CFS) AT CONFLUENCE = 0.49

** CONFLUENCE DATA **
STREAM RUNOFF Tc INTENSITY AREA
NUMBER (CFS) (MIN.) (INCH/HOUR) (ACRE)
1 4.55 10.51 2.005 2.70
2 0.49 8.38 2.246 0.25

*****WARNING*****
IN THIS COMPUTER PROGRAM, THE CONFLUENCE VALUE USED IS BASED
ON THE RCF&WCD FORMULA OF PLATE D-1 AS DEFAULT VALUE. THIS FORMULA
WILL NOT NECESSARILY RESULT IN THE MAXIMUM VALUE OF PEAK FLOW.
*****

RAINFALL INTENSITY AND TIME OF CONCENTRATION RATIO
CONFLUENCE FORMULA USED FOR 2 STREAMS.

** PEAK FLOW RATE TABLE **
STREAM RUNOFF Tc INTENSITY
NUMBER (CFS) (MIN.) (INCH/HOUR)
1 4.12 8.38 2.246
2 4.99 10.51 2.005

COMPUTED CONFLUENCE ESTIMATES ARE AS FOLLOWS:
PEAK FLOW RATE(CFS) = 4.99 Tc(MIN.) = 10.51
TOTAL AREA(ACRES) = 2.95
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 36.00 = 668.00 FEET.
*****
FLOW PROCESS FROM NODE 36.00 TO NODE 39.30 IS CODE = 31
-----
>>>>COMPUTE PIPE-FLOW TRAVEL TIME THRU SUBAREA<<<<<
>>>>USING COMPUTER-ESTIMATED PIPESIZE (NON-PRESSURE FLOW)<<<<<
=====
ELEVATION DATA: UPSTREAM(FEET) = 732.40 DOWNSTREAM(FEET) = 728.90
FLOW LENGTH(FEET) = 35.00 MANNING'S N = 0.013
ESTIMATED PIPE DIAMETER(INCH) INCREASED TO 18.000
DEPTH OF FLOW IN 18.0 INCH PIPE IS 4.8 INCHES
PIPE-FLOW VELOCITY(FEET/SEC.) = 13.28
ESTIMATED PIPE DIAMETER(INCH) = 18.00 NUMBER OF PIPES = 1
PIPE-FLOW(CFS) = 4.99
PIPE TRAVEL TIME(MIN.) = 0.04 Tc(MIN.) = 10.55
LONGEST FLOWPATH FROM NODE 4.00 TO NODE 39.30 = 703.00 FEET.
=====
END OF STUDY SUMMARY:
TOTAL AREA(ACRES) = 2.95 Tc(MIN.) = 10.55
PEAK FLOW RATE(CFS) = 4.99
=====
END OF RATIONAL METHOD ANALYSIS

```





NOAA Atlas 14, Volume 6, Version 2  
 Location name: Moreno Valley, California, US\*  
 Latitude: 33.9347°, Longitude: -117.1858°  
 Elevation: 1735 ft\*  
 \* source: Google Maps



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

597-20

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

**PF tabular**

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) <sup>1</sup>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.095 (0.079-0.115)	0.128 (0.107-0.156)	0.173 (0.144-0.210)	0.209 (0.173-0.257)	0.259 (0.206-0.329)	0.298 (0.232-0.387)	0.338 (0.257-0.450)	0.379 (0.280-0.520)	0.436 (0.308-0.624)	0.481 (0.328-0.712)
10-min	0.136 (0.113-0.164)	0.184 (0.153-0.223)	0.248 (0.206-0.301)	0.300 (0.247-0.368)	0.372 (0.296-0.472)	0.427 (0.333-0.554)	0.484 (0.368-0.644)	0.544 (0.401-0.745)	0.625 (0.442-0.894)	0.689 (0.470-1.02)
15-min	0.164 (0.137-0.199)	0.223 (0.185-0.270)	0.300 (0.249-0.364)	0.363 (0.299-0.445)	0.450 (0.358-0.571)	0.517 (0.402-0.671)	0.586 (0.445-0.779)	0.658 (0.485-0.901)	0.756 (0.534-1.08)	0.833 (0.568-1.24)
30-min	0.253 (0.211-0.306)	0.342 (0.285-0.415)	0.461 (0.383-0.560)	0.558 (0.460-0.685)	0.692 (0.550-0.878)	0.795 (0.619-1.03)	0.901 (0.684-1.20)	1.01 (0.746-1.39)	1.16 (0.822-1.66)	1.28 (0.874-1.90)
60-min	0.366 (0.305-0.443)	0.496 (0.413-0.601)	0.668 (0.555-0.812)	0.809 (0.666-0.992)	1.00 (0.797-1.27)	1.15 (0.897-1.49)	1.31 (0.991-1.74)	1.47 (1.08-2.01)	1.68 (1.19-2.41)	1.86 (1.27-2.75)
2-hr	0.545 (0.455-0.660)	0.716 (0.597-0.868)	0.941 (0.782-1.14)	1.12 (0.926-1.38)	1.37 (1.09-1.74)	1.57 (1.22-2.03)	1.76 (1.34-2.35)	1.97 (1.45-2.69)	2.25 (1.59-3.21)	2.46 (1.68-3.65)
3-hr	0.681 (0.568-0.824)	0.884 (0.736-1.07)	1.15 (0.955-1.40)	1.37 (1.13-1.68)	1.66 (1.32-2.11)	1.89 (1.47-2.45)	2.12 (1.61-2.82)	2.36 (1.74-3.23)	2.68 (1.90-3.84)	2.94 (2.00-4.35)
6-hr	0.965 (0.805-1.17)	1.24 (1.03-1.50)	1.60 (1.33-1.95)	1.89 (1.56-2.32)	2.29 (1.82-2.91)	2.60 (2.02-3.37)	2.91 (2.21-3.86)	3.22 (2.38-4.42)	3.66 (2.58-5.23)	3.99 (2.72-5.91)
12-hr	1.26 (1.05-1.53)	1.63 (1.36-1.97)	2.11 (1.75-2.56)	2.49 (2.05-3.06)	3.02 (2.40-3.83)	3.42 (2.66-4.44)	3.83 (2.91-5.09)	4.25 (3.13-5.81)	4.81 (3.40-6.88)	5.25 (3.58-7.78)
24-hr	1.64 (1.45-1.89)	2.14 (1.89-2.47)	2.80 (2.47-3.24)	3.33 (2.92-3.89)	4.05 (3.43-4.89)	4.61 (3.82-5.66)	5.16 (4.18-6.50)	5.74 (4.52-7.43)	6.51 (4.93-8.78)	7.11 (5.21-9.91)
2-day	1.92 (1.70-2.21)	2.55 (2.25-2.94)	3.38 (2.98-3.91)	4.05 (3.54-4.72)	4.96 (4.20-5.98)	5.67 (4.70-6.97)	6.38 (5.17-8.04)	7.12 (5.61-9.21)	8.12 (6.15-10.9)	8.90 (6.51-12.4)
3-day	2.03 (1.79-2.34)	2.73 (2.41-3.15)	3.64 (3.21-4.22)	4.40 (3.85-5.13)	5.43 (4.59-6.54)	6.22 (5.16-7.65)	7.03 (5.70-8.86)	7.87 (6.21-10.2)	9.02 (6.83-12.2)	9.91 (7.26-13.8)
4-day	2.19 (1.94-2.53)	2.97 (2.63-3.43)	4.00 (3.53-4.64)	4.85 (4.24-5.66)	6.02 (5.09-7.25)	6.92 (5.74-8.51)	7.84 (6.36-9.88)	8.81 (6.94-11.4)	10.1 (7.66-13.6)	11.2 (8.16-15.5)
7-day	2.47 (2.19-2.85)	3.41 (3.02-3.94)	4.66 (4.11-5.39)	5.69 (4.98-6.64)	7.11 (6.02-8.57)	8.22 (6.82-10.1)	9.36 (7.58-11.8)	10.6 (8.32-13.7)	12.2 (9.23-16.4)	13.5 (9.87-18.8)
10-day	2.62 (2.32-3.02)	3.64 (3.22-4.21)	5.02 (4.42-5.80)	6.15 (5.38-7.18)	7.73 (6.54-9.31)	8.96 (7.44-11.0)	10.2 (8.30-12.9)	11.6 (9.13-15.0)	13.4 (10.2-18.1)	14.9 (10.9-20.8)
20-day	3.18 (2.82-3.67)	4.48 (3.96-5.17)	6.22 (5.49-7.20)	7.69 (6.72-8.97)	9.74 (8.24-11.7)	11.4 (9.43-14.0)	13.1 (10.6-16.4)	14.9 (11.7-19.2)	17.4 (13.1-23.4)	19.4 (14.2-27.0)
30-day	3.80 (3.36-4.38)	5.32 (4.70-6.14)	7.40 (6.52-8.56)	9.14 (8.00-10.7)	11.6 (9.83-14.0)	13.6 (11.3-16.7)	15.7 (12.7-19.7)	17.9 (14.1-23.1)	21.0 (15.9-28.3)	23.5 (17.2-32.8)
45-day	4.51 (3.99-5.20)	6.24 (5.52-7.21)	8.62 (7.60-9.98)	10.6 (9.31-12.4)	13.5 (11.5-16.3)	15.8 (13.2-19.5)	18.3 (14.8-23.1)	21.0 (16.5-27.1)	24.7 (18.7-33.3)	27.8 (20.4-38.8)
60-day	5.27 (4.67-6.08)	7.19 (6.36-8.30)	9.84 (8.67-11.4)	12.1 (10.6-14.1)	15.3 (13.0-18.5)	18.0 (14.9-22.1)	20.8 (16.8-26.2)	23.8 (18.8-30.8)	28.2 (21.3-38.0)	31.8 (23.3-44.3)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



**NOAA Atlas 14, Volume 6, Version 2**  
**Location name: Moreno Valley, California, US\***  
**Latitude: 33.9347°, Longitude: -117.1858°**  
**Elevation: 1735 ft\***  
 \* source: Google Maps



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerals](#)

597-20

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)<sup>1</sup></b>										
<b>Duration</b>	<b>Average recurrence interval (years)</b>									
	<b>1</b>	<b>2</b>	<b>5</b>	<b>10</b>	<b>25</b>	<b>50</b>	<b>100</b>	<b>200</b>	<b>500</b>	<b>1000</b>
<b>5-min</b>	1.14 (0.948-1.38)	1.54 (1.28-1.87)	2.08 (1.73-2.52)	2.51 (2.08-3.08)	3.11 (2.47-3.95)	3.58 (2.78-4.64)	4.06 (3.08-5.40)	4.55 (3.36-6.24)	5.23 (3.70-7.49)	5.77 (3.94-8.54)
<b>10-min</b>	0.816 (0.678-0.984)	1.10 (0.918-1.34)	1.49 (1.24-1.81)	1.80 (1.48-2.21)	2.23 (1.78-2.83)	2.56 (2.00-3.32)	2.90 (2.21-3.86)	3.26 (2.41-4.47)	3.75 (2.65-5.36)	4.13 (2.82-6.13)
<b>15-min</b>	0.656 (0.548-0.796)	0.892 (0.740-1.08)	1.20 (0.996-1.46)	1.45 (1.20-1.78)	1.80 (1.43-2.28)	2.07 (1.61-2.68)	2.34 (1.78-3.12)	2.63 (1.94-3.60)	3.02 (2.14-4.32)	3.33 (2.27-4.94)
<b>30-min</b>	0.506 (0.422-0.612)	0.684 (0.570-0.830)	0.922 (0.766-1.12)	1.12 (0.920-1.37)	1.38 (1.10-1.76)	1.59 (1.24-2.06)	1.80 (1.37-2.40)	2.02 (1.49-2.77)	2.33 (1.64-3.33)	2.56 (1.75-3.80)
<b>60-min</b>	0.366 (0.305-0.443)	0.496 (0.413-0.601)	0.668 (0.555-0.812)	0.809 (0.666-0.992)	1.00 (0.797-1.27)	1.15 (0.897-1.49)	1.31 (0.991-1.74)	1.47 (1.08-2.01)	1.68 (1.19-2.41)	1.86 (1.27-2.75)
<b>2-hr</b>	0.272 (0.228-0.330)	0.358 (0.298-0.434)	0.470 (0.391-0.572)	0.562 (0.463-0.689)	0.687 (0.546-0.872)	0.784 (0.610-1.02)	0.882 (0.670-1.17)	0.984 (0.726-1.35)	1.12 (0.793-1.60)	1.23 (0.839-1.82)
<b>3-hr</b>	0.227 (0.189-0.274)	0.294 (0.245-0.357)	0.383 (0.318-0.466)	0.455 (0.375-0.558)	0.553 (0.440-0.702)	0.629 (0.490-0.816)	0.706 (0.536-0.939)	0.785 (0.579-1.08)	0.893 (0.631-1.28)	0.978 (0.667-1.45)
<b>6-hr</b>	0.161 (0.134-0.195)	0.207 (0.173-0.251)	0.267 (0.222-0.325)	0.316 (0.261-0.388)	0.382 (0.304-0.485)	0.433 (0.338-0.562)	0.485 (0.368-0.645)	0.538 (0.397-0.737)	0.610 (0.431-0.873)	0.666 (0.454-0.987)
<b>12-hr</b>	0.105 (0.087-0.127)	0.135 (0.113-0.164)	0.175 (0.145-0.212)	0.207 (0.170-0.254)	0.250 (0.199-0.318)	0.284 (0.221-0.368)	0.318 (0.241-0.423)	0.352 (0.260-0.483)	0.399 (0.282-0.571)	0.436 (0.297-0.645)
<b>24-hr</b>	0.068 (0.060-0.079)	0.089 (0.079-0.103)	0.117 (0.103-0.135)	0.139 (0.121-0.162)	0.169 (0.143-0.204)	0.192 (0.159-0.236)	0.215 (0.174-0.271)	0.239 (0.189-0.309)	0.271 (0.205-0.366)	0.296 (0.217-0.413)
<b>2-day</b>	0.040 (0.035-0.046)	0.053 (0.047-0.061)	0.070 (0.062-0.081)	0.084 (0.074-0.098)	0.103 (0.088-0.125)	0.118 (0.098-0.145)	0.133 (0.108-0.167)	0.148 (0.117-0.192)	0.169 (0.128-0.228)	0.185 (0.136-0.258)
<b>3-day</b>	0.028 (0.025-0.032)	0.038 (0.033-0.044)	0.051 (0.045-0.059)	0.061 (0.053-0.071)	0.075 (0.064-0.091)	0.086 (0.072-0.106)	0.098 (0.079-0.123)	0.109 (0.086-0.142)	0.125 (0.095-0.169)	0.138 (0.101-0.192)
<b>4-day</b>	0.023 (0.020-0.026)	0.031 (0.027-0.036)	0.042 (0.037-0.048)	0.051 (0.044-0.059)	0.063 (0.053-0.076)	0.072 (0.060-0.089)	0.082 (0.066-0.103)	0.092 (0.072-0.119)	0.105 (0.080-0.142)	0.116 (0.085-0.162)
<b>7-day</b>	0.015 (0.013-0.017)	0.020 (0.018-0.023)	0.028 (0.024-0.032)	0.034 (0.030-0.040)	0.042 (0.036-0.051)	0.049 (0.041-0.060)	0.056 (0.045-0.070)	0.063 (0.050-0.081)	0.073 (0.055-0.098)	0.080 (0.059-0.112)
<b>10-day</b>	0.011 (0.010-0.013)	0.015 (0.013-0.018)	0.021 (0.018-0.024)	0.026 (0.022-0.030)	0.032 (0.027-0.039)	0.037 (0.031-0.046)	0.043 (0.035-0.054)	0.048 (0.038-0.062)	0.056 (0.042-0.075)	0.062 (0.045-0.086)
<b>20-day</b>	0.007 (0.006-0.008)	0.009 (0.008-0.011)	0.013 (0.011-0.015)	0.016 (0.014-0.019)	0.020 (0.017-0.024)	0.024 (0.020-0.029)	0.027 (0.022-0.034)	0.031 (0.024-0.040)	0.036 (0.027-0.049)	0.040 (0.030-0.056)
<b>30-day</b>	0.005 (0.005-0.006)	0.007 (0.007-0.009)	0.010 (0.009-0.012)	0.013 (0.011-0.015)	0.016 (0.014-0.019)	0.019 (0.016-0.023)	0.022 (0.018-0.027)	0.025 (0.020-0.032)	0.029 (0.022-0.039)	0.033 (0.024-0.045)
<b>45-day</b>	0.004 (0.004-0.005)	0.006 (0.005-0.007)	0.008 (0.007-0.009)	0.010 (0.009-0.012)	0.013 (0.011-0.015)	0.015 (0.012-0.018)	0.017 (0.014-0.021)	0.019 (0.015-0.025)	0.023 (0.017-0.031)	0.026 (0.019-0.036)
<b>60-day</b>	0.004 (0.003-0.004)	0.005 (0.004-0.006)	0.007 (0.006-0.008)	0.008 (0.007-0.010)	0.011 (0.009-0.013)	0.012 (0.010-0.015)	0.014 (0.012-0.018)	0.017 (0.013-0.021)	0.020 (0.015-0.026)	0.022 (0.016-0.031)

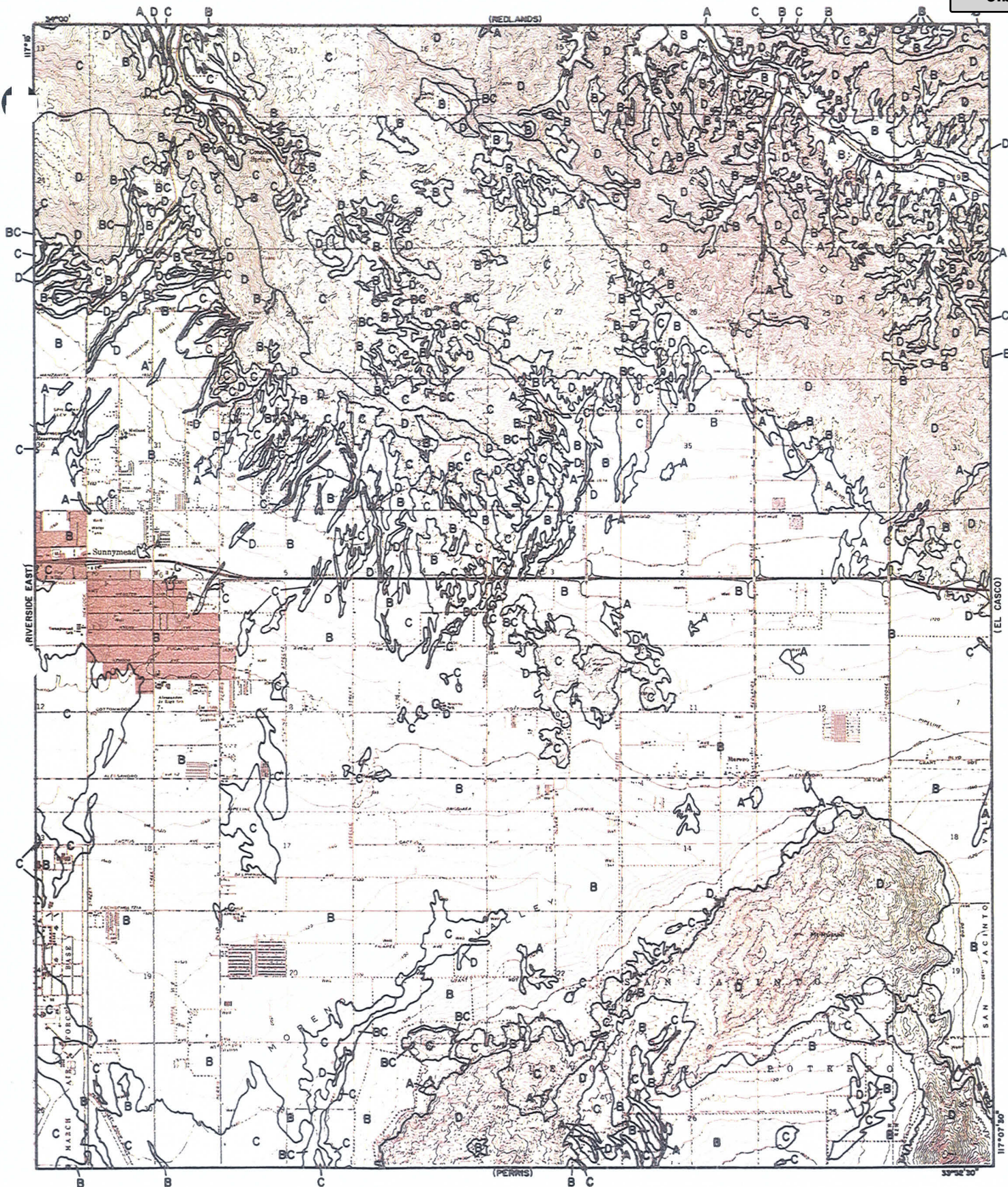
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)





**LEGEND**

— SOILS GROUP BOUNDARY  
 A SOILS GROUP DESIGNATION

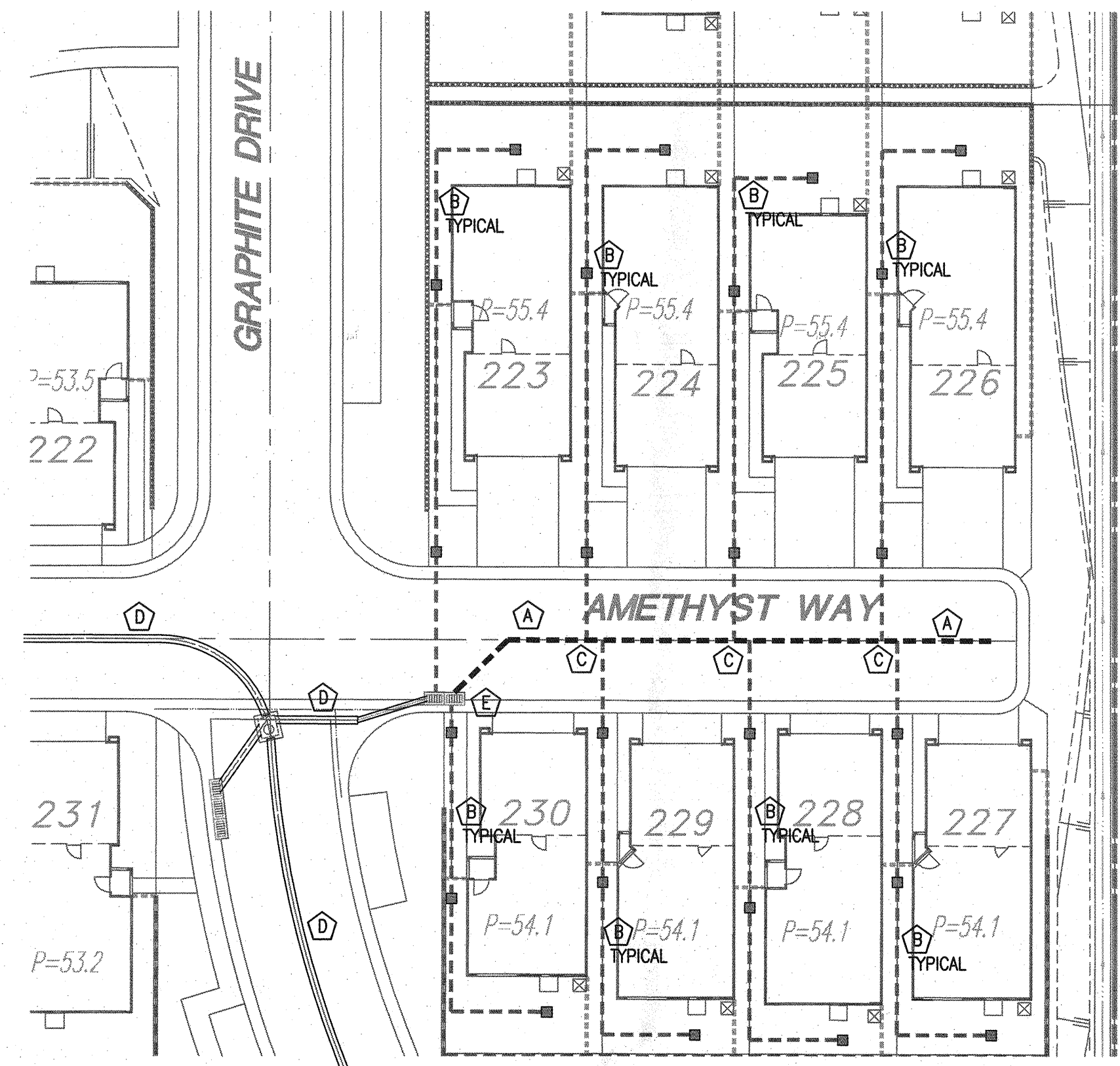
**RCFC&WCD**  
 HYDROLOGY MANUAL

N

0 FEET 5000

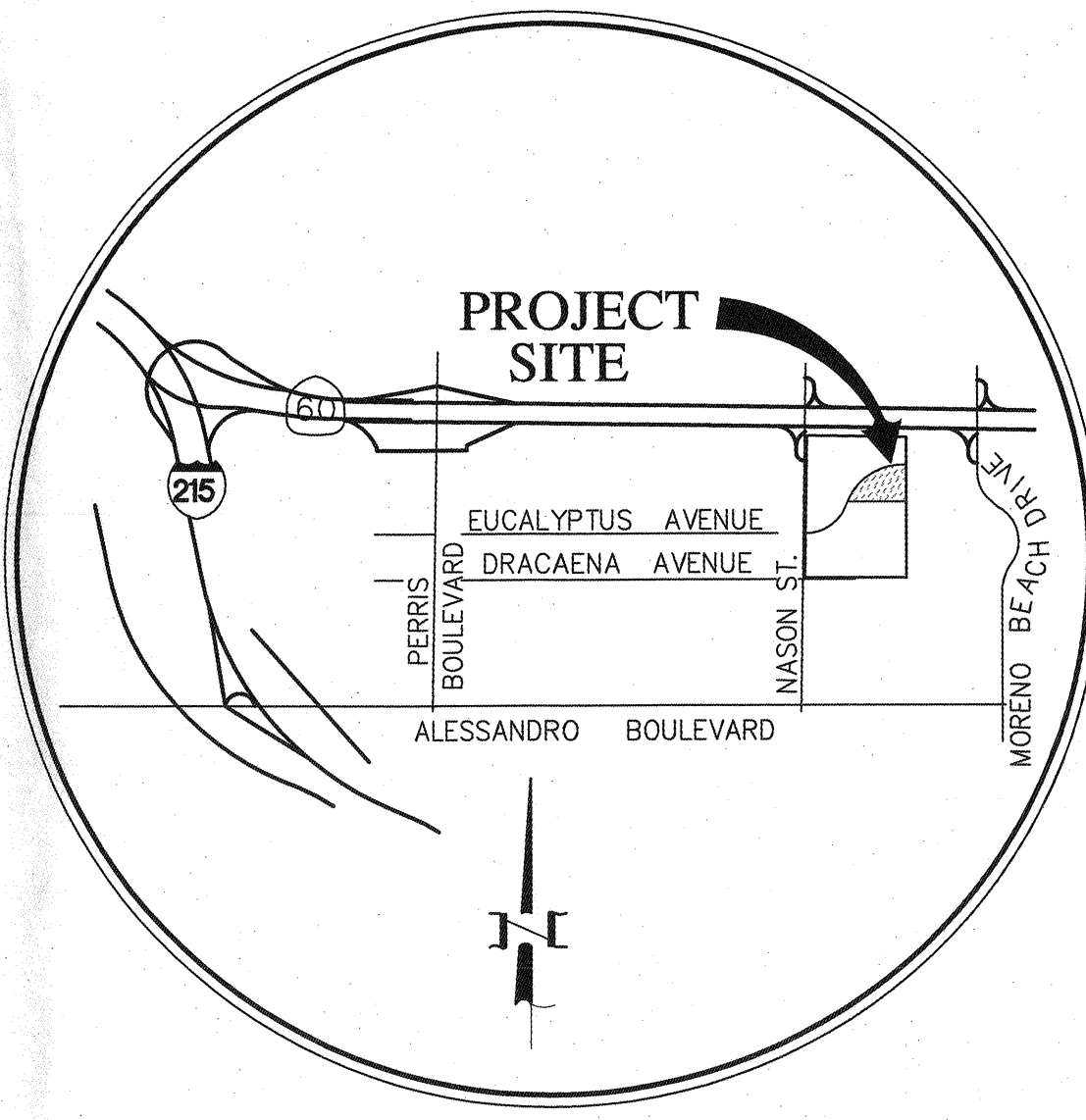
**HYDROLOGIC SOILS GROUP MAP  
 FOR  
 SUNNYMEAD**

Attachment: Environmental Addendum (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



TYPICAL LOT AREA DRAIN SYSTEM  
NOT TO SCALE

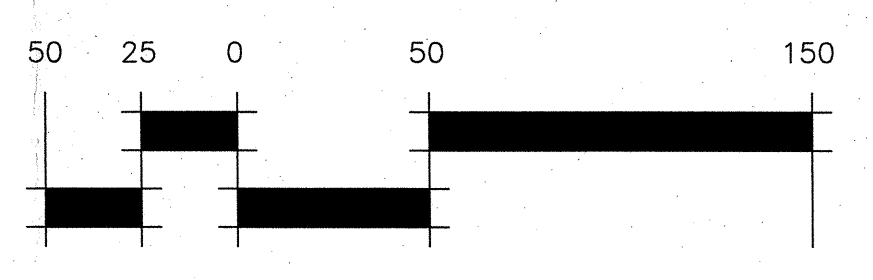
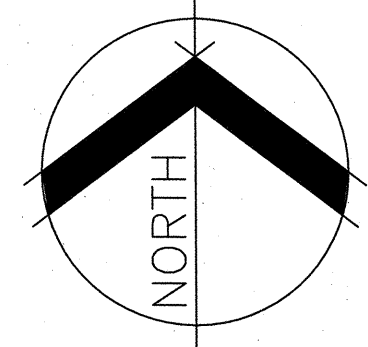
- NOTES:
- (A) AREA DRAIN PIPE MIDDLE OF ALL DRIVES
  - (B) LOT AREA DRAIN PIPE AND INLET
  - (C) LOT AREA SYSTEM DISCHARGES TO AREA DRAIN PIPE AT MIDDLE OF DRIVE
  - (D) STORM DRAIN PIPE
  - (E) CATCH BASIN GRATE INLET



VICINITY MAP  
NOT TO SCALE

**LEGEND**

- DRAINAGE BOUNDARY
- TRACT BOUNDARY
- DIRECTION OF FLOW
- NODE NO.
- ① DRAINAGE AREA DESIGNATION
- ② DRAINAGE AREA (ACRES)
- ① DRAINAGE AREA TRIBUTARY TO PROP. DETENTION BASIN
- ② DRAINAGE AREA TRIBUTARY TO EUCALYPTUS AVENUE STORM DRAIN



**MDS CONSULTING**  
PLANNERS ENGINEERS SURVEYORS

**PLATE 1**

TRACT No. 36933

**PRELIMINARY POST DEVELOPMENT HYDROLOGY MAP**

## PLANNING COMMISSION RESOLUTION NO. 2016-03

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING P15-066 TENTATIVE TRACT MAP NO. 36933 FOR A MAXIMUM OF 274 RESIDENTIAL LOTS, ONE (1) LOT FOR A DESIGNATED RECREATION AREA, AND 45 INDIVIDUAL LETTERED LOTS FOR COMMON OPEN SPACE PURPOSES ON A 29 ACRE PARCEL OF LAND WITHIN THE R15 (RESIDENTIAL-15) AND OS (OPEN SPACE) LAND USE DISTRICTS.**

**WHEREAS**, The applicant, Beazer Homes, has filed an application for the approval of P15-066 (Amended Tentative Tract Map) for the subdivision of an approximate 29 acre residential parcel of land into a maximum of 274 residential lots, one lot for a designated recreation area and 45 lettered lots for private open space purposes, a nature park and a drainage basin. The project is located in the R15 (Residential-15) and OS (Open Space) land use districts. The project is located on the southeast corner of Fir Avenue and Eucalyptus Avenue and amends previous approvals including a Tentative Map under PA10-0038 (Tentative Tract Map 36340); and PA10-0039 (Conditional Use Permit/Planned Unit Development).

**WHEREAS**, Tentative Parcel Map No. 36933 was reviewed by City of Moreno Valley (City) staff for consistency with the City's Municipal Code, Chapter 9.14, Sections 9.14.030 and 9.14.040 Tentative Maps; and

**WHEREAS**, on March 12, 2016, a public hearing notice was published in the Press Enterprise newspaper; and

**WHEREAS**, on March 24, 2016, the City Planning Commission held a meeting to consider P15-066 (Tentative Tract Map No. 36933); and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred: and

**WHEREAS**, the City prepared and circulated in accordance with the California Environmental Quality Act (CEQA) an Addendum to the previous environmental documentation; and

**WHEREAS**, the Addendum found that the project will not result in any new significant effects not previously identified in the 2005 Initial Study/Mitigated Negative Declaration (IS/MND) and/or 2011 Addendum; would not increase the level of environmental effect to substantial or significant; would not require any new mitigation measures to reduce previously identified significant effects; would not cause new or substantially more severe significant environmental effects than were identified in the 2005 IS/MND and 2011 Addendum; and, no new

information has become available that shows that the project would cause new or substantially more severe significant environmental effects which have not already been analyzed; and

**WHEREAS**, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances; and,

**WHEREAS**, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

**NOW, THEREFORE, BE IT RESOLVED**, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on March 24, 2016, including, but not limited to: written and oral City staff reports, testimony presented at the public hearing, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:
  1. **Conformance with General Plan Policies** – The design or improvement of the proposed land division is consistent with applicable general and specific plans:

**FACT:** The amended Tentative Tract Map proposes to subdivide an approximately 29 acre parcel into a maximum 274 lot residential community with additional recreational and open space lots. The project applicant has proposed the development of small lot detached residential homes within a Planned Unit Development (PUD). The proposed Conditional Use Permit (CUP) is consistent with City's General Plan policies, including conformance with the proposed R15 (Residential-15) land use district and maximum density requirements. As allowed under the proposed PUD, specific land use deviations will occur for such items as lot area, lot dimensions, maximum floor area, and setbacks. In addition, recreational and open space lots will be provided to allow community amenities such as a community recreation area containing a pool and spa, tot lots, paseos, and other designated open space areas. Residential lots sizes will range from 1,960 square feet to 3,989 square feet and unit

square footage would range from 1,542 square feet to 1,982 square feet.

The project is consistent with many sections of the General Plan including, but not limited to “9.1 Ultimate Goals” and “Goal V” of the General Plan which, “provides for recreational amenities, recreational services and open space, including, but not limited to parks, multi-use trails, community centers and open space. The project is also consistent with 9.2.2 “Community Development Element Objectives and Policies” and Policy 2.2.9 of the General Plan which states that the “primary purpose of areas designated Residential 15 is to provide a range of multiple-family housing types that include amenities such as common open space and recreational facilities, while the maximum allowable density of 15 dwelling units per acre shall not be exceeded”. Consistency with the General Plan is also provided under Objective 2.2.12 where, “Planned Unit Developments shall be encouraged for residential construction in order to provide housing that is varied in type, design, form of ownership, and size while PUD’s shall also provide opportunities to cluster units to protect significant environmental features and/or provide unique recreational facilities”.

2. The site of the proposed land division is physically suitable for the type of development and proposed density of development.

**FACT:** The proposed land has been designed in accordance with the City General Plan, Municipal Code and the State Subdivision Map Act (Map Act). The proposed subdivision of vacant land complies with the General Plan and Map Act in that densities have not been exceeded and all lots have access from dedicated private streets. As the project is proposed as a Planned Unit Development (PUD), the project is conforming to standards set forth in Section 9.03.060 of the City Municipal Code, including deviations for development standards. The project will provide a maximum of 274 residential lots, a separate recreational area lot, and various recreation and open space lettered lots on approximately a 29 acre portion of land. This density is consistent with that which is allowed within the Municipal Code under the R15 land use district.

The proposed project is compatible with surrounding land uses, including vacant land and single-family residential uses to the west, open space land immediately to the south with an

apartment complex to the southeast, and retail commercial shopping centers to the north and east. The project will continue to preserve the surrounding rock outcroppings and slopes contained within the surrounding open space zoned parcel. The design of the proposed residential community will allow for pedestrian access.

The project will provide walkable neighborhoods, providing pedestrian access to existing regional shopping centers to the east and north of the project site. The project will provide internal and external access to recreational and open space amenities via a trail and paseo system. Additionally, the project will provide three major paseos linking the neighborhoods and recreational and open space amenities.

3. **Health, Safety and Welfare** – That the design of the proposed land division or the proposed improvements will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

**FACT:** As conditioned, the proposed land division for a maximum of 274 residential lots and other various recreation and open space lots on an approximately 29 acre parcel of land is in conformance with the General Plan, Municipal Code and R-15 (Residential-15) zoning district, and would not cause serious public health problems. The proposed land division for recreation and open space purposes on an approximate 29 acre parcel is in conformance with the General Plan and underlying zoning district and would not cause serious public health problems or be materially injurious to properties or improvements in the general vicinity. Other than weedy vegetation, there is no further vegetation on the project site or any vegetation that would warrant habitat for threatened or endangered species. Therefore, a determination was made by the City with the original project and subsequent project that any potential impacts of the project on biological resources were less than significant. Appropriate environmental documentation occurred with each determination.

As included in Section 15162 of the California Environmental Quality Act (CEQA) Guidelines, no substantial changes have occurred from the original project which would require major revisions of the prior negative declaration, and no new significant environmental effects have been identified with the proposed residential project on 29 gross acres of land.

Therefore, and Addendum to the original Mitigated Negative Declaration was prepared.

4. The design of the proposed land division or the type of improvements is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat or cause serious health problems.

**FACT:** The site is currently vacant and is characterized by weedy vegetation and surrounding hillside terrain to the south. Two large retail shopping centers are developed to the north and east of the proposed project site. A drainage area (i.e. drainage basin) is included within the adjacent OS (Open Space) district.

The previous projects did not identify any impact or mitigation measures related to biological resources on the project site. Based on the information in the Addendum, the project would not result in additional impacts to biological resources. The project site was partially graded and construction and demolition has occurred. The portion of the project site that was not graded does not have biological resources based on the information presented in previous environmental documentation. The project changes related to the development footprint, construction intensity, and location would not vary substantially related to the approved project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required. Although the CEQA documentation did not indicate any biological impacts associated with the project, a final survey for the burrowing owl is required prior to any grading of the site. The project and environmental assessment indicates that there were no impacts to fish and wildlife. As conditioned and designed, the proposed tract map would not cause serious health problems or significant environmental impacts.

5. The design of the proposed land division or type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed land division.

**FACT:** There are no conflicts with easements on the subject site. The City Engineer has appropriately placed conditions of approval for Tentative Tract Map No. 36933 regarding various project improvements and the updated residential project.

6. The effect of the proposed housing needs of the region were considered and balanced against the public service needs of the residents of Moreno Valley and available fiscal and environmental resources.

**FACT:** The proposal meets the intent of the General Plan and the Municipal Code by providing for residential homes with various recreational amenities at a land use density comparable with the designated zoning and land use district. Proximity to existing residential land use allows for contiguous development and infrastructure. The project does not exceed the planned density, the associated public service demand, or the demand for environmental resources envisioned by the Moreno Valley General Plan. The project does not exceed a threshold, which would create potential significant impacts to fiscal and environmental resources. The project will supplement the City's fiscal resources by paying applicable impact fees for public facilities. Additionally, future residents will pay Community Services District fees, property tax, sales tax and other taxes and fees that will be used to provide landscape maintenance as well as police, fire and other public services.

7. That the design of the land division provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision.

**FACT:** The size, configuration and orientation of the lots in this land division will allow solar access for passive heating and opportunities for placement of shade trees and other vegetation for cooling.

## C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

### 1. FEES

Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development impact fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future), Traffic Signal Mitigation fee and MSHCP fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.



Unless otherwise provided for by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

## 2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

The adopted Conditions of Approval for P15-066, incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

## 3. OTHER

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which have been given a notice similar to this nor does it revive challenges to any fees for which the Statute of Limitations has previously expired.

**BE IT FURTHER RESOLVED** that the Planning Commission **HEREBY APPROVES** Resolution No. 2016-03,

1. **CERTIFY** that the proposed project qualifies for an Addendum pursuant to Section 15164 of the California Environmental Quality Act (CEQA) as the item will not have a significant impact on the environment, and

- 2. **APPROVE** P15-066 for Tentative Tract Map No. 36933 to include the subdivision of a 29 acre parcel of land into a maximum of 274 residential lots, one lot for a designated recreational area and 45 lettered lots for common open space purposes within the R15 (Residential -15) and OS (Open Space) land use districts, subject to the attached conditions of approval included as Exhibit A to the resolution.

APPROVED this 24th day of March, 2016.

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Brian Lowell  
Chair, Planning Commission

ATTEST:

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Richard J. Sandzimier Planning Official

APPROVED AS TO FORM:

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City Attorney

Attached: Conditions of Approval

Attachment: Resolution 2016-03 with Attached Conditions (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned

**CITY OF MORENO VALLEY  
CONDITIONS OF APPROVAL  
FOR  
TENTATIVE TRACT MAP 36933  
AMENDED TENTATIVE TRACT MAP (P15-066)  
APN: 488-090-026, 027, 028 and 077, 488-091-001 through 073**

**Approval Date:**  
**Expiration Date:**

**The following conditions are attached for the following departments:**

- Planning (P), including School District (S), Post Office (PO), Building (B)**
- Fire Prevention Bureau (F)**
- Public Works, Land Development (LD)**
- Public Works, Special Districts (SD)**
- Public Works – Transportation (TE)**
- Parks & Community Services (PCS)**
- Police (PD)**
- Moreno Valley Utilities**
- Other (Specify or Delete)**

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

**For questions regarding any Planning condition of approval, please contact the Planning Division at (951) 413-3206.**

**GENERAL CONDITIONS**

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**Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):**

R - Map Recordation  
GPA – Grading Plan Approval  
BP - Building Permits  
MR – Map Recordation  
AOS – Acceptance of Streets  
CP – Construction Permit

GP - Grading Permits  
BF – Building Final  
P - Any permit  
MA – Map Approval  
WP - Water Improvement Plans  
IPA – Improvement Plan Approval

SI – Street Improvements

**Governing Document (see abbreviation at the end of the affected condition):**

GP - General Plan  
MC - Municipal Code  
Ord - Ordinance

Res - Resolution  
UBC - Uniform Building Code  
SBM - Subdivision Map Act

MC – Municipal Code  
CEQA - California Environmental Quality Act  
Ldscp - Landscape Development Guidelines and Specs  
UFC - Uniform Fire Code

**PLANNING DIVISION**  
**CONDITIONS OF APPROVAL**  
**P15-066**  
**Page 2**

- P1. This approval shall comply with all applicable requirements of the City of Moreno Valley Municipal Code.
- P2. This tentative map shall expire three years after the approval date of this tentative map unless extended as provided by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever in the event the applicant or any successor in interest fails to properly file a final map before the date of expiration. (MC 9.02.230, 9.14.050, 080)
- P3. The site shall be developed in accordance with the approved tentative map on file in the Community Development Department -Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. (MC 9.14.020)
- P4. A drought tolerant, low water using landscape palette shall be utilized throughout the tract to the extent feasible.
- P5. All undeveloped portions of the site shall be maintained in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
- P6. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
- P7. (BP) Enhanced architectural treatments shall be included on the approved plans for all homes having side and/or reverse frontages to public streets or open space areas.
- P8. All site plans, grading plans, landscape and irrigation plans, and street improvement plans shall be coordinated for consistency with this approval.

**PRIOR TO GRADING**

- P9. (GP) Prior to approval of any grading permit, the developer shall submit a tree plan to the Planning Division for review and approval if trees are located on the site. The plan shall identify all mature trees (4 inch trunk diameter or larger) on the subject property and City right-of-way. Using the grading plan as a base, the plan shall indicate trees to be relocated, retained, and removed. Replacement trees shall be: shown on the plan; be a minimum size of 24 inch box; and meet a ratio of three replacement trees for each mature tree removed or as approved by the Community & Economic Development Director or designee. (GP Objective 4.4, 4.5, DG)

**PLANNING DIVISION**  
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- P10. (GP) Prior to issuance of grading permits, the developer shall pay the applicable Stephen's' Kangaroo Rat (SKR) Habitat Conservation Plan mitigation fee. (Ord)
- P11. (GP) Prior to the issuance of grading permits, final erosion control landscape and irrigation plans for all cut or fill slopes over 3 feet in height shall be submitted to the Planning Division for review and approval for the phase in process. The plans shall be designed in accordance with the slope erosion plan as required by the City Engineer for that phase. Man-made slopes greater than 10 feet in height shall be "land formed" to conform to the natural terrain and shall be landscaped and stabilized to minimize visual scarring. (GP Objective 1.5, MC 9.08.080, DG)
- P12. (GP) Prior to approval of precise grading plan, final front and street side yard landscape and irrigation plans shall be submitted to the Planning Division for review. The plans shall be prepared in accordance with the City's Municipal Code and landscape specifications, and include required street trees.
- P13. (GP) If potential historic, archaeological, or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area will cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be implemented as deemed appropriate by the Community & Economic Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered, work in the affected area shall cease immediately and the County Coroner shall be notified. If it is determined that the remains are potentially Native American, the California Native American Heritage Commission and any and all affected Native American Indians tribes such as the Morongo Band of Mission Indians or the Pechanga Band of Luiseno Indians shall be notified and appropriate measures provided by State law shall be implemented.

(GP Objective 23.3, DG, CEQA).

- P14. (GP) Prior to the issuance of grading permits, a pre-construction Burrowing Owl survey shall be completed with written documentation provided to the Planning Division. The survey shall be completed in accordance with the Burrowing Owl Survey Instructions for the Western Riverside Multiple Species Habitat Conservation Area.

**PLANNING DIVISION**  
**CONDITIONS OF APPROVAL**  
**P15-066**  
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- P15. (GP) Prior to issuance of grading permits, plans for any security gate system shall be submitted to the Planning Division for review.
- P16. (GP) Prior to issuance of grading permits, the developer shall submit wall/fence plans to the Planning Division for review as follows:
- A. A six (6) foot high decorative block wall with pilasters and a cap is required along Eucalyptus Avenue. Wrought iron or tubular steel fencing will be provided adjacent to and surrounding the Nature Park.
  - B. A maximum six (6) foot high solid decorative block perimeter wall with pilasters and a cap shall be required if not currently provided adjacent to the commercial project to the east and all residentially zoned parcels adjacent to the tract.
  - C. Maximum six (6) foot high decorative vinyl fencing with pilasters/caps or other decorative open or solid decorative fencing as approved by the Community Development Director is required adjacent to all designated paseo areas.
  - D. Fences and walls placed between residential parcels shall be constructed of wood, poly vinyl, decorative metal, decorative block or other durable decorative material as approved by the Community Development Director.
  - E. All fences/walls adjacent to internal streets or rights-of-way shall be constructed of decorative metal rail, decorative block or other decorative material with pilasters as approved by the Community Development Director.
  - F. All proposed retaining walls at a three (3) foot height limit shall be decorative in nature.
  - G. Non-combustible fencing is required for all lots adjacent to all fuel modification zones, subject to the approval of the Fire Prevention Bureau.
  - H. A decorative wrought iron or tubular steel fence or other decorative fence or wall with pilasters and caps is required at the top of drainage basin slopes to fully secure the area.
- P17. (GP) Prior to issuance of grading permits, landscape plans (trees, shrubs and groundcover) for basins maintained by an HOA or other private entity shall be submitted to the Planning Division for review and approval for the sides, slopes and bottom. A hydroseed mix w/irrigation is acceptable for the bottom of all the basin areas. All detention basins shall include trees, shrubs and groundcover up to the concreted portion of the basin. A solid decorative wall with pilasters, tubular steel fence with pilasters or other fence or wall approved by the Community Development Director is required to secure all water quality and detention basins more than 18 inches in depth.

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
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P18. The approval of P15-066 (Tentative Tract Map No. 36933) and P15-067 (Conditional Use Permit) includes a minimum of 272 residential lots with up to two (2) additional residential lots replacing four (4) guest parking stalls for a maximum of 274 residential lots. The additional two lots are proposed as a potential land exchange with Eastern Municipal Water District which owns the lot immediately to the north and east of the project adjacent to Lot Z and Eucalyptus Avenue.

**PRIOR TO RECORDATION OF FINAL MAP**

- P19. (R) Prior to final map recordation, subdivision phasing (including any proposed common open space or improvement phasing, if applicable), shall be subject to the Planning Division approval. Any proposed phasing shall provide for adequate vehicular access to all lots in each phase as determined by the City Transportation Engineer or designee and shall substantially conform to all intent and purpose of the subdivision approval. (MC 9.14.080)
- P20. (R) Prior to final map recordation, any required trail easements shall be provided.
- P21. (R) Prior to recordation of the final subdivision map, the developer shall submit for review and approval the following documents to the Planning Division which shall demonstrate that the project will be developed and maintained in accordance with the intent and purpose of the approval:
- a. The document to convey title
  - b. Deed restrictions, easements, or Covenants, Conditions and Restrictions to be recorded

The approved documents shall be recorded at the same time that the subdivision map is recorded. The documents shall contain provisions for general maintenance of the site, joint access to proposed parcels, open space use restrictions, conservation easements, guest parking, water quality basins, lighting, landscaping and common area use items such as general building maintenance for common owned structures and facilities, tot lot/public seating areas and other recreation facilities or buildings. The approved documents shall also contain a provision, which provides that they may not be terminated and/or substantially amended without the consent of the City and the developer's successor-in-interest. (MC 9.14.090)

In addition, the following deed restrictions and disclosures shall be included within the document and grant deed of the properties:

- The developer and homeowners association shall promote the use of native plants and trees and drought tolerant species to the extent feasible.

**PLANNING DIVISION**  
**CONDITIONS OF APPROVAL**  
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- (R) All lots designated for open space and or detention basins, shall be included as an easement to, and maintained by a Homeowners Association (HOA) or other private maintenance entity. All reverse frontage landscape areas shall also be maintained by the onsite HOA. Language to this effect shall be included and reviewed within the required Covenant Conditions and Restrictions (CC&Rs) prior to the approval of the final map.
  - Maintenance of any and all common facilities.
  - A conservation easement for lettered lots, including the Nature Park, shall be recorded on the deed of the property and shown on the final map. Said easement shall include access restrictions prohibiting motorized vehicles from these areas.
  - Oleander plants or trees shall be prohibited on open space lots adjacent to multi-use trails.
- P22. (R) Prior to recordation of final map, a conservation easement shall be shown for Lot B “Nature Park”, and the lot shall remain in a natural or naturalized state void of future development. All easements shall be shown and approved on the final map and recorded with the County Recorder’s Office. All motorize vehicles, except for law enforcement/fire vehicles, shall be prohibited from the conservation area. Signage throughout the tract shall be posted at all entrances to the conservation easement.

**PRIOR TO BUILDING PERMIT**

- P23. (BP) Prior to issuance of building permits, the developer or developer's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), Multi-species Habitat Conservation Plan (MSHCP) mitigation fees, and the City’s adopted Development Impact Fees. (Ord)
- P24. (BP) Prior to issuance of building permits, final front and street side yard landscape and irrigation plans, and slope landscape plans and basin landscape plans, shall be approved.



**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
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- P25. (BP) Prior to issuance of building permits, landscape plans (trees, shrubs and groundcover) for basins maintained by an HOA, or other private entity, shall be approved for the sides and or slopes of all water quality basins and drainage areas. A solid decorative wall with pilasters, tubular steel fence with pilasters or other fence or wall approved by the Community & Economic Development Director is required to secure all water quality and detention basins more than 18 inches in depth.
- P26. (BP) Prior to approval of any building permits, fence, wall and gate plans shall be approved.

**PRIOR TO BUILDING FINAL**

- P27. (BF) Prior to the issuance of Certificates of Occupancy or building final, slope landscape and irrigation shall be installed. Landscaping on lots not yet having dwelling units shall be maintained by the developer weed and disease free. (MC 9.03.040)
- P287. (BF) Prior to the issuance of Certificates of Occupancy or building final, all required and proposed fences and walls shall be constructed per the approved plans on file in the Planning Division. (MC 9.080.070)
- P29. (BF) For a basin maintained by an HOA or other private entity, landscape (trees, shrubs and groundcover) and irrigation shall be installed, and maintained by the HOA or other private entity.

**Building and Safety Division**

- B-1 The above project shall comply with the current California Codes (CBC, CEC, CMC and the CPC) as well as all other city ordinances. All new projects shall provide a soils report. Plans shall be submitted to the Building Department as a separate submittal.
- B-2 Prior to final inspection, all plans will be placed on a CD Rom for reference and verification. Plans will include “as built” plans, revisions and changes. The CD will also include Title 24 energy calculations, structural calculations and all other pertinent information. It will be the responsibility of the developer and or the building or property owner(s) to bear all costs required for this process. The CD will be presented to the Building Department for review prior to final inspection and building occupancy. The CD will become the property of the Moreno Valley Building Department at that time (*applies only to commercial, industrial, and multi-family projects*).

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
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- B-3 All projects that will be serviced by a private sewage disposal system shall obtain approval from the Riverside County Environmental Health Department prior to submitting plans to the Building Department.
- B-4 (BP) Prior to the issuance of a building permit, the applicant shall submit a properly completed "Waste Management Plan" (WMP), as required, to the Compliance Official (Building Official) as a portion of the building or demolition permit process.

**SCHOOL DISTRICT**

- S-1. (BP) Prior to issuance of building permits, the developer shall provide to the Community & Economic Development Director a written certification by the affected school district that either: (1) the project has complied with the fee or other exaction levied on the project by the governing board of the district, pursuant to Government Code Section 65996; or (2) the fee or other requirement does not apply to the project.

**UNITED STATES POSTAL SERVICE**

- PO-1. (BP) Prior to the issuance of building permits, the developer shall contact the U.S. Postal Service to determine the appropriate type and location of mailboxes.

**POLICE DEPARTMENT**

- PD1. Prior to the start of any construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet high with locking, gated access and shall remain through the duration of construction. Security fencing is required if there is: construction, unsecured structures, unenclosed storage of materials and/or equipment, and/or the condition of the site constitutes a public hazard as determined by the Public Works Department. If security fencing is required, it shall remain in place until the project is completed or the above conditions no longer exist. (DC 9.08.080)
- PD2. (GP) Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the following:
- a. The name (if applicable) and address of the development.
  - b. The developer's name, address, and a 24-hour emergency telephone number. (DC 9.08.080)

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
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- PD3. (CO) Prior to the issuance of a Certificate of Occupancy, an Emergency Contact information Form for the project shall be completed at the permit counter of the Community Development Department - Building Division for routing to the Police Department. (DC 9.08.080)

Updated 3/15/16

**CITY OF MORENO VALLEY  
CONDITIONS OF APPROVAL**

**Case No: P15-066**

**APN: 488-090-026, 027, 028, AND 077; 488-091-001 through 073**

**DATE: 2/2/16**

**FIRE PREVENTION BUREAU**

With respect to the conditions of approval, the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinances and/or recognized fire protection standards:

- F1. Single Family Dwellings. Schedule "A" fire prevention approved standard fire hydrants (6" x 4" x 2 ½" ) shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction. Minimum fire flow shall be 1000 GPM for 1 hour duration of 20 PSI. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, serving one and two-family residential developments, standard fire hydrants shall be provided at spacing not to exceed 1000 feet along the tract boundary for transportation hazards. (CFC 507.3, Appendix B, MVMC 8.36.060) .
- F2. Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for Fire Lanes and signage. (CFC 501.3)
- F3. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. (CFC 509.1 and MV City Standard Engineering Plan 422 a, b, c)
- F4. During phased construction, dead end roadways and streets which have not been completed shall have a turn-around capable of accommodating fire apparatus. (CFC 503.1 and 503.2.5)
- F5. If construction is phased, each phase shall provide an approved emergency vehicular access way for fire protection prior to any building construction. (CFC 501.4)
- F6. Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved Fire Department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. (CFC 501.4 and MV City Standard Engineering Plan 108d)
- F7. Prior to construction and issuance of Building Permits, fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less the thirteen (13) feet six (6) inches. (CFC 503.2.1 and MVMC 8.36.060[E])
- F8. Prior to construction, all roads, driveways and private roads shall not exceed 12 percent grade. (CFC 503.2.7 and MVMC 8.36.060[G])

- F9. Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)
- F10. The angle of approach and departure for any means of Fire Department access shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m), and the design limitations of the fire apparatus of the Fire Department shall be subject to approval by the AHJ. (CFC 503 and MVMC 8.36.060)
- F11. Prior to construction, "private" driveways over 150 feet in length shall have a turn-around as determined by the Fire Prevention Bureau capable of accommodating fire apparatus. Driveway grades shall not exceed 12 percent. (CFC 503 and MVMC 8.36.060, CFC 501.4)
- F12. Prior to issuance of Certificate of Occupancy or Building Final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numbers shall be located consistently on each dwelling throughout the development. The numerals shall be no less than four (4) inches in height and shall be low voltage lighted fixtures. (CFC 505.1, MVMC 8.36.060[I])
- F13. Prior to issuance of Building Permits, the applicant/developer shall participate in the Fire Impact Mitigation Program. (Fee Resolution as adopted by City Council)
- F14. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
- F15. Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Fire Prevention Bureau for review. Plans shall:
- a) Be signed by a registered civil engineer or a certified fire protection engineer;
  - b) Contain a Fire Prevention Bureau approval signature block; and
  - c) Conform to hydrant type, location, spacing of new and existing hydrants and minimum fire flow required as determined by the Fire Prevention Bureau.

After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.

Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)

- F16. Prior to Certificate of Occupancy or Building Final, all structures shall have fire retardant roofing materials (Class A roofs) as described in CBC Chapter 7A, CRC R327, and CFC Chapter 49.

- F17. Prior to construction, all traffic calming designs/devices must be approved by the Fire Marshal and City Engineer.

CITY OF MORENO VALLEY  
PUBLIC WORKS DEPARTMENT - LAND DEVELOPMENT DIVISION  
CONDITIONS OF APPROVAL  
P15-066 Amended TTM 36933 (PA10-0038)  
P15-067 Amended Conditional Use Permit (PA10-0039)  
Single-Family Residential Planned Unit Development  
APN 488-150-001 et. al.

PUBLIC WORKS DEPARTMENT – LAND DEVELOPMENT DIVISION

The following are the Public Works Department – Land Development Division Conditions of Approval for this project and shall be completed at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Public Works Department – Land Development Division.

General Conditions

- LD1. (G) The developer shall comply with all applicable City ordinances and resolutions including the City’s Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). (MC 9.14.010)
- LD2. (G) If the project involves the subdivision of land, maps may be developed in phases with the approval of the City Engineer. Financial security shall be provided for all improvements associated with each phase of the map. The boundaries of any multiple map increment shall be subject to the approval of the City Engineer. The City Engineer may require the dedication and construction of necessary utilities, streets or other improvements outside the area of any particular map, if the improvements are needed for circulation, parking, access, or for the welfare or safety of the public. (MC 9.14.080, GC 66412 and 66462.5)
- LD3. (G) It is understood that the tentative map and conditional use permit correctly shows all existing easements, traveled ways, and drainage courses, and that their omission may require the map or plans associated with this application to be resubmitted for further consideration. (MC 9.14.040)
- LD4. (G) In the event right-of-way or offsite easements are required to construct offsite improvements necessary for the orderly development of the surrounding area to meet the public health and safety needs, the developer shall make a good faith effort to acquire the needed right-of-way in accordance with the Land Development Division’s administrative policy. In the event that the developer is unsuccessful, he shall enter into an agreement with the City to acquire the necessary right-of-way or offsite easements and complete the improvements at such time the City acquires the right-of-way or offsite easements which will permit the improvements to be made. The developer shall be responsible for all costs associated with the right-of-way or easement acquisition. (GC 66462.5)
- LD5. (G) The developer shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.

- (b) Observance of working hours as stipulated on permits issued by the Public Works Department.
- (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
- (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the grading operations.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

- LD6. (G) The developer shall protect downstream properties from damage caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities, including, but not limited to, modifying existing facilities or by securing a drainage easement. (MC 9.14.110)
- LD7. (G) Public drainage easements, when required, shall be a minimum of 25 feet wide and shall be shown on the map and plan, and noted as follows: "Drainage Easement – no structures, obstructions, or encroachments by land fills are allowed." In addition, the grade within the easement area shall not exceed a 3:1 (H:V) slope, unless approved by the City Engineer.
- LD8. (G) For single family residential subdivisions, all lots shall drain toward the street unless otherwise approved by the City Engineer. Residential lot drainage to the street shall be by side yard swales and include yard drain pipes and inlet grates (or stubbed and capped if area is not yet landscaped) that convey flows to the street in accordance with City Standard No. MVS1-152-0. No over the sidewalk drainage shall be allowed. All drainage shall be directed to drainage devices located outside the private street travelled way. (MC 9.14.110)
- LD9. (G) A detailed drainage study shall be submitted to the City Engineer for review and approval at the time of any improvement or grading plan submittal. The study shall be prepared by a registered civil engineer and shall include existing and proposed hydrologic conditions. Hydraulic calculations are required for all drainage control devices and storm drain lines. (MC 9.14.110). Prior to approval of the related improvement or grading plans, the developer shall submit the approved drainage study, on compact disk, in digital format (PDF) to the Land Development Division of the Public Works Department.
- LD10. (G) The final conditions of approval issued by the Planning Division subsequent to Planning Commission approval shall be photographically or electronically placed on mylar sheets and included in the Grading and Street Improvement plan sets on twenty-four (24) inch by thirty-six (36) inch mylar and submitted with the plans for plan check. These conditions of approval shall become part of these plan sets and the approved plans shall be available in the field during grading and construction.



Prior to Grading Plan Approval or Grading Permit

- LD11. (GPA) Prior to approval of the grading plans, plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professional as required.
- LD12. (GPA) Prior to approval of grading plans, the developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:
- a. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the City Engineer, lot lines shall be located at the top of slopes.
  - b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control and sight distance control as approved by the City Engineer.
  - c. A grading permit shall be obtained from the Public Works Department Land Development Division prior to commencement of any grading outside of the City maintained road right-of-way.
  - d. All improvement plans are substantially complete and appropriate clearance and at-risk letters are provided to the City. (MC 9.14.030)
  - e. The developer shall submit a soils and geologic report to the Public Works Department – Land Development Division. The report shall address the soil's stability and geological conditions of the site.
- LD13. (GPA) Prior to approval of the grading plans for projects that will result in discharges of storm water associated with construction with a soil disturbance of one or more acres of land, the developer shall submit a Notice of Intent (NOI) and obtain a Waste Discharger's Identification number (WDID#) from the State Water Quality Control Board (SWQCB). The WDID# shall be noted on the grading plans prior to issuance of the first grading permit.
- LD14. (GPA) Prior to grading plan approval, the developer shall prepare a Storm Water Pollution Prevention Plan (SWPPP) in conformance with the state's Construction Activities Storm Water General Permit. A copy of the current SWPPP shall be kept at the project site and be available for review upon request. The SWPPP shall be submitted to the Storm Water Program Manager on compact disk(s) in Microsoft Word format.
- LD15. (GPA) Prior to the approval of the grading plans, the developer shall pay applicable remaining grading plan check fees.
- LD16. (GPA/MA) Prior to the later of either grading plan or final map approval, resolution of all drainage issues shall be as approved by the City Engineer.
- LD17. (GP) Prior to issuance of a grading permit, if the fee has not already been paid prior to map approval or prior to issuance of a building permit if a grading permit is not required, the developer shall pay Area Drainage Plan (ADP) fees. The developer shall provide a receipt to the City showing that ADP fees have been paid to Riverside County Flood Control and Water Conservation District. (MC 9.14.100)

- LD18. (GP) Prior to issuance of a grading permit, security, in the form of a cash deposit (preferable), letter of credit, or performance bond shall be required to be submitted as a guarantee of the completion of the grading required as a condition of approval of the project.
- LD19. (GP) Prior to issuance of a grading permit, security, in the form of a cash deposit (preferable), letter of credit, or performance bond shall be required to be submitted as a guarantee of the implementation and maintenance of erosion control measures required as a condition of approval of the project. At least twenty-five (25) percent of the required security shall be in cash and shall be deposited with the City. (MC 8.21.160)
- LD20. (GP) Prior to issuance of a grading permit, the developer shall pay the applicable grading inspection fees.

Prior to Map Approval or Recordation

- LD21. (MA) Prior to approval of the map, the developer shall submit a copy of the Covenants, Conditions and Restrictions (CC&Rs) to the Land Development Division for review and approval. The CC&Rs shall include, but not be limited to, access easements, reciprocal access, private and/or public utility easements as may be relevant to the project. In addition, for single-family residential development, the developer shall submit bylaws and articles of incorporation for review and approval as part of the maintenance agreement for any water quality basin.
- LD22. (MA) Prior to approval of the map, all street dedications on Eucalyptus Avenue shall be irrevocably offered to the public and shall continue in force until the City accepts or abandons such offers, unless otherwise approved by the City Engineer. All dedications shall be free of all encumbrances as approved by the City Engineer. All map interior streets are private streets and shall be retained by the owner, his successors, and assigns.
- LD23. (MR) Prior to recordation of the map, if the developer chooses to construct the project in construction phases, a Construction Phasing Plan for the construction of on-site public and private improvements shall be reviewed and approved by the City Engineer. This approval must be obtained prior to the Developer submitting a Phasing Plan to the California State Department of Real Estate.
- LD24. (MR) Prior to recordation of the map, if applicable, the developer shall have all **private** street names approved by the City Engineer. (MC 9.14.090)
- LD25. (MR) Prior to recordation of the final map, this project is subject to requirements under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (**NPDES**) as mandated by the Federal Clean Water Act. Following are the requirements:
- a. Establish a Home Owners Association (HOA) to finance the maintenance of the "Water Quality Basins/Bio-swales". Any lots which are identified as "Water Quality Basins/Bio-Swales" shall be owned in fee by the HOA.
  - b. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.

- i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Residential NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process, or
  - ii. Establish an endowment to cover future maintenance costs for the Residential NPDES Regulatory Rate Schedule.
- c. Notify the Special Districts Division of the intent to record the final map 90 days prior to City Council action authorizing recordation of the final map and the financial option selected. (California Government Code & Municipal Code)

LD26. (MR) Prior to recordation of the Final Map, the Grading Plan (s) and Landscape and Irrigation Plan (s) prepared for the "Water Quality Ponds/Bio-Swales" shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer or other registered/licensed professional as required. The developer, or the developer's successors or assignees shall secure the initials of the Engineering Division Manager or his designee on the mylars prior to the plans being approved by the City Engineer. (MC 9.14.100.C.2)

Prior to Improvement Plan Approval or Construction Permit

LD27. (IPA) Prior to approval of the improvement plans, the improvement plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professional as required.

LD28. (IPA) Prior to approval of the improvement plans, the developer shall submit clearances from all applicable agencies, and pay all outstanding plan check fees. (MC 9.14.210)

LD29. (IPA) Street improvement plans shall comply with all applicable City standards and the following design standards throughout this project:

- a. Corner cutbacks in conformance with City Standard 208 shall be shown on the final map or, if no map is to be recorded, offered for dedication by separate instrument.
- b. Lot access to major thoroughfares shall be restricted except at intersections and approved entrances and shall be so noted on the final map. (MC 9.14.100)
- c. The minimum centerline and flow line grades shall be one percent unless otherwise approved by the City Engineer. (MC 9.14.020)
- d. All street intersections shall be at ninety (90) degrees plus or minus five (5) degrees per City Standard No. MVSI-160A-0, or as approved by the City Engineer. (MC 9.14.020)
- e. All reverse curves shall include a minimum tangent of one hundred (100) feet in length.

LD30. (IPA) Prior to approval of the improvement plans, the plans shall indicate any restrictions on trench repair pavement cuts to reflect the City's moratorium on disturbing newly-constructed pavement less than three years old and recently slurry sealed streets less than one year old. Pavement cuts for trench repairs may be allowed for emergency repairs or as specifically approved in writing by the City Engineer.

LD31. (IPA) Prior to approval of the improvement plans, the developer is required to bring any existing access ramps adjacent to and fronting the project to current ADA (Americans with Disabilities Act) requirements. However, when work is required in an intersection that involves or impacts existing access ramps, those access ramps in that intersection

shall be retrofitted to comply with current ADA requirements, unless approved otherwise by the City Engineer.

- LD32. (IPA) Prior to approval of the improvement plans, drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency escape shall also be provided. (MC 9.14.110)
- LD33. (IPA) Prior to the approval of the improvement plans, the hydrology study shall show that the 10-year storm flow will be contained within the curb and the 100-year storm flow shall be contained within the street right-of-way. In addition, one lane in each direction shall not be used to carry surface flows during any storm event for street sections equal to or larger than a minor arterial. When any of these criteria is exceeded, additional drainage facilities shall be installed. (MC 9.14.110 A.2)
- LD34. (IPA) The project shall be designed to accept and properly convey all off-site drainage flowing onto or through the site. All storm drain design and improvements shall be subject to review and approval of the City Engineer. In the event that the City Engineer permits the use of streets for drainage purposes, the provisions of the Development Code will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, as in the case where one travel lane in each direction shall not be used for drainage conveyance for emergency vehicle access on streets classified as minor arterials and greater, the developer shall provide adequate facilities as approved by the Public Works Department – Land Development Division. (MC 9.14.110)
- LD35. (CP) All work performed within the City right-of-way requires a construction permit. As determined by the City Engineer, security may be required for work within the right-of-way. Security shall be in the form of a cash deposit or other approved means. The City Engineer may require the execution of a public improvement agreement as a condition of the issuance of the construction permit. All inspection fees shall be paid prior to issuance of construction permit. (MC 9.14.100)
- LD36. (CP) Prior to issuance of a construction permit, all public improvement plans prepared and signed by a registered civil engineer in accordance with City standards, policies and requirements shall be approved by the City Engineer.
- LD37. (CP) Prior to issuance of construction permits, the developer shall submit all improvement plans on compact disks, in digital format (PDF) to the Land Development Division of the Public Works Department.
- LD38. (CP) Prior to issuance of construction permits, the developer shall pay all applicable inspection fees.

#### Prior to Building Permit

- LD39. (BP) Prior to issuance of building permits, if the project involves a residential subdivision, the map shall be recorded (excluding model homes). (MC 9.14.090)
- LD40. (BP) Prior to issuance of a building permit (excluding model homes), an approval by the City Engineer is required of the water quality control basin(s). The developer shall provide certification to the line, grade, flow test and system invert elevations.

- LD41. (BP) Prior to issuance of a building permit, all pads shall meet pad elevations per approved plans as noted by the setting of "Blue-top" markers installed by a registered land surveyor or licensed engineer.
- LD42. (BP) Prior to issuance of a building permit, the developer shall submit for review and approval, a Waste Management Plan (WMP) that shows data of waste tonnage, supported by original or certified photocopies of receipts and weight tags or other records of measurement from recycling companies and/or landfill and disposal companies. The Waste Management Plan shall contain the following:
- a. The estimated volume or weight of project waste to be generated by material type. Project waste or debris may consist of vegetative materials including trees, tree parts, shrubs, stumps, logs, brush, or any other type of plants that are cleared from a site. Project waste may also include roadwork removal, rocks, soils, concrete and other material that normally results from land clearing.
  - b. The maximum volume or weight of such materials that can be feasibly diverted via reuse and recycling.
  - c. The vendor(s) that the applicant proposes to use to haul the materials.
  - d. Facility(s) the materials will be hauled to, and their expected diversion rates.
  - e. Estimated volume or weight of clearing, grubbing, and grading debris that will be landfilled .

Approval of the WMP requires that at least fifty (50) percent of all clearing, grubbing, and grading debris generated by the project shall be diverted, unless the developer is granted an exemption. Exemptions for diversions of less than fifty (50) percent will be reviewed on a case by case basis. (AB939, MC 8.80)

#### Prior to Certificate of Occupancy

- LD43. (CO) Prior to issuance of the last certificate of occupancy or building final, the developer shall pay all outstanding fees.
- LD44. (CO) The City of Moreno Valley has an adopted Development Impact Fee (DIF) nexus study. All projects unless otherwise exempted shall be subject to the payment of the DIF prior to issuance of occupancy. The fees are subject to the provisions of the enabling ordinance and the fee schedule in effect at the time of occupancy.
- LD45. (CO) The City of Moreno Valley has an adopted area wide Transportation Uniform Mitigation Fee (TUMF). All projects unless otherwise exempted shall be subject to the payment of the TUMF prior to issuance of occupancy. The fees are subject to the provisions of the enabling ordinance and the fee schedule in effect at the time of occupancy.
- LD46. (CO) Prior to issuance of a certificate of occupancy or building final, the developer shall construct all public improvements in conformance with applicable City standards, except as noted in the Special Conditions, including but not limited to the following applicable improvements:
- a. Street improvements including, but not limited to: pavement, base, curb and/or gutter, cross gutters, spandrel, sidewalks, drive approaches, pedestrian ramps, street lights, signing, striping, under sidewalk drains, landscaping and irrigation, medians, and traffic control devices as appropriate.
  - b. Storm drain facilities including, but not limited to: storm drain pipe, storm drain laterals, open channels, catch basins and local depressions.

- c. City-owned utilities.
- d. Sewer and water systems including, but not limited to: sanitary sewer, potable water and recycled water.
- e. Under grounding of existing and proposed utility lines less than 115,000 volts.
- f. Relocation of overhead electrical utility lines including, but not limited to: electrical, cable and telephone.

LD47. (CO) Prior to issuance of a certificate of occupancy or building final, all existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Moreno Valley ordinances. (MC 9.14.130)

LD48. (CO) Prior to issuance of a certificate of occupancy or building final for residential projects, the last 20% or last 5 units (whichever is greater, unless as otherwise determined by the City Engineer) of any Map Phase, punch list work for improvements and capping of streets in that phase must be completed and approved for acceptance by the City.

### SPECIAL CONDITIONS

LD49. Prior to final map approval or prior to issuance of a building permit if by separate instrument, the following easements shall be dedicated or retained by owner, his successors or assigns, as indicated below:

- a. Easements to the City of Moreno Valley for traffic signal loop detectors at the project entrances, where required.
- b. Easements to Eastern Municipal Water District for water and/or sewer facilities at the project entrances as shown on the tentative tract map.
- c. Private storm drain easement retained by owner, his successors, and assigns for storm drain line improvements from the end of Canyon Rock Court to the Eucalyptus Avenue south right-of-way.
- d. Private sewer easement to Eastern Municipal Water District for sewer purposes from the end of Canyon Rock Court to the Eucalyptus Avenue south right-of-way.
- e. Private sewer and water easements to Eastern Municipal Water District for proposed onsite sewer and water lines on proposed private streets throughout the project site coinciding with private sewer and water line alignments.
- f. Private storm drain easement retained by owner, his successors and assigns for storm drain line improvements from the end of Breccia Way, across Lot M, to its outlet as shown on the tentative tract map.
- g. Public storm drain easement to the City of Moreno Valley for storm drain line improvements within Painted Rock Drive as shown on the tentative tract map. This will also require an access easement from Eucalyptus Avenue to the storm drain improvements.
- h. Private drainage easement retained by owner, his successors and assigns for open channel gutter improvements along most of the east tract boundary as shown on the tentative tract map.
- i. Private streets retained by owner, his successors and assigns for general vehicular access with alignments as shown on the tentative tract map.
- j. Public emergency vehicle access easement to the City of Moreno Valley for emergency vehicle access on private streets.
- k. Lettered lots retained by owner, his successors and assigns for the purposes as indicated on the tentative tract map.

- LD50. Prior to final map approval, the map shall include a four-foot pedestrian right-of-way dedication behind driveway approaches at the project entrances along Eucalyptus Avenue per City Standard No. MVS1-112C-0. Driveway approaches shall be constructed per City Standard No. MVS1-112C-0. No decorative pavers shall be placed within the public right-of-way.
- LD51. Prior to precise grading plan approval, the plan shall clearly demonstrate that drainage is properly collected and conveyed. The plans shall show all necessary on-site and off-site drainage improvements to properly collect and convey drainage entering, within and leaving the project. This may include, but not be limited to on-site and perimeter drainage improvements to properly convey drainage within and along the project site, and downstream off-site improvements. The developer will be required to obtain the necessary permission for offsite construction including easements.
- LD52. Prior to precise grading plan approval, the plan shall show proposed private interior street grades at 1% minimum or as otherwise approved by the City Engineer and per the typical private drive street section as shown on the tentative tract map.
- LD53. Prior to precise grading plan approval, the plans shall show proposed mechanisms to treat onsite runoff before it enters into the public storm drain system. The plans shall show locations of proposed structural best management practices. The developer shall submit to the City for review and approval, those structural best management practices proposed onsite to control predictable pollutant runoff. The developer shall select those structural best management practices identified in Supplement A and Supplement A Attachment to the Riverside County Drainage Area Management Plans. [www.floodcontrol.co.riverside.ca.us](http://www.floodcontrol.co.riverside.ca.us) The developer shall first maximize the use of site design and source control best management practices before selecting treatment control best management practices.
- LD54. Prior to precise grading plan approval, the plan shall clearly show the extents of all existing easements on the property. All building structures shall be constructed outside of existing easements.
- LD55. Prior to issuance of building permits, this project shall cause the quitclaim or abandonment of all existing easements, especially those easements underneath proposed building footprints. This shall include, but not be limited to, the existing drainage easement affecting Lots 187-189.
- LD56. Prior to issuance of building permits, the precise grading plans shall be submitted for review and approval by the City Engineer.
- LD57. Prior to the issuance of building permits, any approved plans (i.e. sewer, water, storm drain, street) that have expired shall be resubmitted for review and approval if the plans will be used for the construction of uninstalled improvements.
- LD58. Prior to issuance of building permits, the applicant shall schedule a walk through with a Public Works Inspector to inspect existing improvements within public right-of-way on Eucalyptus Avenue along project frontage. The applicant will be required to install, replace and/or repair any missing, damaged or substandard improvements including handicap access ramps that do not meet current City standards. The applicant shall post security to cover the cost of the repairs and complete the repairs within the time allowed in the public improvement agreement used to secure the improvements as determined by the City Engineer.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION  
CONDITIONS OF APPROVAL**

**CASE NO: P15-066 (Revised Tentative Tract Map 36933 for up to 274 Residential Lots)**

**APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

Conditions are standard to all or most development projects. Some special conditions, modified conditions or clarification of conditions may be included. Please review conditions as listed and contact the Division at 951.413.3480 for any questions.

**Acknowledgement of Conditions**

The following items are the Special Districts Division's Conditions of Approval for **P15-066**; this project shall be completed at no cost to any Government Agency. All questions regarding the following Conditions including but not limited to intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480 or by emailing [specialdistricts@moval.org](mailto:specialdistricts@moval.org).

**General Conditions**

- SD-1 The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks & Community Services) and Zone C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual parcel taxes for Zone A and Zone C for operations and capital improvements.
- SD-2 \*Plans for parkway, median, slope, and/or open space landscape areas designated in the project's Conditions of Approval for incorporation into a City coordinated landscape maintenance program, shall be prepared and submitted in accordance with the City of Moreno Valley Public Works Department Landscape Design Guidelines. The guidelines are available on the City's website at [www.moval.org/sd](http://www.moval.org/sd) or from the Special Districts Division (951.413.3480 or [specialdistricts@moval.org](mailto:specialdistricts@moval.org)).
- SD-3 \*In the event the City of Moreno Valley determines that funds authorized by any Proposition 218 mail ballot proceeding are insufficient to meet the costs for parkway, slope, and/or open space maintenance and utility charges, the City shall have the right, at its option, to terminate the grant of any or all parkway, slope, and/or open space maintenance easements. This power of termination, should it be exercised, shall be exercised in the manner provided by law to quit claim and abandon the property so conveyed to the District, and to revert to the Developer or the Developer's successors in interest, all rights, title, and interest in said parkway, slope, and/or open space areas, including but not limited to responsibility for perpetual maintenance of said areas.



**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION**

**CONDITIONS OF APPROVAL**

**CASE NO: P15-066**

**APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

- SD-4 \*The Developer, or the Developer's successors or assignees shall be responsible for all parkway and/or median landscape maintenance for a period of one (1) year commencing from the time all items of work have been completed to the satisfaction of Special Districts staff as per the City of Moreno Valley Public Works Department Landscape Design Guidelines, or until such time as the District accepts maintenance responsibilities.
- SD-5 Any damage to existing landscape areas maintained by the City of Moreno Valley due to project construction shall be repaired/replaced by the Developer, or Developer's successors in interest, at no cost to the City of Moreno Valley.
- SD-6 The ongoing maintenance of any landscaping required to be installed behind the curb on Eucalyptus Ave. shall be the responsibility of a private Home Owner's Association (HOA), unless the parkway landscaping is to be maintained by the City.
- SD-7 \*Plan check fees for review of parkway/median landscape plans for improvements that shall be maintained by the City of Moreno Valley are due upon the first plan submittal. (MC 3.32.040)
- SD-8 \*Inspection fees for the monitoring of landscape installation associated with the City of Moreno Valley maintained parkways/medians are due prior to the required pre-construction meeting. (MC 3.32.040)
- SD-9 The portion of landscaped area located between the sidewalk and curb on Eucalyptus Ave. immediately east of Assessor's Parcel No. 488-150-001 is part of the landscaping for LMD 2014-02 Zone 05 and will continue to be maintained by the City. Please contact the Special Districts Division for the exact location of this area.
- SD-10 Street Light Authorization forms for all street lights that are conditioned to be installed as part of this project must be submitted to the Special Districts Division for approval, prior to street light installation. The Street Light Authorization form can be obtained from the utility company providing electric service to the project, either Moreno Valley Utility or Southern California Edison. For questions, contact the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.

**Prior to Recordation of Final Map**

- SD-11 (R) This project has been conditioned to provide a funding source for the continued maintenance, enhancement, and/or retrofit of parks, open spaces, linear parks, and/or trail systems. The Developer shall satisfy this condition with one of the options below.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-066****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

- a. Participate in a special election for annexation into Community Facilities District No. 1 and pay all associated costs of the special election process and formation, if any; or
- b. Establish an endowment fund to cover future maintenance costs for new neighborhood parks.

The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its selected financial option prior to City Council action authorizing recordation of the final map for the development. A minimum of 90 days is needed to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution for conducting a special election.

Annexation to CFD No. 1 shall be completed or proof of payment to establish the endowment fund shall be provided prior to the issuance of the first building permit for this project.

SD-12 (R) This project has been identified to be included in the formation of a Community Facilities District for Public Safety services including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the property owner shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district that may already be established. The Developer must notify the Special Districts Division at 951.413.3480 or [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its intent to record the final map for the development 90 days prior to City Council action authorizing recordation of the map. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution. (California Government Code Section 53313 et. seq.)

SD-13 (R) This project is conditioned to provide a funding source for the following special financing program(s):

- a. Street Lighting Services for capital improvements, energy charges, and maintenance.
- b. \*Landscape Maintenance Services for parkway landscaping on Eucalyptus Ave.

The Developer's responsibility is to provide a funding source for the capital improvements and the continued maintenance of the landscaped area. The Developer shall satisfy this condition with one of the options below.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-066****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

- i. Participate in a special election (mail ballot proceeding) and pay all associated costs of the special election and formation, if any. Financing may be structured through a Community Services District zone, Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
- ii. Establish a Property Owner's Association (POA) or Home Owner's Association (HOA) which will be responsible for any and all operation and maintenance costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its selected financial option prior to City Council action authorizing recordation of the final map for the development. The option for participating in a special election requires approximately 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution for conducting a special election.

The financial option selected shall be in place prior to the issuance of the first building permit for this project.

SD-14 (R) This project is conditioned to provide a funding source for the operation and maintenance of public improvements and/or services associated with new development in that territory. The Developer shall satisfy this condition with one of the options below.

- a. Participate in a special election for maintenance/services and pay all associated costs of the election process and formation, if any. Financing may be structured through a Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
- b. Establish an endowment fund to cover the future maintenance and/or service costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its selected financial option prior to City Council action authorizing recordation of the final map for the development. A minimum of 90 days is needed to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution for conducting a special election.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-066****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

The financial option selected shall be in place prior to the issuance of the first building permit for the project.

- SD-15 \*(R) Easements for reverse frontage parkway and slope landscape areas abutting Eucalyptus Ave. shall be 10ft. or to top of parkway facing slope or to face of perimeter tract wall, whichever is greater. Easements shall be dedicated to the City of Moreno Valley for landscape maintenance purposes, and shall be depicted on the final map, and an offer of their dedication made thereon.
- SD-16 \*(R) Prior to the recordation of the final map, the Developer shall provide all necessary documents to convey to the City the required easements for parkway and/or slope maintenance as specified on the tentative map or in these Conditions of Approval.

**Prior to Building Permit Issuance**

- SD-17 (BP) This project has been identified to potentially be included in the formation of a Map Act Area of Benefit Special District for the construction of major thoroughfares and/or freeway improvements. The property owner(s) shall participate in such District and pay any special tax, assessment, or fee levied upon the project property for such District. At the time of the public hearing to consider formation of the district, the property owner(s) will not protest the formation, but will retain the right to object any eventual assessment that is not equitable should the financial burden of the assessment not be reasonably proportionate to the benefit the affected property obtains from the improvements to be installed. The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its selected financial option when submitting an application for the first building permit to determine whether the development will be subjected to this condition. If subject to the condition, the special election requires a 90 day process in compliance with the provisions of Article 13C of the California Constitution. (Street & Highway Code, GP Objective 2.14.2, MC 9.14.100).
- SD-18 (BP) Prior to the issuance of the first building permit for this project, the Developer shall pay Advanced Energy fees for all applicable Residential and Arterial Street Lights required for this development. Payment shall be made to the City of Moreno Valley and collected by the Land Development Division. Fees are based upon the Advanced Energy fee rate in place at the time of payment, as set forth in the current Listing of City Fees, Charges, and Rates adopted by City Council. The Developer shall provide a copy of the receipt to the Special Districts Division ([specialdistricts@moval.org](mailto:specialdistricts@moval.org)). Any change in the project which may increase the number of street lights to be installed will require payment of additional Advanced Energy fees at the then current fee. Questions may

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-066****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

be directed to the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.

- SD-19 \*(BP) For those areas to be maintained by the City and prior to the issuance of the first Building Permit, Planning Division (Community Development Department), Special Districts Division (the Public Works Department) and Transportation Division (the Public Works Department) shall review and approve the final median, parkway, slope, and/or open space landscape/irrigation plans as designated on the tentative map or in these Conditions of Approval prior to the issuance of the first Building Permit.
- SD-20 \*(BP) Parkway, open space, and/or median landscaping specified in the project's Conditions of Approval shall be constructed in compliance with the City of Moreno Valley Public Works Design Guidelines and completed prior to the issuance of 25% (or 68) of the dwelling permits for this tract or 12 months from the issuance of the first dwelling permit, whichever comes first. In cases where a phasing plan is submitted, the actual percentage of dwelling permits issued prior to the completion of the landscaping shall be subject to the review of the construction phasing plan.

**Prior to Certificate of Occupancy**

- SD-21 \*(CO) Landscape and irrigation plans for parkway, median, slope, and/or open space landscape areas designated to be maintained by the City shall be placed on compact disk (CD) in pdf format. The CD shall include "As Built" plans, revisions, and changes. The CD will become the property of the City of Moreno Valley and the Moreno Valley Community Services District.

\*No action on conditions of approval if the landscaping required to be installed will be maintained by an HOA.

**CITY OF MORENO VALLEY**  
**CONDITIONS OF APPROVAL**  
**P15-066 & P15-067**

Amended Tentative Parcel Map (P15-066) and amended Conditional Use Permit (P15-067) for a 274 residential Planned Unit Development (PUD) at the southeast corner of Fir Avenue and Eucalyptus Avenue

**Transportation Engineering Division – Conditions of Approval**

Based on the information contained in our standard review process we recommend the following conditions of approval be placed on this project:

**GENERAL CONDITIONS**

- TE1. Eucalyptus Avenue is classified as an Arterial (100'RW/76'CC). Any modifications or improvements undertaken by this project shall be consistent with the City's standards for this facility.
- TE2. The project access from Graphite Drive to Eucalyptus Avenue shall be restricted to right-in / right-out turning movements. Access restriction shall be accomplished with the construction of a raised median, traffic control signing, and center treatment to match existing conditions to the satisfaction of the City Traffic Engineer.
- TE3. Driveways shall conform to Section 9.11.080, and Table 9.11.080-14 of the City's Development Code – Design Guidelines and City of Moreno Valley Standard No. MVS1-112C-0 for commercial driveway approach.
- TE4. Gated entrance shall be provided with the following, or as approved by the City Traffic Engineer:
- A. A storage lane with a minimum of 60' provided for queuing.
  - B. A second storage lane for visitors to stop in prior to the gate to utilize a call box (or other device) to receive permission to enter the site.
  - C. Signing and striping for A. and B.
  - D. A turnaround outside the gates of 38' radius.
  - E. No Parking Signs shall be posted in the turnaround areas.
  - F. A separate pedestrian entry.
  - G. Presence loop detectors (or another device) within 1 or 2 feet of the gates that ensures that the gates remain open while any vehicle is in the queue.
- All of these features must be kept in working order.
- TE5. All proposed on-site traffic signing and striping should be accordance with the latest California Manual on Uniform Traffic Control Devices (CAMUTCD).

- TE6. The first drive aisle juncture/parking stall shall be 60 feet from the property line per Municipal Code Section 9.77.080 A.18 or as approved by the City Engineer.
- TE7. Conditions of approval may be modified or added if project is phased or altered from any approved plans.

### **PRIOR TO IMPROVEMENT PLAN APPROVAL OR CONSTRUCTION PERMIT**

- TE8. Prior to issuance of building permit, the project applicant shall pay appropriate DIF and TUMF.
- TE9. Prior to the final approval of the street improvement plans, traffic signal modification plans are required for the following existing traffic signals:
- a. Eucalyptus Avenue and Feldspar Drive;
  - b. Eucalyptus Avenue and Fir Avenue.

All traffic signal modification plans shall be prepared by a registered civil engineer. Additional on-site and off-site right-of-way and/or easements may be required to accommodate any traffic signal equipment. Additional equipment may include, but not be limited to, the following: signal poles, controller cabinets, loop detectors, signage, pull-boxes, and conduits.

- TE10. Prior to the final approval of the street improvement plans, a median improvement plan shall be prepared by a registered civil engineer for the construction of a raised median at the intersection of Eucalyptus Avenue and Graphite Drive.
- TE11. Prior to the final approval of the street improvement plans, a signing and striping modification plan shall be prepared per City of Moreno Valley Standard Plans - Section 4 for Eucalyptus Avenue.
- TE12. Prior to issuance of a construction permit, construction traffic control plans prepared by a qualified, registered Civil or Traffic engineer shall be required for plan approval or as required by the City Traffic Engineer.
- TE13. Prior to final approval of the street improvement plans, the project plans shall demonstrate that sight distance at proposed streets and driveways conforms to City Standard Plan No. MVSI-164A-0 through MVSI-164C-0.

### **PRIOR TO CERTIFICATE OF OCCUPANCY OR BUILDING FINAL**

- TE14. (CO) Prior to issuance of Certificate of Occupancy, all traffic signal modification required per TE9 shall be completed and fully operational per the approved plans to the satisfaction of the City Engineer.

- TE15. (CO) Prior to issuance of Certificate of Occupancy, raised median improvement at the intersection of Eucalyptus Avenue and Graphite Drive shall be completed and fully operational per the approved plans to the satisfaction of the City Engineer.
- TE16. (CO) Prior to issuance of Certificate of Occupancy, all approved signing and striping shall be installed per current City Standards and the approved plans.



**PARKS & COMMUNITY SERVICES (PCS)****GENERAL CONDITIONS:**

- PCS-GC-1** This project is required to supply a funding source for the continued maintenance, enhancement, and or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. This can be achieved through annexing into Community Facilities District No. 1 (Park Maintenance). Please contact the Special Districts Division at 951.413.3480 or [specialdistricts@moval.org](mailto:specialdistricts@moval.org) to complete the annexation process.
- PCS-GC-2** The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks and Community Services). All assessable parcels therein shall be subject to the annual Zone 'A' charge for operations and capital improvements. Proof of such shall be supplied to Parks and Community Services upon Final Map and at Building Permits.
- PCS-GC-3** This project is subject to current Development Impact Fees.
- PCS-GC-4** This project is subject to current Quimby Fees.

**CITY OF MORENO VALLEY**  
**CONDITIONS OF APPROVAL**  
**Case No: P15-066**  
**Revised Tentative Tract Map No. 36933, P15-067**  
**APN: 488-090-026, 027, 028, & 077; 488-091-001 through 073**  
**Date: 02-29-2016**

**FINANCE AND MANAGEMENT SERVICES DEPARTMENT**

**Moreno Valley Utility**

**Note: All Special Conditions, Modified Conditions, or Clarification of Conditions are in bold lettering.** All other conditions are standard to all or most development projects.

**Acknowledgement of Conditions**

The following items are Moreno Valley Utility's Conditions of Approval for project P15-066; this project shall be completed at no cost to any Government Agency. All questions regarding Moreno Valley Utility's Conditions including but not limited to, intent, requests for change/modification, variance and/or request for extension of time shall be sought from Moreno Valley Utility (the Electric Utility Division) of the Finance and Management Services Department 951.413.3500, [mvuengineering@moval.org](mailto:mvuengineering@moval.org). The applicant is fully responsible for communicating with Moreno Valley Utility staff regarding their conditions.

**PRIOR TO ENERGIZING MVU ELECTRIC UTILITY SYSTEM AND CERTIFICATE OF OCCUPANCY**

- MVU-1 (R) This project requires the installation of electric distribution facilities. A non-exclusive easement shall be provided to Moreno Valley Utility and shall include the rights of ingress and egress for the purpose of operation, maintenance, facility repair, and meter reading.
- MVU-2 (BP) **City of Moreno Valley Municipal Utility Service – Electrical Distribution:** Prior to constructing the MVU Electric Utility System, the developer shall submit a detailed engineering plan showing design, location and schematics for the utility system to be approved by the City Engineer. In accordance with Government Code Section 66462, the Developer **shall** execute an agreement with the City providing for the installation, construction, improvement and dedication of the utility system following recordation of final map and concurrent with trenching operations and other subdivision improvements so long as said agreement incorporates the approved engineering plan and provides financial security to guarantee completion and dedication of the utility system.

The Developer **shall** coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to the City, or the City's designee, all utility infrastructure (including but not limited to conduit, equipment, vaults, ducts, wires, switches, conductors, transformers, and "bring-up" facilities including electrical capacity to serve the identified development and other adjoining/abutting/ or benefiting projects as determined by Moreno Valley Utility) – collectively referred to as "utility system" (to and through the development), along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and /or delivery of any and all "utility services" to each lot and unit within the Tentative Map. For purposes of this condition, "utility services" shall mean electric, cable television, telecommunication (including video, voice, and data) and other similar services designated by the City Engineer. "Utility services" shall not include sewer, water, and natural gas services, which are addressed by other conditions of approval.

The City, or the City's designee, shall utilize dedicated utility facilities to ensure safe, reliable, sustainable and cost effective delivery of utility services and maintain the integrity of streets and other public infrastructure. Developer shall, at developer's sole expense, install or cause the installation of such interconnection facilities as may be necessary to connect the electrical distribution infrastructure within the project to the Moreno Valley Utility owned and controlled electric distribution system.

- MVU-3 For all new projects, existing Moreno Valley Utility electrical infrastructure shall be preserved in place. The developer will be responsible, at developer expense, for any and all costs associated with the relocation of any of Moreno Valley Utility's underground electrical distribution facilities, as determined by Moreno Valley Utility, which may be in conflict with any developer planned construction on the project site.

## RESOLUTION NO. 2016-04

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING P15-067 (AMENDED CONDITIONAL USE PERMIT) FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF A MAXIMUM OF 274 RESIDENTIAL LOTS, ONE LOT FOR A DESIGNATED RECREATION AREA AND 45 COMMON OPEN SPACE LETTERED LOTS ON APPROXIMATELY 29 ACRES OF LAND WITHIN THE R15 (RESIDENTIAL – 15) AND OS (OPEN SPACE) LAND USE DISTRICTS**

**WHEREAS**, The applicant, Beazer Homes, has filed an application for the approval of amended Conditional Use Permit (P15-067) and Planned Unit Development (PUD) on an approximate 29 acre parcel of land for a maximum of 274 residential homes, one lot for a designated recreation area and 45 common open space lots. The project is located in the R15 (Residential-15) and OS (Open Space) land use districts. The project is located on the southeast corner of Fir Avenue and Eucalyptus Avenue and amends the previous approvals for a Conditional Use Permit and Planned Unit Developments under PA10-0039 (Conditional Use Permit and Planned Unit Development).

**WHEREAS**, City of Moreno Valley (City) staff reviewed the proposed project and Conditional Use Permit for consistency with the City's Municipal Code, particularly Chapter 9.03, Sections 9.03.060 Planned Unit Developments; and

**WHEREAS**, on March 12, 2016, a public hearing notice was published in the Press Enterprise newspaper; and

**WHEREAS**, on March 24, 2016 the City Planning Commission conducted a public hearing to review an amended Conditional Use Permit (CUP) in conjunction with a proposed Planned Unit Development (PUD); and

**WHEREAS**, all legal prerequisites to the adoption of this Resolution have occurred; and

**WHEREAS**, the City prepared and circulated in accordance with the California Environmental Quality Act (CEQA) an Addendum to the previous environmental documentation; and

**WHEREAS**, the Addendum found that the project will not result in any new significant effects not previously identified in the 2005 Initial Study/Mitigated Negative Declaration (IS/MND) and/or 2011 Addendum; would not increase the level of environmental effect to substantial or significant; would not require any new mitigation measures to reduce previously identified significant effects; would not cause new or substantially more severe significant environmental effects than were identified in the

2005 IS/MND and 2011 Addendum; and, no new information has become available that shows that the project would cause new or substantially more severe significant environmental effects which have not already been analyzed; and

**WHEREAS**, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances; and

**WHEREAS**, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

**NOW, THEREFORE, BE IT RESOLVED**, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on March 24, 2016, including but not limited to: written and oral City staff reports, testimony presented at the public hearing, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:
  - 1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

**FACT:** The amended Tentative Tract Map proposes to subdivide an approximately 29 acre parcel into a maximum 274 lot residential community with additional recreational and open space lots. The project applicant has proposed the development of small lot detached residential homes within a Planned Unit Development (PUD). The proposed Conditional Use Permit (CUP) is consistent with the General Plan policies, including conformance with the (Residential -15) land use district and maximum density requirements. As allowed under the proposed PUD, specific land use deviations will occur for such items as lot area, lot dimensions, maximum floor area, lot coverage, and setbacks. In addition, recreational and open space lots will be provided to allow community amenities such as a community recreation area containing a pool and spa, tot lots, walkable paseos, and other designated open space areas. Residential Lots will range from 1,960 square feet to 3,989 square feet and unit square footage would range from 1,542 square feet to 1,982 square feet.

The project is also consistent with many sections of the General Plan including, but not limited to “9.1 Ultimate Goals” and “Goal V” of the General Plan which, “provides for recreational amenities, recreational services and open space, including, but not limited to parks, multi-use trails, community centers and open space. The project is also consistent with 9.2.2 “Community Development Element Objectives and Policies” and Policy 2.2.9 of the General Plan which states that the “primary purpose of areas designated Residential 15 is to provide a range of multiple-family housing types that include amenities such as common open space and recreational facilities, while the maximum allowable density of 15 dwelling units per acre shall not be exceeded”. Consistency with the General Plan is also provided under Objective 2.2.12 where, “Planned Unit Developments shall be encouraged for residential construction in order to provide housing that is varied in type, design, form of ownership, and size while PUD’s shall also provide opportunities to cluster units to protect significant environmental features and/or provide unique recreational facilities”.

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

**FACT:** The applicant has requested approval of a Conditional Use Permit (CUP) and Planned Unit Development (PUD), for the primary purposes of subdividing an approximately 29 acre site into a maximum of 274 residential lots, while providing individual common lot amenities such as a community recreation area, a nature park, and other common open space amenities such as tot lots. The General Plan land use designation for the site is R15 (Residential-15) and OS (Open Space). The project site does not lie within a designated specific plan area. The proposed overall density for the project site is approximately eleven (11) units per acre, which does not exceed the maximum fifteen (15) units per acre allowed in the Municipal Code. As permitted within Section 9.03.060 “Planned Unit Developments” of the Municipal Code, proposed deviations from development code requirements for a Planned Unit Development to include lot size, lot width, lot depth, and setbacks.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

**FACT:** As conditioned and designed, the proposed tract map would not cause serious health problems or significant environmental impacts. The proposed land division for a maximum

of 274 residential lots and various common open space lots for recreation and open space purposes on an approximately 29 acre parcel is in conformance with the General Plan and zoning district and would not cause serious public health problems or be materially injurious to properties or improvements in the general vicinity.

The previous projects did not identify any impact or mitigation measures related to biological resources on the project site. Based on the information in the Addendum, the project would not result in additional impacts to biological resources. The project site was partially graded and construction and demolition has occurred. The portion of the project site that was not graded does not have biological resources based on the information presented in previous environmental documentation. The project changes related to the development footprint, construction intensity, and location would not vary substantially related to the approved project. Therefore, no new or substantially more severe significant effects would occur and no additional mitigation measures would be required. Although the CEQA documentation did not indicate any biological impacts associated with the project, a final survey for the burrowing owl is required prior to any grading of the site. The project and environmental assessment indicates that there were no impacts to fish and wildlife. As conditioned and designed, the proposed tract map would not cause serious health problems or significant environmental impacts.

4. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

**FACT:** The updated residential project is consistent in density and design with current and future developments within the general vicinity. This would include surrounding residential land uses to the south and west and commercial/retail uses directly to the east and across Eucalyptus Avenue to the north. The inclusion of open space lots in the project provide additional community amenities such as a recreation area with pool and spa, tot lots and play areas, pocket park areas, open space areas and connectivity with surrounding retail centers and the existing multi-use trail to the south, and is consistent with Section 9.03.060 (Planned Unit Developments) of the Municipal Code.

The design of the proposed residential community will allow for pedestrian access. The project will provide walkable neighborhoods, providing pedestrian access to existing regional shopping centers to the east and north of the project site. The

project will provide internal and external access to recreational and open space amenities via a trail and paseo system. Additionally, the project will provide three major paseos linking the neighborhoods and recreational and open space amenities. Pedestrian access will be provided at all three (3) driveways to Eucalyptus Avenue and will allow residents to enjoy surrounding retail amenities while limiting automobile trips and reducing vehicle miles traveled.

## **C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

1. Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development impact fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

### **2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

The adopted Conditions of Approval for P15-067 incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.



The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the Statute of Limitations has previously expired.

**BE IT FURTHER RESOLVED** that the Planning Commission **HEREBY APPROVES** Resolution No. 2016-04 and hereby

1. **CERTIFY** that the proposed project qualifies for an Addendum pursuant to Section 15164 of the California Environmental Quality Act (CEQA) as the item will not have a significant impact on the environment, and
2. **APPROVE** P15-067 for an amended Conditional Use Permit and Planned Unit Development (PUD) for a maximum of 274 residential lots, one (1) lot for a designated recreation area and approximately 45 lettered lots for common open space areas, subject to the attached conditions of approval and Planned Unit Development Guide included as Exhibits A and B of the resolution.

APPROVED this 24th day of March, 2016.

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Brian Lowell  
Chair, Planning Commission

ATTEST:

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Richard J. Sandzimier, Planning Official

APPROVED AS TO FORM:

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City Attorney

Attached: Conditions of Approval and Planned Unit Development Guide

CITY OF MORENO VALLEY  
CONDITIONS OF APPROVAL  
AMENDED CONDITIONAL USE PERMIT (P15-067)  
APN: 488-090-026, 027, 028 and 077, 488-091-001 through 073

APPROVAL DATE:  
EXPIRATION DATE:



- Planning (P), including School District (S), Post Office (PO), Building (B)
- Fire Prevention Bureau (F)
- Public Works, Land Development (LD)
- Public Works, Special Districts (SD)
- Public Works – Transportation Engineering (TE)
- Parks & Community Services (PCS)
- Police (PD)
- Moreno Valley Utilities
- Other (Specify or Delete)

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

**For questions regarding any Planning condition of approval, please contact the Planning Division at (951) 413-3206.**

**GENERAL CONDITIONS**

P1. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)

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**Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):**

- R - Map Recordation
- GPA – Grading Plan Approval
- BP - Building Permits
- MR – Map Recordation
- AOS – Acceptance of Streets
- CP – Construction Permit

- GP - Grading Permits
- BF – Building Final
- P - Any permit
- MA – Map Approval
- WP - Water Improvement Plans
- IPA – Improvement Plan Approval
- SI – Street Improvements

**Governing Document (see abbreviation at the end of the affected condition):**

- GP - General Plan
- MC - Municipal Code

Ord - Ordinance

- Res - Resolution
- UBC - Uniform Building Code
- SBM - Subdivision Map Act

- MC – Municipal Code
- CEQA - California Environmental Quality Act
- Ldscp – Landscape development Guidelines and Specs
- UFC - Uniform Fire Code

Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
P15-067  
PAGE 2**

- P2. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
- P3. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
- P4. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
- P5. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
- P6. Any signs or community entry statements indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), proposed for this development shall be designed in conformance with the sign provisions of the Development Code or approved sign program, if applicable, and shall require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)
- P7. (GP) All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.
- P8. The approval of P15-066 (Tentative Tract Map No. 36933) and P15-067 (Conditional Use Permit) includes a minimum of 272 residential lots with up to two (2) additional residential lots replacing four (4) guest parking stalls for a maximum of 274 residential lots. The additional two lots are proposed as a potential land exchange with Eastern Municipal Water District which owns the lot immediately to the north and east of the project adjacent to Lot Z and Eucalyptus Avenue.
- P9. The Planned Unit Development (PUD) Guide, provided as an attachment to the staff report, includes, but is not limited to allowable deviations, lot dimensions, minimum lot area, maximum floor area, minimum setbacks, location and design of buildings and the method of maintaining common areas and improvements and shall be used to guide development in this community

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CONDITIONS OF APPROVAL  
P15-067  
PAGE 3**

- P10. Minimum lot size is 1,960 square feet with a maximum lot size of 3,989 square feet
- P11. All proposed homes shall include automatic roll up garage doors.
- P12. All lots within Tract 36933 shall provide front yard landscape, irrigation and street trees to the satisfaction of the Community and Economic Development Director. If street trees cannot be placed on internal streets adjacent to unit garages (one street tree and one lot tree per parcel), an equal number of required street trees and lot trees shall be placed at prominent internal locations such as street corners, adjacent to guest parking areas and within general common areas.
- P13. Pursuant to Municipal Code Table 9.16.130B, a minimum of seven (7) footprints and four (4) elevations, including reverse plans, shall be included within the proposed project.
- P14. There shall be no general pedestrian access granted to the drainage area on Lot B (Detention Basin) and limited access granted to pedestrians only on Lot A (Private Open Space lot) containing natural rock outcroppings.
- P15. Pedestrian gated entrances/exits shall be provided for all access points (Fir Avenue, Feldspar Drive and Graphite Drive) to provide required pedestrian access to the surrounding shopping centers located in the general vicinity of the project.
- P16. As the site is proposed for a maximum of 274 residential lots, a minimum of 137 guest parking stalls are required to be maintained for such use at all times.
- P17. All proposed single-family home elevations are approved conceptually by the Planning Commission, with final approval from the Community and Economic Development Director based on review and approval of a model home complex application.
- P18. All motorize vehicles, except for law enforcement/fire and maintenance vehicles, shall be prohibited from entering Lot A, a natural open space lot labeled as a "Nature Park" containing rock outcroppings. Lot A shall be void of any future development.

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CONDITIONS OF APPROVAL  
P15-067  
PAGE 4**

**Prior To Grading Permits**

- P19. (GP) If potential historic, archaeological, or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area will cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be implemented as deemed appropriate by the Community & Economic Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.
- If human remains are discovered, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be contacted within a reasonable timeframe to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).
- P20. (GP) Prior to issuance of grading permits, the developer shall pay any required applicable Stephens' Kangaroo Rat (SKR) Habitat Conservation Plan mitigation fee. (Ord)
- P21. (GP) Prior to approval of any grading permit, the developer shall submit for review and approval of a tree plan to the Planning Division if trees are evident on the site. The plan shall identify all mature trees (4 inch trunk diameter or larger) on the subject property and City right-of-way. Using the grading plan as a base, the plan shall indicate trees to be relocated, retained, and removed. Replacement trees shall be shown on the plan, be a minimum size of 24 inch box, and meet a ratio of three replacement trees for each mature tree removed or as approved by the Planning Official. (GP Objective 4.4, 4.5, DG)
- P22. (GP) Prior to approval of any grading permits, plans for any security gate system shall be submitted to the Planning Division and the Transportation Division of Public Works for review.

**PLANNING DIVISION  
CONDITIONS OF APPROVAL  
P15-067  
PAGE 5**

- P23. (GP) Prior to approval of any grading permit, local and master-planned multi-use trail easements shall be shown in accordance with the City's Master Trail Plan.
- P24. (GP) Within thirty (30) days prior to any grading or other land disturbance, a pre-construction survey for Burrowing Owls shall be conducted pursuant to the established guidelines of Multiple Species Habitat Conservation Plan.
- P25. (GP) Prior to issuance of any grading permits, rock outcroppings or aesthetic features shall be identified on the grading plans as preserved in place, relocated, transplanted or otherwise protected. Features to be protected shall be identified and designated on the grading plan. (DG)
- P26. (GP) Decorative pedestrian pathways across circulation aisles/paths shall be provided throughout the development to connect dwellings with open spaces and/or recreational uses or commercial/industrial buildings with open space and/or parking and the public right-of-way. The pathways shall be shown on the precise grading plan. (GP Objective 46.8, DG)
- P27. (GP) Prior to the issuance of building permits, the grading plan shall clearly show decorative concrete pavers for all driveway ingress/egress locations of the project.
- P28. (GP) Prior to issuance of grading permits, the developer shall submit wall/fence plans to the Planning Division for review as follows:
- A. A six (6) foot high decorative block wall with pilasters and a cap is required along Eucalyptus Avenue. Wrought iron or tubular steel fencing will be provided adjacent to and surrounding the Nature Park.
  - B. A maximum six (6) foot high solid decorative block perimeter wall with pilasters and a cap shall be required if not currently provided adjacent to the commercial project to the east and all residentially zoned parcels adjacent to the tract.
  - C. Maximum six (6) foot high decorative vinyl fencing with pilasters/caps or other decorative open or solid decorative fencing as approved by the Community Development Director is required adjacent to all designated paseo areas.
  - D. Fences and walls placed between residential parcels shall be constructed of wood, poly vinyl, decorative metal, decorative block or other durable decorative material as approved by the Community Development Director.
  - E. All fences/walls adjacent to internal streets or rights-of-way shall be constructed of decorative metal rail, decorative block or other decorative material with pilasters as approved by the Community

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- Development Director.
- F. Any proposed retaining walls at a three (3) foot height limit shall be decorative in nature.
  - G. Non-combustible fencing is required for all lots adjacent to all fuel modification zones, subject to the approval of the Fire Prevention Bureau.
  - H. A decorative wrought iron or tubular steel fence or other decorative fence or wall with pilasters and caps is required at the top of drainage basin slopes to fully secure the area.

**PRIOR TO BUILDING PERMITS**

- P29. (BP) Prior to issuance of building permits, the Planning Division shall review and approve the location and method of enclosure or screening of transformer cabinets, commercial gas meters and back flow preventers as shown on the final working drawings. Location and screening shall comply with the following criteria: transformer cabinets and commercial gas meters shall not be located within required setbacks and shall be screened from public view either by architectural treatment or landscaping; multiple electrical meters shall be fully enclosed and incorporated into the overall architectural design of the building(s); back-flow preventers shall be screened by landscaping. (GP Objective 43.30, DG)
- P30. (BP) Prior to issuance of building permits, screening details shall be addressed on plans for roof top equipment and trash enclosures submitted for Planning Division review and approval. All equipment shall be completely screened so as not to be visible from public view, and the screening shall be an integral part of the building. For trash enclosures, landscaping shall be included on at least three sides. The trash enclosure, including any roofing, shall be compatible with the architecture for the building(s). (GP Objective 43.6, DG)
- P31. (BP) Prior to issuance of building permits, two copies of a detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted to the Planning Division for review and approval. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall include style, illumination, location, height and method of shielding. The lighting shall be designed in such a manner so that it does not exceed one-quarter foot-candle minimum maintained spillover lighting measured from within five feet inside of any property line. The lighting level for all parking lots or structures shall be a minimum coverage of one foot-candle of light with a maximum of eight foot-candles. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, DG)

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- P32. (BP) Prior to issuance of building permits, the developer or developer's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), Multi-species Habitat Conservation Plan (MSHCP) mitigation fees, and the City's adopted Development Impact Fees. (Ord)
- P33. (BP) Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Standards and shall include:
- A. Drought tolerant landscape provided. Any sod used shall be limited to public gathering areas only and not be included along the perimeter of the project site.
  - B. The Eucalyptus Nicolii tree species required adjacent to Eucalyptus Avenue shall be spaced at a minimum of 40 foot on center.
  - C. Enhanced landscaping shall be included at all driveway and corner locations
  - D. Street trees are required at one (1) per lot, while shade trees are required at one (1) per lot. Street trees unable to be placed directly adjacent to the streetscape and garages shall be placed in an equal number on site strategically at prominent internal locations such as street corners, adjacent to guest parking areas and within general common areas to the satisfaction of the director.
  - E. The review of all utility boxes, transformers etc. shall be coordinated to provide adequate screening from public view (Landscape Guidelines)
  - F. Landscape (trees, shrubs and groundcover) and irrigation shall be required for the sides/slopes of all detention basins and drainage areas, while a hydroseed mix w/irrigation is acceptable for the bottom of all the basin areas.
  - G. Landscaping for detention basins shall be maintained by a Homeowner's Association.
  - H. Vines or vine pockets shall be provided adjacent to project perimeter fences and walls where applicable.
- P34. (BP) Prior to the issuance of building permits, landscape and irrigation plans for areas maintained by the Homeowner's Association shall be submitted to the Planning Division. All landscape plans shall be approved prior to the release of any building permits for the site. The plans shall be prepared in accordance with the City's Landscape Development Guidelines. Landscaping is required for the sides and or slopes of all water quality basin and drainage areas, while a hydroseed mix with irrigation is acceptable for the bottom of the basin areas. All



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detention basins shall include trees, shrubs and groundcover up to the concreted portion of the basin. A solid decorative wall with pilasters, tubular steel fence with pilasters or other fence or wall approved by the Planning Official is required to secure all water quality and detention basins.

- P35. (BP) Prior to the issuance of building permits, the plot plan shall include decorative concrete pavers for all driveway ingress/egress locations for the project
- P36. (BP) Prior to approval of any building permits, all garages shall be provided at 20x20 in dimension, void of any appurtenant structures such as water heaters and washer/dryers.
- P37. (BP) Prior to approval of any building permits, an elevation plan of the proposed shade structure within the designated Community Recreation Building shall be submitted for administrative review and approval.
- P38. (BP) Prior to approval of any building permits, fence, wall and gate plans shall be approved.

**PRIOR TO BUILDING FINAL**

- P39. (BF) Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation shall be installed and inspected by the Planning Division and all site clean-up shall be completed. (DC 9.03.040)
- P40. (BF) Prior to the issuance of Certificates of Occupancy or building final, all required and proposed fences and walls shall be constructed according to the approved plans on file in the Planning Division. (MC 9.080.070).
- P41. (BF) Prior to issuance of Certificate of Occupancy or building final, installed landscaping and irrigation shall be inspected by the Planning Division. All on-site and common area landscaping shall be installed in accordance with the City's Landscape Standards and the approved project landscape plans and all site clean-up shall be completed.
- P42. (BF) Prior to the issuance of building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department – Planning Division on a CD disk.

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**Building and Safety Division**

- B1. The above project shall comply with the current California Codes (CBC, CEC, CMC and the CPC) as well as city ordinances. All new projects shall provide a soils report as well. Plans shall be submitted to the Building and Safety Division as a separate submittal. The 2010 edition of the California Codes became effective for all permits issued after January 1, 2011.

COMMERCIAL, INDUSTRIAL, MULTI-FAMILY PROJECTS INCLUDING CONDOMINIUMS, TOWNHOMES, DUPLEXES AND TRIPLEX BUILDINGS REQUIRE THE FOLLOWING.

- B2. Prior to final inspection, all plans will be placed on a CD Rom for reference and verification. Plans will include “as built” plans, revisions and changes. The CD will also include Title 24 energy calculations, structural calculations and all other pertinent information. It will be the responsibility of the developer and or the building or property owner(s) to bear all costs required for this process. The CD will be presented to the Building and Safety Division for review prior to final inspection and building occupancy. The CD will become the property of the Moreno Valley Building and Safety Division at that time. In addition, a site plan showing the path of travel from public right of way and building to building access with elevations will be required.
- B3. (BP) Prior to the issuance of a building permit, the applicant shall submit a properly completed “Waste Management Plan” (WMP), as required, to the Compliance Official (Building Official) as a portion of the building or demolition permit process.

**SCHOOL DISTRICT**

- S1. (BP) Prior to issuance of building permits, the developer shall provide to the Community Development Director a written certification by the affected school district that either: (1) the project has complied with the fee or other exaction levied on the project by the governing board of the district, pursuant to Government Code Section 65996; or (2) the fee or other requirement does not apply to the project.

**UNITED STATES POSTAL SERVICE**

- PO1. (BP) Prior to the issuance of building permits, the developer shall contact the U.S. Postal Service to determine the appropriate type and location of mailboxes.

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**POLICE DEPARTMENT**

PD1. Prior to the start of any construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet high with locking, gated access and shall remain through the duration of construction. Security fencing is required if there is: construction, unsecured structures, unenclosed storage of materials and/or equipment, and/or the condition of the site constitutes a public hazard as determined by the Public Works Department. If security fencing is required, it shall remain in place until the project is completed or the above conditions no longer exist. (DC 9.08.080)

PD2. (GP) Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the following:

- a. The name (if applicable) and address of the development.
- b. The developer's name, address, and a 24-hour emergency telephone number. (DC 9.08.080)

PD3. (CO) Prior to the issuance of a Certificate of Occupancy, an Emergency Contact information Form for the project shall be completed at the permit counter of the Community and Economic Development Department - Building Division for routing to the Police Department. (DC 9.08.080)

PD4. Addresses need to be in plain view visible from the street and visible at night. It needs to have a backlight, so the address will reflect at night or a lighted address will be sufficient.

Updated 3/15/16

**CITY OF MORENO VALLEY  
CONDITIONS OF APPROVAL**

**Case No: P15-066**

**APN: 488-090-026, 027, 028, AND 077; 488-091-001 through 073**

**DATE: 2/2/16**

**FIRE PREVENTION BUREAU**

With respect to the conditions of approval, the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinances and/or recognized fire protection standards:

- F1. Single Family Dwellings. Schedule "A" fire prevention approved standard fire hydrants (6" x 4" x 2 ½" ) shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction. Minimum fire flow shall be 1000 GPM for 1 hour duration of 20 PSI. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, serving one and two-family residential developments, standard fire hydrants shall be provided at spacing not to exceed 1000 feet along the tract boundary for transportation hazards. (CFC 507.3, Appendix B, MVMC 8.36.060) .
- F2. Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for Fire Lanes and signage. (CFC 501.3)
- F3. Prior to issuance of Certificate of Occupancy or Building Final, "Blue Reflective Markers" shall be installed to identify fire hydrant locations in accordance with City specifications. (CFC 509.1 and MV City Standard Engineering Plan 422 a, b, c)
- F4. During phased construction, dead end roadways and streets which have not been completed shall have a turn-around capable of accommodating fire apparatus. (CFC 503.1 and 503.2.5)
- F5. If construction is phased, each phase shall provide an approved emergency vehicular access way for fire protection prior to any building construction. (CFC 501.4)
- F6. Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved Fire Department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. GVW, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. (CFC 501.4 and MV City Standard Engineering Plan 108d)
- F7. Prior to construction and issuance of Building Permits, fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less the thirteen (13) feet six (6) inches. (CFC 503.2.1 and MVMC 8.36.060[E])
- F8. Prior to construction, all roads, driveways and private roads shall not exceed 12 percent grade. (CFC 503.2.7 and MVMC 8.36.060[G])

- F9. Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)
- F10. The angle of approach and departure for any means of Fire Department access shall not exceed 1 ft drop in 20 ft (0.3 m drop in 6 m), and the design limitations of the fire apparatus of the Fire Department shall be subject to approval by the AHJ. (CFC 503 and MVMC 8.36.060)
- F11. Prior to construction, "private" driveways over 150 feet in length shall have a turn-around as determined by the Fire Prevention Bureau capable of accommodating fire apparatus. Driveway grades shall not exceed 12 percent. (CFC 503 and MVMC 8.36.060, CFC 501.4)
- F12. Prior to issuance of Certificate of Occupancy or Building Final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numbers shall be located consistently on each dwelling throughout the development. The numerals shall be no less than four (4) inches in height and shall be low voltage lighted fixtures. (CFC 505.1, MVMC 8.36.060[I])
- F13. Prior to issuance of Building Permits, the applicant/developer shall participate in the Fire Impact Mitigation Program. (Fee Resolution as adopted by City Council)
- F14. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
- F15. Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Fire Prevention Bureau for review. Plans shall:
- a) Be signed by a registered civil engineer or a certified fire protection engineer;
  - b) Contain a Fire Prevention Bureau approval signature block; and
  - c) Conform to hydrant type, location, spacing of new and existing hydrants and minimum fire flow required as determined by the Fire Prevention Bureau.

After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.

Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)

- F16. Prior to Certificate of Occupancy or Building Final, all structures shall have fire retardant roofing materials (Class A roofs) as described in CBC Chapter 7A, CRC R327, and CFC Chapter 49.

- F17. Prior to construction, all traffic calming designs/devices must be approved by the Fire Marshal and City Engineer.

CITY OF MORENO VALLEY  
 PUBLIC WORKS DEPARTMENT - LAND DEVELOPMENT DIVISION  
 CONDITIONS OF APPROVAL  
 P15-066 Amended TTM 36933 (PA10-0038)  
 P15-067 Amended Conditional Use Permit (PA10-0039)  
 Single-Family Residential Planned Unit Development  
 APN 488-150-001 et. al.

PUBLIC WORKS DEPARTMENT – LAND DEVELOPMENT DIVISION

The following are the Public Works Department – Land Development Division Conditions of Approval for this project and shall be completed at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Public Works Department – Land Development Division.

General Conditions

- LD1. (G) The developer shall comply with all applicable City ordinances and resolutions including the City’s Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). (MC 9.14.010)
- LD2. (G) If the project involves the subdivision of land, maps may be developed in phases with the approval of the City Engineer. Financial security shall be provided for all improvements associated with each phase of the map. The boundaries of any multiple map increment shall be subject to the approval of the City Engineer. The City Engineer may require the dedication and construction of necessary utilities, streets or other improvements outside the area of any particular map, if the improvements are needed for circulation, parking, access, or for the welfare or safety of the public. (MC 9.14.080, GC 66412 and 66462.5)
- LD3. (G) It is understood that the tentative map and conditional use permit correctly shows all existing easements, traveled ways, and drainage courses, and that their omission may require the map or plans associated with this application to be resubmitted for further consideration. (MC 9.14.040)
- LD4. (G) In the event right-of-way or offsite easements are required to construct offsite improvements necessary for the orderly development of the surrounding area to meet the public health and safety needs, the developer shall make a good faith effort to acquire the needed right-of-way in accordance with the Land Development Division’s administrative policy. In the event that the developer is unsuccessful, he shall enter into an agreement with the City to acquire the necessary right-of-way or offsite easements and complete the improvements at such time the City acquires the right-of-way or offsite easements which will permit the improvements to be made. The developer shall be responsible for all costs associated with the right-of-way or easement acquisition. (GC 66462.5)
- LD5. (G) The developer shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.

- (b) Observance of working hours as stipulated on permits issued by the Public Works Department.
- (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
- (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the grading operations.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

- LD6. (G) The developer shall protect downstream properties from damage caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities, including, but not limited to, modifying existing facilities or by securing a drainage easement. (MC 9.14.110)
- LD7. (G) Public drainage easements, when required, shall be a minimum of 25 feet wide and shall be shown on the map and plan, and noted as follows: "Drainage Easement – no structures, obstructions, or encroachments by land fills are allowed." In addition, the grade within the easement area shall not exceed a 3:1 (H:V) slope, unless approved by the City Engineer.
- LD8. (G) For single family residential subdivisions, all lots shall drain toward the street unless otherwise approved by the City Engineer. Residential lot drainage to the street shall be by side yard swales and include yard drain pipes and inlet grates (or stubbed and capped if area is not yet landscaped) that convey flows to the street in accordance with City Standard No. MVSI-152-0. No over the sidewalk drainage shall be allowed. All drainage shall be directed to drainage devices located outside the private street travelled way. (MC 9.14.110)
- LD9. (G) A detailed drainage study shall be submitted to the City Engineer for review and approval at the time of any improvement or grading plan submittal. The study shall be prepared by a registered civil engineer and shall include existing and proposed hydrologic conditions. Hydraulic calculations are required for all drainage control devices and storm drain lines. (MC 9.14.110). Prior to approval of the related improvement or grading plans, the developer shall submit the approved drainage study, on compact disk, in digital format (PDF) to the Land Development Division of the Public Works Department.
- LD10. (G) The final conditions of approval issued by the Planning Division subsequent to Planning Commission approval shall be photographically or electronically placed on mylar sheets and included in the Grading and Street Improvement plan sets on twenty-four (24) inch by thirty-six (36) inch mylar and submitted with the plans for plan check. These conditions of approval shall become part of these plan sets and the approved plans shall be available in the field during grading and construction.



Prior to Grading Plan Approval or Grading Permit

- LD11. (GPA) Prior to approval of the grading plans, plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professional as required.
- LD12. (GPA) Prior to approval of grading plans, the developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:
- a. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the City Engineer, lot lines shall be located at the top of slopes.
  - b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control and sight distance control as approved by the City Engineer.
  - c. A grading permit shall be obtained from the Public Works Department Land Development Division prior to commencement of any grading outside of the City maintained road right-of-way.
  - d. All improvement plans are substantially complete and appropriate clearance and at-risk letters are provided to the City. (MC 9.14.030)
  - e. The developer shall submit a soils and geologic report to the Public Works Department – Land Development Division. The report shall address the soil's stability and geological conditions of the site.
- LD13. (GPA) Prior to approval of the grading plans for projects that will result in discharges of storm water associated with construction with a soil disturbance of one or more acres of land, the developer shall submit a Notice of Intent (NOI) and obtain a Waste Discharger's Identification number (WDID#) from the State Water Quality Control Board (SWQCB). The WDID# shall be noted on the grading plans prior to issuance of the first grading permit.
- LD14. (GPA) Prior to grading plan approval, the developer shall prepare a Storm Water Pollution Prevention Plan (SWPPP) in conformance with the state's Construction Activities Storm Water General Permit. A copy of the current SWPPP shall be kept at the project site and be available for review upon request. The SWPPP shall be submitted to the Storm Water Program Manager on compact disk(s) in Microsoft Word format.
- LD15. (GPA) Prior to the approval of the grading plans, the developer shall pay applicable remaining grading plan check fees.
- LD16. (GPA/MA) Prior to the later of either grading plan or final map approval, resolution of all drainage issues shall be as approved by the City Engineer.
- LD17. (GP) Prior to issuance of a grading permit, if the fee has not already been paid prior to map approval or prior to issuance of a building permit if a grading permit is not required, the developer shall pay Area Drainage Plan (ADP) fees. The developer shall provide a receipt to the City showing that ADP fees have been paid to Riverside County Flood Control and Water Conservation District. (MC 9.14.100)

- LD18. (GP) Prior to issuance of a grading permit, security, in the form of a cash deposit (preferable), letter of credit, or performance bond shall be required to be submitted as a guarantee of the completion of the grading required as a condition of approval of the project.
- LD19. (GP) Prior to issuance of a grading permit, security, in the form of a cash deposit (preferable), letter of credit, or performance bond shall be required to be submitted as a guarantee of the implementation and maintenance of erosion control measures required as a condition of approval of the project. At least twenty-five (25) percent of the required security shall be in cash and shall be deposited with the City. (MC 8.21.160)
- LD20. (GP) Prior to issuance of a grading permit, the developer shall pay the applicable grading inspection fees.

Prior to Map Approval or Recordation

- LD21. (MA) Prior to approval of the map, the developer shall submit a copy of the Covenants, Conditions and Restrictions (CC&Rs) to the Land Development Division for review and approval. The CC&Rs shall include, but not be limited to, access easements, reciprocal access, private and/or public utility easements as may be relevant to the project. In addition, for single-family residential development, the developer shall submit bylaws and articles of incorporation for review and approval as part of the maintenance agreement for any water quality basin.
- LD22. (MA) Prior to approval of the map, all street dedications on Eucalyptus Avenue shall be irrevocably offered to the public and shall continue in force until the City accepts or abandons such offers, unless otherwise approved by the City Engineer. All dedications shall be free of all encumbrances as approved by the City Engineer. All map interior streets are private streets and shall be retained by the owner, his successors, and assigns.
- LD23. (MR) Prior to recordation of the map, if the developer chooses to construct the project in construction phases, a Construction Phasing Plan for the construction of on-site public and private improvements shall be reviewed and approved by the City Engineer. This approval must be obtained prior to the Developer submitting a Phasing Plan to the California State Department of Real Estate.
- LD24. (MR) Prior to recordation of the map, if applicable, the developer shall have all **private** street names approved by the City Engineer. (MC 9.14.090)
- LD25. (MR) Prior to recordation of the final map, this project is subject to requirements under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (**NPDES**) as mandated by the Federal Clean Water Act. Following are the requirements:
- a. Establish a Home Owners Association (HOA) to finance the maintenance of the "Water Quality Basins/Bio-swales". Any lots which are identified as "Water Quality Basins/Bio-Swales" shall be owned in fee by the HOA.
  - b. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.

- i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Residential NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process, or
  - ii. Establish an endowment to cover future maintenance costs for the Residential NPDES Regulatory Rate Schedule.
- c. Notify the Special Districts Division of the intent to record the final map 90 days prior to City Council action authorizing recordation of the final map and the financial option selected. (California Government Code & Municipal Code)

LD26. (MR) Prior to recordation of the Final Map, the Grading Plan (s) and Landscape and Irrigation Plan (s) prepared for the "Water Quality Ponds/Bio-Swales" shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer or other registered/licensed professional as required. The developer, or the developer's successors or assignees shall secure the initials of the Engineering Division Manager or his designee on the mylars prior to the plans being approved by the City Engineer. (MC 9.14.100.C.2)

Prior to Improvement Plan Approval or Construction Permit

LD27. (IPA) Prior to approval of the improvement plans, the improvement plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professional as required.

LD28. (IPA) Prior to approval of the improvement plans, the developer shall submit clearances from all applicable agencies, and pay all outstanding plan check fees. (MC 9.14.210)

LD29. (IPA) Street improvement plans shall comply with all applicable City standards and the following design standards throughout this project:

- a. Corner cutbacks in conformance with City Standard 208 shall be shown on the final map or, if no map is to be recorded, offered for dedication by separate instrument.
- b. Lot access to major thoroughfares shall be restricted except at intersections and approved entrances and shall be so noted on the final map. (MC 9.14.100)
- c. The minimum centerline and flow line grades shall be one percent unless otherwise approved by the City Engineer. (MC 9.14.020)
- d. All street intersections shall be at ninety (90) degrees plus or minus five (5) degrees per City Standard No. MVSI-160A-0, or as approved by the City Engineer. (MC 9.14.020)
- e. All reverse curves shall include a minimum tangent of one hundred (100) feet in length.

LD30. (IPA) Prior to approval of the improvement plans, the plans shall indicate any restrictions on trench repair pavement cuts to reflect the City's moratorium on disturbing newly-constructed pavement less than three years old and recently slurry sealed streets less than one year old. Pavement cuts for trench repairs may be allowed for emergency repairs or as specifically approved in writing by the City Engineer.

LD31. (IPA) Prior to approval of the improvement plans, the developer is required to bring any existing access ramps adjacent to and fronting the project to current ADA (Americans with Disabilities Act) requirements. However, when work is required in an intersection that involves or impacts existing access ramps, those access ramps in that intersection

shall be retrofitted to comply with current ADA requirements, unless approved otherwise by the City Engineer.

- LD32. (IPA) Prior to approval of the improvement plans, drainage facilities with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency escape shall also be provided. (MC 9.14.110)
- LD33. (IPA) Prior to the approval of the improvement plans, the hydrology study shall show that the 10-year storm flow will be contained within the curb and the 100-year storm flow shall be contained within the street right-of-way. In addition, one lane in each direction shall not be used to carry surface flows during any storm event for street sections equal to or larger than a minor arterial. When any of these criteria is exceeded, additional drainage facilities shall be installed. (MC 9.14.110 A.2)
- LD34. (IPA) The project shall be designed to accept and properly convey all off-site drainage flowing onto or through the site. All storm drain design and improvements shall be subject to review and approval of the City Engineer. In the event that the City Engineer permits the use of streets for drainage purposes, the provisions of the Development Code will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, as in the case where one travel lane in each direction shall not be used for drainage conveyance for emergency vehicle access on streets classified as minor arterials and greater, the developer shall provide adequate facilities as approved by the Public Works Department – Land Development Division. (MC 9.14.110)
- LD35. (CP) All work performed within the City right-of-way requires a construction permit. As determined by the City Engineer, security may be required for work within the right-of-way. Security shall be in the form of a cash deposit or other approved means. The City Engineer may require the execution of a public improvement agreement as a condition of the issuance of the construction permit. All inspection fees shall be paid prior to issuance of construction permit. (MC 9.14.100)
- LD36. (CP) Prior to issuance of a construction permit, all public improvement plans prepared and signed by a registered civil engineer in accordance with City standards, policies and requirements shall be approved by the City Engineer.
- LD37. (CP) Prior to issuance of construction permits, the developer shall submit all improvement plans on compact disks, in digital format (PDF) to the Land Development Division of the Public Works Department.
- LD38. (CP) Prior to issuance of construction permits, the developer shall pay all applicable inspection fees.

#### Prior to Building Permit

- LD39. (BP) Prior to issuance of building permits, if the project involves a residential subdivision, the map shall be recorded (excluding model homes). (MC 9.14.090)
- LD40. (BP) Prior to issuance of a building permit (excluding model homes), an approval by the City Engineer is required of the water quality control basin(s). The developer shall provide certification to the line, grade, flow test and system invert elevations.

- LD41. (BP) Prior to issuance of a building permit, all pads shall meet pad elevations per approved plans as noted by the setting of "Blue-top" markers installed by a registered land surveyor or licensed engineer.
- LD42. (BP) Prior to issuance of a building permit, the developer shall submit for review and approval, a Waste Management Plan (WMP) that shows data of waste tonnage, supported by original or certified photocopies of receipts and weight tags or other records of measurement from recycling companies and/or landfill and disposal companies. The Waste Management Plan shall contain the following:
- a. The estimated volume or weight of project waste to be generated by material type. Project waste or debris may consist of vegetative materials including trees, tree parts, shrubs, stumps, logs, brush, or any other type of plants that are cleared from a site. Project waste may also include roadwork removal, rocks, soils, concrete and other material that normally results from land clearing.
  - b. The maximum volume or weight of such materials that can be feasibly diverted via reuse and recycling.
  - c. The vendor(s) that the applicant proposes to use to haul the materials.
  - d. Facility(s) the materials will be hauled to, and their expected diversion rates.
  - e. Estimated volume or weight of clearing, grubbing, and grading debris that will be landfilled .

Approval of the WMP requires that at least fifty (50) percent of all clearing, grubbing, and grading debris generated by the project shall be diverted, unless the developer is granted an exemption. Exemptions for diversions of less than fifty (50) percent will be reviewed on a case by case basis. (AB939, MC 8.80)

#### Prior to Certificate of Occupancy

- LD43. (CO) Prior to issuance of the last certificate of occupancy or building final, the developer shall pay all outstanding fees.
- LD44. (CO) The City of Moreno Valley has an adopted Development Impact Fee (DIF) nexus study. All projects unless otherwise exempted shall be subject to the payment of the DIF prior to issuance of occupancy. The fees are subject to the provisions of the enabling ordinance and the fee schedule in effect at the time of occupancy.
- LD45. (CO) The City of Moreno Valley has an adopted area wide Transportation Uniform Mitigation Fee (TUMF). All projects unless otherwise exempted shall be subject to the payment of the TUMF prior to issuance of occupancy. The fees are subject to the provisions of the enabling ordinance and the fee schedule in effect at the time of occupancy.
- LD46. (CO) Prior to issuance of a certificate of occupancy or building final, the developer shall construct all public improvements in conformance with applicable City standards, except as noted in the Special Conditions, including but not limited to the following applicable improvements:
- a. Street improvements including, but not limited to: pavement, base, curb and/or gutter, cross gutters, spandrel, sidewalks, drive approaches, pedestrian ramps, street lights, signing, striping, under sidewalk drains, landscaping and irrigation, medians, and traffic control devices as appropriate.
  - b. Storm drain facilities including, but not limited to: storm drain pipe, storm drain laterals, open channels, catch basins and local depressions.

- c. City-owned utilities.
- d. Sewer and water systems including, but not limited to: sanitary sewer, potable water and recycled water.
- e. Under grounding of existing and proposed utility lines less than 115,000 volts.
- f. Relocation of overhead electrical utility lines including, but not limited to: electrical, cable and telephone.

LD47. (CO) Prior to issuance of a certificate of occupancy or building final, all existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Moreno Valley ordinances. (MC 9.14.130)

LD48. (CO) Prior to issuance of a certificate of occupancy or building final for residential projects, the last 20% or last 5 units (whichever is greater, unless as otherwise determined by the City Engineer) of any Map Phase, punch list work for improvements and capping of streets in that phase must be completed and approved for acceptance by the City.

### SPECIAL CONDITIONS

LD49. Prior to final map approval or prior to issuance of a building permit if by separate instrument, the following easements shall be dedicated or retained by owner, his successors or assigns, as indicated below:

- a. Easements to the City of Moreno Valley for traffic signal loop detectors at the project entrances, where required.
- b. Easements to Eastern Municipal Water District for water and/or sewer facilities at the project entrances as shown on the tentative tract map.
- c. Private storm drain easement retained by owner, his successors, and assigns for storm drain line improvements from the end of Canyon Rock Court to the Eucalyptus Avenue south right-of-way.
- d. Private sewer easement to Eastern Municipal Water District for sewer purposes from the end of Canyon Rock Court to the Eucalyptus Avenue south right-of-way.
- e. Private sewer and water easements to Eastern Municipal Water District for proposed onsite sewer and water lines on proposed private streets throughout the project site coinciding with private sewer and water line alignments.
- f. Private storm drain easement retained by owner, his successors and assigns for storm drain line improvements from the end of Breccia Way, across Lot M, to its outlet as shown on the tentative tract map.
- g. Public storm drain easement to the City of Moreno Valley for storm drain line improvements within Painted Rock Drive as shown on the tentative tract map. This will also require an access easement from Eucalyptus Avenue to the storm drain improvements.
- h. Private drainage easement retained by owner, his successors and assigns for open channel gutter improvements along most of the east tract boundary as shown on the tentative tract map.
- i. Private streets retained by owner, his successors and assigns for general vehicular access with alignments as shown on the tentative tract map.
- j. Public emergency vehicle access easement to the City of Moreno Valley for emergency vehicle access on private streets.
- k. Lettered lots retained by owner, his successors and assigns for the purposes as indicated on the tentative tract map.

- LD50. Prior to final map approval, the map shall include a four-foot pedestrian right-of-way dedication behind driveway approaches at the project entrances along Eucalyptus Avenue per City Standard No. MVS1-112C-0. Driveway approaches shall be constructed per City Standard No. MVS1-112C-0. No decorative pavers shall be placed within the public right-of-way.
- LD51. Prior to precise grading plan approval, the plan shall clearly demonstrate that drainage is properly collected and conveyed. The plans shall show all necessary on-site and off-site drainage improvements to properly collect and convey drainage entering, within and leaving the project. This may include, but not be limited to on-site and perimeter drainage improvements to properly convey drainage within and along the project site, and downstream off-site improvements. The developer will be required to obtain the necessary permission for offsite construction including easements.
- LD52. Prior to precise grading plan approval, the plan shall show proposed private interior street grades at 1% minimum or as otherwise approved by the City Engineer and per the typical private drive street section as shown on the tentative tract map.
- LD53. Prior to precise grading plan approval, the plans shall show proposed mechanisms to treat onsite runoff before it enters into the public storm drain system. The plans shall show locations of proposed structural best management practices. The developer shall submit to the City for review and approval, those structural best management practices proposed onsite to control predictable pollutant runoff. The developer shall select those structural best management practices identified in Supplement A and Supplement A Attachment to the Riverside County Drainage Area Management Plans. [www.floodcontrol.co.riverside.ca.us](http://www.floodcontrol.co.riverside.ca.us) The developer shall first maximize the use of site design and source control best management practices before selecting treatment control best management practices.
- LD54. Prior to precise grading plan approval, the plan shall clearly show the extents of all existing easements on the property. All building structures shall be constructed outside of existing easements.
- LD55. Prior to issuance of building permits, this project shall cause the quitclaim or abandonment of all existing easements, especially those easements underneath proposed building footprints. This shall include, but not be limited to, the existing drainage easement affecting Lots 187-189.
- LD56. Prior to issuance of building permits, the precise grading plans shall be submitted for review and approval by the City Engineer.
- LD57. Prior to the issuance of building permits, any approved plans (i.e. sewer, water, storm drain, street) that have expired shall be resubmitted for review and approval if the plans will be used for the construction of uninstalled improvements.
- LD58. Prior to issuance of building permits, the applicant shall schedule a walk through with a Public Works Inspector to inspect existing improvements within public right-of-way on Eucalyptus Avenue along project frontage. The applicant will be required to install, replace and/or repair any missing, damaged or substandard improvements including handicap access ramps that do not meet current City standards. The applicant shall post security to cover the cost of the repairs and complete the repairs within the time allowed in the public improvement agreement used to secure the improvements as determined by the City Engineer.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION  
CONDITIONS OF APPROVAL**

**CASE NO: P15-067 (Amended CUP for a PUD for up to 274 Residential Lots)**

**APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

Conditions are standard to all or most development projects. Some special conditions, modified conditions or clarification of conditions may be included. Please review conditions as listed and contact the Division at 951.413.3480 for any questions.

**Acknowledgement of Conditions**

The following items are the Special Districts Division's Conditions of Approval for **P15-067**; this project shall be completed at no cost to any Government Agency. All questions regarding the following Conditions including but not limited to intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480 or by emailing [specialdistricts@moval.org](mailto:specialdistricts@moval.org).

**General Conditions**

- SD-1 The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks & Community Services) and Zone C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual parcel taxes for Zone A and Zone C for operations and capital improvements.
- SD-2 \*Plans for parkway, median, slope, and/or open space landscape areas designated in the project's Conditions of Approval for incorporation into a City coordinated landscape maintenance program, shall be prepared and submitted in accordance with the City of Moreno Valley Public Works Department Landscape Design Guidelines. The guidelines are available on the City's website at [www.moval.org/sd](http://www.moval.org/sd) or from the Special Districts Division (951.413.3480 or [specialdistricts@moval.org](mailto:specialdistricts@moval.org)).
- SD-3 \*In the event the City of Moreno Valley determines that funds authorized by any Proposition 218 mail ballot proceeding are insufficient to meet the costs for parkway, slope, and/or open space maintenance and utility charges, the City shall have the right, at its option, to terminate the grant of any or all parkway, slope, and/or open space maintenance easements. This power of termination, should it be exercised, shall be exercised in the manner provided by law to quit claim and abandon the property so conveyed to the District, and to revert to the Developer or the Developer's successors in interest, all rights, title, and interest in said parkway, slope, and/or open space areas, including but not limited to responsibility for perpetual maintenance of said areas.



**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-067****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

- SD-4 \*The Developer, or the Developer's successors or assignees shall be responsible for all parkway and/or median landscape maintenance for a period of one (1) year commencing from the time all items of work have been completed to the satisfaction of Special Districts staff as per the City of Moreno Valley Public Works Department Landscape Design Guidelines, or until such time as the District accepts maintenance responsibilities.
- SD-5 Any damage to existing landscape areas maintained by the City of Moreno Valley due to project construction shall be repaired/replaced by the Developer, or Developer's successors in interest, at no cost to the City of Moreno Valley.
- SD-6 The ongoing maintenance of any landscaping required to be installed behind the curb on Eucalyptus Ave. shall be the responsibility of a private Home Owner's Association (HOA), unless the parkway landscaping is to be maintained by the City.
- SD-7 \*Plan check fees for review of parkway/median landscape plans for improvements that shall be maintained by the City of Moreno Valley are due upon the first plan submittal. (MC 3.32.040)
- SD-8 \*Inspection fees for the monitoring of landscape installation associated with the City of Moreno Valley maintained parkways/medians are due prior to the required pre-construction meeting. (MC 3.32.040)
- SD-9 The portion of landscaped area located between the sidewalk and curb on Eucalyptus Ave. immediately east of Assessor's Parcel No. 488-150-001 is part of the landscaping for LMD 2014-02 Zone 05 and will continue to be maintained by the City. Please contact the Special Districts Division for the exact location of this area.
- SD-10 Street Light Authorization forms for all street lights that are conditioned to be installed as part of this project must be submitted to the Special Districts Division for approval, prior to street light installation. The Street Light Authorization form can be obtained from the utility company providing electric service to the project, either Moreno Valley Utility or Southern California Edison. For questions, contact the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.

**Prior to Recordation of Final Map**

- SD-11 \*(R) Easements for reverse frontage parkway and slope landscape areas abutting Eucalyptus Ave. shall be 10ft. or to top of parkway facing slope or to face of perimeter tract wall, whichever is greater. Easements shall be dedicated to the City of Moreno Valley for landscape maintenance

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-067****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

purposes, and shall be depicted on the final map, and an offer of their dedication made thereon.

- SD-12 \*(R) Prior to the recordation of the final map, the Developer shall provide all necessary documents to convey to the City the required easements for parkway and/or slope maintenance as specified on the tentative map or in these Conditions of Approval.

**Prior to Building Permit Issuance**

- SD-13 (BP) This project has been identified to potentially be included in the formation of a Map Act Area of Benefit Special District for the construction of major thoroughfares and/or freeway improvements. The property owner(s) shall participate in such District and pay any special tax, assessment, or fee levied upon the project property for such District. At the time of the public hearing to consider formation of the district, the property owner(s) will not protest the formation, but will retain the right to object any eventual assessment that is not equitable should the financial burden of the assessment not be reasonably proportionate to the benefit the affected property obtains from the improvements to be installed. The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) of its selected financial option when submitting an application for the first building permit to determine whether the development will be subjected to this condition. If subject to the condition, the special election requires a 90 day process in compliance with the provisions of Article 13C of the California Constitution. (Street & Highway Code, GP Objective 2.14.2, MC 9.14.100).

- SD-14 (BP) This project has been conditioned to provide a funding source for the continued maintenance, enhancement, and or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. The Developer shall satisfy this condition with one of the options below.
- a. Participate in a special election for annexation into Community Facilities District No. 1 and pay all associated costs with the special election process and formation, if any; or
  - b. Establish an endowment fund to cover future maintenance costs for new neighborhood parks.

The Developer must notify the Special Districts Division at 951.413.3480 or at [specialdistricts@moval.org](mailto:specialdistricts@moval.org) when submitting the application for building permit issuance of its selected financial option. If option a. is selected, the special election will require a 90 day process prior to building permit issuance. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-067****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

Annexation to CFD No. 1 shall be completed or proof of payment to establish the endowment fund shall be provided prior to the issuance of the first certificate of occupancy for the project.

SD-15 (BP) This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for Public Safety services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the property owner shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance to determine the requirement for participation. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the condition applies, the special election will require a minimum of 90 days prior to issuance of the first building permit. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution. (California Government Code Section 53313 et. seq.)

SD-16 (BP) This project is conditioned to provide a funding source for the following special financing program(s):

- a. Street Lighting Services for capital improvements, energy charges, and maintenance.
- b. \*Landscape Maintenance Services for parkway landscaping on Eucalyptus Ave.

The Developer's responsibility is to provide a funding source for the capital improvements and the continued maintenance. The Developer shall satisfy this condition with one of the options below.

- i. Participate in a special election (mail ballot proceeding) and pay all associated costs of the special election and formation, if any. Financing may be structured through a Community Services District zone, Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
- ii. Establish a Property Owner's Association (POA) or Home Owner's Association (HOA) which will be responsible for any and all operation and maintenance costs

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION**

**CONDITIONS OF APPROVAL**

**CASE NO: P15-067**

**APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org of its selected financial option when submitting the application for building permit issuance. The option for participating in a special election requires approximately 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project.

SD-17 (BP) This project is conditioned for a proposed district to provide a funding source for the operation and maintenance of public improvements and/or services associated with new development in that territory. The Developer shall satisfy this condition with one of the options outlined below.

- a. Participate in a special election for **maintenance/services** and pay all associated costs of the election process and formation, if any. Financing may be structured through a Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or
- b. Establish an endowment fund to cover the future maintenance and/or service costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the district has been or is in the process of being formed the Developer must inform the Special Districts Division of its selected financing option (a. or b. above). The option for participating in a special election requires 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project.

SD-18 (BP) Prior to the issuance of the first building permit for this project, the Developer shall pay Advanced Energy fees for all applicable Residential and Arterial Street Lights required for this development. Payment shall be made to the City of Moreno Valley and collected by the Land Development Division. Fees are based upon the Advanced Energy fee rate in place at the time of payment, as set forth in the current Listing of City Fees, Charges, and Rates adopted by City Council. The Developer shall provide a copy of the receipt to the Special Districts Division

**PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION****CONDITIONS OF APPROVAL****CASE NO: P15-067****APNs: 488-090-026, -027, -028, -061, -077, -078, 488-091-025, -031, -053, and -073**

*(specialdistricts@moval.org)*. Any change in the project which may increase the number of street lights to be installed will require payment of additional Advanced Energy fees at the then current fee. Questions may be directed to the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.

- SD-19 \*(BP) For those areas to be maintained by the City and prior to the issuance of the first Building Permit, Planning Division (Community Development Department), Special Districts Division (the Public Works Department) and Transportation Division (the Public Works Department) shall review and approve the final median, parkway, slope, and/or open space landscape/irrigation plans as designated on the tentative map or in these Conditions of Approval prior to the issuance of the first Building Permit.
- SD-20 \*(BP) Parkway, open space, and/or median landscaping specified in the project's Conditions of Approval shall be constructed in compliance with the City of Moreno Valley Public Works Design Guidelines and completed prior to the issuance of 25% (or 68) of the dwelling permits for this tract or 12 months from the issuance of the first dwelling permit, whichever comes first. In cases where a phasing plan is submitted, the actual percentage of dwelling permits issued prior to the completion of the landscaping shall be subject to the review of the construction phasing plan.

**Prior to Certificate of Occupancy**

- SD-21 \*(CO) Landscape and irrigation plans for parkway, median, slope, and/or open space landscape areas designated to be maintained by the City shall be placed on compact disk (CD) in pdf format. The CD shall include "As Built" plans, revisions, and changes. The CD will become the property of the City of Moreno Valley and the Moreno Valley Community Services District.

\*No action on conditions of approval if the landscaping required to be installed will be maintained by an HOA.

**CITY OF MORENO VALLEY**  
**CONDITIONS OF APPROVAL**  
**P15-066 & P15-067**

Amended Tentative Parcel Map (P15-066) and amended Conditional Use Permit (P15-067) for a 274 residential Planned Unit Development (PUD) at the southeast corner of Fir Avenue and Eucalyptus Avenue

**Transportation Engineering Division – Conditions of Approval**

Based on the information contained in our standard review process we recommend the following conditions of approval be placed on this project:

**GENERAL CONDITIONS**

- TE1. Eucalyptus Avenue is classified as an Arterial (100'RW/76'CC). Any modifications or improvements undertaken by this project shall be consistent with the City's standards for this facility.
- TE2. The project access from Graphite Drive to Eucalyptus Avenue shall be restricted to right-in / right-out turning movements. Access restriction shall be accomplished with the construction of a raised median, traffic control signing, and center treatment to match existing conditions to the satisfaction of the City Traffic Engineer.
- TE3. Driveways shall conform to Section 9.11.080, and Table 9.11.080-14 of the City's Development Code – Design Guidelines and City of Moreno Valley Standard No. MVS1-112C-0 for commercial driveway approach.
- TE4. Gated entrance shall be provided with the following, or as approved by the City Traffic Engineer:
- A. A storage lane with a minimum of 60' provided for queuing.
  - B. A second storage lane for visitors to stop in prior to the gate to utilize a call box (or other device) to receive permission to enter the site.
  - C. Signing and striping for A. and B.
  - D. A turnaround outside the gates of 38' radius.
  - E. No Parking Signs shall be posted in the turnaround areas.
  - F. A separate pedestrian entry.
  - G. Presence loop detectors (or another device) within 1 or 2 feet of the gates that ensures that the gates remain open while any vehicle is in the queue.
- All of these features must be kept in working order.
- TE5. All proposed on-site traffic signing and striping should be accordance with the latest California Manual on Uniform Traffic Control Devices (CAMUTCD).

- TE6. The first drive aisle juncture/parking stall shall be 60 feet from the property line per Municipal Code Section 9.77.080 A.18 or as approved by the City Engineer.
- TE7. Conditions of approval may be modified or added if project is phased or altered from any approved plans.

### **PRIOR TO IMPROVEMENT PLAN APPROVAL OR CONSTRUCTION PERMIT**

- TE8. Prior to issuance of building permit, the project applicant shall pay appropriate DIF and TUMF.
- TE9. Prior to the final approval of the street improvement plans, traffic signal modification plans are required for the following existing traffic signals:
- a. Eucalyptus Avenue and Feldspar Drive;
  - b. Eucalyptus Avenue and Fir Avenue.

All traffic signal modification plans shall be prepared by a registered civil engineer. Additional on-site and off-site right-of-way and/or easements may be required to accommodate any traffic signal equipment. Additional equipment may include, but not be limited to, the following: signal poles, controller cabinets, loop detectors, signage, pull-boxes, and conduits.

- TE10. Prior to the final approval of the street improvement plans, a median improvement plan shall be prepared by a registered civil engineer for the construction of a raised median at the intersection of Eucalyptus Avenue and Graphite Drive.
- TE11. Prior to the final approval of the street improvement plans, a signing and striping modification plan shall be prepared per City of Moreno Valley Standard Plans - Section 4 for Eucalyptus Avenue.
- TE12. Prior to issuance of a construction permit, construction traffic control plans prepared by a qualified, registered Civil or Traffic engineer shall be required for plan approval or as required by the City Traffic Engineer.
- TE13. Prior to final approval of the street improvement plans, the project plans shall demonstrate that sight distance at proposed streets and driveways conforms to City Standard Plan No. MVSI-164A-0 through MVSI-164C-0.

### **PRIOR TO CERTIFICATE OF OCCUPANCY OR BUILDING FINAL**

- TE14. (CO) Prior to issuance of Certificate of Occupancy, all traffic signal modification required per TE9 shall be completed and fully operational per the approved plans to the satisfaction of the City Engineer.

- TE15. (CO) Prior to issuance of Certificate of Occupancy, raised median improvement at the intersection of Eucalyptus Avenue and Graphite Drive shall be completed and fully operational per the approved plans to the satisfaction of the City Engineer.
- TE16. (CO) Prior to issuance of Certificate of Occupancy, all approved signing and striping shall be installed per current City Standards and the approved plans.



**PARKS & COMMUNITY SERVICES (PCS)****GENERAL CONDITIONS:**

- PCS-GC-1** This project is required to supply a funding source for the continued maintenance, enhancement, and or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. This can be achieved through annexing into Community Facilities District No. 1 (Park Maintenance). Please contact the Special Districts Division at 951.413.3480 or [specialdistricts@moval.org](mailto:specialdistricts@moval.org) to complete the annexation process.
- PCS-GC-2** The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks and Community Services). All assessable parcels therein shall be subject to the annual Zone 'A' charge for operations and capital improvements. Proof of such shall be supplied to Parks and Community Services upon Final Map and at Building Permits.
- PCS-GC-3** This project is subject to current Development Impact Fees.
- PCS-GC-4** This project is subject to current Quimby Fees.

**CITY OF MORENO VALLEY**  
**CONDITIONS OF APPROVAL**  
**Case No: P15-066**  
**Revised Tentative Tract Map No. 36933, P15-067**  
**APN: 488-090-026, 027, 028, & 077; 488-091-001 through 073**  
**Date: 02-29-2016**

**FINANCE AND MANAGEMENT SERVICES DEPARTMENT**

**Moreno Valley Utility**

**Note: All Special Conditions, Modified Conditions, or Clarification of Conditions are in bold lettering.** All other conditions are standard to all or most development projects.

**Acknowledgement of Conditions**

The following items are Moreno Valley Utility's Conditions of Approval for project P15-066; this project shall be completed at no cost to any Government Agency. All questions regarding Moreno Valley Utility's Conditions including but not limited to, intent, requests for change/modification, variance and/or request for extension of time shall be sought from Moreno Valley Utility (the Electric Utility Division) of the Finance and Management Services Department 951.413.3500, [mvuengineering@moval.org](mailto:mvuengineering@moval.org). The applicant is fully responsible for communicating with Moreno Valley Utility staff regarding their conditions.

**PRIOR TO ENERGIZING MVU ELECTRIC UTILITY SYSTEM AND CERTIFICATE OF OCCUPANCY**

- MVU-1 (R) This project requires the installation of electric distribution facilities. A non-exclusive easement shall be provided to Moreno Valley Utility and shall include the rights of ingress and egress for the purpose of operation, maintenance, facility repair, and meter reading.
- MVU-2 (BP) **City of Moreno Valley Municipal Utility Service – Electrical Distribution:** Prior to constructing the MVU Electric Utility System, the developer shall submit a detailed engineering plan showing design, location and schematics for the utility system to be approved by the City Engineer. In accordance with Government Code Section 66462, the Developer **shall** execute an agreement with the City providing for the installation, construction, improvement and dedication of the utility system following recordation of final map and concurrent with trenching operations and other subdivision improvements so long as said agreement incorporates the approved engineering plan and provides financial security to guarantee completion and dedication of the utility system.

The Developer **shall** coordinate and receive approval from the City Engineer to install, construct, improve, and dedicate to the City, or the City's designee, all utility infrastructure (including but not limited to conduit, equipment, vaults, ducts, wires, switches, conductors, transformers, and "bring-up" facilities including electrical capacity to serve the identified development and other adjoining/abutting/ or benefiting projects as determined by Moreno Valley Utility) – collectively referred to as "utility system" (to and through the development), along with any appurtenant real property easements, as determined by the City Engineer to be necessary for the distribution and /or delivery of any and all "utility services" to each lot and unit within the Tentative Map. For purposes of this condition, "utility services" shall mean electric, cable television, telecommunication (including video, voice, and data) and other similar services designated by the City Engineer. "Utility services" shall not include sewer, water, and natural gas services, which are addressed by other conditions of approval.

The City, or the City's designee, shall utilize dedicated utility facilities to ensure safe, reliable, sustainable and cost effective delivery of utility services and maintain the integrity of streets and other public infrastructure. Developer shall, at developer's sole expense, install or cause the installation of such interconnection facilities as may be necessary to connect the electrical distribution infrastructure within the project to the Moreno Valley Utility owned and controlled electric distribution system.

- MVU-3 For all new projects, existing Moreno Valley Utility electrical infrastructure shall be preserved in place. The developer will be responsible, at developer expense, for any and all costs associated with the relocation of any of Moreno Valley Utility's underground electrical distribution facilities, as determined by Moreno Valley Utility, which may be in conflict with any developer planned construction on the project site.



# ROCKCLIFFE

PLANNED UNIT DEVELOPMENT (PUD)

BEAZER HOMES

MARCH 2016



Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

# PLANNED UNIT DEVELOPMENT

## CITY OF MORENO VALLEY

---

**PREPARED FOR:**

BEAZER HOMES - CALIFORNIA  
1800 E. IMPERIAL HWY., SUITE 140  
BREA, CA 92821  
LENNY DUNN  
714.672.7127

**PREPARED BY:**

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(949) 836-1992

MARCH 2016

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Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

## 1.0 INTRODUCTION

### 1.1 Background

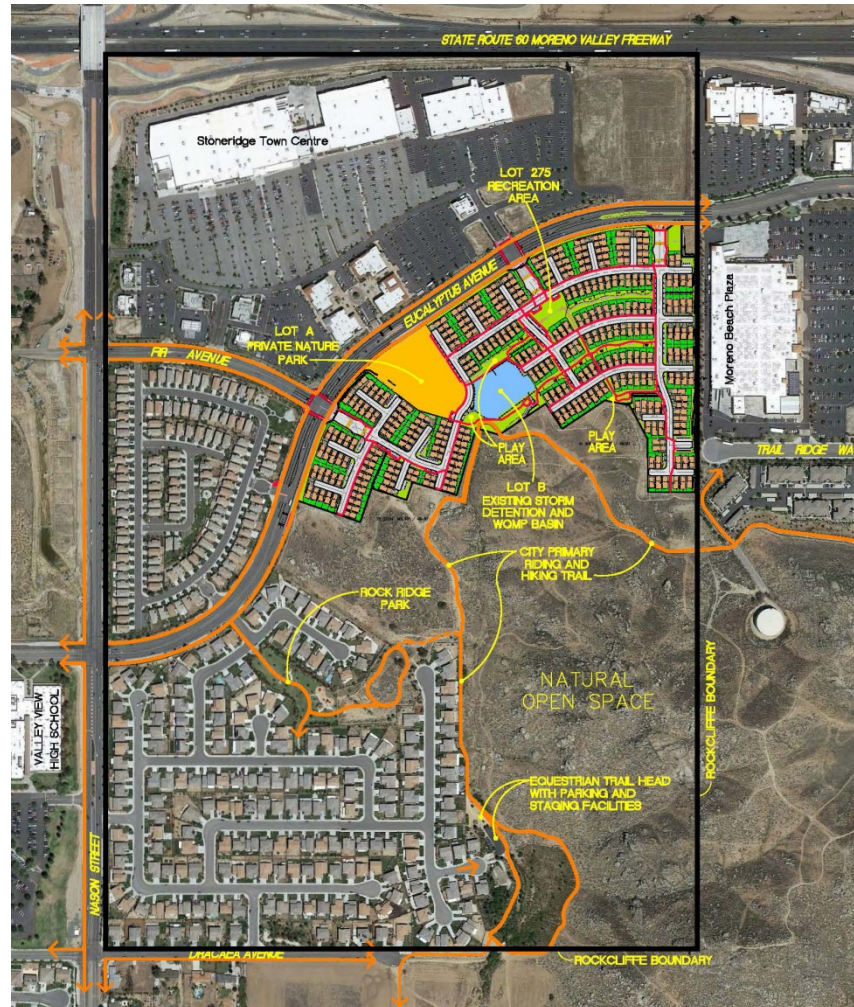
#### Stoneridge Ranch Community

The Rockcliffe neighborhood is part of the overall Stoneridge Ranch Community. Historically, the site was part of the Stoneridge Specific Plan (SP No. 211 approved by the City in September 1989). The Specific Plan included 236 acres located south of Highway 60 in the central portion of Moreno Valley. The Specific Plan was bound by State Route 60 to the north, Nason Street to the west, Dracaea to the south, and Moreno Beach Plaza and open space to the east. The Specific Plan provided for the development of a mixture of commercial, office and medical-related land uses. The Specific Plan provided for overall improvement to the area's circulation system to support the proposed mixture of land uses.

In late 2004, the City approved significant land use and circulation changes to the Stoneridge Ranch Community area by rescinding the previous approvals of the Stoneridge Specific Plan. The City approved land use changes to the area that provided for commercial, open space, and residential land uses to be developed in a coordinated set of project approvals. The major components of the overall community are discussed below.

#### Commercial

In 2004, the City approved the development of two major commercial centers. The major commercial projects included the addition of the Stoneridge Towne Centre and Moreno Beach Plaza (locations shown on above aerial). These two retail centers are located to the east and north



of the Rockcliffe site. The Stoneridge Towne Centre (STC) has been developed over the past several years. Major tenant anchors in the STC include Super Target, Kohl's, and U.S. and Chase Banks. The Stoneridge Towne Centre is bounded by State Highway 60 (SR-60) and Nason Street. The Moreno Beach Plaza (MBR) retail center, located to the east of the project site, is anchored by Walmart, LA Fitness, Moreno Beach Urgent Care, Sprint, and Auto Zone. Moreno Beach Plaza is bounded by State Route 60 (SR-60), Moreno Beach Drive, and Eucalyptus Avenue.

### Open Space

In 2004, the City established a significant open space component for all future development in the Stoneridge Ranch Community; including natural open space areas, public parks, and private recreation areas. A total of 67.33 acres of open space was provided for in the area. The circulation system was designed to complement the open space areas by providing traditional on-street paths as well as public trails, linking the



open space features, commercial and residential uses together. The implementation of the circulation system improvements have occurred over the past ten years with a majority of the streets, sidewalk, and pedestrian linkages provided.

### Residential

In 2004, the Stoneridge Ranch Villages I, II, and III were approved. The three residential villages were approved on approximately 194 acres. The residential projects included:

**Village I:** A 205-unit single-family residential Planned Unit Development (PUD) developed to the south of the Rockcliffe neighborhood;

**Village II:** A 139 unit small lot single-family residential Planned Unit Development developed to the west of the Rockcliffe neighborhood; and



## Introduction

**Village III:** The project site approval included 276 residential condominium units in multi-story buildings on 29 acres (Rockcliffe neighborhood).

In 2011, the City revised Village III (Rockcliffe) and approved a change in character of residential land use from “*residential condominium units*” in multi-story buildings to “*detached small-lot residential homes*.” A minor reduction in the number of approved homes occurred at this time to 275 homes.

### Circulation System

The 2004 approved circulation system was established to support the above land uses with improvements to area streets and the development of internal street systems and pedestrian pathways. The overall circulation system provided a safe method of travel for vehicles, bicycles, pedestrians, and equestrians with linkages to the overall community and each neighborhood.

### Vehicular Circulation System

The major streets in the Stoneridge Ranch Community and the Rockcliffe neighborhood are noted below. The three Stoneridge Residential Villages provided funding for each of the major arterials in the project vicinity. Additionally, the villages funded specific improvements to each arterial and planned internal circulation systems for each village.

- Moreno Valley Freeway [State Route 60 (SR-60)]
- Eucalyptus Avenue (*Beazer Improvements*)
- Auto Mall Parkway
- Nason Street (*Beazer Improvements*)
- Dracaea Avenue (*Beazer Improvements*)
- Fir Avenue (*Beazer Improvements*)

### Non-Vehicular Circulation Systems

Non-vehicular circulation in the Stoneridge Ranch Community includes a multi-purpose pedestrian/equestrian trail and major bicycle routes.

- Multi-Purpose Trail System
- Bicycle Routes
- Pedestrian Linkages

## 1.2 Purpose of a PUD

Planned Unit Developments (PUD) allow for greater innovation in housing development and diversity of housing choice than would otherwise be possible according to the strict application of the site development regulations defined by the City's Municipal Code. PUDs are governed by the City of Moreno Valley (City) Municipal Code Section 9.03.060.

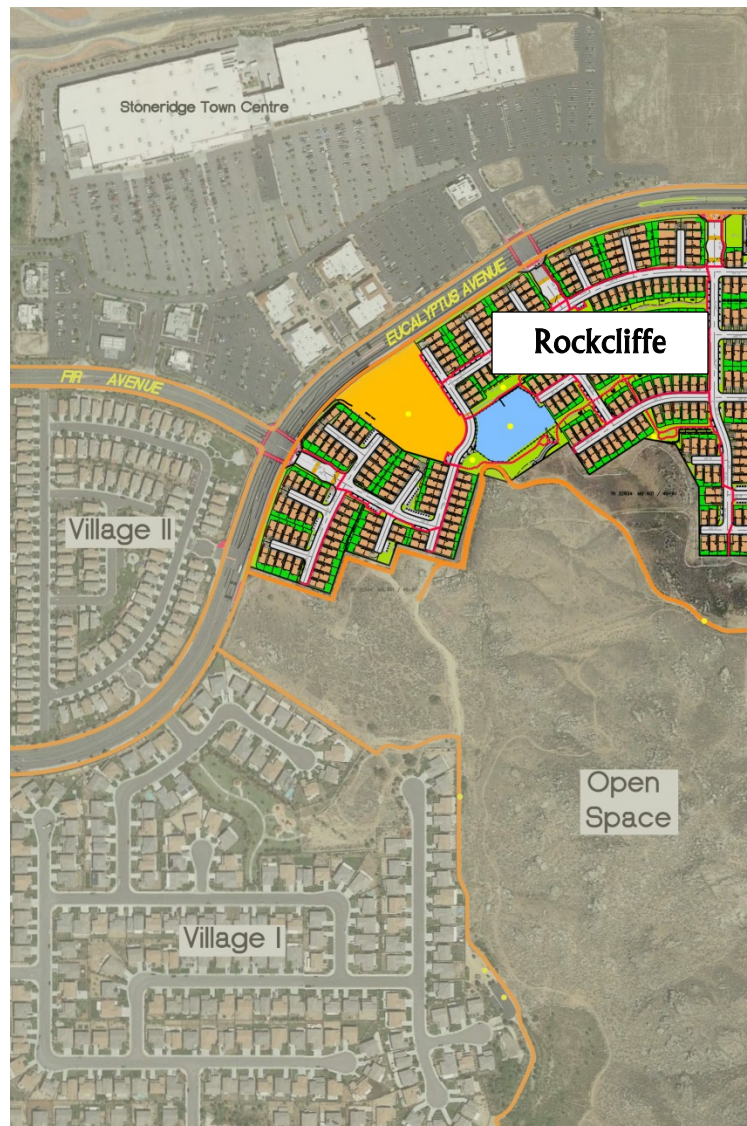
This PUD for the Rockcliffe neighborhood will be enforced by the City via conditions of approval placed on Tentative Tract Map (TTM) 36933. The City's Municipal Code requirements will apply where these PUD guidelines are silent. Development of the Rockcliffe neighborhood will be required to substantially conform to the physical characteristics and design concepts of this document. The City has the discretion to determine if implementing actions substantially conform to this PUD document. If an implementing action does not substantially conform, a formal modification to the PUD may be required, which shall require approval by the City.

## 1.3 Project Location

The Rockcliffe neighborhood site is generally located to the southeast of the Eucalyptus Avenue and Fir Avenue intersection in the City of Moreno Valley. The project site is specifically bounded by: Eucalyptus Avenue to the north and west, and future permanent open space to the south and Moreno Beach Plaza to the east.

## 1.4 Project Description

Rockcliffe consists of the subdivision of approximately 29 acres for the development of a maximum of 274 residential detached homes, open space, trails, landscape areas, private recreation areas, water quality basin, guest parking, and entry monuments. In addition Rockcliffe would include on-street and off-street parking areas, on-site circulation, a community restroom and pool equipment building, a



## Introduction

pool/spa and deck, multiple tot-lots, and outdoor open space areas. Access to the Rockcliffe project would be provided via gated entrances for vehicles and separate gated entrances for pedestrians. Additionally, the project provides access to the regional trail system.

Lot Summary	
Minimum Lot Size	1,960 square feet
Maximum Lot Size	3,989 square feet
Average Lot Size	2,361 square feet
Gross Acreage	29 acres
Net Acreage (excluding private parks, detention basin & recreation area)	24.50 acres
Gross Density (274/29.07) =	9.45 dwelling unit per acre (du/ac)
Net Density (274/24.67)=	11.18 dwelling unit per acre (du/ac)

### 1.5 Planned Unit Development Code

The Planned Unit Development (PUD) section of the Municipal Code (Section 9.03.060) requires specific goals or design accomplishments of the project. The proposed development adheres to the following findings based upon the facts provided:

Required Findings	Rockcliffe Neighborhood Facts
<p><b>Innovation</b> Greater innovation in housing development and diversity of housing choices than would otherwise be possible according to the strict application of the site development regulations contained in the title.</p>	<ol style="list-style-type: none"> <li>1. The Rockcliffe neighborhood includes two design concepts. These are both small-lot residential homes in a row and paseo concepts. The homes are provided at a density and with the amenities of a dense multiple-family development. Each design concept will include two story houses on lots between 1,966 to 3,989 square feet.</li> <li>2. The Rockcliffe neighborhood will add significant recreational opportunities and will protect the highest hillside/rock outcropping area and other natural resources in the general vicinity.</li> <li>3. The Rockcliffe neighborhood will provide pedestrian access at three gated entrances to Eucalyptus Avenue and will allow residents to enjoy surrounding retail amenities, while at the same time limiting some automobile trips and vehicle miles</li> </ol>

Required Findings	Rockcliffe Neighborhood Facts
	<p>traveled.</p> <ol style="list-style-type: none"> <li>4. The Rockcliffe neighborhood will be a walkable neighborhood, providing pedestrian access to existing regional shopping centers to the east and north of the project site. The project will provide internal and external access to recreational and open space amenities via a trail and paseo system.</li> <li>5. The Rockcliffe neighborhood will provide three (3) major paseos linking the neighborhoods and recreational and open space amenities.</li> <li>6. The Rockcliffe neighborhood will provide on-site recreation facilities such as private/common open space, a neighborhood center that includes a pool and spa, restrooms, and multiple tot lots.</li> <li>7. The Rockcliffe neighborhood will offer homes with private open space areas that meet the emerging market needs within the City's employment base.</li> <li>8. The proposed project will offer residential opportunities of owning a home on a small lot for the first time home buyer and/or senior.</li> </ol>
<p><b>Permitted Uses and Density</b>                      Only those uses permitted within the applicable zoning district shall be allowed within any planned unit development. The average density of any planned unit development shall not exceed the number of dwelling units per acre allowed under the applicable zoning district regulations.</p>	<ol style="list-style-type: none"> <li>1. The Rockcliffe neighborhood will include detached residential homes, a permitted use in an R15 land use district.</li> <li>2. The Rockcliffe neighborhood will meet housing needs provided within the City's Housing Element of the General Plan, by expanding the range of housing options in the neighborhood.</li> <li>3. The Rockcliffe neighborhood design and proposed density at 11 units per acre will not exceed the number of dwelling units per acre allowed under the R15 land use district.</li> <li>4. The Rockcliffe neighborhood includes over four (4) acres within the Open Space (OS) land use district.</li> <li>5. The Rockcliffe neighborhood provides for the protection of a natural rock outcropping and the addition of a required drainage area. This area includes common open space areas designated for playgrounds, recreation and a pool site.</li> <li>6. The Rockcliffe neighborhood density</li> </ol>

Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

Required Findings	Rockcliffe Neighborhood Facts
	<p>remains consistent with all approvals including the original residential project in 2005 and the modified 2011 residential project approved within the R15 land use district.</p> <ol style="list-style-type: none"> <li>7. The Rockcliffe neighborhood design and proposed density at 11 units per acre will not exceed the number of dwelling units per acre allowed under the R15 District.</li> <li>8. Rockcliffe neighborhood includes over four (4) acres within the Open Space (OS) land use district. These areas provide for the protection of natural rock outcroppings, the addition of a required drainage area, and addition of common community open space areas. The community open space areas will be utilized for playgrounds, recreation, and a pool site. The Rockcliffe neighborhood does not meet the minimum 12 units per acre of density currently provided for in the Municipal Code for the R15 District; however, the provision of the over four (4) acres of Open Space provides reasoned assurance of a superior neighborhood</li> <li>9. The Rockcliffe neighborhood will not cause a significant loss of density that would be created by the 2015 Modified Project versus the previously approved projects (2011 and 2005).</li> <li>10. The Rockcliffe neighborhood will provide a maximum of 274 homes, whereas the previously approved projects provided a maximum of 276 (2005 approval) and 275 (2011 approval) homes.</li> </ol>
<p><b>Deviations from Site Development Standards</b>            Planned unit developments may deviate from the site development standards set forth in the applicable zoning district regarding lot area, lot dimensions, lot coverage, setbacks and building height. Any such deviation(s) shall be to the minimum degree necessary to achieve one or more of the purposes listed in the section.</p>	<ol style="list-style-type: none"> <li>1. The Rockcliffe neighborhood provides for deviations from the City Municipal Code. These include lot area, lot dimensions, maximum floor area ratio, lot coverage and all setbacks.</li> <li>2. A Development Standards chart highlighting development standards/deviations has been included within Section 2.0: Development Standards of this document.</li> <li>3. The Rockcliffe neighborhood deviations are the minimum degree necessary to achieve one or more of the development goals and objectives of the Rockcliffe neighborhood.</li> </ol>

Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

## 2.0 COMMUNITY CHARACTER

### 2.1 Purpose and Intent

This section provides the goals and objectives for the development of the Rockcliffe neighborhood. Additionally, this section provides the site planning and design standards to achieve these goals and objectives. The purpose and intent of the community design goals and objectives are noted below.

#### Land Use/Community Planning

- To develop the Rockcliffe neighborhood consistent with the City's General Plan and Zoning;
- To preserve existing natural features;
- To meet the demand for housing in the community and the surrounding regions;
- To develop the project site as a detached "for-sale" residential neighborhood;
- To develop two (2) small-lot residential home design concepts: a row and a paseo;
- To provide open space areas that will add significant recreational opportunities and protect the highest hillside/rock outcropping area and other natural resources in the general vicinity;
- To develop on-site recreation facilities such as private/common open space, a neighborhood center that includes a pool and spa, restrooms, and multiple tot lots that will serve the residents of the Rockcliffe neighborhood;
- To offer home ownership opportunities to first-time home buyers and/or seniors;
- To design elevations and floor plans to address today's family needs;
- To provide each residence with private yards for open space and personal use;
- To reduce private common open space areas and HOA dues by increasing private residential open space areas;
- To provide landscaping areas, perimeter walls, and entry signage that create a sense of community and are consistent with the City of Moreno Valley standards;
- To provide infrastructure that will meet the demands and needs of the project;
- To ensure consistent community aesthetics within common areas maintained by a HOA; and,

- To create a long lasting community that will age gracefully.

### **Circulation/Community Access**

- To provide a private on-site circulation system;
- To provide circulation improvements that address deficiencies in the local vicinity;
- To establish a walkable neighborhood that provides pedestrian access to existing regional shopping centers to the east and north of the project site.
- To provide internal and external access to recreational and open space amenities.
- To provide a circulation system including roadways that meets the needs of the proposed residential community;
- To establish an internal paseo system, while maintaining adequate walking paths and connectivity internally and externally; and,
- To provide three (3) major paseos linking the Rockcliffe neighborhood and recreational and open space amenities.

## **2.2 Project Characteristics**

Rockcliffe consists of the subdivision of 29.07 acres for the development of a maximum of 274 residential detached homes, open space, trails, landscape areas, private recreation areas, water quality basin, guest parking, and entry monuments. In addition Rockcliffe will include on-street and off-street parking areas, on-site circulation, pool, spa, deck, restrooms buildings, multiple tot-lots, and outdoor space areas. Access to Rockcliffe would be provided via gated entrances for vehicles and separate gated entrances for pedestrians. Additionally, the project provides access to the regional trail system. The lot sizes are noted below.

- 1,960 square foot minimum lot
- 3,989 square foot maximum lot
- 2,361 square foot average lot

The three main components of the Rockcliffe project are:

1. Residential detached homes;
2. Private open space areas; and,
3. Circulation system.

## Community Character

The Rockcliffe community will be developed consistent with the City’s General Plan and Zoning. It is designed to meet the demand for housing in the community and the surrounding regions. Rockcliffe will be a detached “for-sale” residential neighborhood that provides quality private open space areas for each home. Modern elevations and floor plans have been provided to satisfy today’s housing needs. Each home will include a private backyard and side yard for their open space and personal use. Private open space will serve the residents of the Rockcliffe community. The Rockcliffe community will be affordable to a growing workforce in the City, including approved warehouse developments. Homeowner association (HOA) fees will be reduced by offering private yards.

### 2.3 Development Standards

In order to ensure a varied street scene and to avoid monotonous repetitive appearance, this Planned Unit Development applies the following development standards to accomplish these goals:

Setback	Proposed
Minimum Front Yard	3 feet (Typical 4 to 23 feet)
Minimum Rear Yard	12 feet (Typical 12 to 29 feet)
Minimum Side Yard (Interior Side Yard)	3 feet
Minimum Building to Building Separation	6 feet minimum
Maximum Lot Coverage	62%

These development standards, specifically designed to implement the Rockcliffe community, require deviations from adopted City policy. The specific deviations are outlined below (CHART NAME) and compared to previous adopted standards for this community.

### 2.4 Plotting Standards

Rockcliffe will feature a range of home sizes, home style and floor plans, as described in Section 5: Architectural. The site plan illustrates the proposed plotting of the residential units of TTM 36933, and the parking and rear yards. Each home will include a minimum 1,960 square foot lot with exclusive use of a minimum 12-foot rear private yard and minimum 3-foot side yards between the residences and the Vinyl Fence that separates each residential home.

### 2.5 Maintenance and Repairs

The Rockcliffe Community shall include CC&Rs that provide detailed responsibility for repairing, replacing, or maintaining property throughout the community. This shall include details related to areas required to be maintained by the Home Owner’s Association, the property owner, and any other entity (i.e. City or Maintenance District).



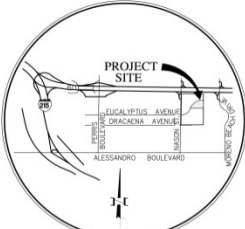
## Community Character

LAND USE SUMMARY					
Item No.	Item	Standard	2011 Approved	Proposed	Allowable Deviation
1	Density <sup>1</sup>				
	Maximum density (DUs*/net acre)	15 du/ gross acre	9.4 du/gross acre 11.1 du/net acre	9.45 du/gross acre 11.18 du/net acre	See note #1
	Minimum density (DUs*/net acre)	12 du/ gross acre	9.4 du/gross acre 11.1 du/net acre	9.45 du/gross acre 11.18 du/net acre	See note #1
2	Lot Size				
	Minimum lot size (net area in sq. ft.)	1 acre	1,846 sf	1,960 sf	Yes
	Maximum lot size (net area in sq. ft.)	N/A	3,181 sf	3,989 sf	Yes
	Average lot size (net area in sq. ft.)	N/A	2,067 sf	2,631 sf	Yes
3	Minimum lot width in feet	200 feet	25.5 feet	29.50 feet	Yes
4	Minimum lot depth in feet	175 feet	62.5 feet	65 feet	Yes
5	Minimum front yard setback, in feet	25 feet	3 feet	3 feet	Yes
6	Minimum interior side yard setback, in feet	10 feet	3 feet	3 feet	Yes
7	Minimum rear yard setback, in ft.	20 feet	3 feet	12 feet	Yes
8	Maximum lot coverage	45%	69%	62%	Yes
9	Maximum building and structure height, in feet	50 feet	30 feet	30 feet	Yes
10	Minimum dwelling size (sq. ft.)	N/A	N/A	N/A	Yes
11	Minimum distance between buildings, in feet (including main DUs and accessory structures)	20	6 feet	6 feet	Yes
12	Floor area ratio <sup>2</sup>	.75	Maximum 1.03	Maximum 0.94	See note #2.

1. The Rockcliffe PUD does not meet the current minimum density standards for the R15 zone. This R15 zone requires a minimum density of 12 units per acre and a maximum density of 15 units per acre. The Rockcliffe PUD residential/family home concept meets the standards included in 2005 when the original project was approved. Since the density remains intact from what was included originally, City Staff has honored the original minimum density approach.
2. The Rockcliffe PUD does minimally exceed Floor Area Ratio (FAR) for a number of lots. FAR is shown as a maximum of 0.94. Although the FAR standard is 0.75, the City Staff has indicated it will accept a maximum FAR of 1.00 per lot for all 274 lots. Additionally the City previously approved the site at 1.03.

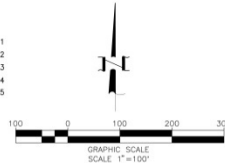
SITE PLAN

TENTATIVE TRACT MAP No. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
CITY OF MORENO VALLEY, CA



**SHEET INDEX**

COVER SHEET	SHEET 1
TENTATIVE TRACT MAP	SHEET 2
TENTATIVE TRACT MAP	SHEET 3
TENTATIVE TRACT MAP AND DETAILS	SHEET 4
EASEMENT DISPOSITION MAP	SHEET 5



**LEGAL DESCRIPTION**

BEING A SUBDIVISION OF LOT 1 AND LETTERED LOTS A THROUGH F, INCLUSIVE, AS SHOWN BY TRACT MAP NO. 32633, AS FILED IN BOOK 409, PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

**FLOOD NOTE**

SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP 08060C0705, EFFECTIVE DATE OF AUGUST 28, 2008.

**ASSESSOR'S PARCEL NUMBERS**

A.P.N. 488-090-026 A.P.N. 488-091-055  
A.P.N. 488-090-037 A.P.N. 488-091-031  
A.P.N. 488-090-028 A.P.N. 488-091-053  
A.P.N. 488-090-081 A.P.N. 488-091-073  
A.P.N. 488-090-077 A.P.N. 488-090-078

**EARTHWORK QUANTITIES**

RAW CUT - 29,572 C.Y.  
RAW FILL - 13,821 C.Y.  
EXPORT - 15,891 C.Y.

**ZONING**

CURRENT: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
PROPOSED: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
R15 (RESIDENTIAL) ZONE: 25.04 ACRES CURRENT AND PROPOSED  
OS (OPEN SPACE) ZONE: 4.03 ACRES CURRENT AND PROPOSED

**UTILITY PURVEYORS**

WATER: EMDM  
SEWER: EMDM  
CABLE TV: ADELPHI  
GAS: SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC: CITY OF MORENO VALLEY  
TELEPHONE: VERIZON  
SOLID WASTE: WASTE MANAGEMENT OF INLAND VALLEY

**LEGEND/ABBREVIATION**

EXISTING  
PROPOSED CENTERLINE RADIUS R=300'  
PRIVATE STREET  
LOT NUMBER  
CENTERLINE INTERSECTION DISTANCE  
TENTATIVE TRACT BOUNDARY  
PROPOSED CENTERLINE



**GENERAL NOTES**

- 1. NUMBER OF UNITS: 272 DWELLING UNITS (2 STORES) AND A RECREATION BUILDING.
- 2. THERE ARE NO KNOWN EXISTING WELLS IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS.
- 3. ALL INTERIOR STREET RIGHTS OF WAY TO BE PRIVATELY OWNED AND MAINTAINED.
- 4. THE SITE HAS BEEN PREVIOUSLY GRADES WITH TRACT 32633. THERE ARE NO LIQUID OR SOLID WASTES SITES WITHIN THE PROJECT.
- 5. A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN ALL COMMON FACILITIES, VISIBLE FRONT YARDS AND REVERSE FRONTAGE AREAS NOT ACCEPTED BY THE CITY'S SPECIAL DISTRICTS.
- 6. A HOMEOWNER ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE DETENTION BASIN.
- 7. A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE PRIVATE STREETS, COMMON AREA AMENITIES AND COMMON LANDSCAPING AREAS.
- 8. ALL HOMES SHALL BE FIRE SPRINKLERED.
- 9. MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE.

**DEVIATIONS FROM R15 ZONING**

CITY REQUIREMENT	PROPOSED
MINIMUM FRONT SETBACK	20'
MINIMUM REAR YARD SETBACK	3' (TYPICAL 3'-23')
MINIMUM SIDE YARD SETBACK	12' (TYPICAL 12'-29')
INTERIOR SIDE YARD	10'
STREET SIDE YARD	3'
MINIMUM DISTANCE BETWEEN BUILDINGS	4.5'
MINIMUM DISTANCE BETWEEN BUILDINGS	20'
MINIMUM DISTANCE BETWEEN BUILDINGS	20'
MINIMUM LOT COVERAGE	62%

**SETBACKS**

FRONT: 3' MINIMUM (TYPICAL 3'-23')  
REAR: 10' MINIMUM (TYPICAL 12'-29')  
SIDE: 3' MINIMUM (TYPICAL 3'-6')  
MINIMUM SIDE YARD BUILDING SEPARATION: 6.00'

**LOT SUMMARY**

MINIMUM LOT SIZE	MINIMUM LOT SIZE
1,960 SF	3,989 SF
2,361 SF	2,359 SF
29.07 AC	29.50 AC
24.57 AC	24.50 AC
272 DU	274 DU
9.28 DU/AC	9.45 DU/AC
11.07 DU/AC	11.18 DU/AC

**LOT SUMMARY**

MINIMUM LOT SIZE	MINIMUM LOT SIZE
1,960 SF	3,989 SF
2,361 SF	2,359 SF
29.07 AC	29.50 AC
24.57 AC	24.50 AC
272 DU	274 DU
9.28 DU/AC	9.45 DU/AC
11.07 DU/AC	11.18 DU/AC

**LAND USE SUMMARY (272 DWELLINGS)**

LOTS	LAND USE	ACREAGE	PERCENT(%)
1-272	SINGLE-FAMILY RESIDENTIAL	14.74	50.7%
273	RECREATION	0.44	1.5%
A	NATURE PARK	2.38	8.2%
B	DETENTION BASIN (EXISTING)	1.68	5.8%
C-RR	OPEN COMMON AREA	4.38	15.1%
	PRIVATE STREETS	5.45	18.7%
	<b>GROSS ACREAGE</b>	<b>29.07 AC</b>	<b>100.0%</b>

**LAND USE SUMMARY (POTENTIAL 274 DWELLINGS)**

LOTS	LAND USE	ACREAGE	PERCENT(%)
1-272	SINGLE-FAMILY RESIDENTIAL	14.83	51.1%
273	RECREATION	0.44	1.5%
A	NATURE PARK	2.38	8.2%
B	DETENTION BASIN (EXISTING)	1.68	5.8%
C-RR (LOT 2 EXCLUDED)	OPEN COMMON AREA	4.22	14.7%
	PRIVATE STREETS	5.45	18.7%
	<b>GROSS ACREAGE</b>	<b>29.00 AC</b>	<b>100.0%</b>

**TENTATIVE TRACT No. 36933**

NUMBER OF NUMBERED LOTS (272 DWELLINGS)	272
SINGLE FAMILY DETACHED RESIDENTIAL	272
RECREATION AREA	1
TOTAL	273

NUMBER OF LETTERED LOTS	1
PRIVATE STREET	1
NATURE PARK	1
DETENTION BASIN	1
OPEN SPACE	42
TOTAL	45

GROSS ACREAGE:	29.07 AC
CONTOUR INTERVAL:	1 FOOT
SCALE:	1"=40'
DATE:	FEB. 2016

**TENTATIVE TRACT No. 36933**

NUMBER OF NUMBERED LOTS (POTENTIAL 274 DWELLINGS)	274
SINGLE FAMILY DETACHED RESIDENTIAL	274
RECREATION AREA	1
TOTAL	275

NUMBER OF LETTERED LOTS	1
PRIVATE STREET	1
NATURE PARK	1
DETENTION BASIN	1
OPEN SPACE	42
TOTAL	45

GROSS ACREAGE:	29.00 AC
CONTOUR INTERVAL:	1 FOOT
SCALE:	1"=40'
DATE:	FEB. 2016

**OWNER**  
BEAZER HOMES  
1800 E. IMPERIAL HIGHWAY, SUITE 200  
BREA, CA 92821  
PH: (714) 285-2900  
FAX: (949) 823-7490  
CONTACT: LENNY DUNN

**APPLICANT / DEVELOPER**  
BEAZER HOMES  
1800 E. IMPERIAL HIGHWAY, SUITE 200  
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FAX: (949) 823-7490  
CONTACT: LENNY DUNN

**TENTATIVE TRACT No. 36933**  
**ROCKCLIFFE AT STONERIDGE RANCH**  
**TENTATIVE TRACT MAP**  
CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA  
SHEET 1 of 5  
PI5-066 | PI5-067

**CIVIL ENGINEER**



CHANGE	DATE	REVISION
	2/15/16	CITY COMMENTS
	3/1/16	CITY COMMENTS
	11/18/15	PRIC COMMENTS 10/14/2015
	08/15/15	FIRST SUBMITAL

## 3.0 LANDSCAPE

### 3.1 Landscape Concept Plan

The Rockcliffe neighborhood at Stoneridge Ranch will be landscaped in substantial conformance with the Landscape Concept Plan. The Landscape Concept Plan provides for community entry statements, a detention basin, open space, paseos, play areas, BBQs, benches, and a recreation area with a pool, spa, and restrooms. The Rockcliffe neighborhood provides connectivity to the existing regional trail system, parks and open space immediately off-site through the internal paseo system and other pedestrian access ways.

The landscape concept includes a variety of plant material varying from native, indigenous material to flowering ornamentals. The placements of these materials provide textural and colorful accents at vehicular and pedestrian nodes. Throughout the community, the streetscapes promote a peaceful sense of familiarity. Furthermore, the recommended plant palette and hardscape materials applied to common areas are designed to work in concert to reinforce and emphasize the community's landscape theme at major focal points and common areas.

The overall landscape theme blends the community with the existing Stoneridge Ranch residential villages and the commercial area. The landscape theme takes into account responsible concerns of maintenance and water usage, while providing an aesthetically pleasing environment and a comfortable transition between each village neighborhood.

The landscape and planting design provides the identity for Rockcliffe that is sustainable over time and meets the City of Moreno Valley's Landscape Standards. The plant palette chosen for Rockcliffe is appropriate to the site's climate while providing color and seasonal change. Front yard landscaping is required for all front yards and will be designed to meet the City of Moreno Valley Landscape requirement to include xeriscape landscaping on lots (see below landscape plan).

### 3.2 Landscape Palette

The Rockcliffe at Stoneridge Ranch plant palette implements and enhances the community's natural setting, while also reducing irrigation needs and conserving water resources. The plant palette includes colorful plant materials along with evergreen and deciduous trees appropriate for the local climate. The plant palette also accentuates other design elements in the community, such as the recommended architectural styles, walls and fences, etc. Many of the plant materials are water-efficient species native to southern California or naturalized to the arid southern California climate.

The plant palette provides a list of the plant materials approved for use in Rockcliffe. The utilization of some materials, depending upon their site location, exposure, and relationship to other influential factors may not be appropriate in all locations of the community. Plant selection for specific areas of the community shall have similar watering requirements so that irrigation

systems can be designed to minimize water use and plant materials can thrive under optimal conditions. Please see Appendix B, Plant Legend for further details.

### Streetscape

Vehicular access gates provide controlled access to Rockcliffe at three (3) different locations through the community. The entries will feature enhanced paving. A callbox will be located at the center of the roundabout to allow guests to be let through the gate by residents.

### Wall and Fence

The Wall and Fence Plan for Rockcliffe has a variety of walls and fences that are provided throughout the community to minimize roadway noise off Eucalyptus Avenue, increase privacy within each residential lot, and increase safety for pedestrians along primary community roads. Community walls and fences are designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Gates should be complementary in style and color to its fence or wall. Similarly, walls and fences shall be constructed of materials, colors, and textures that are similar to, and harmonious with, the architecture. The three types of walls and fencing used within Rockcliffe are described below.

**Decorative Slump Block Wall:** Decorative Slump Block Walls are generally provided around the exterior of the community to provide privacy and noise attenuation for private residences adjacent to local streets. Slump Block Walls will be no greater than six (6) feet tall.

**Vinyl Privacy Fence:** White Vinyl Fences are provided between private yards. Vinyl Fences will be no greater than six (6) feet tall.

**Tubular Steel Fence:** Tubular Metal Fences will enclose the Water Quality Basin. Tubular Metal Fences will be constructed of 6-foot tall tubular metal, powder coated black, atop a retaining wall.

The vehicular entry gates located at the Community Entries will include tubular metal gates located between split face concrete masonry columns with precast concrete caps. A 6-foot tall and 42" to 48" wide with ADA D standards pedestrian entry gate will also be provided at the Community Entry, adjacent to the vehicular entry gate.

Landscape

### 3.3 Open Space

The project site includes approximately 8.72 acres of open space. This area includes the protection of a natural rock outcropping (Nature Park), a paseo system, a required drainage area, play grounds, and a restroom facility/pool site. The acreage includes the following locations:



**Nature Park**  
Rockcliffe includes Lot A “Nature Park” that is a permanent open space location of 2.38 acres.

#### Paseo System

The Rockcliffe neighborhood will provide three (3) major paseos linking the Rockcliffe neighborhood with on- and off-site recreational and open space amenities. The paseo system provides an alternative means of access for bicycles and pedestrians reducing and/or eliminating neighborhood vehicle trips. The paseo system connects to the regional trail system. Additionally, the paseo system will afford the neighborhood with a design amenity breaking up the street pattern with interesting spaces and providing added dimension to the overall development. Combinations of private and public open space areas linked by the paseo system will afford residents an opportunity to socialize and exercise. This includes benches, dog stations, and stations.



par course

#### Water Quality Basin

A water quality basin (1.68 acres), for water quality and flood control was originally established within the OS district and is currently constructed. Landscape, including trees, shrubs and groundcover, as well as irrigation shall be installed and maintained by the HOA for all sides and or

slopes of the basins and bio-ponds. A hydroseed mix with an irrigation system is acceptable for the bottom of all bio-ponds. A decorative wrought iron or tubular steel fence, or other fence/wall is required at the top of basin/pond slopes to provide full security.

### Recreation Area and Play Areas

Rockcliffe includes four (4) private recreational areas and/or play areas and a pool and spa. The following play areas are within the neighborhood:

**Community Center:** The community center is located in the middle of Rockcliffe. It includes a pool, spa, restrooms building, BBQ/Picnic Area, and shade structure.

**Play Area 1:** This area includes a play lot, shade structure, open turf play area, and picnic area.

**Play Area 2:** This area includes a tot lot, shade structure and bench seating.

**Play Area 3:** This area includes a tot lot, open turf play, shade structure and bench seating.



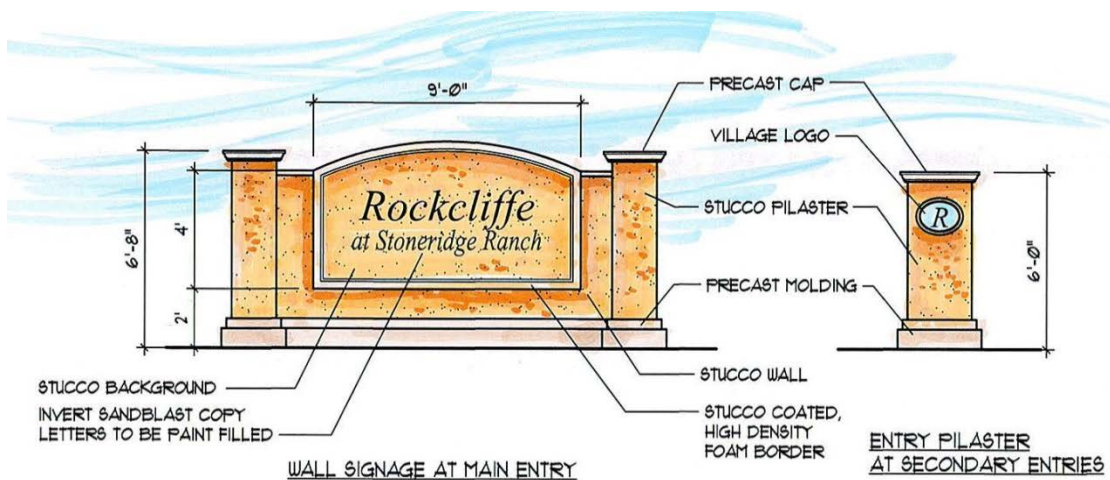
### 3.4 Community Statements

#### Entry Statements

The Rockcliffe at Stoneridge Ranch design program will include a major community entry statement. The statement is located at the main entrance to the site off Eucalyptus Avenue. The entry monument materials will reinforce and be reflective of the community identity. The landscaping will incorporate trees as a backdrop and foundation plantings of colorful multi-texture perennial shrubs and flowers.

#### Secondary Statements

The project site will have minor entry statements identifying the neighborhood and they will be located at the two secondary entrances to the project off Eucalyptus Avenue. The minor entry monuments reinforce the theme of the village. The landscaping will incorporate trees as a backdrop and foundation plantings of colorful multi-texture perennial shrubs and flowers.



# OPEN SPACE/TRAILS





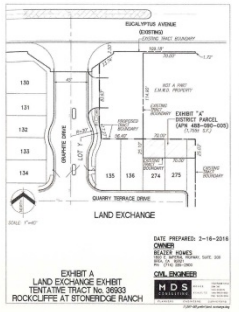
# LANDSCAPE PLAN

## Rockcliffe at Stoneridge Landscape Concept Plan Tract 36933

SYMBOL	SIZE	BOTANICAL NAME	COTYDON NAME	USGOLS
INSEB				
34" BOX		CELEBRIS SP.	REDROD	L
24" BOX		CAULIPHA TARKENTENIS	CAULIPHA	L
24" BOX		LAGERSTRÖMIA SP.	CRANE PYRILE	L
24" BOX		PARSONIA DESERT PLUMBY	PALM VERDE	L
24" BOX		PRELUS SP.	PURPLE LEAF PLUM	H
24" BOX		PTYLLIS SP.	ORNAMENTAL PEAR	H
24" BOX		PRUNUS ELAEAGICA	ARGAN PINE	L
24" BOX		PLATANUS MACROCARPA	STYLOSIS	H
24" BOX		ABUTILON THIANTU	SPRINGBERRY TREE	H
24" BOX		PRISTIA GAMBOSIA	CHERRY PISTACHE	H
24" BOX		OSEROL SP.	OSM	L
24" BOX		ULMUS PY. CORALIS	EVONCHEN ELM	H
24" BOX		WASHINGTONIA FILIFERA	CALIFORNIA PAN PALM	L
34" BOX		EUCALYPTUS S. ROSEA	RED ROSEBANK	L
18" GAL		LAGERSTRÖMIA PRICOP. DENT	CRANE PYRILE STD.	H
18" GAL		LEPTOCARPUS BOPHINAY	NEW ZEALAND TEA TREE STD. L	H
18" GAL		RAMPHALIS L. MAESTIC BEAUTY	NOLA HAWTHORN STD.	H
18" GAL		TEUCRIA STAVE	YELLOW BELLS	H

SIZE	BOTANICAL NAME	COTYDON NAME	USGOLS
9 GAL	ALICE BLUE EUP.	ALICE	L
9 GAL	ALTYSSIA RUSSELLI	BLUE GIBBERUS	L
9 GAL	ANDROSANTOS SP.	KAWANOKO PAVE	L
9 GAL	ARCTOSTAPHYLOS PACIFIC HIB.	DEBENT JOHN/ROSE	L
9 GAL	BACCHARIS F. TEN PEARS	PACIFIC HIB. MANDANTIA	L
9 GAL	CALLANDRA SINGHULLA	CORVITE BRUSH	L
9 GAL	CEASTOS SP.	WILD LEAG	L
9 GAL	CESTIS SP.	ROSEBERRY	L
9 GAL	CLIVIA PINATA	KAPPA LILT	H
9 GAL	EGGFLY PARROTIA	FIRE PASTORAL	L
9 GAL	EURYOPS PECTINATUS	BURYOPS DARTY	L
9 GAL	FRYXIDOPSIS SP.	FLAMEBUSH	L
9 GAL	GALVEA SPECIOSA	ISLAND BURNFORGON	L
9 GAL	SMYLLIS SP.	RED YUCCA	L
9 GAL	METROCALIS SP.	DART LILT	L
1 1/2 GAL	HETEROLEPIS PARVIFLORA	RED YUCCA	L
9 GAL	JANIPERUS SP.	JANIPER	H
1 1/2 GAL	LAVANDULA SP.	LAVINCEN	L
9 GAL	LYROPE SP.	LYROPE	H
1 GAL	MULUS AURANTIACUS	MONMTHLOSER	L
9 1/2 GAL	MYRTUS G. COMPACTA	DUAMP MYRTUS	H
9 1/2 GAL	PITTOSPORUM T. VARIAGATA	VARIAGATED TOROINA	H
9 1/2 GAL	RYNCHOPLOSIS NODICA	NOLA HAWTHORN	H
9 GAL	ROSEA SP.	ROSE	H
9 GAL	ROSEMARINUS ORIGINALIS	ROSEMARY	H
9 GAL	SALVIA SP.	COLEBY ROSEMARY	L
9 1/2 GAL	SEMPERVIVENS SP.	COLEBY ROSEMARY	L
9 GAL	RESTIUM SALICIA	BLUE PESCOP	H
1 GAL	NELOTROPICUM NEPENTHYOIDES	BLUE OAT GRASS	H
1 GAL	POGONIA SP.	ESALLA GRASS	H
1 GAL	SEBEMIA AUSTRIALIS	AUTUMN TROCK GRASS	H
9 GAL	BOGANVILLEA SP.	BOGANVILLEA	L
9 GAL	MACADAMIA ANGLE-CATTI	CAPE BLUE VINE	L
9 GAL	VITIS G. ROSEUS RED	WILD GRAPPE	L

SIZE	BOTANICAL NAME	COTYDON NAME	USGOLS
9 GAL	GRASSO GARDENS	NEED APPLE	L
PLATS	APTEINA GONGOLIA	GAMBEY CRIBBER	L
PLATS	CEANOTHUS HORIZONTALIS	TYPICANT	L
PLATS	ROSEMARINUS O. PROSPERATUS	PROSPERATE ROSEMARY	L
PLATS	ROSEMARY ANTONIUS	PINKY BEAR	L
PLATS	BRENCO MANDALAGICE	CHALKPICKS	L
PLATS	VERBENA SALICINA	VEILET VERBENA	L
KOD	HAWAIIAN P.	TURF	H
MEED	HYDRANGEA P.		H



TREE COUNT  
REQUIRED: 681  
PROVIDED: 1020

SECONDARY ENTRY  
ENTRY PLAZAS  
REPOSITE CONTROL GATE

WALL / FENCE LEGEND  
8" HT. SLURRY BLOCK WALL  
5'-6" HT. VINYL PRIVACY FENCE  
6" HT. TUBULAR STEEL FENCE



SCALE: 1"=6'  
REV. DATE: 9-10-16  
(916) 655-6413  
FAX: 830-4465  
STAN SMITH ASSOCIATES

NOTE: THIS LANDSCAPE PLAN IS A CONCEPTUAL EXHIBIT

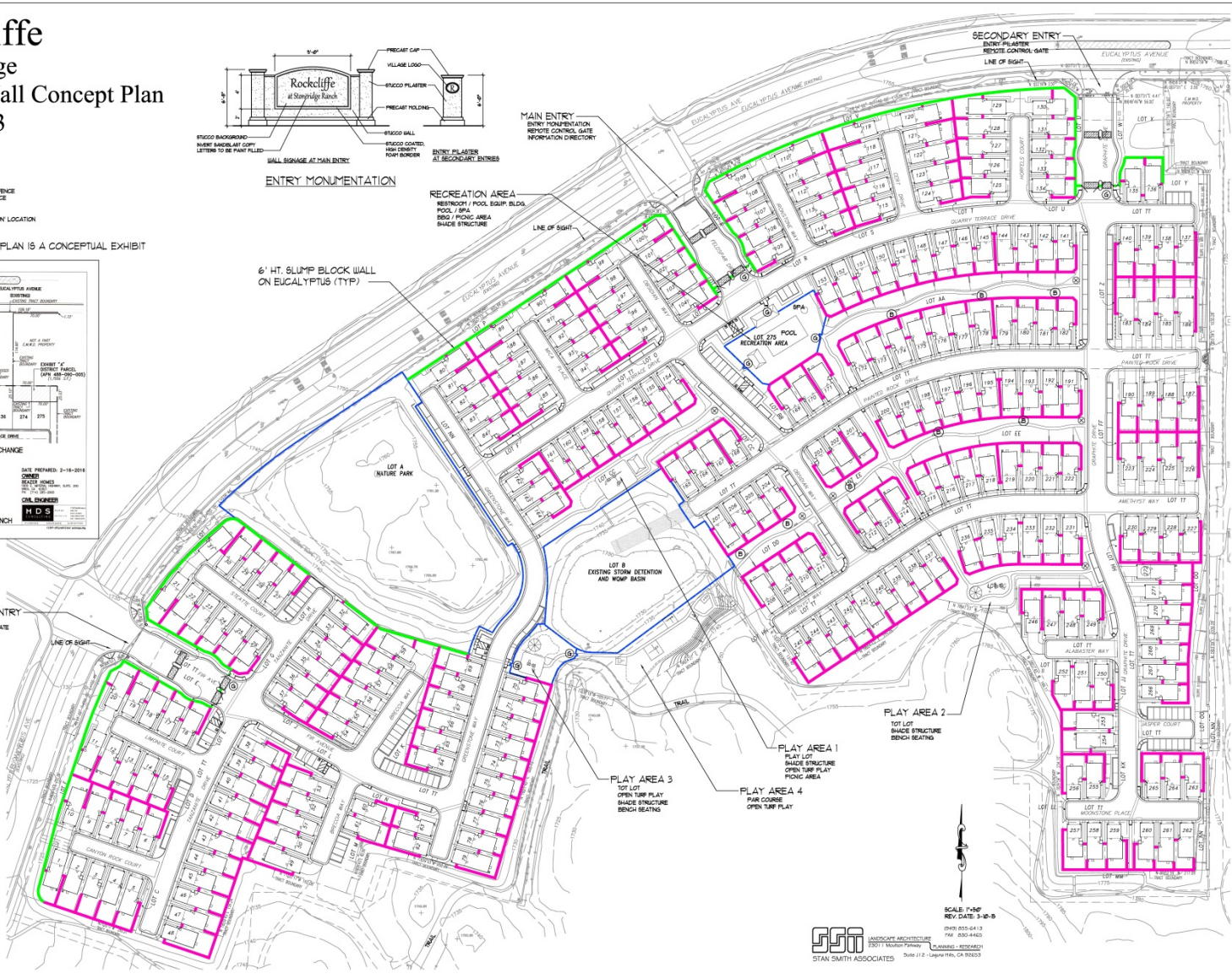
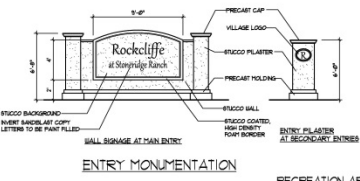
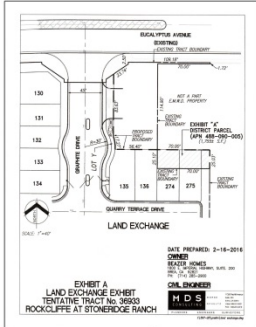
# WALL AND FENCE PLAN

## Rockcliffe at Stoneridge Fence & Wall Concept Plan Tract 36933

### WALL / FENCE LEGEND

- 6' HT. SLUMP BLOCK WALL
- 3'-6" HT. VINYL PRIVACY FENCE
- 6' HT. TUBULAR STEEL FENCE
- GATE LOCATION
- DOGGIE-POT / PET STATION LOCATION
- BENCH LOCATION

NOTE: THIS FENCE / WALL PLAN IS A CONCEPTUAL EXHIBIT



SSA LANDSCAPE ARCHITECTURE  
33011 Moorpark Parkway  
STAN SMITH ASSOCIATES

DATE: 11.01.16  
SCALE: 1/8" = 1'-0"

## 4.0 CIRCULATION

### 4.1 Circulation System Plan

The Rockcliffe at Stoneridge Ranch community will include circulation and connectivity components for vehicles, bicycles, and pedestrians. Each component is integrated with one another to provide multiple opportunities for the community's residents to travel freely.

Three (3) points of access have been provided for the Rockcliffe neighborhood from Eucalyptus Avenue. All proposed interior streets, drive aisles and courtyard areas will be gated off from outside public access and will be maintained by a homeowners association. Pedestrian access will also be provided by gates to Eucalyptus Avenue. Additionally, the project provides access to the regional trail system.

### 4.2 Connectivity

The Rockcliffe neighborhood will include significant connectivity enhancements for bicycles and pedestrians. These components have been integrated to provide multiple opportunities for the community's residents to move freely within the neighborhood without the need for vehicles. Key components include connectivity to Eucalyptus Avenue, the existing regional trail system immediately off-site, and the internal paseo system.

#### Vehicle Access



Three (3) points of access have been provided for the Rockcliffe neighborhood from Eucalyptus Avenue. All proposed interior streets, drive aisles and courtyard areas would be gated off from general outside public access, and will be maintained by a homeowners association.

#### Pedestrian/Bicycle Access

The Rockcliffe residential development project provides for a walkable community and pedestrian/bicycle access to existing regional shopping centers to the east and north of the site.

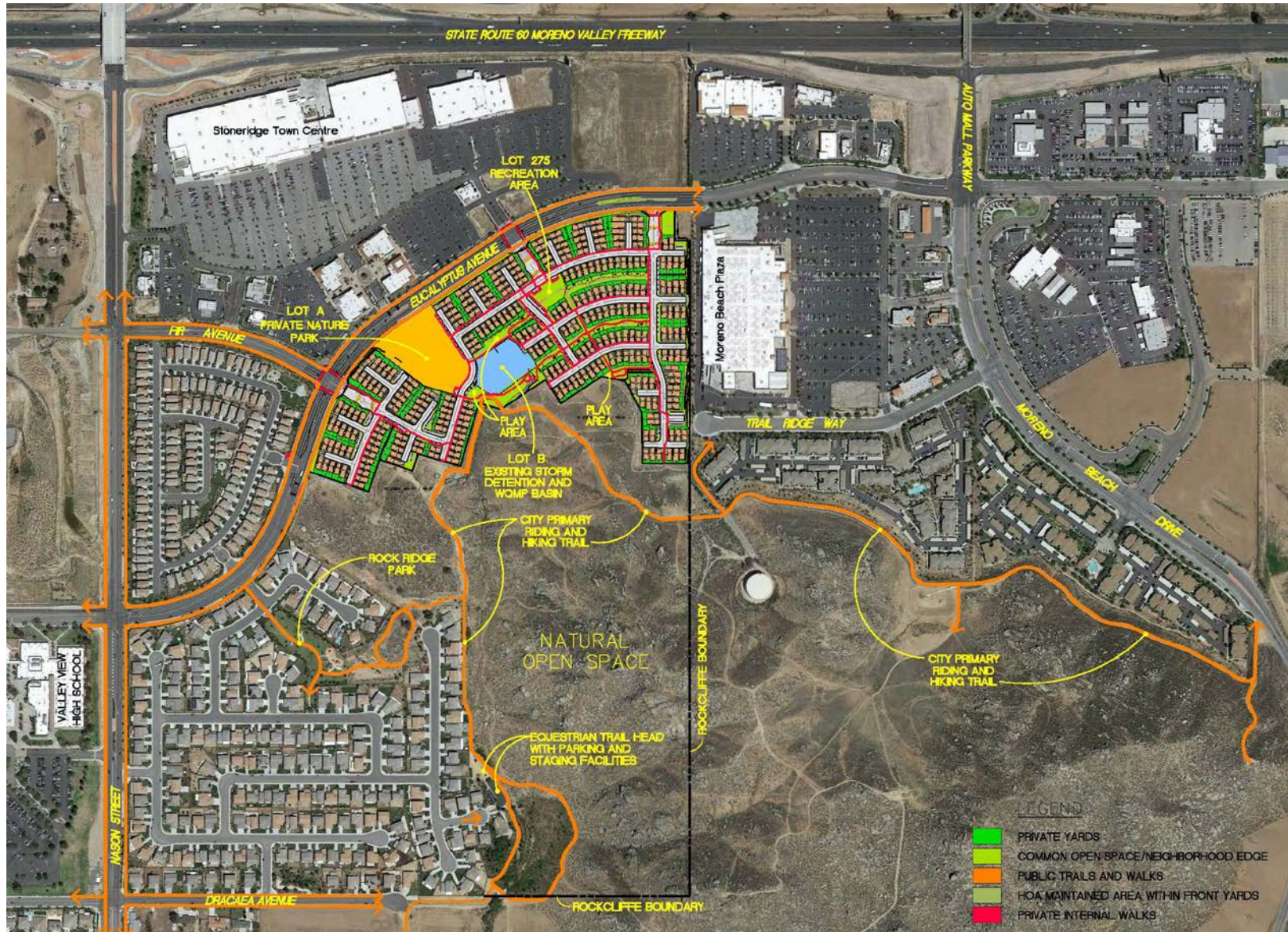
Pedestrian access will be provided at all three (3) access points to Eucalyptus Avenue and will allow residents to enjoy surrounding retail amenities while at the same time reducing automobile trips and vehicle miles traveled. Additionally, an existing regional multi-use trail with a point of access is located within the southern portion of the OS zone.

### 4.3 Parking

Parking requirements for the Rockcliffe community includes 2.5 spaces per unit or lot. Each residential dwelling unit will contain a required minimum enclosed 20x20 two-car garage. An additional 142 guest parking stalls will be scattered throughout the site. This additional parking provides the remaining 0.5 spaces per unit parking requirement.

Description	Ratio	Required	Provided
Private			
Garage Spaces	2	548	548
Open Spaces			
Guest Parking (Open)	0.5	137	142
<b>Total</b>		<b>685</b>	<b>690</b>

# CONNECTIVITY



## 5.0 ARCHITECTURAL DESIGN GUIDELINES

These guidelines convey the architectural design theme required in the Rockcliffe project. These Architectural Design Guidelines provide four floor plans and four architectural styles for each floor plan and reverse plans for each, for a total of 32 floor plan/style combinations. Each residence shall use one of these twelve combinations as shown. These PUD guidelines allow for additional architectural designs consistent with the overall concepts described below.



### 5.1 Form and Massing

Building mass and scale are two primary design components that affect how a building is perceived. The creative use of design articulation of the building's visible facades, variation of rooflines, balance of roof forms, and changes in vertical and horizontal planes reduces the perceived mass of a building. Even if the front elevation setback for adjacent homes is the same, variations in massing can provide an abundance of visual interest.

### 5.2 Roofs

The roofline is a dominant visual element of a home. A roof's composition allows for a clean interface with the building and the building facade. The roof's form and composition should reflect the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style, and shall also not be overbearing nor give the appearance of being disjointed.

Roof materials and colors selected for an architectural style reflect the elements that are typically used in that style.

Aftermarket solar panels, if used, should be integrated into the roof design as an unobtrusive element. Roofs shall be designed with a 4:12 or 5:12 pitch to accommodate the installation of solar panels.

### 5.3 Garages

Each residence will include a 2-car garage. The recess around the garage doors detail and color has been designed to reflect the architectural style of the residence.

### 5.4 Windows

Window and door details are architectural components that carry a strong visual impact through their placement and design.

Front door details shall be consistent with the architectural style.

Feature window shapes shall be consistent with the architectural style.

Accent shutters, when used, shall be proportionate to the window and shall reflect the architectural style.

## 5.5 Building Materials and Colors

A complementary mixture of colors, textures, and building materials is required throughout the Rockcliffe project. Building material and color selection are integral components in the definition of a specific architectural style and also provide a varied streetscape design. Material breaks, transitions and terminations should produce complementary and clear definitions of separation, while maintaining a prescribed color and materials palette. A variety of exterior accent detailing is used as an integral feature in home construction to convey the selected architectural styles.

Nine color schemes shall be provided for throughout the community.



A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. This avoids a monotonous appearance of multiple buildings of the same colors and tones.

Material breaks, transitions, and termination shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme.

## 5.6 Outdoor Lighting

Lighting standards throughout Rockcliffe shall be similar in style, color and materials, embracing a natural and minimal lighting approach. Prior to issuance of a building permit the Rockcliffe project shall submit a photometric lighting plan to the City including such elements as paseo, recreational and street lights.

All outdoor lighting shall incorporate, to the extent feasible and permissible under City standards, measures to aid in reducing light pollution. Such measures include: wattage reduction, directing lighting downward, shielding lights (or using "cut-off lights" that only illuminate the side or underside of a fixture, rather than shining skyward) and lowering the height of light poles to reduce the illumination radius.

All outdoor lighting fixtures shall be focused, directed, and arranged to minimize glare and illumination on public streets and adjoining property.

## 5.6 Mechanical Equipment

Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such devices shall not be mounted on any roof and must be located behind privacy walls.

## 5.7 Energy Efficient

The Rockcliffe community shall be energy efficient. While, many builders claim they build energy-efficient homes, few take the additional steps to ensure their homes meet the most current ENERGY STAR requirements. Every Rockcliffe home will undergo a 3<sup>rd</sup> party process of inspections, testing and verification to meet strict requirements set by the U.S. Environmental Protection Agency (EPA). The Rockcliffe homes shall receive HERS score, the standard rating system for home energy consumption.

## 5.8 Floor Plans

The Rockcliffe community shall include four floor plans.

**Plan 1:** includes a three bedroom, two and a half bath home with a total of 1,542 square feet of living space and 453 of unconditioned space (garage and porch).

**Plan 2:** includes a three bedroom, two and a half bath and loft area home with a total of 1,733 square feet of living space and 443 of unconditioned space (garage and porch).

**Plan 3:** includes a four bedroom, two and a half bath home, and optional tech room with a total of 1,818 square feet of living space and 450 of unconditioned space (garage and porch).

**Plan 4:** includes a five bedroom, three bath home, and optional tech room with a total of 1,982 square feet of living space and 443 of unconditioned space (garage and porch).

## 5.9 Architectural Styles

The residential architecture of Rockcliffe includes a complementary palette of architectural styles that which are authentic to the southern California landscape. The four architectural styles within Rockcliffe are Spanish, Cottage, Italianate, and Classical. The character-defining elements of each architectural style are described below. The list of characteristics serves to highlight the defining features of the elevations within the community.

**Spanish:** The Spanish style has soft recessed arches over doors, windows and porches. This style includes Angled stucco corbels at eaves with clay pipes in forward facing gables. It has low- profile "S" type concrete roof tile and plank shutters with "Z" detailing and simple cross mullions in the windows.

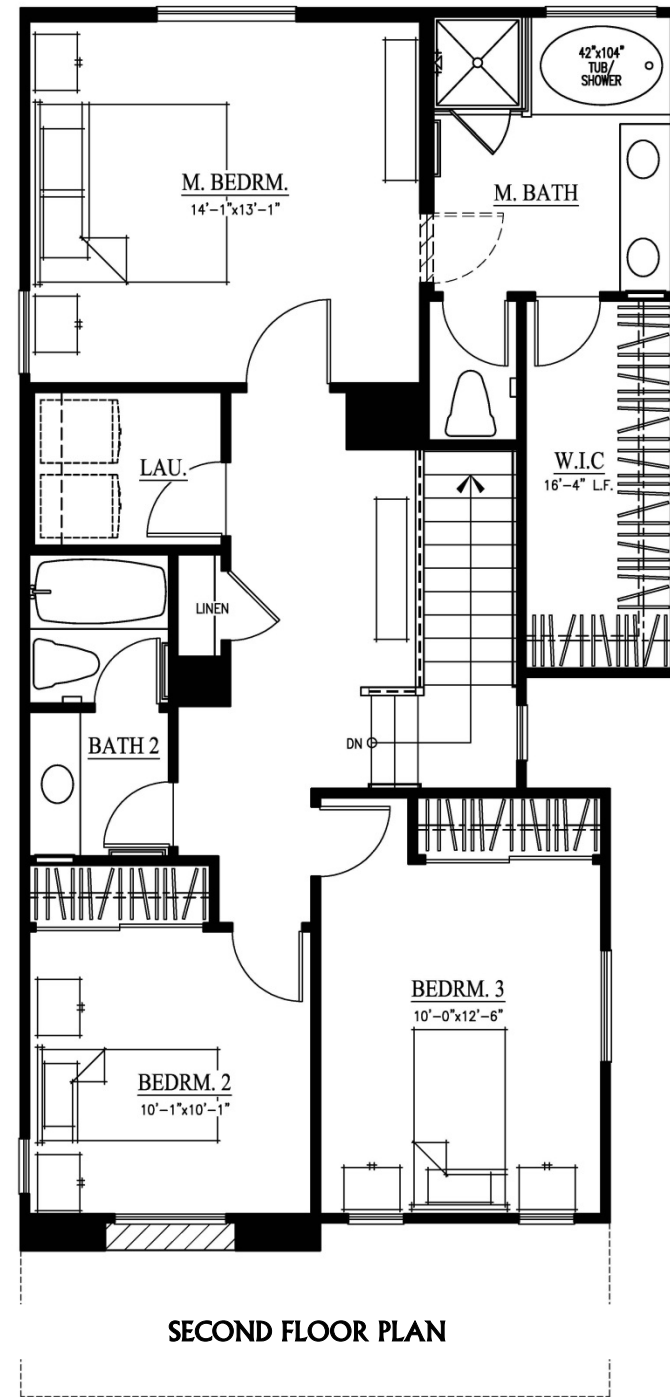


**Cottage:** The Cottage style has flat recessed windows, doors and porch soffits. This style includes wrought iron details in the forward facing gables, with multi paned windows and plank type shutters with "cleat" detailing along with horizontal "Belly" band detailing on the front elevation.

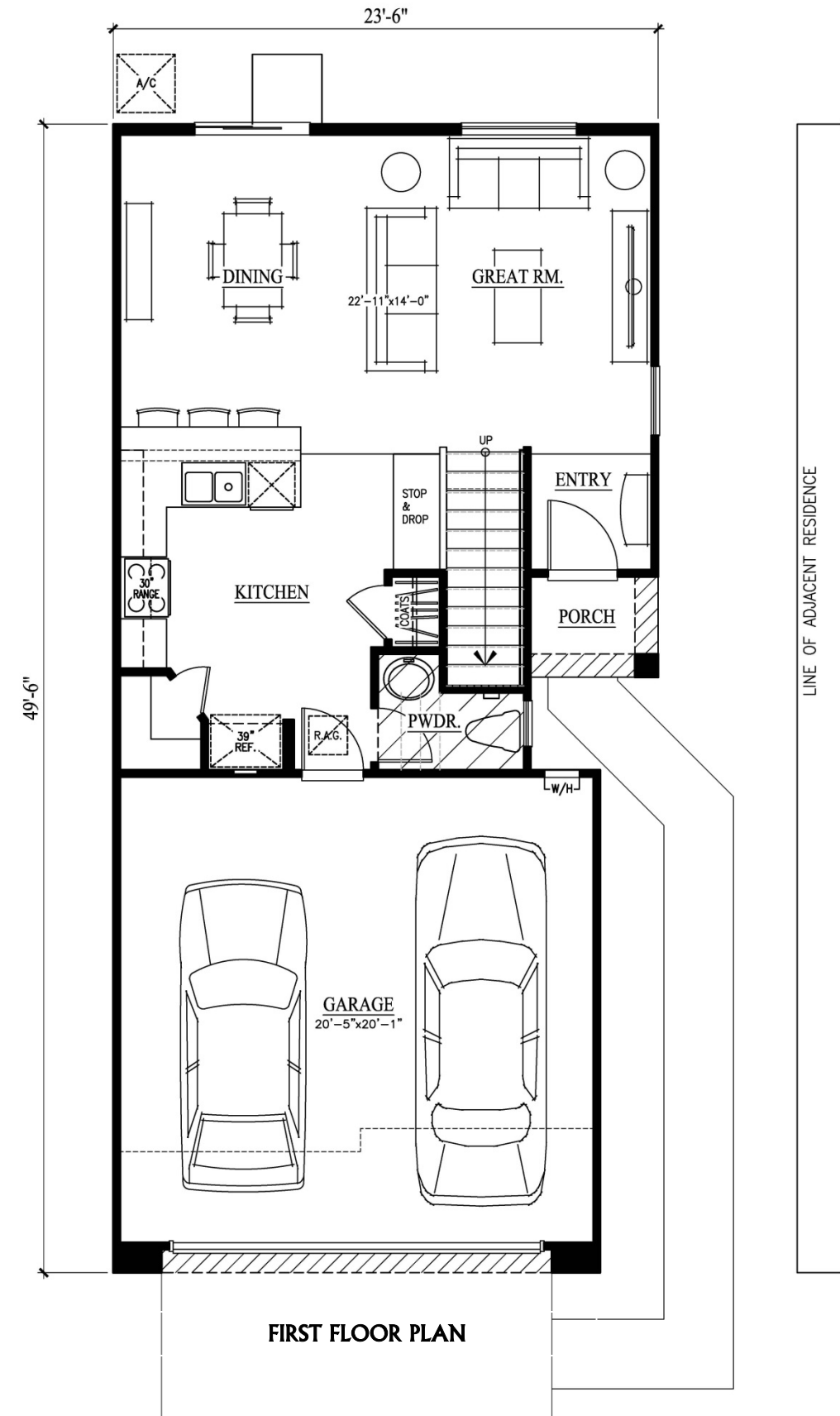
**Italianate:** The Italianate style incorporates hip roof forms on the front elevation along with horizontal banding at both the first and second floors. This style includes low- profile "S" type concrete roof tile, with panel type shutters and vertical window mullions along with quarter radius recessed arches at the garages.

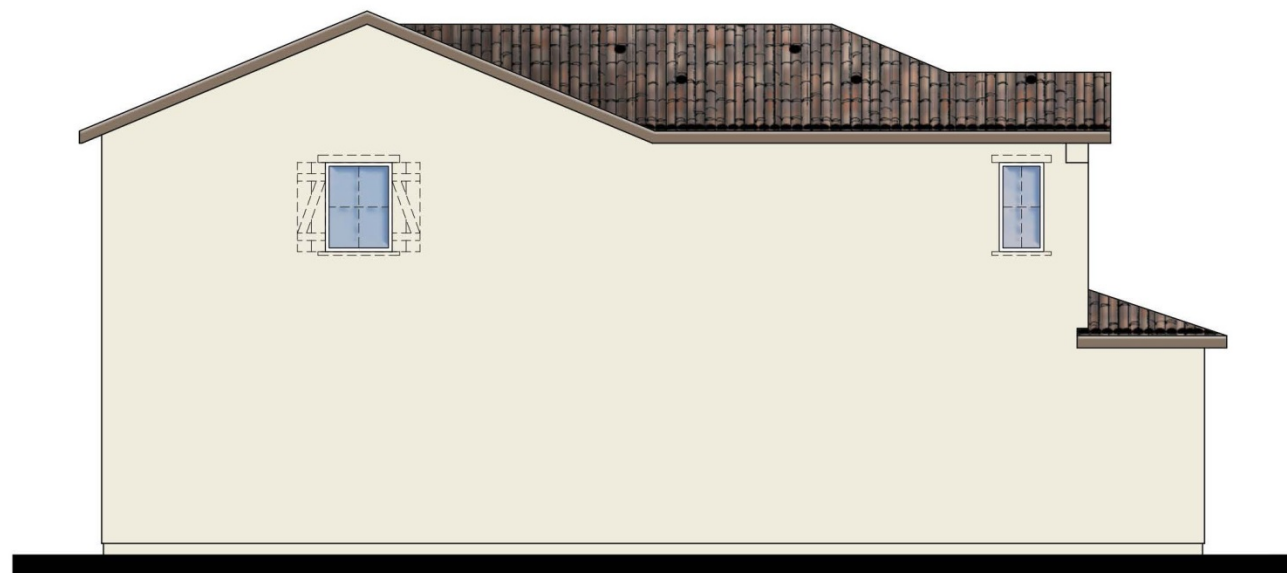
**Classical:** The Classical style incorporates hip roof forms with recessed window with flat soffits. Large vertical corner trims painted to match the window and door trims are indicative of this style. Low profile "S" type concrete roof tile with Louver type shutters and horizontal window mullions.

# Plan 1



<b>Conditioned Space</b>	
First Floor Area	615 sq. ft.
Second Floor Area	927 sq. ft.
<b>Total Dwelling</b>	<b>1,542 sq. ft.</b>
<b>Unconditioned Space</b>	
Garage	429 sq. ft.
Porch	24 sq. ft.
Source: Kevin Crook Architect, Inc.	

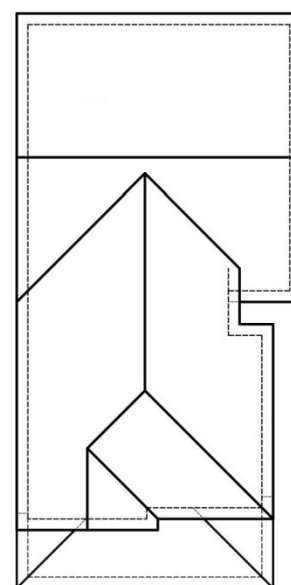




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

COLOR SCHEME #1

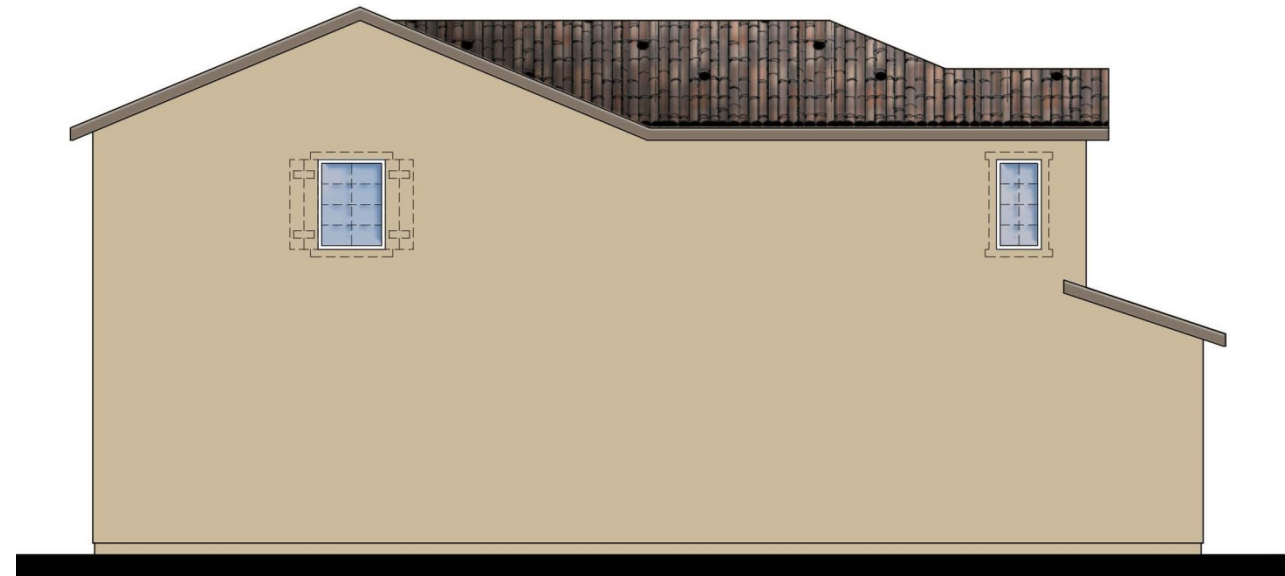
"A" ELEVATION



FRONT ELEVATION



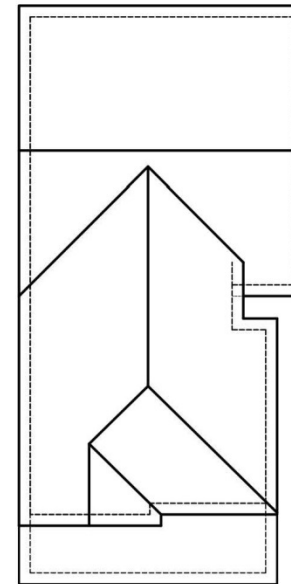
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

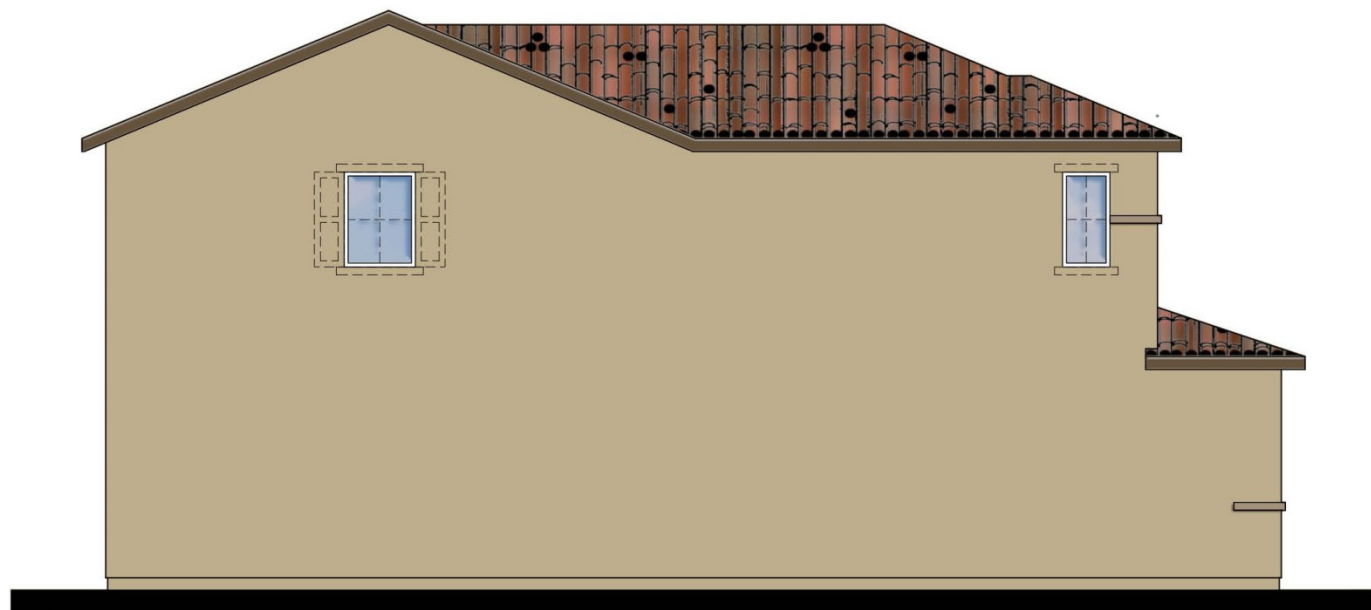
WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



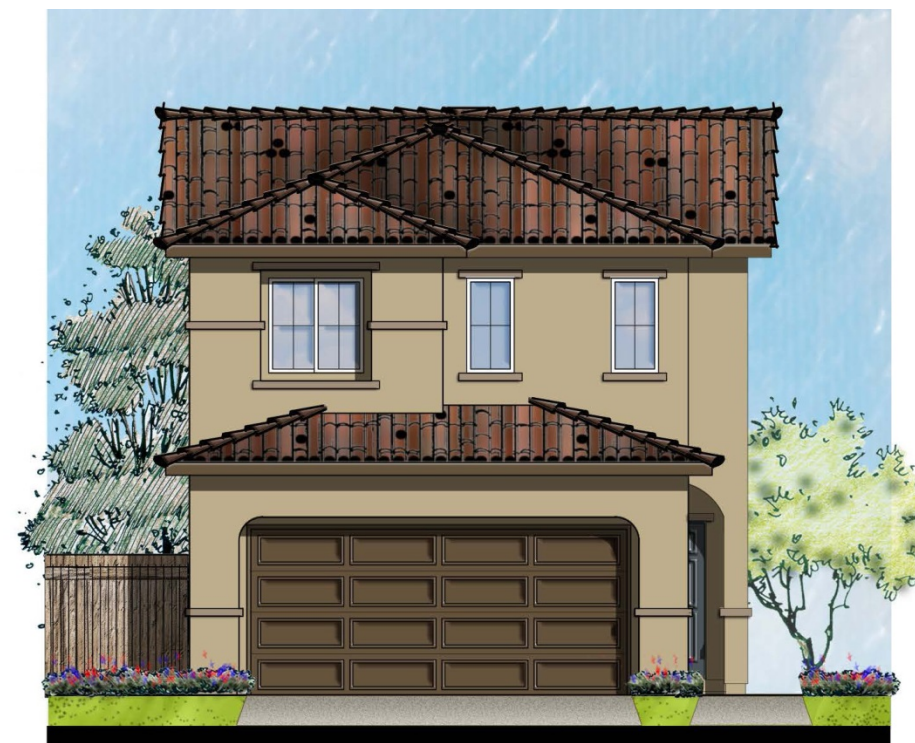
FRONT ELEVATION



REAR ELEVATION



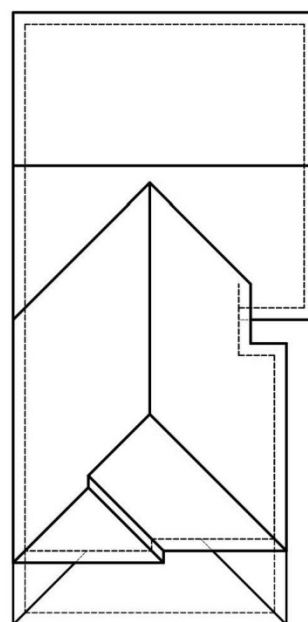
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION



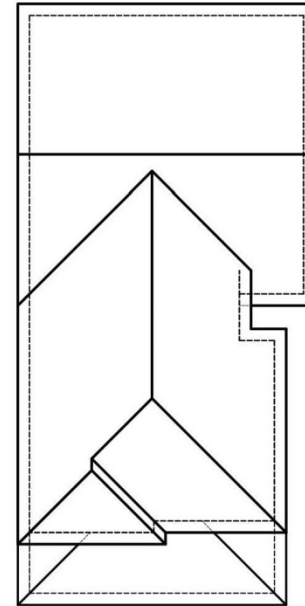
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



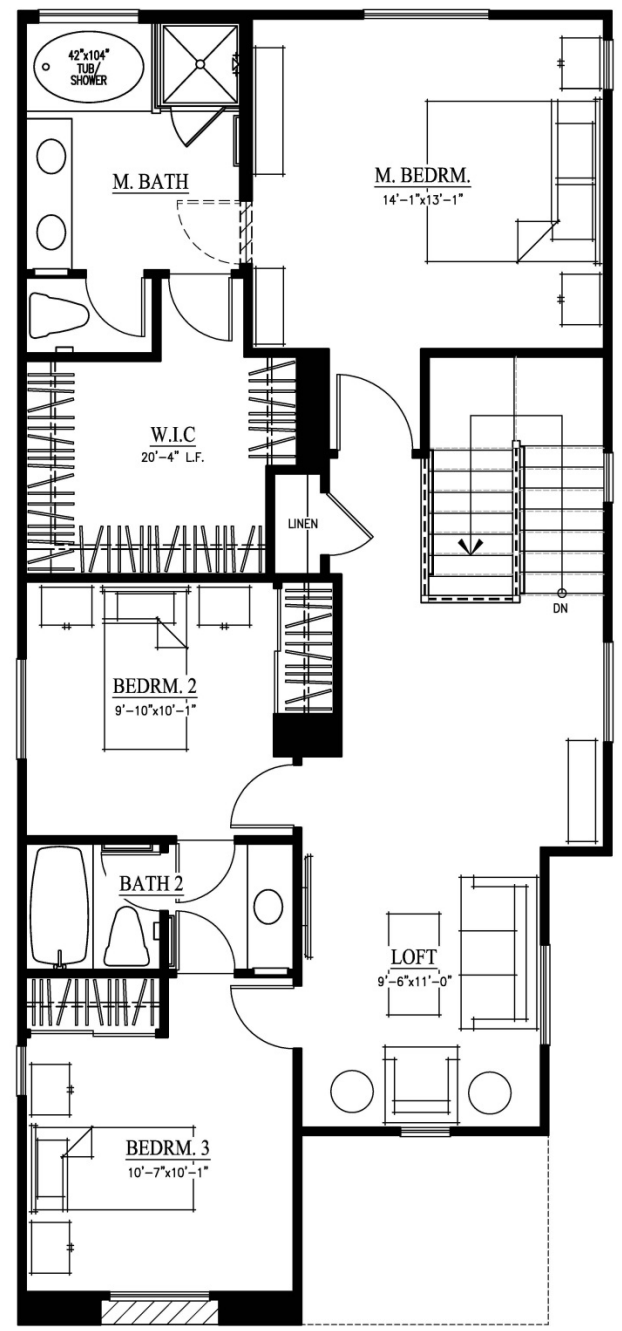
REAR ELEVATION

# Plan 2

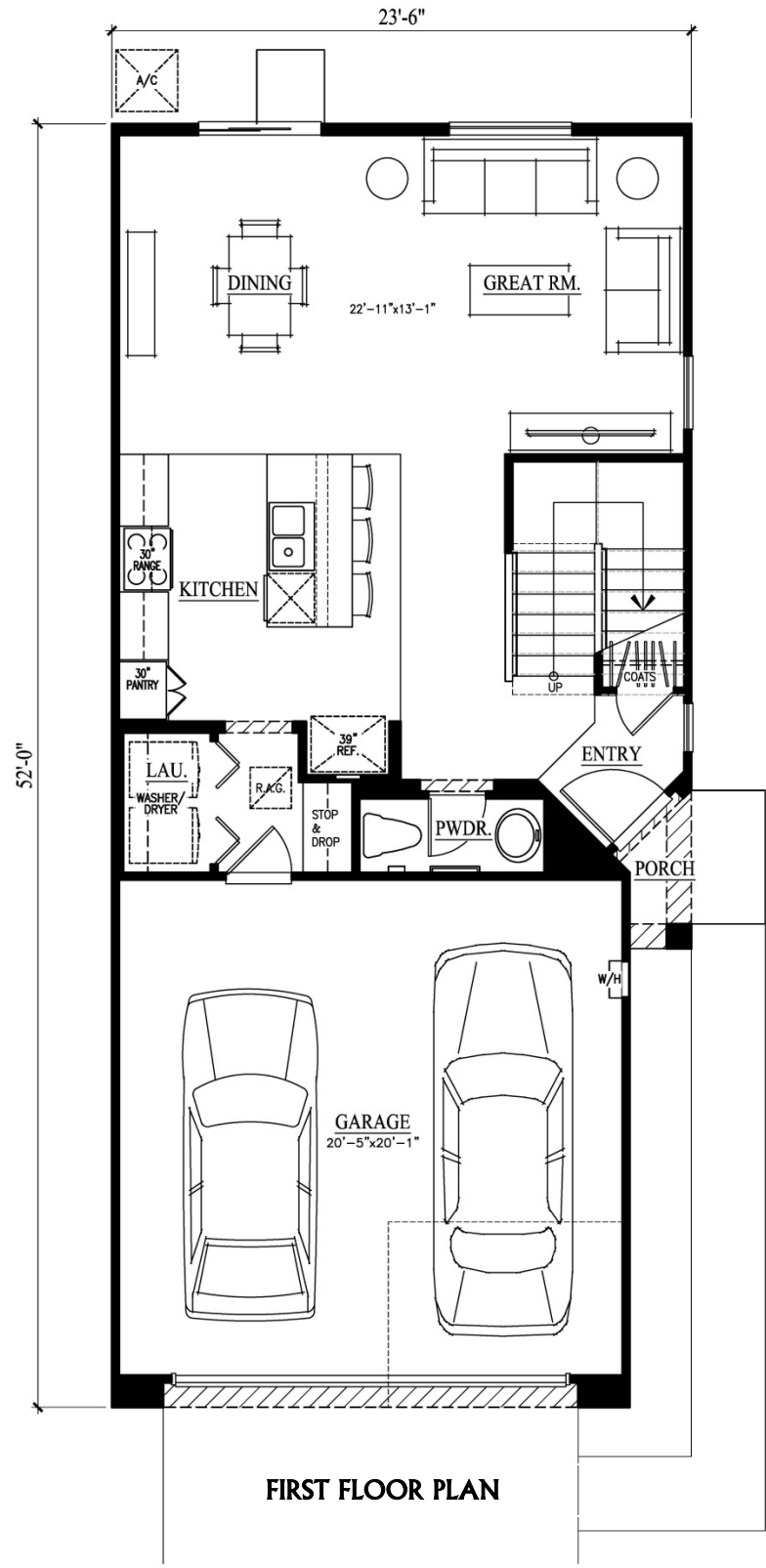
**Conditioned Space**  
 First Floor Area 712 sq. ft.  
 Second Floor Area 1,021 sq. ft.  
 Total Dwelling 1,733 sq. ft.

**Unconditioned Space**  
 Garage 428 sq. ft.  
 Porch 15 sq. ft.

Source: Kevin Crook Architect, Inc.

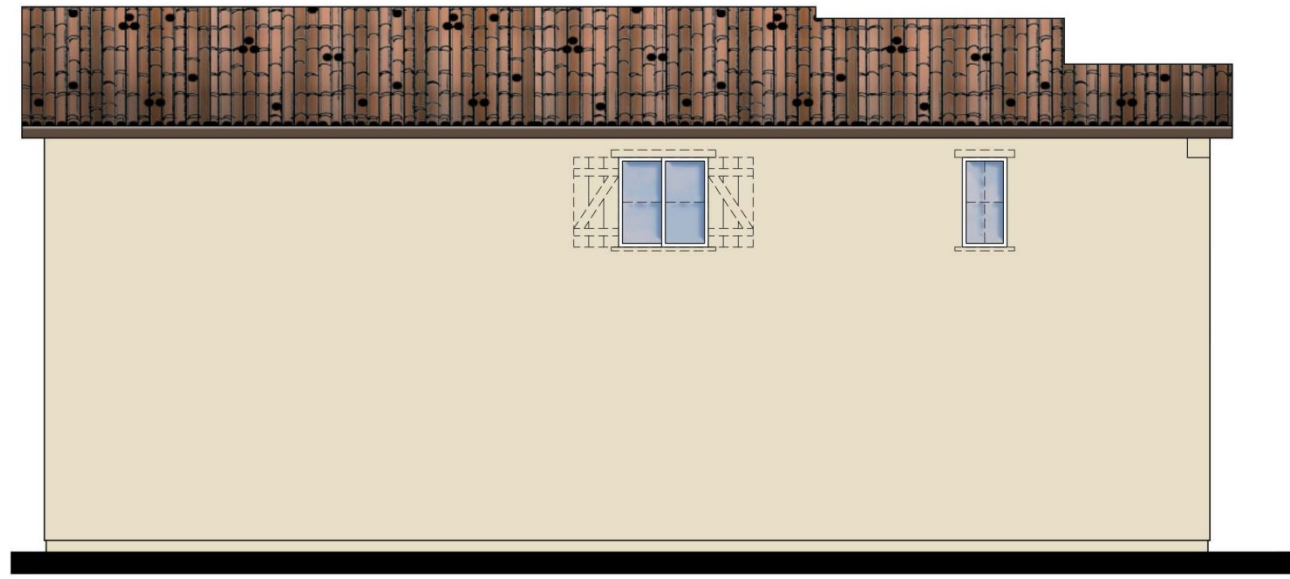


SECOND FLOOR PLAN



FIRST FLOOR PLAN

Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a



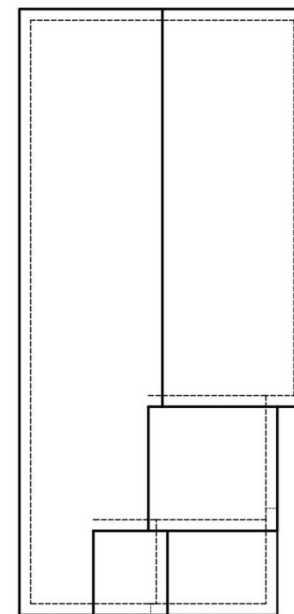
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



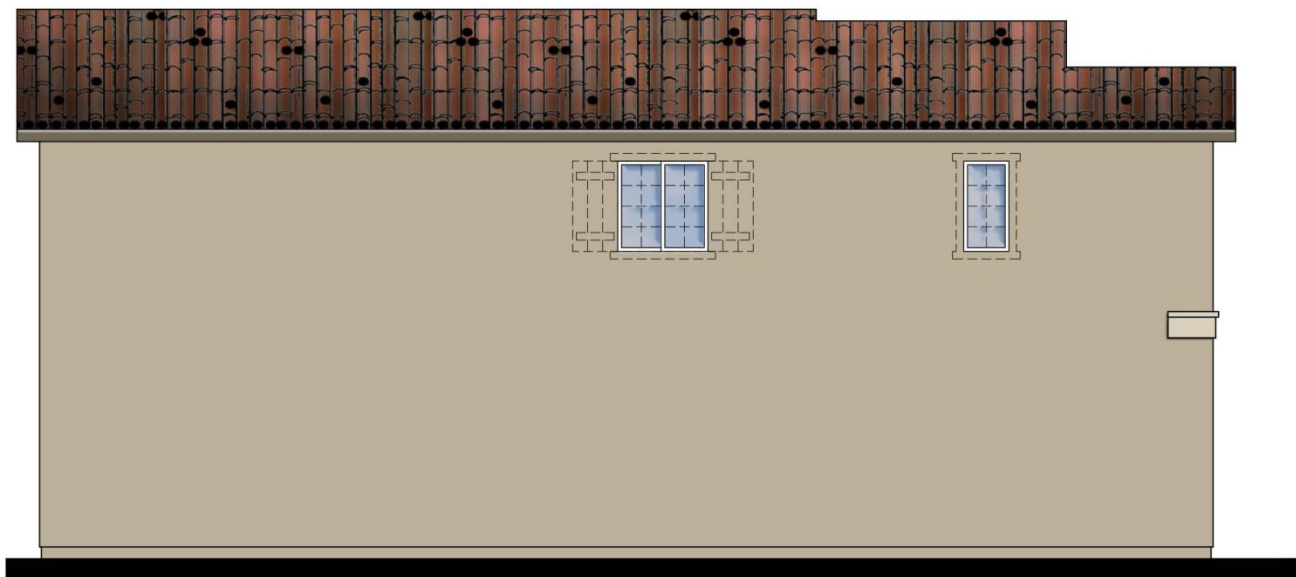
ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

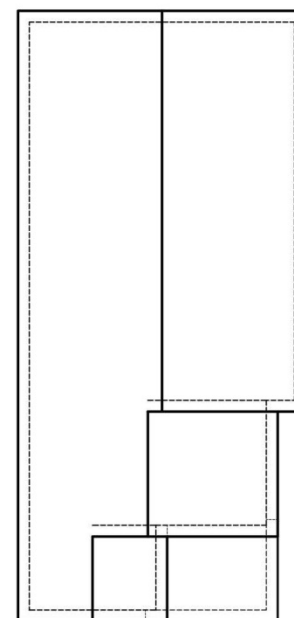




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

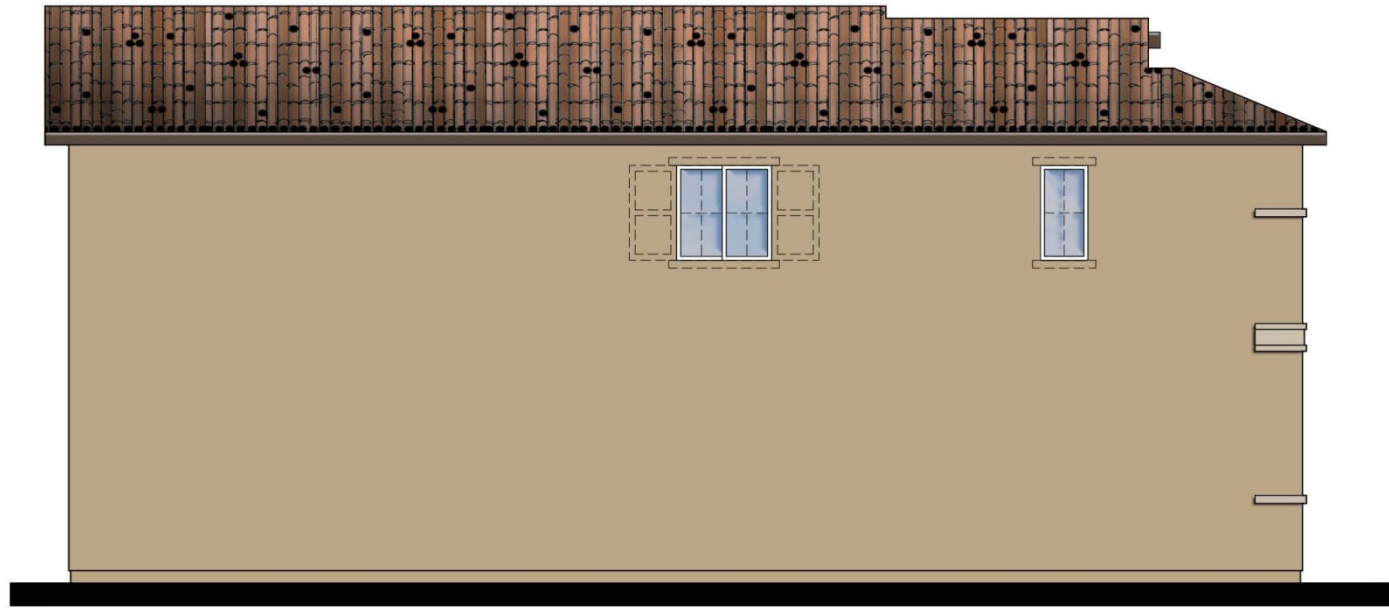
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SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



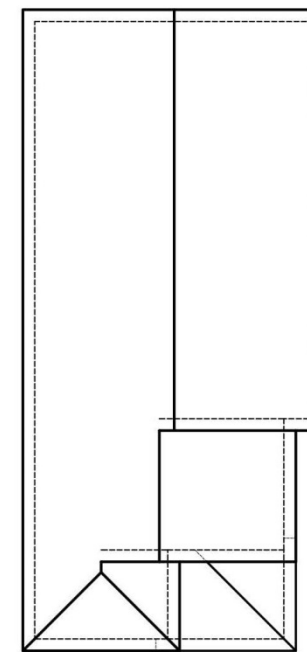
REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

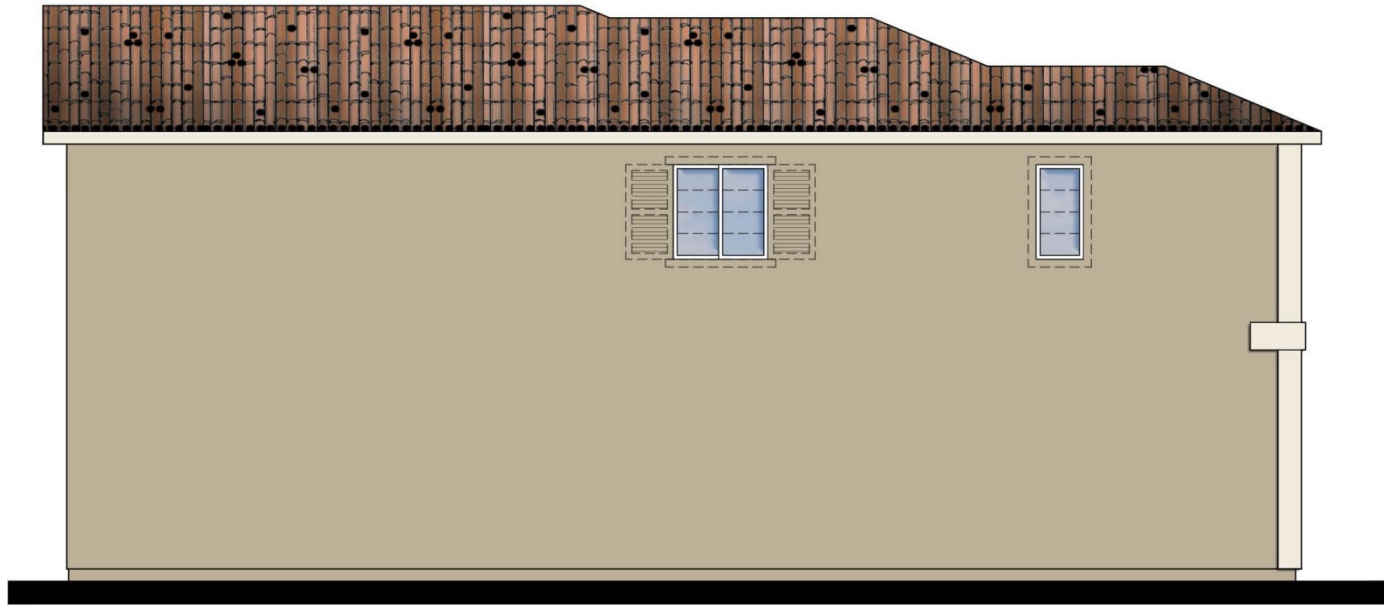


RIGHT ELEVATION



REAR ELEVATION

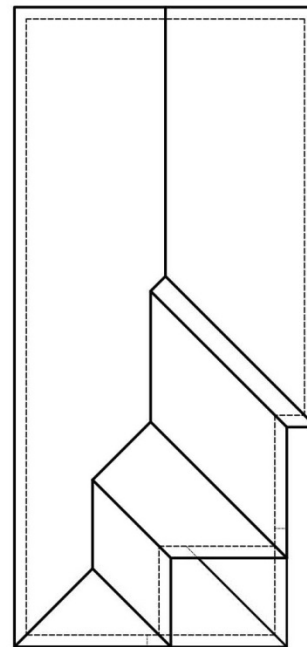
Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a



LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



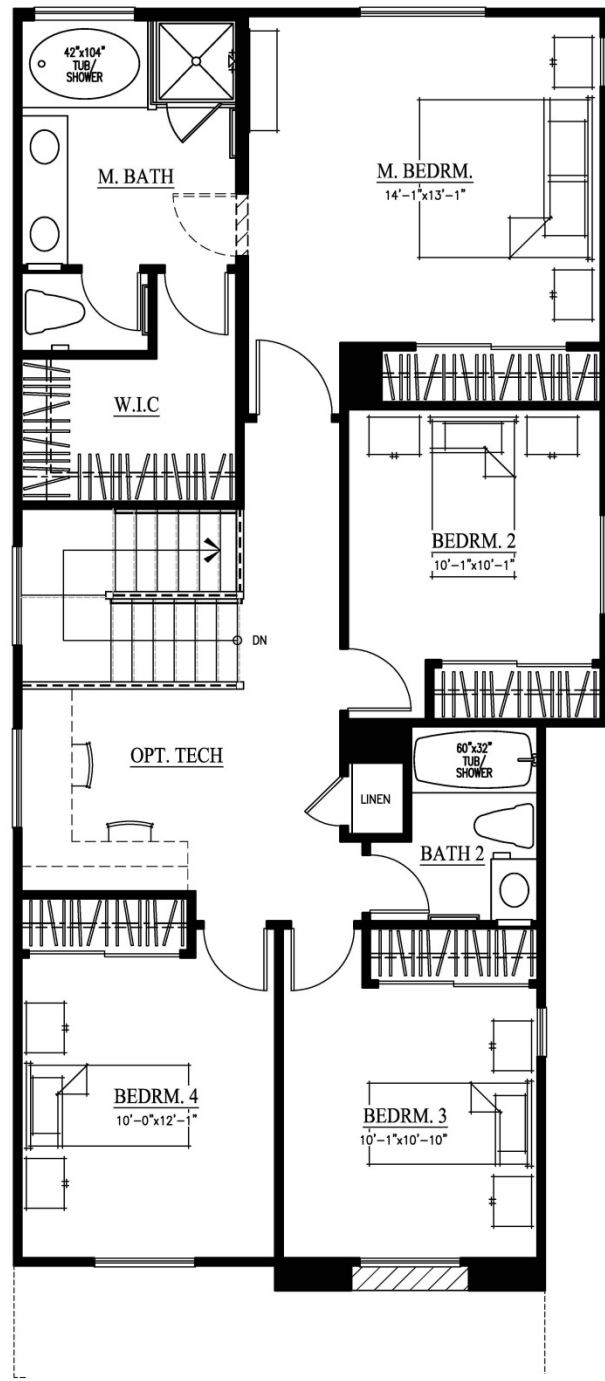
RIGHT ELEVATION



REAR ELEVATION

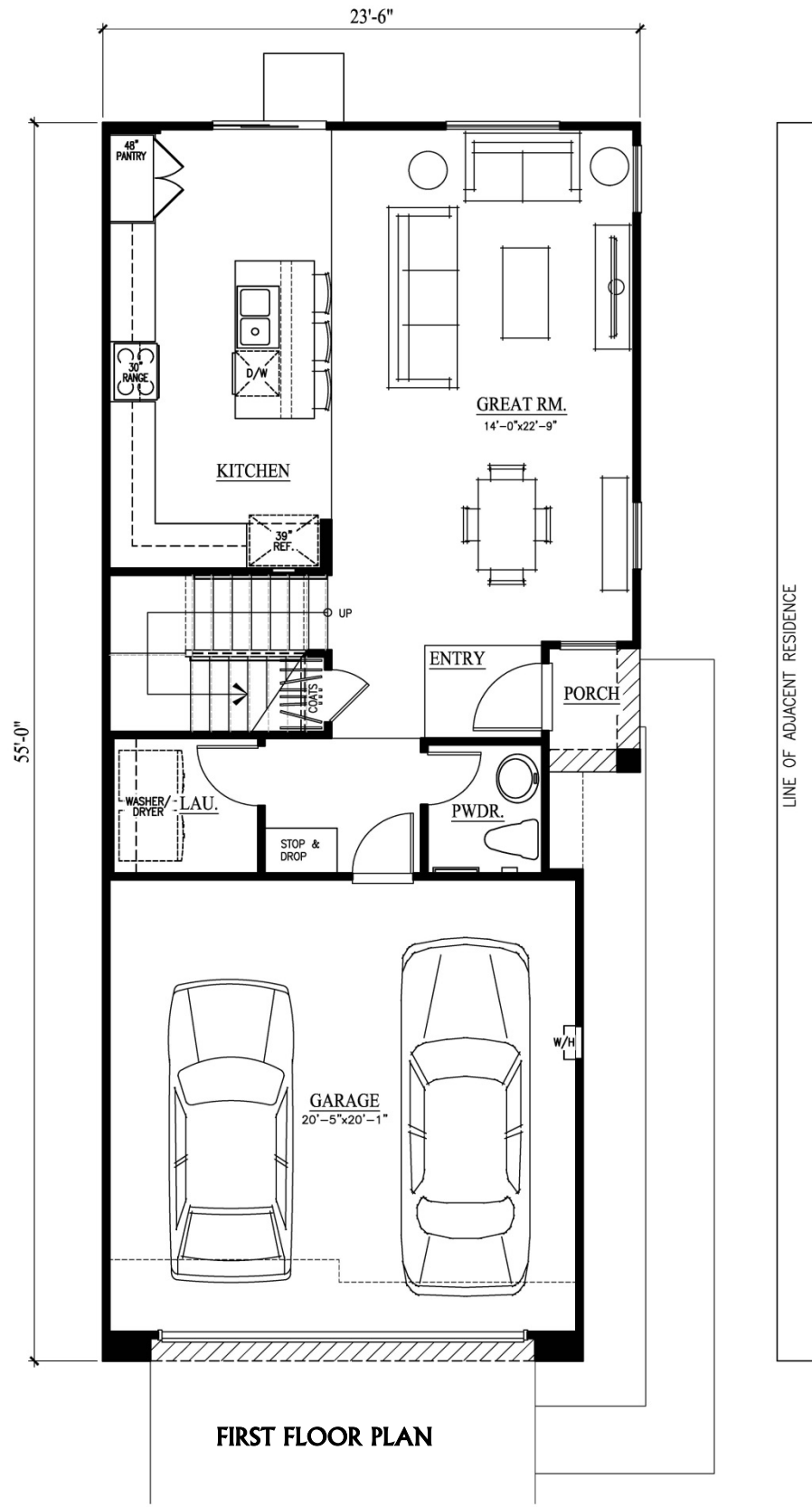
Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

### Plan 3



SECOND FLOOR PLAN

<b>Conditioned Space</b>	
First Floor Area	749 sq. ft.
Second Floor Area	1,069 sq. ft.
<b>Total Dwelling</b>	<b>1,818 sq. ft.</b>
<b>Unconditioned Space</b>	
Garage	428 sq. ft.
Porch	22 sq. ft.
Source: Kevin Crook Architect, Inc.	



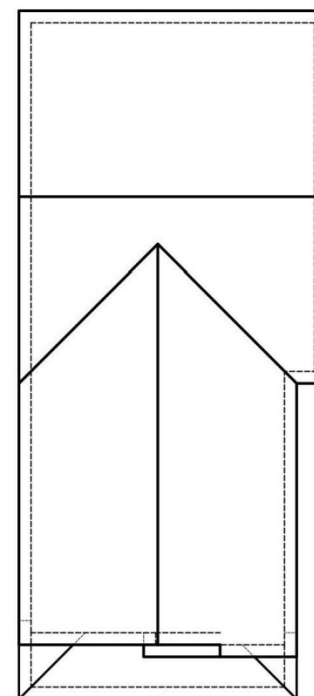
FIRST FLOOR PLAN



LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



RIGHT ELEVATION



REAR ELEVATION

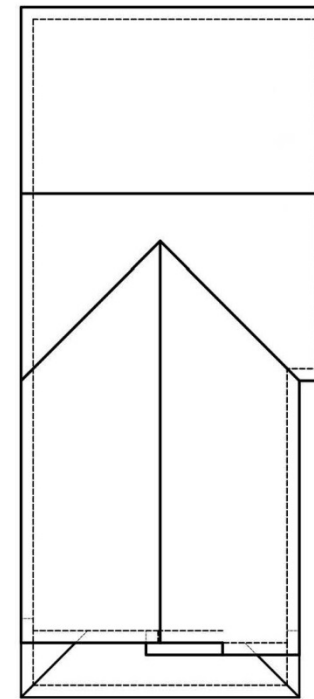
Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a



LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



RIGHT ELEVATION



REAR ELEVATION



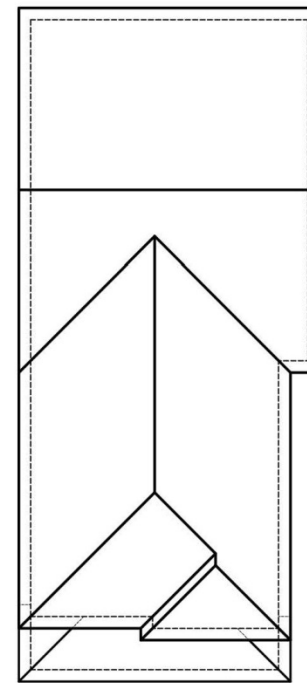
LEFT ELEVATION



FRONT ELEVATION

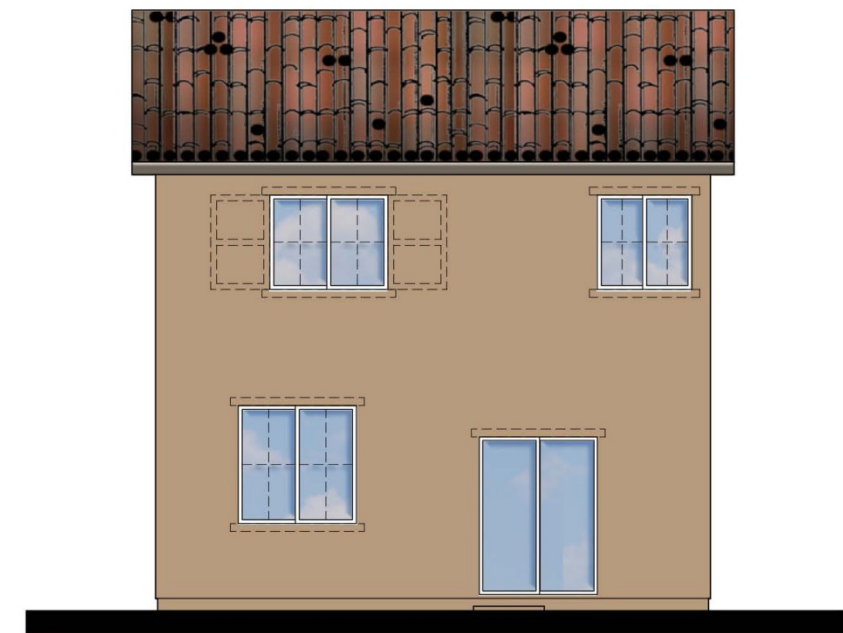


RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



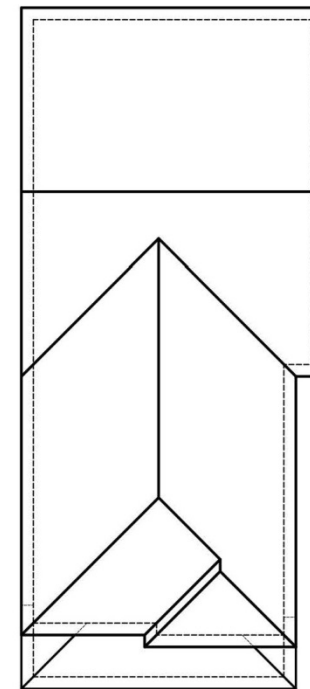
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

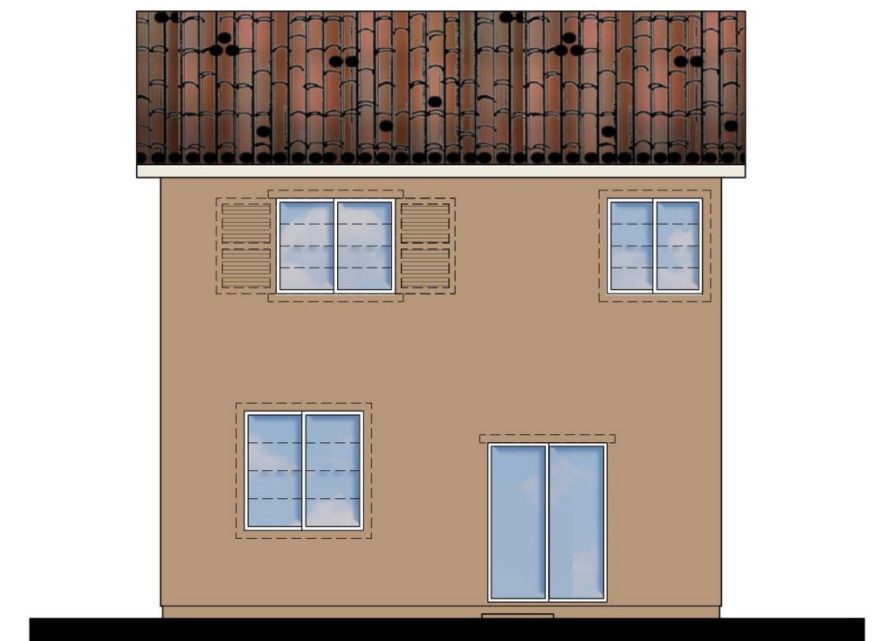


ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



REAR ELEVATION

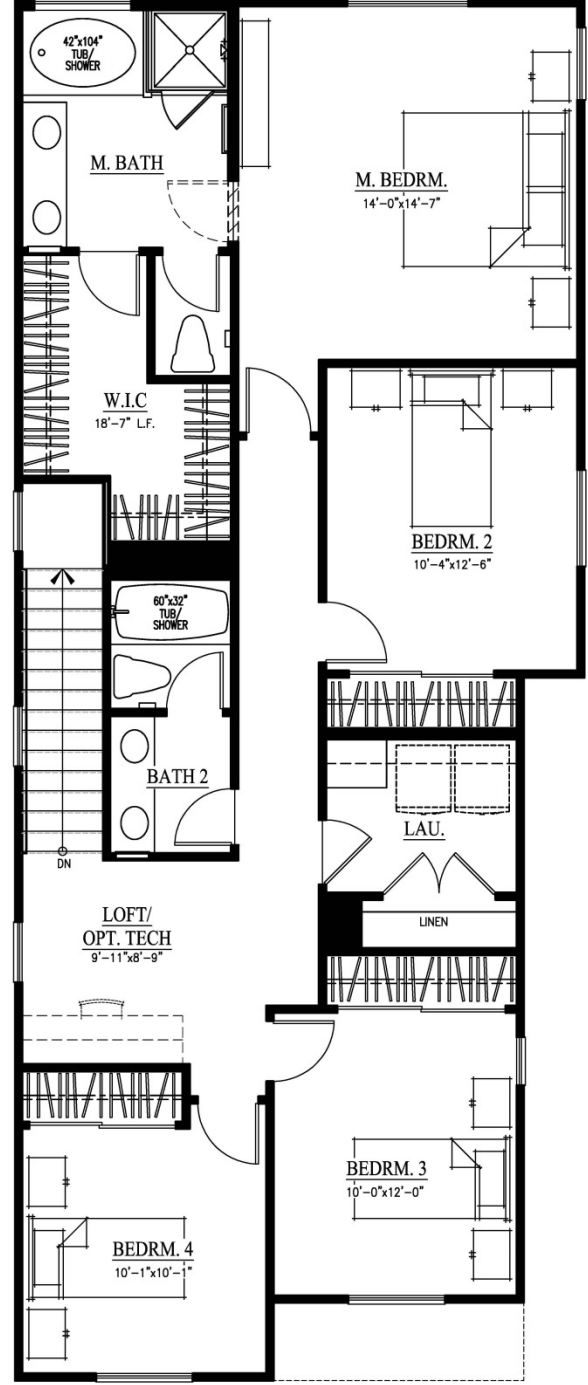


# Plan 4

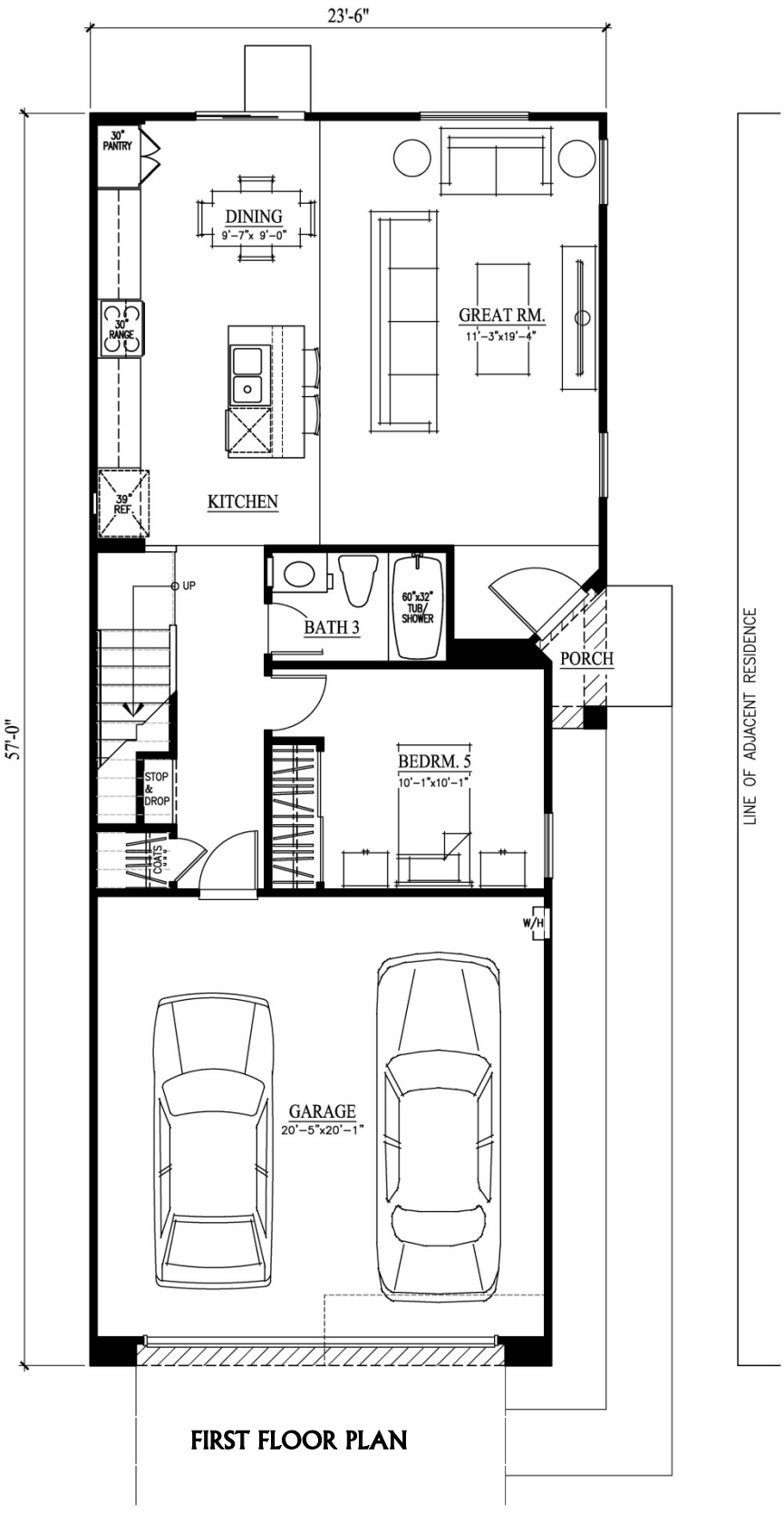
**Conditioned Space**  
 First Floor Area 803 sq. ft.  
 Second Floor Area 1,179 sq. ft.  
 Total Dwelling 1,982 sq. ft.

**Unconditioned Space**  
 Garage 428 sq. ft.  
 Porch 15 sq. ft.

Source: Kevin Crook Architect, Inc.



SECOND FLOOR PLAN



FIRST FLOOR PLAN



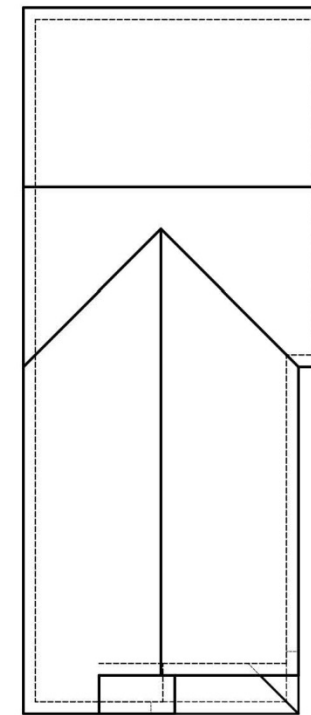
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION



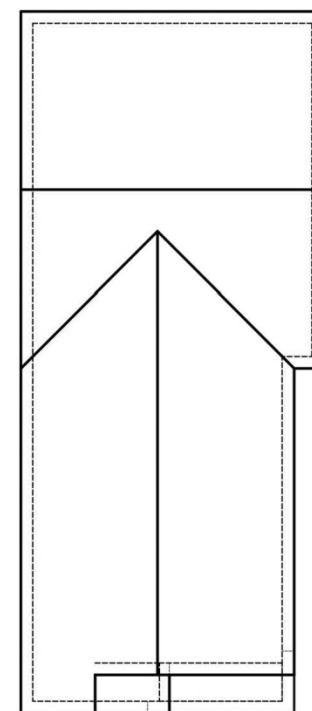
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



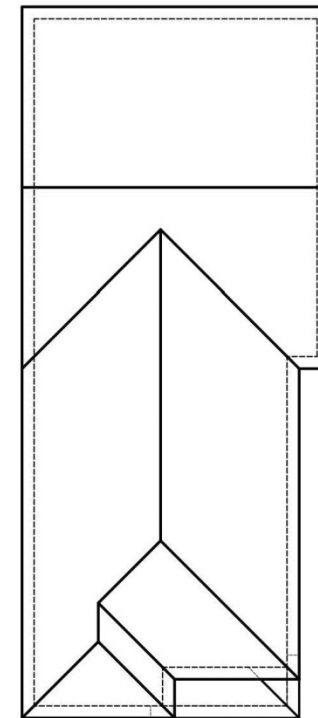
REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



RIGHT ELEVATION



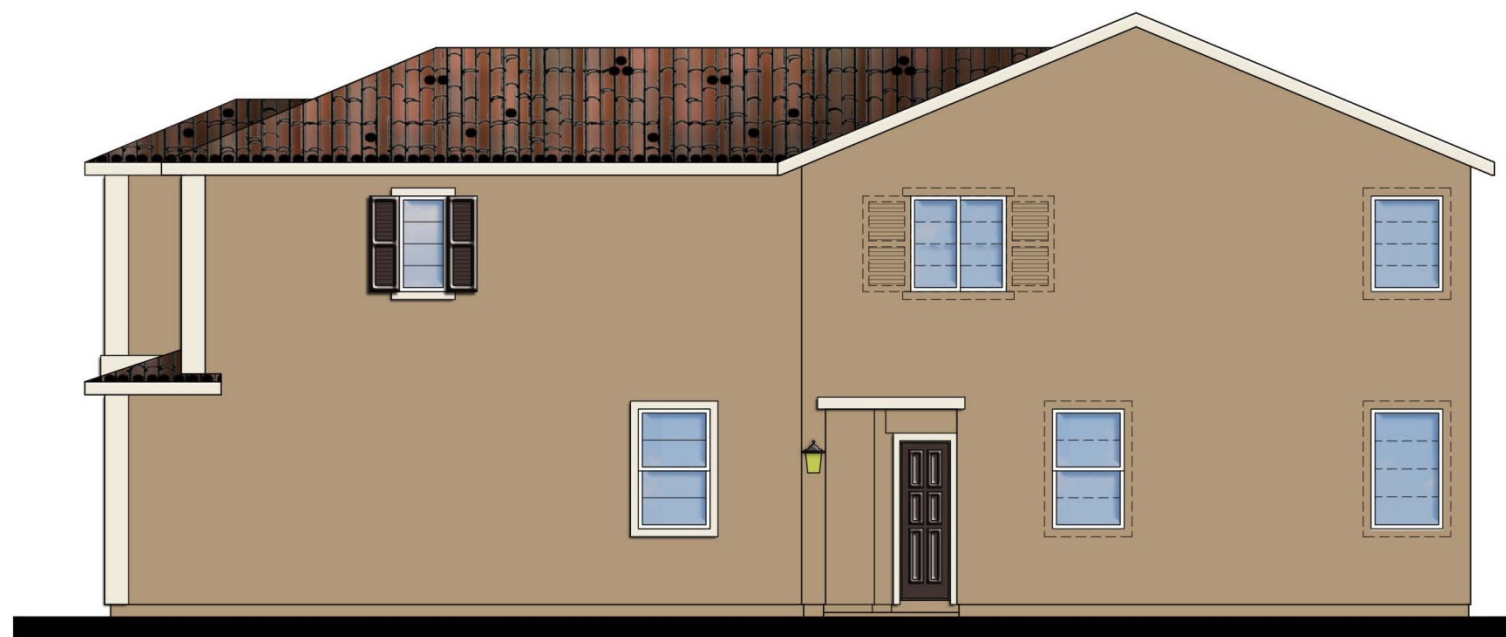
REAR ELEVATION



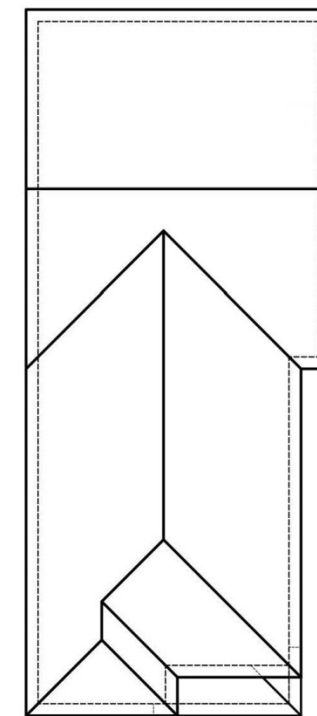
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

# Pool Restroom Building

## Unconditioned Space

Women's Restroom	187 sq. ft.
Men's Restroom	187 sq. ft.
Pool Equipment	202 sq. ft.
Showers	55 sq. ft.
Entry	38 sq. ft.
Ceiling Height	9 feet

Source: Kevin Crook Architect, Inc.



RIGHT ELEVATION



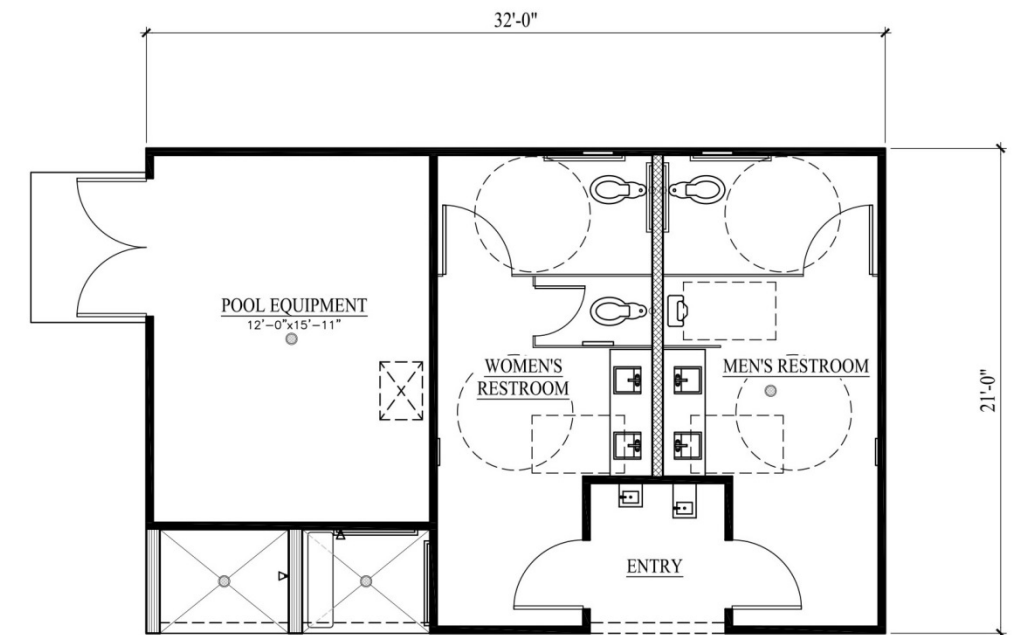
REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



**FLOOR PLAN**

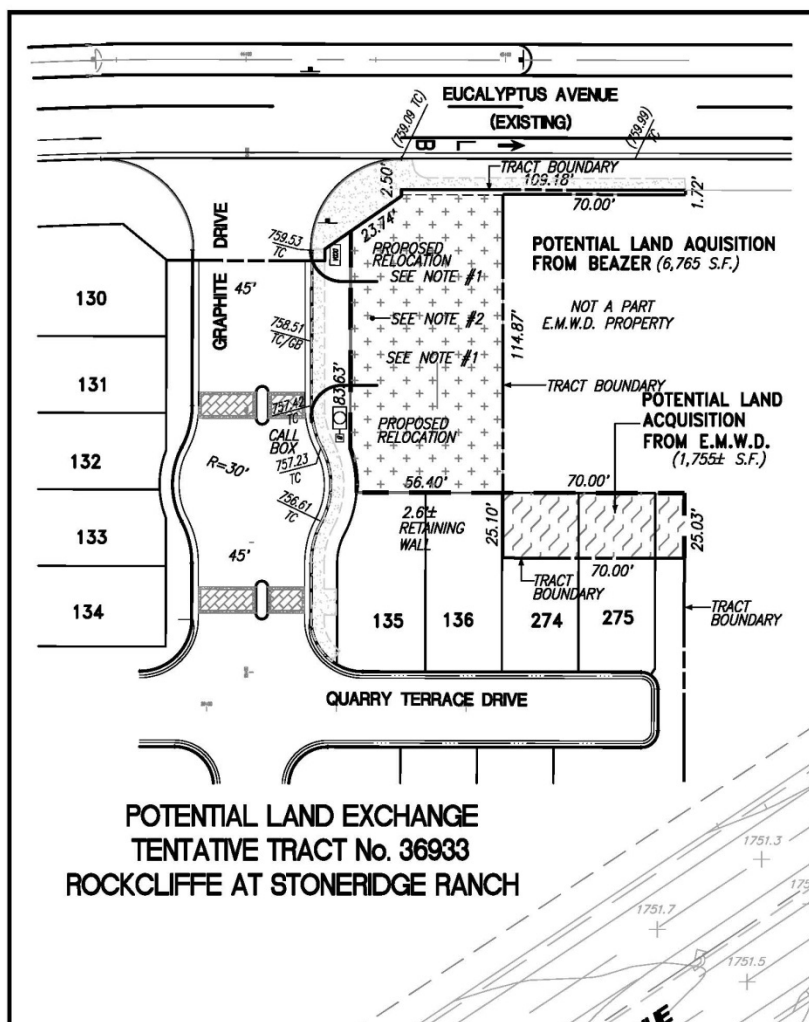
RESTROOMS  
 ENTRY  
 POOL EQUIPMENT  
 SHOWERS  
 FLOOR PLAN  
 WAP/CEILING

Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

# APPENDIX A

## Eastern Municipal Water District

The Rockcliffe Tentative Parcel Map No. 36933 (PA15-066) provides a detail on the plot plans that reflects a potential land swap with the Eastern Municipal Water District (EMWD). The potential for this land swap between EMWD and Beazer Homes has been addressed in the Addendum IS/MND and by reference here in this Rockcliffe PUD. The land swap provides for two (2) additional home (i.e., from a total of 272 to 274) and the loss of four (4) parking spaces. Even with the loss of these parking stalls the proposed project is parked above the City Municipal parking requirements. The property is located on the northeasterly portion of the site adjacent to Eucalyptus Avenue as noted below.



Attachment: Resolution 2016-04 with Attached Conditions & PUD Guide (1924 : Tentative Tract Map and Conditional Use Permit for a

## APPENDIX B

### Plant Legend

Botanical Name	Common Name
<b>Trees</b>	
Arbutus 'Marina'	Marina Strawberry Madrone
Cercidium 'Desert Museum'	Desert Museum Palo Verde
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis	Chitalpa
Eucalyptus sideroxylon	Red Ironbark, Pink Ironbark
Lagerstroemia indica (Varieties)	Crape Myrtle, General Varieties
Leptospermum scoparium	New Zealand Tea Tree, Manuka
Pinus eldarica	Afghan Pine
Pistacia chinensis	Chinese Pistache
Platanus racemosa	California Sycamore
Prunus cerasifera	Cherry Plum, Myrobalan Plum
Pyrus calleryana 'Capital'	Capital Callery Pear
Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear
Quercus agrifolia	Coast Live Oak
Raphiolepis 'Majestic Beauty'	Majestic Beauty Indian Hawthorn
Tecoma stans v. stans	Yellow Bells
Ulmus parvifolia	Chinese or Evergreen Elm
<b>Shrubs</b>	
Alyogyne huegelii	Blue Hibiscus
Anigozanthos hybrids	Kangaroo Paws, Red
Anisacanthus q. 'Wrightii'	Desert Honeysuckle
Aretostaphylos 'Pacific Mist'	Pacific Mist Manzanita
Baccharis pilularis 'Twin Peaks #2'	Twin Peaks #2 Ground Cover Bacchari
Calliandra eriophylla	Fairy Duster, False Mesquite
Callistemon X viminalis 'Little John'	Bottlebrush Little John
Ceanothus 'Concha'	Concha California Lilac
Cistus 'Sunset'	Sunset Rockrose
Clivia miniata	Kafir Lily, Clivia
Echium candicans	Pride Of Madeira
Euryops pectinatus	Euryops Daisy
Fremontodendron californicum	California Flannel Bush
Galvezia speciosa	Island Snapdragon
Grevillea rosmarinifolia 'Scarlet Sprite'	Scarlet Sprite Grevillea
Hemerocallis hybrids	Hybrid Daylily (various)

*Created with GardenSoft PlantMaster - [www.gardensoft.com](http://www.gardensoft.com)*



<b>Botanical Name</b>	<b>Common Name</b>
<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper
<i>Lantana</i> hybrids	Improved Lantana
<i>Lavandula X intermedia</i> 'Grosso'	Grosso Long Stemmed Lavender
<i>Liriope muscari</i>	Big Blue Lily Turf
<i>Mimulus aurantiacus</i>	Sticky Monkey Flower
<i>Myrtus communis</i> 'Compacta'	Compact Myrtle
<i>Pittosporum tobira</i> 'Variegata'	Variegated Tobira
<i>Rhaphiolepis indica</i>	Indian Hawthorne
<i>Rosmarinus officinalis</i>	Rosemary
<i>Salvia greggii</i>	Autumn or Texas Sage
<i>Salvia leucantha</i>	Mexican Sage, Mexican Bush Sage
<i>Westringia</i> 'Wynyabbie Gem'	Wynyabbie Gem Westringia
<b>Ground covers</b>	
<i>Aptenia cordifolia</i>	Hearts and Flowers
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Myoporum</i> 'Pacificum'	Pacificum Spreading Myoporum
<i>Rosmarinus officinalis</i> 'Prostratus'	Prostrate Rosemary
<i>Sedum rubrotinctum</i>	Pork And Beans
<i>Senecio mandraliscae</i>	Kleinia
<i>Verbena lilacina</i>	Cedros Island Verbena
<b>Vines</b>	
<i>Bougainvillea spectabilis</i>	Bougainvillea, Magenta
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine
<i>Vitis californica</i> 'Roger's Red'	Roger's Red Wild Grape
<b>Grasses</b>	
<i>Festuca glauca</i>	Blue Fescue, Blue Fescuegrass
<i>Helictotrichon sempervirens</i>	Blue Oat Grass
<i>Miscanthus sinensis</i> 'Little Kitten'	Dwarf Silver Eulalia Grass
<i>Sesleria autumnalis</i>	Autumn Moor Grass
<b>Succulents</b>	
<i>Aloe</i> 'Blue Elf'	Blue Elf Aloe
<i>Hesperaloe parviflora</i>	Red Yucca
<b>Palms</b>	
<i>Washingtonia filifera</i>	California Fan Palm

## Appendix B



**Botanical Name:** *Arbutus 'Marina'*

**Common Name:** Marina Strawberry Madrone

**Plant Type:** Tree

**Plant Size:** 12-25' 25-40'

**Flower Color:** Pink

**Sun:** Full sun

**Water:** Light water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Rich soil Well-drained soil Dry

The 'Marina' has gorgeous bark, with leaves that are smaller and not as glossy as Pacific Madrone. Its flowers are pink, borne in pendant clusters in the summer. The fruit is large, red and quite ornamental. The plant should be grown in sun to part shade, with little or no summer watering when established. The 'Marina' prefers good drainage. -Monterey Bay Nursery

**Habit:** Irregular

**Leaf Color:** Dark green

**Flower Season:** Summer Fall



**Botanical Name:** *Cercidium 'Desert Museum'*

**Common Name:** Desert Museum Palo Verde

**Plant Type:** Tree

**Plant Size:** 12-25'

**Flower Color:** Yellow

**Sun:** Full sun

**Water:** Drought tolerant Light water

**Soil Type:** All soils Average soil Poor soil Well-drained soil Neutral pH Basic pH

Striking, generally multi-trunked tree to 25' tall and wide. Three-way cross between *P. aculeata*, *P. microphyllum*, and *P. floridum*. Plants are thornless, and produce abundant clusters of yellow flowers in the spring.

**Habit:** Broad

**Leaf Color:** Green Light green

**Flower Season:** Spring



**Botanical Name:** *Cercis occidentalis*

**Common Name:** Western Redbud

**Plant Type:** Tree Shrub

**Plant Size:** 12-25'

**Flower Color:** Pink Violet

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** All soils Average soil Rich soil Poor soil Well-drained soil Dry soil Neutral pH

This deciduous shrub ranges from 6'-20' tall and 10'-15' wide. It is desirable for its magenta spring flowers, yellow to red fall color, and dangling winter seed pods. It is tolerant of many soil types, drought and oak root fungus. It attracts hummingbirds and butterflies.

**Habit:** Broad Round

**Leaf Color:** Green

**Flower Season:** Winter Spring



**Botanical Name:** *Chitalpa tashkentensis*

**Common Name:** Chitalpa

**Plant Type:** Tree

**Plant Size:** 25-40'

**Flower Color:** White

**Sun:** Full sun

**Water:** Light water

**Soil Type:** All soils Average soil Poor soil Well-drained soil Dry soil Neutral pH Basic pH

This medium size deciduous tree grows rapidly to 20'-30' high and as wide, producing long, pointed, deep green leaves. Upon these leaves grow the pink to white trumpet shaped flowers with purple markings. Over a long season, these flowers will appear in showy clusters.

**Habit:** Broad Round

**Leaf Color:** Green

**Flower Season:** Summer Fall



**Botanical Name:** *Eucalyptus sideroxyylon*  
**Common Name:** Red Ironbark, Pink Ironbark

**Plant Type:** Tree **Habit:** Broad Irregular  
**Plant Size:** 12-25' 25-40' **Leaf Color:** Blue green Bronze  
**Flower Color:** Pink Red **Flower Season:** Spring Fall  
**Sun:** Full sun  
**Water:** Drought tolerant Light water

**Soil Type:** All soils Poor soil Well-drained soil Neutral pH  
 This evergreen tree may reach a height of 60'-75'. It has slender, lance-shaped leaves found on somewhat pendulous branches. The bark is a deep red-brown color. In the winter, the leaves turn a reddish-pink color. Flowers are red to pink. This tree needs full sun.



**Botanical Name:** *Lagerstroemia indica* (Varieties)  
**Common Name:** Crape Myrtle, General Varieties

**Plant Type:** Tree Shrub **Habit:** Vase  
**Plant Size:** 6-12' 12-25' **Leaf Color:** Green  
**Flower Color:** Lavender Pink Purple Red White **Flower Season:** Summer  
**Sun:** Full sun  
**Water:** Drought tolerant Light water

**Soil Type:** All soils Average soil Neutral pH  
 This is one of the longest blooming varieties of trees, which could be 2-4 months long. Flowers usually appear in the summer and could be red, rose, pink, purple, or white. Depending on the variety, Crape Myrtle can be a spreading shrub or upright tree. Some varieties are fast growing. Some species have exfoliating bark that exposes a lovely cinnamon or gray colored bark. This tree tends to produce



**Botanical Name:** *Leptospermum scoparium*  
**Common Name:** New Zealand Tea Tree, Manuka

**Plant Type:** Shrub **Habit:** Broad Upright  
**Plant Size:** 3-6' 6-12' **Leaf Color:**  
**Flower Color:** n/a **Flower Season:** n/a  
**Sun:** Full sun Half sun  
**Water:** Drought tolerant Light water Extra summer water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Rich soil Poor soil Well-drained  
 This small tree will grow about 5' tall and has green, needle-like leaves with white, pink, or red flowers that bloom in spring and summer.



**Botanical Name:** *Pinus eldarica*  
**Common Name:** Afghan Pine

**Plant Type:** Tree Conifer **Habit:** Irregular  
**Plant Size:** 40-60' **Leaf Color:** Dark green  
**Flower Color:** n/a **Flower Season:** n/a  
**Sun:** Full sun  
**Water:** Light water

**Soil Type:** Clay soil Rocky soil Average soil Poor soil Basic pH  
 Evergreen pine grows rapidly to 50' x 30'. Dark green needles. Provides a Mediterranean look. Consider mature size. Native to Afghanistan.

## Appendix B



**Botanical Name:** *Pistacia chinensis*

**Common Name:** Chinese Pistache

**Plant Type:** Tree

**Plant Size:** 12-25' 25-40'

**Flower Color:** n/a

**Sun:** Full sun

**Water:** Light water

**Soil Type:** All soils Average soil Well-drained soil Neutral pH

The *Pistacia chinensis* is a deciduous tree with broad, spreading growth to 50' in height. Its leaves have 10-16 leaflets, and the fall coloring arrives in beautiful shades of red, orange and yellow. The young trees are often gawky, but some become shapely with age.

**Habit:** Round

**Leaf Color:** Dark green Yellow Red

**Flower Season:** n/a



**Botanical Name:** *Platanus racemosa*

**Common Name:** California Sycamore

**Plant Type:** Tree

**Plant Size:** 25-40'

**Flower Color:** n/a

**Sun:** Full sun

**Water:** Medium water

**Soil Type:** All soils Average soil Moist soil Neutral pH

The California Sycamore is a fast growing deciduous tree that reaches up to 40'-50' high. It tolerates heat, smog, and drought conditions as well as moist conditions; it is native to riparian areas. It has interesting mottled bark when the tree is bare in winter.

**Habit:** Broad Irregular

**Leaf Color:** Light green Yellow green

**Flower Season:** n/a



**Botanical Name:** *Prunus cerasifera*

**Common Name:** Cherry Plum, Myrobalan Plum

**Plant Type:** Tree

**Plant Size:** 12-25'

**Flower Color:** Pink White

**Sun:** Full sun

**Water:** Medium water Extra summer water

**Soil Type:** Sandy soil Loam soil Average soil Rich soil Well-drained soil Neutral pH

30-35 feet high, equal width. Pure white flowers, tiny sweet but bland fruit. Often used a rootstock.

**Habit:** Round

**Leaf Color:** Purple

**Flower Season:** n/a



**Botanical Name:** *Pyrus calleryana* 'Capital'

**Common Name:** Capital Callery Pear

**Plant Type:** Tree

**Plant Size:** 25-40'

**Flower Color:** White

**Sun:** Full sun Half sun

**Water:** Medium water

**Soil Type:** All soils Any soil condition Any soil pH

The 'Capital' assumes a hardy, columnar form with thick, glossy green leaves that change from a red to a purple color in the fall. White flowers are borne in the spring. It reaches a size of 30' high by 7'-8' wide, and is a good tree where space is limited.

**Habit:** Columnar

**Leaf Color:** Dark green

**Flower Season:** Spring



**Botanical Name:** *Pyrus calleryana* 'Chanticleer'

**Common Name:** Chanticleer Callery Pear

**Plant Type:** Tree

**Plant Size:** 25-40' 40-60'

**Flower Color:** White

**Sun:** Full sun

**Water:** Drought tolerant Light water Medium water

**Soil Type:** All soils Any soil condition Any soil pH

Standing 25'-30' high and 15' wide, this is an ideal street tree with its pyramidal form, good fall color, and white blooms.

**Habit:** Columnar

**Leaf Color:** Dark green Green

**Flower Season:** Spring



**Botanical Name:** *Quercus agrifolia*

**Common Name:** Coast Live Oak

**Plant Type:** Tree

**Plant Size:** 25-40' 40-60'

**Flower Color:** n/a

**Sun:** Full sun

**Water:** Drought tolerant

**Soil Type:** All soils Average soil Well-drained soil Neutral pH

The Coast Live Oak is an evergreen round headed tree. It can reach 15'-40' high and 20' wide; it grows very well from the coastal areas to the interior valleys. It is native to California, is drought tolerant, and attracts butterflies. -Cornflower Farms

**Habit:** Broad

**Leaf Color:** Dark green

**Flower Season:** Fall



**Botanical Name:** *Rhaphiolepis* 'Majestic Beauty'

**Common Name:** Majestic Beauty Indian Hawthorn

**Plant Type:** Shrub

**Plant Size:** 3-6'

**Flower Color:** Pink

**Sun:** Full sun

**Water:** Medium water Extra summer water

**Soil Type:** All soils Average soil Neutral pH

This shrub or small tree will grow to 15' high and has bright green leaves accented by clusters of light pink, fragrant flowers.

**Habit:** Broad

**Leaf Color:** Green

**Flower Season:** Spring



**Botanical Name:** *Tecoma stans* v. *stans*

**Common Name:** Yellow Bells

**Plant Type:** Shrub

**Plant Size:** 6-12' 12-25'

**Flower Color:** Yellow

**Sun:** Full sun Half sun

**Water:** Medium water

**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH

This semi-deciduous shrub or small tree will grow 12' x 6'. It produces beautiful yellow bell-like flowers that bloom in spring and fall.

**Habit:** Broad Round

**Leaf Color:** Dark green

**Flower Season:** Spring Summer Fall

## Appendix B



**Botanical Name:** *Ulmus parvifolia*  
**Common Name:** Chinese or Evergreen Elm  
**Plant Type:** Tree  
**Plant Size:** 25-40'  
**Flower Color:** n/a  
**Sun:** Full sun  
**Water:** Light water Medium water  
**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Rich soil Well-drained soil Dry  
 This evergreen tree will grow about 40'-60' tall and 50'-70' wide. It has leathery, dark green leaves and round fruit in the fall.

**Habit:** Arching Weeping  
**Leaf Color:** Dark green  
**Flower Season:** n/a



**Botanical Name:** *Alyogyne huegelii*  
**Common Name:** Blue Hibiscus  
**Plant Type:** Shrub  
**Plant Size:** 3-6' 6-12'  
**Flower Color:** Blue Lavender  
**Sun:** Full sun Half sun  
**Water:** Light water Extra summer water  
**Soil Type:** Sandy soil Loam soil Average soil Rich soil Poor soil Well-drained soil Dry soil  
 This round shrub will grow about 6' tall by 6' wide and has medium-sized green leaves with lavender blue flowers that bloom all year.

**Habit:** Round  
**Leaf Color:** Green  
**Flower Season:** Intermittent



**Botanical Name:** *Anigozanthos hybrids*  
**Common Name:** Kangaroo Paws, Red  
**Plant Type:** Perennial  
**Plant Size:** 3-6'  
**Flower Color:** Red  
**Sun:** Full sun Half sun  
**Water:** Drought tolerant Light water Medium water Extra summer water  
**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Well-drained soil Dry soil Neutral  
 This tender perennial is a clump-forming evergreen that produces fuzzy, yellow green flowers that bloom in spring and last for over 2 months. Many sizes and varieties are available including yellow and pink flowers.

**Habit:** Upright  
**Leaf Color:** Dark green Green  
**Flower Season:** Spring Summer Fall



**Botanical Name:** *Anisacanthus q. 'Wrightii'*  
**Common Name:** Desert Honeysuckle  
**Plant Type:** Shrub Perennial  
**Plant Size:** 3-6'  
**Flower Color:** Orange Red  
**Sun:** Full sun  
**Water:** Light water  
**Soil Type:** Well-drained soil  
 Small shrub with upright habit 3-4 ft. tall and wide. Brilliant orange-red flowers appear in early spring. Do best in well-drained soils, sunny exposures. Prune in fall for renewed growth

**Habit:** Mound  
**Leaf Color:** Green  
**Flower Season:** Spring



**Botanical Name:** *Arctostaphylos 'Pacific Mist'*

**Common Name:** Pacific Mist Manzanita

**Plant Type:** Shrub Ground cover

**Plant Size:** 1-3'

**Flower Color:** Pink White

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH

This is a native ground cover that grows 2'-3' high and spreads 4'-6'. It has a blue-gray, green leaves and pale pink flowers that bloom in the winter.

**Habit:** Prostrate

**Leaf Color:** Grey green Blue green

**Flower Season:** Winter



**Botanical Name:** *Baccharis pilularis 'Twin Peaks #2'*

**Common Name:** Twin Peaks #2 Ground Cover Baccharis

**Plant Type:** Shrub Ground cover

**Plant Size:** 3-6'

**Flower Color:** Yellow White

**Sun:** Full sun Half sun

**Water:** Drought tolerant Light water Extra summer water

**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH

Twin Peaks II is a compact low growing shrub reaching 12-18 in. high with a 5-6 ft spread. It has dark leaves that are deeply toothed.

- Cornflower Farms

**Habit:** Mound Prostrate

**Leaf Color:** Dark green Green

**Flower Season:** Fall



**Botanical Name:** *Calliandra eriophylla*

**Common Name:** Fairy Duster, False Mesquite

**Plant Type:** Shrub

**Plant Size:** 1-3' 3-6'

**Flower Color:** Pink White

**Sun:** Full sun Half sun

**Water:** Light water Medium water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Well-drained soil Neutral pH

This fine-textured shrub grows 3' tall and 3'-4' wide. It blooms heavily in spring and intermittently through the rest of year in response to moisture. It is quite cold tolerant although it will freeze to the ground in serious frost. Flower color ranges white to pink into sometimes red. It is good for erosion control and is drought tolerant. It will become deciduous over prolonged dry periods. It prefers coarse,

**Habit:** Arching Irregular Round

**Leaf Color:** Green Grey green

**Flower Season:** Intermittent



**Botanical Name:** *Callistemon X viminalis 'Little John'*

**Common Name:** Bottlebrush Little John

**Plant Type:** Shrub

**Plant Size:** 1-3'

**Flower Color:** Red

**Sun:** Full sun Half sun

**Water:** Medium water

**Soil Type:** All soils Average soil Poor soil Well-drained soil Neutral pH

The 'Little John' exhibits very dense, compact growth to 3' x 3'. It produces clusters of blood red flowers and grey green foliage. A very regular, almost symmetrical, spiral pattern of dense oval leaves is shown along the stems.

**Habit:** Weeping

**Leaf Color:** Green Light green

**Flower Season:** Intermittent

## Appendix B



**Botanical Name:** Ceanothus 'Concha'  
**Common Name:** Concha California Lilac

**Plant Type:** Shrub

**Plant Size:** 6-12'

**Flower Color:** Blue

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** All soils Well-drained soil Neutral pH

Concha is a lilac that grows 6'-8' in height and width. It has small narrow leaves with intense dark blue flower clusters in spring. It is tolerant of coastal and inland conditions. -Cornflower Farms

**Habit:** Arching Irregular

**Leaf Color:** Dark green Green

**Flower Season:** Spring



**Botanical Name:** Cistus 'Sunset'

**Common Name:** Sunset Rockrose

**Plant Type:** Shrub Ground cover

**Plant Size:** 1-3'

**Flower Color:** Pink

**Sun:** Full sun Half sun

**Water:** Drought tolerant Light water Medium water

**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH Basic pH

This Rockrose stands 2-3' tall and has magenta flowers with gray/green leaves that have wrinkled edges.

**Habit:** Broad Round

**Leaf Color:** Green Grey green

**Flower Season:** Spring Summer



**Botanical Name:** Clivia miniata

**Common Name:** Kafir Lily, Clivia

**Plant Type:** Shrub

**Plant Size:** 1-3'

**Flower Color:** Orange

**Sun:** Shade

**Water:** Medium water

**Soil Type:** Loam soil Average soil Rich soil Well-drained soil Moist soil Neutral pH

A clumping evergreen bulb, this Kafir Lily produces luxuriant leaves and stalks of deep orange to red orange flowers in late winter and spring. It tolerates deep shade and, after establishment, drought. The plant requires frost protection. It performs well in containers. -Monterey Bay Nursery

**Habit:** Irregular

**Leaf Color:** Dark green

**Flower Season:** Winter Spring



**Botanical Name:** Echium candicans

**Common Name:** Pride Of Madeira

**Plant Type:** Shrub

**Plant Size:** 3-6' 6-12'

**Flower Color:** Blue

**Sun:** Full sun

**Water:** Drought tolerant Light water

**Soil Type:** Clay soil Rocky soil Average soil Poor soil Well-drained soil Neutral pH Basic

Mature specimens of this evergreen shrub can grow to a size of 6'-8' tall and 8'-10' wide. In the spring, spikes of rosy-violet to blue-purple flowers appear. It should receive sun to part shade, with little or no summer watering when established. This plant can be severely damaged by frost below 25 degrees F. -Monterey Bay Nursery

**Habit:** Round

**Leaf Color:** Light green Grey green

**Flower Season:** Spring





**Botanical Name:** *Euryops pectinatus*

**Common Name:** Euryops Daisy

**Plant Type:** Shrub Perennial

**Plant Size:** 1-3' 3-6'

**Flower Color:** Yellow

**Sun:** Full sun

**Water:** Light water

**Soil Type:** Sandy soil Loam soil Average soil Rich soil Well-drained soil Dry soil Neutral

As a small perennial shrub with 2" wide, bright yellow, daisy-like flowers, blooms on this plant are seen almost year round. Its leaves are gray green in color. 'Viridis' is a variety with deep green foliage.

**Habit:** Round

**Leaf Color:** Dark green Grey green

**Flower Season:** Constant



**Botanical Name:** *Fremontodendron californicum*

**Common Name:** California Flannel Bush

**Plant Type:** Shrub

**Plant Size:** 6-12' 12-25'

**Flower Color:** Yellow

**Sun:** Full sun

**Water:** Drought tolerant

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Poor soil Well-drained soil Dry

Flannel Bush is a fast growing, evergreen shrub that grows from 15'-20' tall. It has 3" lobed leaves and a mass of 3" flowers that bloom in spring and early summer. It needs good drainage. It is a California native plant that is drought tolerant and attracts butterflies. - Cornflower Farms

**Habit:** Irregular Upright

**Leaf Color:** Dark green Green

**Flower Season:** Spring Summer



**Botanical Name:** *Galvezia speciosa*

**Common Name:** Island Snapdragon

**Plant Type:** Shrub Ground cover

**Plant Size:** 3-6'

**Flower Color:** Red

**Sun:** Full sun Half sun

**Water:** Medium water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Poor soil Well-drained soil Dry

Island Snapdragon is an evergreen shrub or vine that grows from 2'-3' high and 3'-5' across with red spring and summer flowers. This plants needs partial shade in hot inland areas. It is a California native that is drought tolerant. It attracts hummingbirds. - Cornflower Farms

**Habit:** Arching Irregular

**Leaf Color:** Green

**Flower Season:** Intermittent



**Botanical Name:** *Grevillea rosmarinifolia* 'Scarlet Sprite'

**Common Name:** Scarlet Sprite Grevillea

**Plant Type:** Shrub

**Plant Size:** 3-6'

**Flower Color:** Red

**Sun:** Full sun Half sun

**Water:** Drought tolerant Light water

**Soil Type:** Well-drained soil

A mounding, compact shrub to 4-5 feet tall by 8 feet wide with soft-textured, needle-like leaves. The rosy-pink and cream colored flowers are showy during the winter & spring. Hardy to 20 degrees F.

**Habit:** Mound

**Leaf Color:** Green

**Flower Season:** Winter Spring



**Botanical Name:** Hemerocallis hybrids  
**Common Name:** Hybrid Daylily (various)

**Plant Type:** Ground cover Perennial

**Habit:** Arching Upright

**Plant Size:** Under 1' 1-3' 3-6'

**Leaf Color:** Green

**Flower Color:** Orange Pink Red Yellow

**Flower Season:** Intermittent

**Sun:** Full sun Half sun

**Water:** Light water Medium water Extra summer water

**Soil Type:** All soils Any soil condition Any soil pH

These summer-blooming perennials form clumps with large, grass-like leaves. Its showy flowers, resembling lilies, are borne in clusters on stems held well above the foliage



**Botanical Name:** Juniperus chinensis 'Blue Point'

**Common Name:** Blue Point Juniper

**Plant Type:** Shrub

**Habit:** Pyramidal Upright

**Plant Size:** 3-6' 6-12'

**Leaf Color:** Blue green Grey

**Flower Color:** n/a

**Flower Season:** n/a

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** All soils Average soil Rich soil Well-drained soil Dry soil Neutral pH Basic pH

Dense, soft, blue green foliage covers this pyramidal-shaped conifer. There is little to no shearing required, and it can reach a height of 12'. Junipers are highly combustible plants.



**Botanical Name:** Lantana hybrids

**Common Name:** Improved Lantana

**Plant Type:** Shrub

**Habit:** Broad Mound

**Plant Size:** 3-6' 6-12'

**Leaf Color:** Green

**Flower Color:** Purple

**Flower Season:** Constant

**Sun:** Full sun

**Water:** Light water

**Soil Type:** All soils Average soil Neutral pH Basic pH

Delightful accents of color in natural gardens are found with this informal shrub. It can be controlled with pruning and is a reliable bloomer intermittently throughout the year, benefitting from infrequent, deep waterings and a little pruning.



**Botanical Name:** Lavandula X intermedia 'Grosso'

**Common Name:** Grosso Long Stemmed Lavender

**Plant Type:** Perennial

**Habit:** Upright

**Plant Size:** 1-3'

**Leaf Color:** Grey green Silver

**Flower Color:** Lavender Purple Violet

**Flower Season:** Summer

**Sun:** Full sun

**Water:** Light water

**Soil Type:** All soils Well-drained soil Neutral pH

Long Stemmed Lavender has beautiful violet colored plumes in the summer. It is very drought tolerant and is a great plant to create that Mediterranean effect.



**Botanical Name:** *Liriope muscari*  
**Common Name:** Big Blue Lily Turf  
**Plant Type:** Shrub  
**Plant Size:** Under 1'  
**Flower Color:** Blue White  
**Sun:** Half sun Shade  
**Water:** Medium water  
**Soil Type:** Sandy soil Loam soil Average soil Rich soil Well-drained soil Neutral pH  
 Grass-like clumps of dark green leaves 1" wide up to 18" long are found on the *Liriope muscari*. It can reach a height of 12"-15", and dark blue flowers spikes can be seen held above the leaves during the summer. This is an excellent border, accent or ground cover plant that requires part shade exposure.



**Botanical Name:** *Mimulus aurantiacus*  
**Common Name:** Sticky Monkey Flower  
**Plant Type:** Shrub Perennial  
**Plant Size:** 1-3'  
**Flower Color:** Orange  
**Sun:** Full sun Half sun  
**Water:** Light water  
**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Well-drained soil Dry soil Neutral  
 Sticky Monkey Flower is a drought tolerant evergreen shrub 4' tall with numerous, orangish yellow flowers in spring and summer. It is a California native that attracts hummingbirds. This shrub can be found on the dry hills and canyon slopes in the Sierra Nevada foothills and the central Coast Ranges.  
 -Cornflower Farms



**Botanical Name:** *Myrtus communis* 'Compacta'  
**Common Name:** Compact Myrtle  
**Plant Type:** Shrub  
**Plant Size:** 1-3'  
**Flower Color:** White  
**Sun:** Full sun Half sun  
**Water:** Light water  
**Soil Type:** Sandy soil Clay soil Loam soil Average soil Rich soil Well-drained soil Neutral  
 This evergreen shrub is 6' high and 5' wide with aromatic leaves. It blooms with white, sweet-scented flowers followed by bluish black berries. It can be grown in sun or partial shade; well drained soil is essential. 'Compacta' has smaller leaves and is often used for edges and low formal hedges.



**Botanical Name:** *Pittosporum tobira* 'Variegata'  
**Common Name:** Variegated Tobira  
**Plant Type:** Shrub  
**Plant Size:** 3-6' 6-12'  
**Flower Color:** White  
**Sun:** Full sun Half sun Shade  
**Water:** Medium water  
**Soil Type:** All soils Average soil Rich soil Well-drained soil Neutral pH Basic pH  
 This variegated evergreen shrub or small tree has creamy margins on its gray green leaves. In spring, clusters of small, cream-colored flowers appear with the fragrance of orange blossoms. Variegated Tobira is often used to brighten shaded areas.

## Appendix B



**Botanical Name:** *Raphiolepis indica*  
**Common Name:** Indian Hawthorne  
**Plant Type:** Shrub  
**Plant Size:** 1-3'  
**Flower Color:** Pink  
**Sun:** Full sun Half sun  
**Water:** Light water  
**Soil Type:** All soils Average soil Rich soil Well-drained soil Dry soil Neutral pH  
 This small shrub will grow 2' tall and 4' wide. It has small, dark green leaves that get a red tint in the winter and deep pink flowers that bloom fall through spring.



**Botanical Name:** *Rosmarinus officinalis*  
**Common Name:** Rosemary  
**Plant Type:** Herb  
**Plant Size:** 3-6'  
**Flower Color:** Blue  
**Sun:** Full sun  
**Water:** Light water  
**Soil Type:** All soils Average soil Poor soil Well-drained soil Dry soil Neutral pH  
 Rosemary is hardy in full sun areas where winter temperatures do not drop below 10 degrees F. They can be grown in a clay pot with well-drained, porous soil in bright indoor light, and will also flourish on the backporch in spring, summer and fall. Its beautiful, slowly trailing stems and shiny slender leaves are perfect for showing off the small, light blue flowers that blossom in the summer. It has



**Botanical Name:** *Salvia greggii*  
**Common Name:** Autumn or Texas Sage  
**Plant Type:** Perennial  
**Plant Size:** 1-3'  
**Flower Color:** Pink Red White  
**Sun:** Full sun Half sun  
**Water:** Light water Medium water  
**Soil Type:** All soils Average soil Well-drained soil Basic pH  
 Evergreen sprawling shrub grows quickly to 2' x 2'. Red pink or white flowers appear in spring and fall. Prefers filtered shade in Phoenix. Attracts hummingbirds.



**Botanical Name:** *Salvia leucantha*  
**Common Name:** Mexican Sage, Mexican Bush Sage  
**Plant Type:** Shrub  
**Plant Size:** 1-3' 3-6'  
**Flower Color:** Blue Purple White  
**Sun:** Full sun Half sun  
**Water:** Drought tolerant  
**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH Basic pH  
 The Mexican Sage is a bushy shrub that grows 3'-4' tall and wide. It has hairy white stems, gray green leaves and velvet-like purple flower spikes that bloom summer through fall. This shrub tolerates sun, light shade, little water, and is hardy to 15 degrees F. The Mexican Sage is drought tolerant and attracts hummingbirds. -Cornflower Farms



**Botanical Name:** *Westringia 'Wynabbie Gem'*

**Common Name:** Wynabbie Gem *Westringia*

**Plant Type:** Shrub

**Plant Size:** 3-6'

**Flower Color:** Lavender

**Sun:** Full sun

**Water:** Drought tolerant Light water Medium water

**Soil Type:** All soils Average soil Neutral pH

This evergreen shrub will grow 3'-6' high and 6'-8' wide and has lavender flowers that bloom February through spring. It is drought tolerant and does well in full sun or partial shade.

**Habit:** Round

**Leaf Color:** Green Grey green

**Flower Season:** Spring Summer



**Botanical Name:** *Aptenia cordifolia*

**Common Name:** Hearts and Flowers

**Plant Type:** Ground cover Perennial Succulent

**Plant Size:** Under 1'

**Flower Color:** Red Yellow

**Sun:** Full sun Half sun Shade

**Water:** Light water Medium water Extra summer water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Rich soil Well-drained soil Dry

Aptenis is a herbaceous perennial groundcover with fleshy heart shaped leaves on succulent stems. Tiny, solitary red flowers appear among leaves. Foliage is shiny and bright green. It is salt tolerant and great in containers, planters or hanging baskets. It needs full sun or light shade. Be careful not to overwater. It can die back with heavy frost and will not tolerate foot traffic.

**Habit:** Prostrate

**Leaf Color:** Green

**Flower Season:** Spring Summer Fall



**Botanical Name:** *Ceanothus griseus horizontalis*

**Common Name:** Carmel Creeper

**Plant Type:** Shrub Ground cover

**Plant Size:** 1-3' 3-6'

**Flower Color:** Blue

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** All soils Average soil Well-drained soil Neutral pH

Carmel Creeper is one of the most popular forms of spreading shrubs. Its glossy oval leaves of 2" are bright green. The tiny, light blue flowers are abundant and form 1" clusters. This shrub benefits from pruning. It does best in well-drained soil with little to no summer water.

**Habit:** Prostrate

**Leaf Color:** Green

**Flower Season:** Spring



**Botanical Name:** *Myoporum 'Pacificum'*

**Common Name:** Pacificum Spreading Myoporum

**Plant Type:** Ground cover

**Plant Size:** 1-3'

**Flower Color:** White

**Sun:** Full sun

**Water:** Drought tolerant Extra summer water

**Soil Type:** All soils Average soil Poor soil Well-drained soil Neutral pH

This evergreen shrub will grow 2' tall and 30' wide. It is used as a groundcover and has medium green, oval leaves with small white flowers that bloom in the summer. 'South Coast' is a virus resistant variety similar to 'Pacificum'.

**Habit:** Prostrate

**Leaf Color:** Green

**Flower Season:** Summer

## Appendix B



**Botanical Name:** *Rosmarinus officinalis 'Prostratus'*  
**Common Name:** Prostrate Rosemary  
**Plant Type:** Shrub Ground cover Herb  
**Plant Size:** 1-3'  
**Flower Color:** Blue  
**Sun:** Full sun  
**Water:** Light water  
**Soil Type:** All soils Average soil Poor soil Well-drained soil Dry soil Neutral pH  
 The 'Prostratus' grows to a height of 2'-3' with a spread to 8'. Its flowers are pale, lavender blue in color; the leaves are needle-like with a dark, blue-green color. This plant makes a good groundcover, and its leaves can be used as seasoning in cooking. It has very aromatic leaves.



**Botanical Name:** *Sedum rubrotinctum*  
**Common Name:** Pork And Beans  
**Plant Type:** Shrub Ground cover  
**Plant Size:** Under 1'  
**Flower Color:** Red Yellow  
**Sun:** Full sun Half sun  
**Water:** Light water  
**Soil Type:** All soils Average soil Poor soil Well-drained soil Dry soil Neutral pH  
 This ground cover will grow less than 1' tall and has small leaves that vary in color and are brownish bronze in the fall. Red and yellow flowers will bloom in spring and summer.



**Botanical Name:** *Senecio mandraliscae*  
**Common Name:** Kleinia  
**Plant Type:** Ground cover Perennial  
**Plant Size:** 1-3'  
**Flower Color:** White  
**Sun:** Full sun Half sun  
**Water:** Light water  
**Soil Type:** All soils Average soil Well-drained soil Dry soil Neutral pH  
 This succulent perennial will grow to about 1.5' tall and 2' wide. It has curved, bluish gray leaves that are about 3.5" long and very slender.



**Botanical Name:** *Verbena lilacina*  
**Common Name:** Cedros Island Verbena  
**Plant Type:** Shrub Perennial  
**Plant Size:** 1-3'  
**Flower Color:** Lavender Purple  
**Sun:** Full sun  
**Water:** Drought tolerant Light water  
**Soil Type:** Sandy soil Clay soil Loam soil Average soil Well-drained soil Dry soil Neutral  
 An absolutely fabulous Baja islands native that will bloom virtually year round in the proper conditions and a twice a year pruning of dead flowers. Best kept at about 2-3'H x 2-3' W in the landscape. The shrub remains covered with lavender/purple flowers that attract butterflies. Requires little water but will also tolerate garden conditions One of the most versatile California plants. Very



**Botanical Name:** *Bougainvillea spectabilis*

**Common Name:** Bougainvillea, Magenta

**Plant Type:** Ground cover Vine

**Plant Size:** 25-40'

**Flower Color:** Red

**Sun:** Full sun Half sun

**Water:** Light water Medium water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Well-drained soil Neutral pH

The large amount of flamboyant colors on this species come not from the small inconspicuous flowers, but rather from the three large bracts which surround them. Once established, they tend to be carefree. All varieties are susceptible to frost damage, and vary in size, vigor, and growth habit.

**Habit:** Twining

**Leaf Color:** Green

**Flower Season:** Intermittent



**Botanical Name:** *Macfadyena unguis-cati*

**Common Name:** Cat's Claw Vine

**Plant Type:** Vine

**Plant Size:** 12-25' 25-40'

**Flower Color:** Yellow

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** Sandy soil Loam soil Average soil Rich soil Well-drained soil Neutral pH

Cat's Claw Vine derives its name from the cat claw-shaped tendrils the plant uses to cling to walls or fences or other plants. It has a beautiful yellow flower that blooms in early spring.

**Habit:** Clinging

**Leaf Color:** Dark green

**Flower Season:** Spring



**Botanical Name:** *Vitis californica* 'Roger's Red'

**Common Name:** Roger's Red Wild Grape

**Plant Type:** Vine

**Plant Size:** 12-25' 25-40'

**Flower Color:** Yellow

**Sun:** Full sun Half sun Shade

**Water:** Light water Extra summer water

**Soil Type:** All soils Rich soil Neutral pH

This plant is a woody deciduous vine with round large leaves. The flowers are in small fragrant blooms and berry clusters appear in the summer. This vine has a sprawling, climbing growth habit. It is a selection with outstanding fall color. This plant is native to CA and is drought tolerant. This cultivar is named for its red leaves in the fall. -Cornflower Farms

**Habit:** Irregular Upright Twining

**Leaf Color:** Dark green Green Red

**Flower Season:** Summer



**Botanical Name:** *Festuca glauca*

**Common Name:** Blue Fescue, Blue Fescuegrass

**Plant Type:** Ground cover Grass

**Plant Size:** Under 1'

**Flower Color:** n/a

**Sun:** Full sun Half sun

**Water:** Medium water

**Soil Type:** Sandy soil Loam soil Rocky soil Average soil Well-drained soil Neutral pH

This groundcover/grass will grow less than 1' tall and has small, blue green leaves.

**Habit:** Mound

**Leaf Color:** Blue green

**Flower Season:** n/a



**Botanical Name:** *Helictotrichon sempervirens*

**Common Name:** Blue Oat Grass

**Plant Type:** Perennial Grass

**Plant Size:** 1-3'

**Flower Color:** n/a

**Sun:** Full sun Half sun

**Water:** Light water

**Soil Type:** Sandy soil Loam soil Average soil Well-drained soil Dry soil Neutral pH

The Blue Oat Grass is an evergreen, blue clumping grass that grows 12"-18" tall and wide. Its showy flowers are 1'-2' above the foliage. This plant looks good alone as well as in mass plantings. The blue oat grass likes dry hill sides and is drought tolerant. -Cornflower Farms

**Habit:** Arching Mound

**Leaf Color:** Blue green Silver

**Flower Season:** n/a



**Botanical Name:** *Miscanthus sinensis 'Little Kitten'*

**Common Name:** Dwarf Silver Eulalia Grass

**Plant Type:** Perennial Grass

**Plant Size:** 1-3'

**Flower Color:** Green White

**Sun:** Full sun Half sun

**Water:** Light water Extra summer water

**Soil Type:** Sandy soil Loam soil Average soil Well-drained soil Neutral pH

Dwarf Eulalia Grass is a terrific residential garden performer. It's moderate size, 1 1/2 feet tall and as wide make it a perfect size for a shrub border. It throws up white spike flowers 2.5' that last for 2 months in the winter months or late fall.

**Habit:** Arching Mound Upright

**Leaf Color:** Green Silver

**Flower Season:** Summer



**Botanical Name:** *Sesleria autumnalis*

**Common Name:** Autumn Moor Grass

**Plant Type:** Grass

**Plant Size:** 1-3'

**Flower Color:** n/a

**Sun:** Full sun

**Water:** Medium water

**Soil Type:** All soils Average soil Well-drained soil Neutral pH

This small, mounding grass with yellow green leaves reaches 14-20" high. In the fall, it sends up narrow flower stems that have silvery white inflorescence. When planted in masses, it has a striking appearance. It is drought tolerant.

**Habit:** Upright

**Leaf Color:** Green Light green Yellow

**Flower Season:** Summer Fall



**Botanical Name:** *Aloe 'Blue Elf'*

**Common Name:** Blue Elf Aloe

**Plant Type:** Succulent

**Plant Size:** 1-3'

**Flower Color:** Red Yellow

**Sun:** Full sun Half sun Shade

**Water:** Light water

**Soil Type:** Sandy soil Clay soil Loam soil Rocky soil Well-drained soil Neutral pH

Dwarf and clumping, this hybrid will grow to 18" x 2'. Narrow silver-blue leaves provide incredible contrast for the spikes of orange-red flowers. In the desert it blooms from January-April attracting hummers. Tolerates full sun in low desert with no sunburn. Leaves may get red tinge in cold weather.

**Habit:** Mound

**Leaf Color:** Grey green Blue green

**Flower Season:** Winter Spring





**Botanical Name:** *Hesperaloe parviflora*

**Common Name:** Red Yucca

**Plant Type:** Shrub Grass Succulent

**Plant Size:** 1-3'

**Flower Color:** Red

**Sun:** Full sun

**Water:** Light water

**Soil Type:** All soils Average soil Poor soil Well-drained soil Dry soil Neutral pH Basic pH

This spectacular succulent is wonderful for a desert garden, with rosettes of gray green leaves to about 3'-4' tall and 6' wide. Red flower stalks emerge during spring and remain on the plant until the end of summer. This shrub will spread to form a crowded grass-like clump. This evergreen shrub is drought resistant but will appear better and bloom longer with added moisture. It does well in full sun, reflected

**Botanical Name:** *Washingtonia filifera*

**Common Name:** California Fan Palm

**Plant Type:** Palm

**Plant Size:** 12-25' 25-40'

**Flower Color:** n/a

**Sun:** Full sun

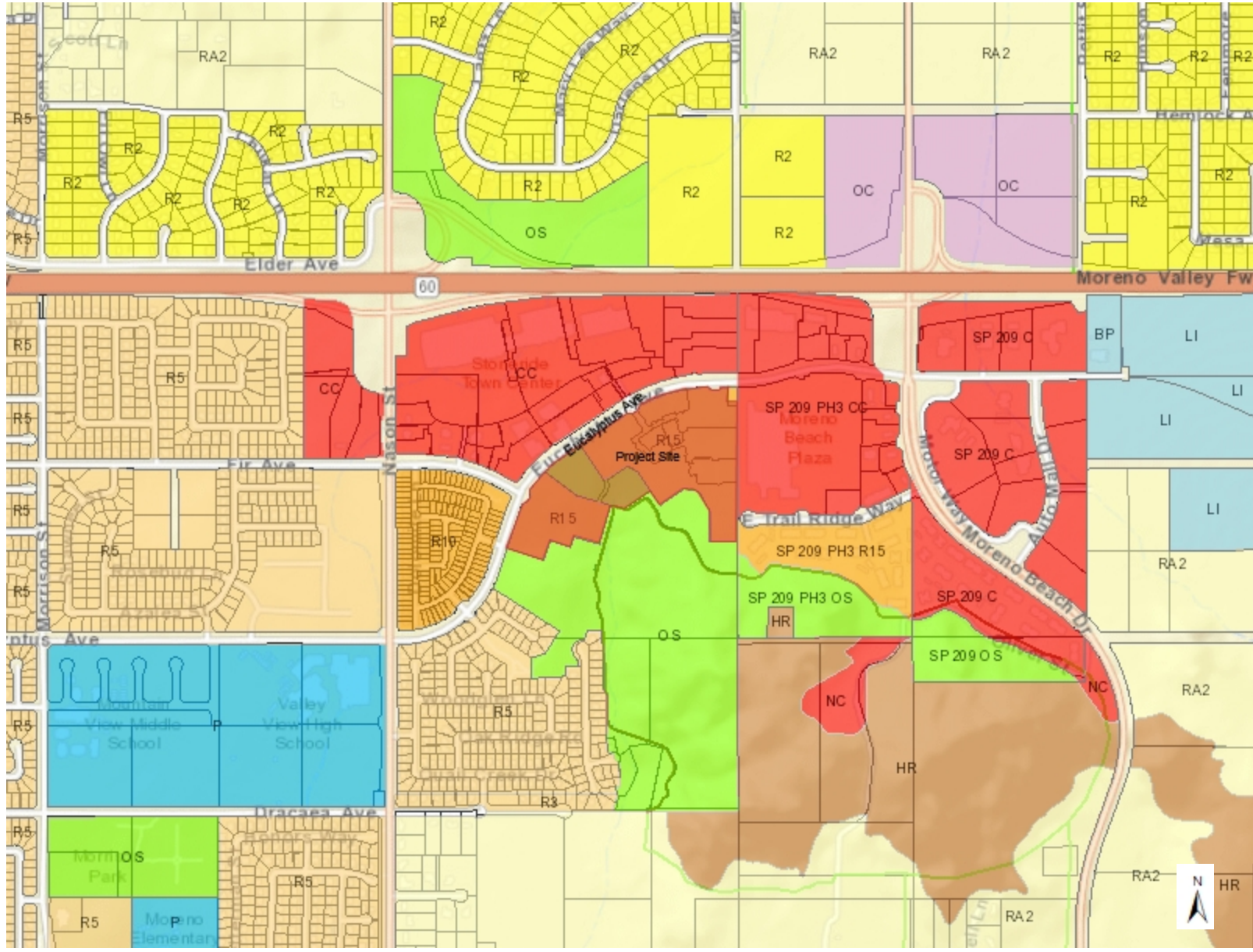
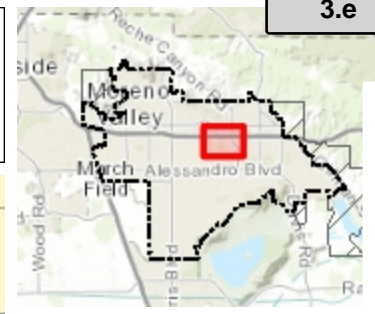
**Water:** Medium water

**Soil Type:** All soils Average soil Well-drained soil Neutral pH

California Fan Palm is the only palm native to California. It populates the areas along the San Andreas Fault where desert water has seeped to the surface and formed springs. It grows to 60' tall and 20' wide. It has light green fronds 3'-6' long. One of the most common uses of the palms fronds by Native Californians was in forming housing and thatched Ramadas. Fronds and frond fiber were also used to



# Zoning Map P15-066 and P15-067



### Legend

#### Zoning

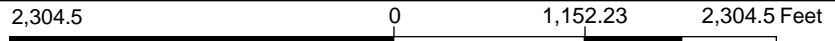
- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

#### Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

- Parcels
- City Boundary
- Sphere of Influence

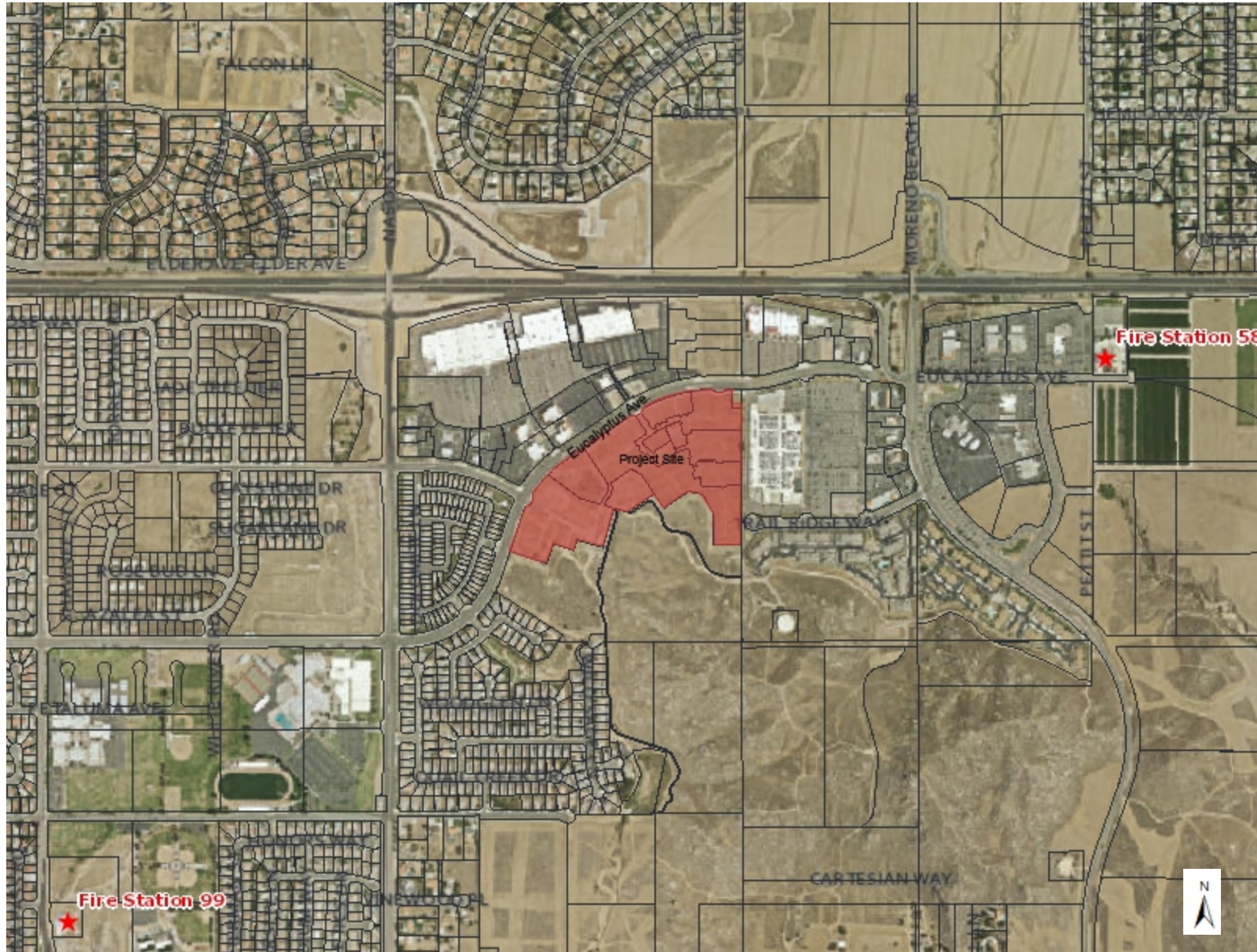
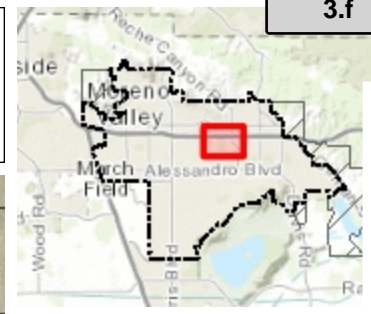
### Notes



*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Attachment: Zoning Map (1924) : Tentative Tract Map and Conditional Use Permit for a Residential

# Aerial Map P15-066 and P15-067



### Legend

- Public Facilities
  - Public Facilities
  - ★ Fire Stations
- Parcels
- ⬡ City Boundary
- ◻ Sphere of Influence

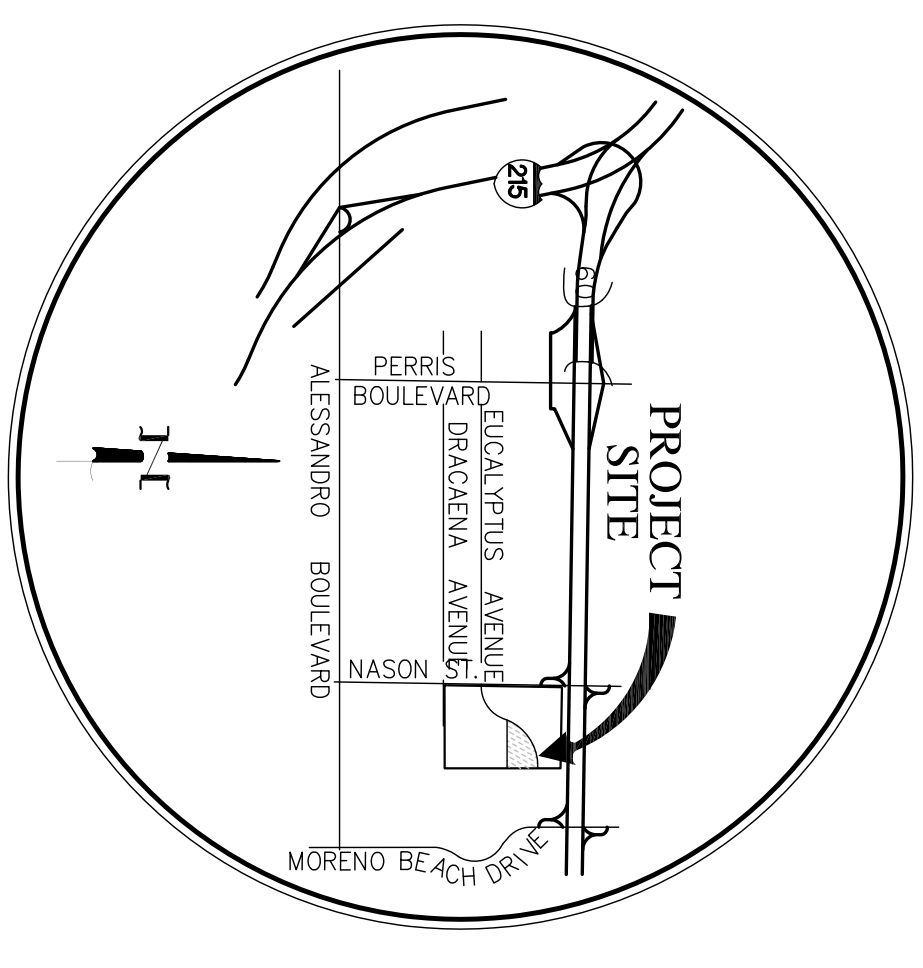
2,304.5      0      1,152.23      2,304.5 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Print Date: 3/8/2016

*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*

### Notes



**VICINITY MAP**  
NOT TO SCALE

**LEGAL DESCRIPTION**  
BEING A SUBDIVISION OF LOT 1 AND LETTERED LOTS A THROUGH F, INCLUSIVE, AS SHOWN BY TRACT MAP NO. 32853, AS FILED IN BOOK 409, PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

**FLOOD NOTE**

SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP 080693070G, EFFECTIVE DATE OF AUGUST 28, 2008.

**ASSESSOR'S PARCEL NUMBERS**

A.P.N. 488-090-026 A.P.N. 488-091-025  
A.P.N. 488-090-027 A.P.N. 488-091-031  
A.P.N. 488-090-028 A.P.N. 488-091-033  
A.P.N. 488-090-029 A.P.N. 488-091-035  
A.P.N. 488-090-077 A.P.N. 488-090-078

**ZONING**

CURRENT: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
PROPOSED: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SCAPE)  
R15 (RESIDENTIAL) ZONE: 23.04 ACRES CURRENT AND PROPOSED  
OS (OPEN SPACE) ZONE: 4.03 ACRES CURRENT AND PROPOSED

**UTILITY PURVEYORS**

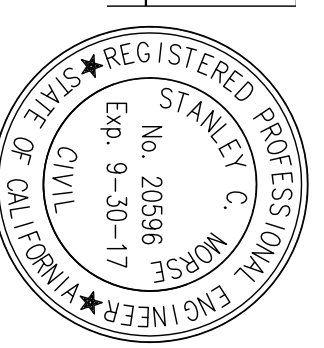
WATER: EDMOND  
SEWER: SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC: VERIZON  
SOLID WASTE: WASTE MANAGEMENT OF INLAND VALLEY

**LEGEND/ABBREVIATION**

EXISTING EX  
PROPOSED CENTERLINE RADIUS R=300'  
PRIVATE STREET STREET 'A'  
LOT NUMBER 274  
CENTERLINE INTERSECTION DISTANCE XXX'±  
TENANTIE TRACT BOUNDARY  
PROPOSED CENTERLINE

**CIVIL ENGINEER**

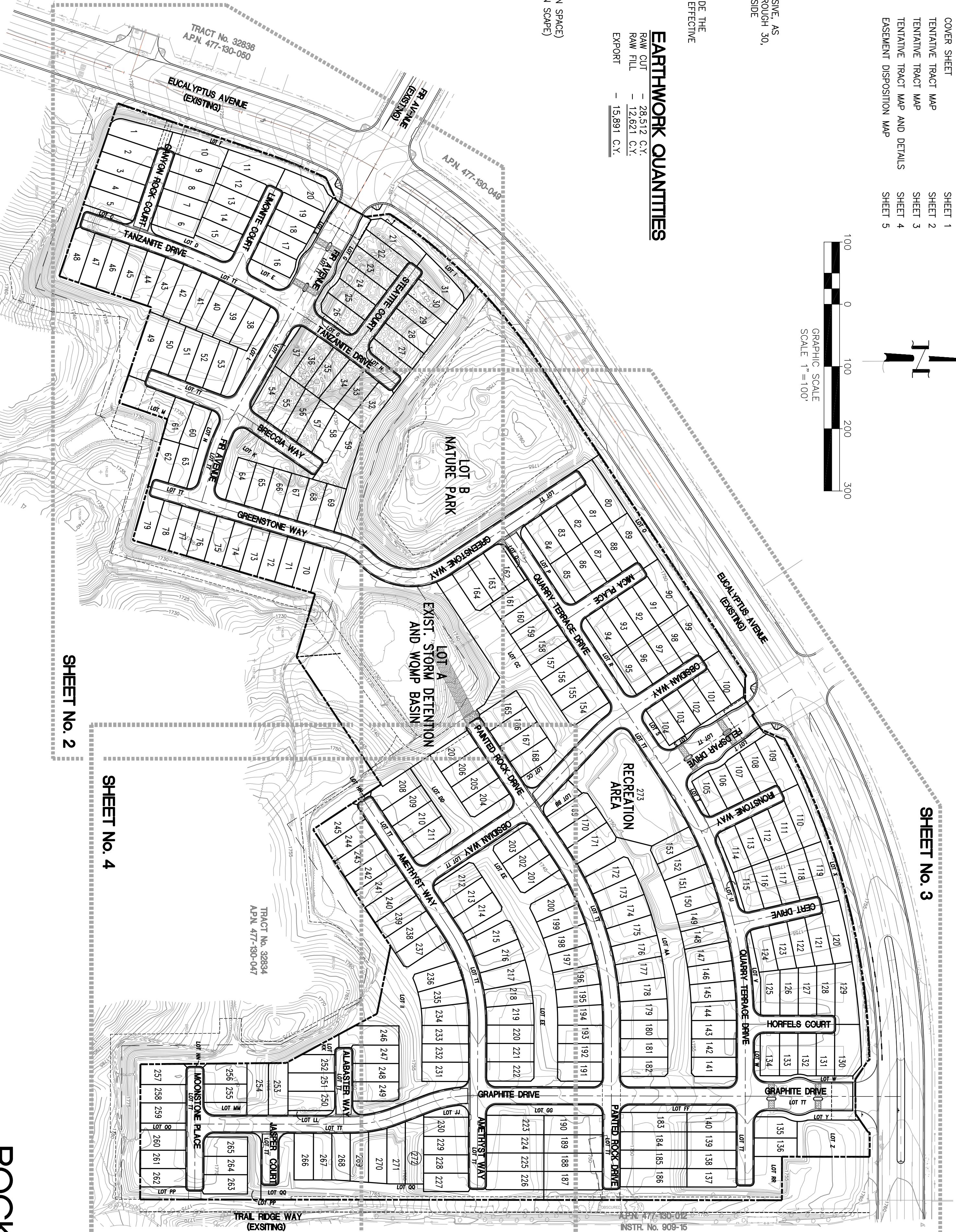
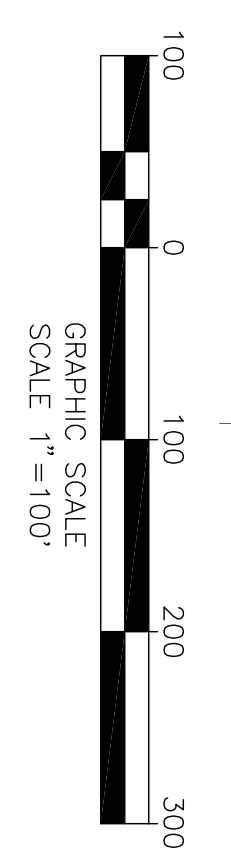
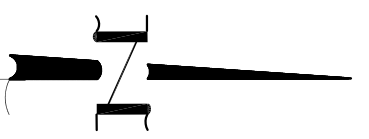
**MDS CONSULTING**  
17200 Redfield Ave.  
Suite 200  
Covina, CA 91724  
Phone: (916) 251-0314  
Fax: (916) 251-0314  
WWW.MDS-C.COM



Stanley C. Morse  
3-10-16  
DATE

CHANGE	DATE	REVISION
	3/10/16	CITY COMMENTS
	2/15/16	CITY COMMENTS
	1/14/16	CITY COMMENTS
	11/16/15	PRSC COMMENTS 10/14/2015
	08/19/15	FIRST SUBMITAL

# TENTATIVE TRACT MAP NO. 36933 ROCKCLIFFE AT STONERIDGE RANCH CITY OF MORENO VALLEY, CA



**SHEET INDEX**

COVER SHEET	SHEET 1
TENTATIVE TRACT MAP	SHEET 2
TENTATIVE TRACT MAP AND DETAILS	SHEET 3
EASEMENT DISPOSITION MAP	SHEET 4
	SHEET 5

**EARTHWORK QUANTITIES**

RAW DIRT - 28,512 C.Y.  
RAW FILL - 12,621 C.Y.  
EXPORT - 15,891 C.Y.

**GENERAL NOTES**

- NUMBER OF UNITS: 277 RESIDENTIAL DWELLING UNITS (POTENTIAL RESIDENTIAL 274 DWELLING UNITS) (2 STORES) AND 4 RECREATION BUILDINGS EXISTING WELLS, IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS.
- THESE ARE AND KNOWN EXISTING WELLS, IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS.
- ALL INTERIOR STREET RIGHTS OF WAY TO BE PRIVATELY OWNED AND MAINTAINED.
- THE SITE HAS BEEN PREVIOUSLY GRADED WITH TRACT 32853. THERE ARE NO LIQUID OR SOLID WASTES SITES WITHIN THE PROJECT.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN ALL COMMON FACILITIES, VISIBLE FRONT YARDS AND REVERSE FRONTAGE AREAS NOT ACCEPTED BY THE CITY'S SPECIAL DISTRICTS.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE DETENTION BASIN.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE PRIVATE STREETS, COMMON AREA AMENITIES AND COMMON LANDSCAPING AREAS.
- ALL HOMES SHALL BE FIRE SPRINKLERED.
- MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE.

**DEVIATIONS FROM R15 ZONING CITY REQUIREMENT**

CITY REQUIREMENT	PROPOSED
MINIMUM FRONT SETBACK	25'
MINIMUM REAR YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	12' (TYPICAL 12'-29')
INTERIOR SIDE YARD SETBACK	3'
STREET SIDE YARD	4.5'
MINIMUM DISTANCE BETWEEN BUILDINGS	20'
MAXIMUM LOT COVERAGE	45%
	62%

**SETBACKS**

FRONT: 3' MINIMUM (TYPICAL 3'-23')  
REAR: 10' MINIMUM (TYPICAL 12'-29')  
SIDE: 3' MINIMUM (TYPICAL 3'-6')  
MINIMUM SIDE YARD BUILDING SEPARATION: 6.00'

**LOT SUMMARY (277 DWELLINGS)**

MINIMUM LOT SIZE	MAXIMUM LOT SIZE	AVERAGE LOT SIZE	ADJUSTED NET ACREAGE	NUMBER OF DWELLING UNITS	ADJUSTED NET DENSITY (277/29.07) = 9.56 DU/AC
1,960 SF	3,989 SF	2,361 SF	2,272 AC	277 DU	11.07 DU/AC

**LOT SUMMARY (POTENTIAL 274 DWELLINGS)**

MINIMUM LOT SIZE	MAXIMUM LOT SIZE	AVERAGE LOT SIZE	ADJUSTED NET ACREAGE	NUMBER OF DWELLING UNITS	ADJUSTED NET DENSITY (274/29.00) = 9.45 DU/AC
1,960 SF	3,989 SF	2,361 SF	2,274 AC	274 DU	11.18 DU/AC

**LAND USE SUMMARY (277 DWELLINGS)**

LAND USE	ACREAGE	PERCENT(%)
RESIDENTIAL DWELLING UNITS	14.74	50.7%
RECREATION	1.23	1.5%
NATURE PARK	2.38	8.2%
DETENTION BASIN (EXISTING)	1.68	5.8%
OPEN COMMON AREA	4.38	15.1%
PRIVATE STREETS	5.45	18.7%
<b>GROSS ACREAGE</b>	<b>29.07 AC</b>	<b>100.0%</b>

**LAND USE SUMMARY (POTENTIAL 274 DWELLINGS)**

LAND USE	ACREAGE	PERCENT(%)
RESIDENTIAL DWELLING UNITS	14.83	51.1%
RECREATION	0.44	1.5%
NATURE PARK	2.38	8.2%
DETENTION BASIN (EXISTING)	1.68	5.8%
OPEN COMMON AREA	4.22	14.2%
PRIVATE STREETS	5.45	18.7%
<b>GROSS ACREAGE</b>	<b>29.00 AC</b>	<b>100.0%</b>

**TENTATIVE TRACT No. 36933**

NUMBER OF NUMBERED LOTS (277 DWELLINGS)	NUMBER OF DWELLING UNITS	RECREATION AREA	TOTAL
277	277	1	275

**TENTATIVE TRACT No. 36933**

NUMBER OF NUMBERED LOTS (POTENTIAL 274 DWELLINGS)	NUMBER OF DWELLING UNITS	RECREATION AREA	TOTAL
274	274	1	275

**TOPOGRAPHIC MAPPING**

GROSS ACREAGE:	29.07 AC	GROSS ACREAGE:	29.00 AC
CONTOUR INTERVAL:	1 FOOT	CONTOUR INTERVAL:	1 FOOT
SCALE:	1"=40'	SCALE:	1"=40'
DATE:	AUG. 2010	DATE:	AUG. 2010

**OWNER**

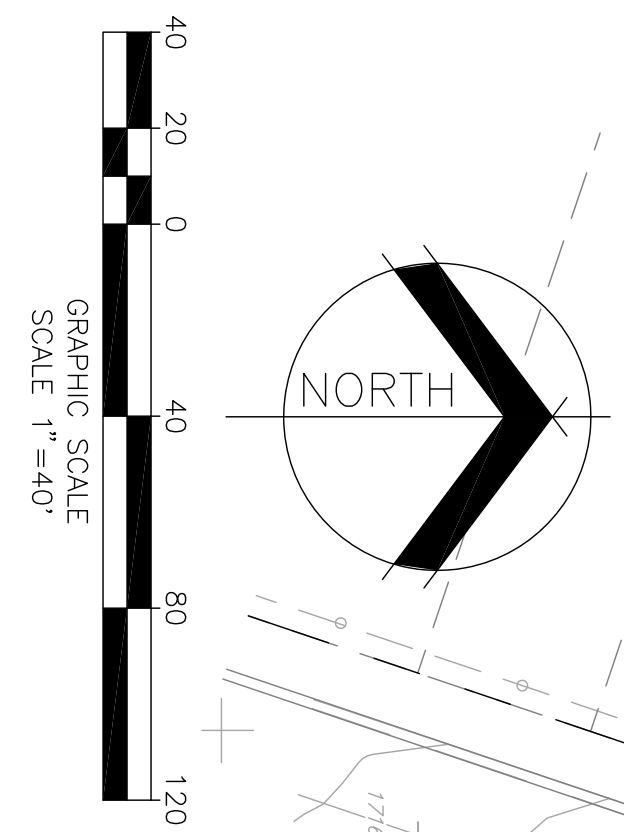
**BEAZER HOMES**  
1800 E. IMPERIAL HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

**APPLICANT / DEVELOPER**

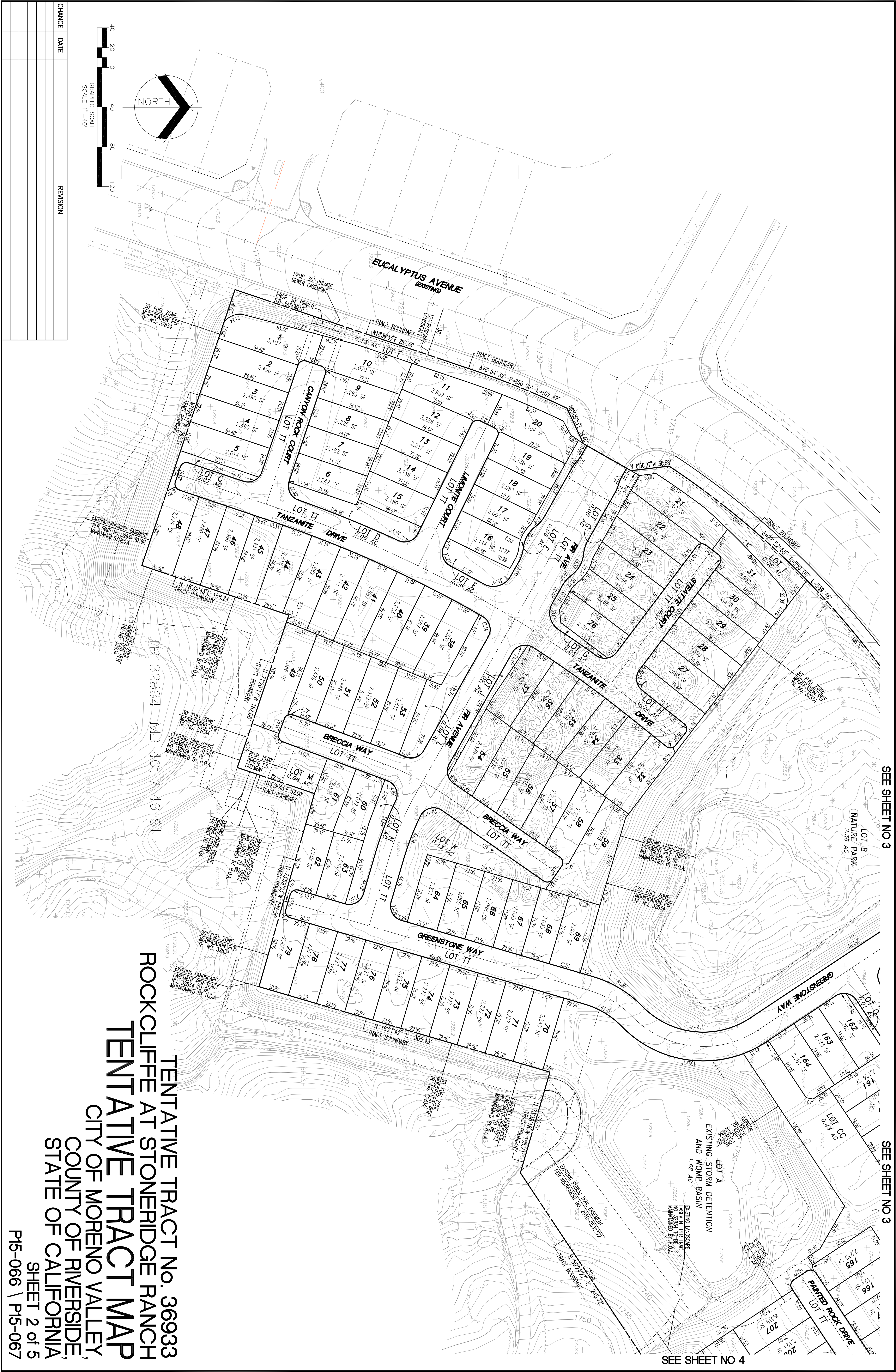
**BEAZER HOMES**  
1800 E. IMPERIAL HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

## TENTATIVE TRACT NO. 36933 ROCKCLIFFE AT STONERIDGE RANCH TENTATIVE TRACT MAP CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

SHEET 1 of 5  
P15-066 | P15-067



CHANGE	DATE	REVISION



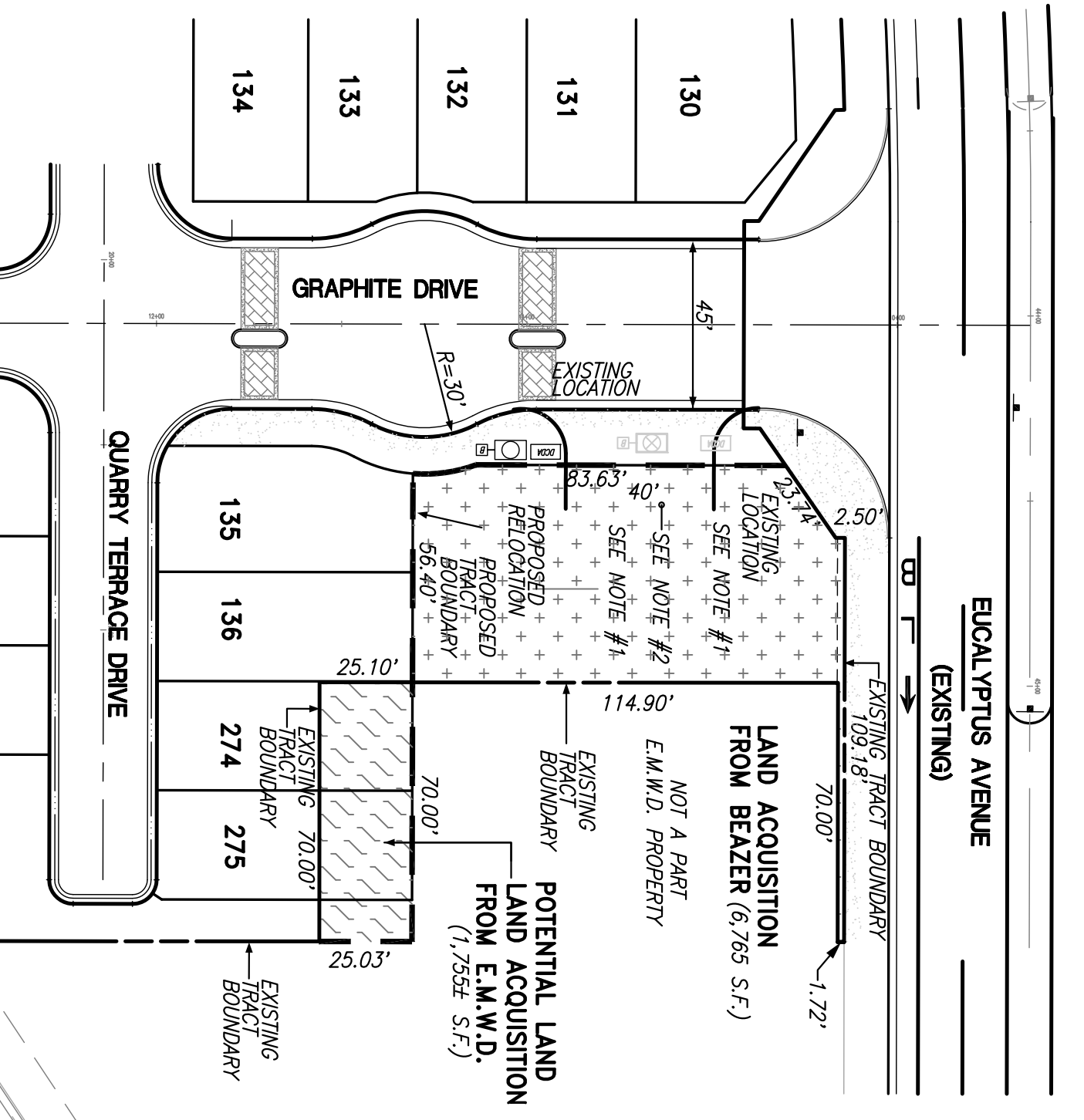
**TENTATIVE TRACT No. 36933**  
**ROCKCLIFFE AT STONERIDGE RANCH**  
**TENTATIVE TRACT MAP**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA

SHEET 2 of 5  
 P15-066 \ P15-067

SEE SHEET NO 3

SEE SHEET NO 3

SEE SHEET NO 4



POTENTIAL LAND EXCHANGE  
TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH

**LAND USE SUMMARY (POTENTIAL 274 DWELLINGS)**

LOTS	LAND USE	ACREAGE	PERCENT(%)
1-272, 274 & 275	RESIDENTIAL DWELLING UNITS	14.83	51.1%
273	RECREATION	0.44	1.5%
A	RETENTION BASIN (EXISTING)	1.68	5.8%
B	NATURE PARK	2.38	8.2%
C-RR (LOT 7 EXCLUDED)	OPEN COMMON AREA	4.22	14.7%
	PRIVATE STREETS	5.45	18.7%
	GROSS ACREAGE	29.00 AC	100.0%

NOTES:  
1. EXISTING DOUBLE DETECTOR CHECK ASSEMBLY, COMPOUND METER AND BACKFLOW ASSEMBLY TO BE RELOCATED  
2. PROPOSED EMMD DRAINWAY APPROACH WIDTH W=40'  
3. 4 PARKING SPACES WOULD BE LOST; 2 RESIDENTIAL LOTS GAINED

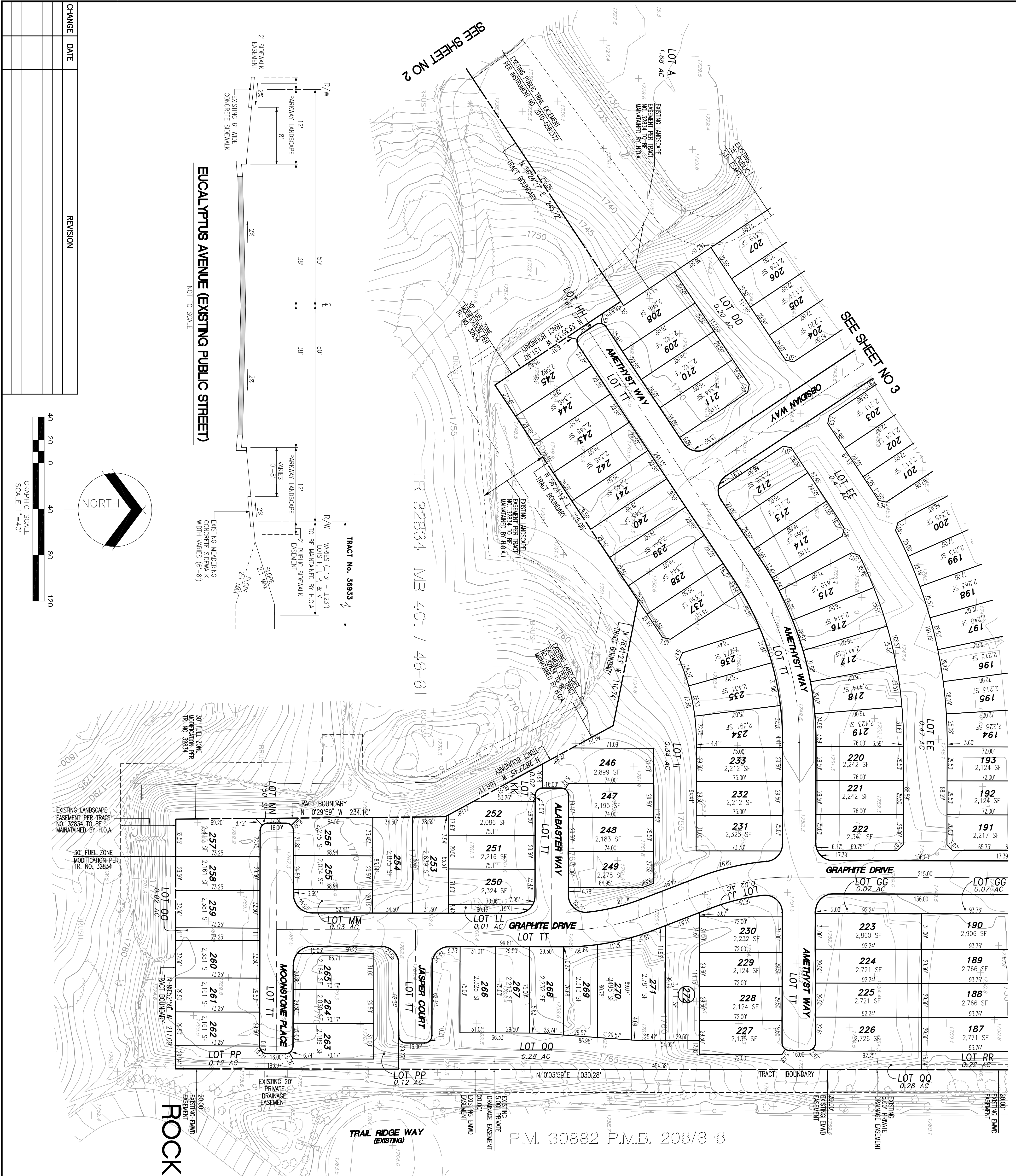


TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
**TENTATIVE TRACT MAP**  
CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SEE SHEET NO. 4  
SEE SHEET NO. 4  
SHEET 3 of 5  
P15-066 \ P15-067

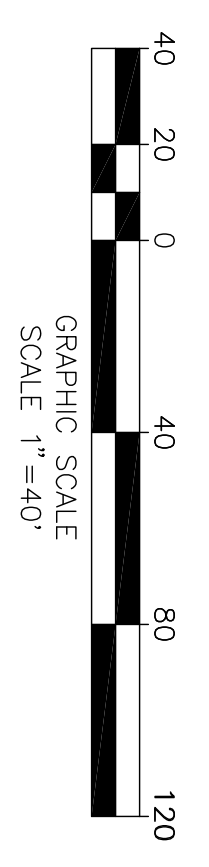
SEE SHEET NO 3

Attachment: Tentative Tract Map (1924: Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



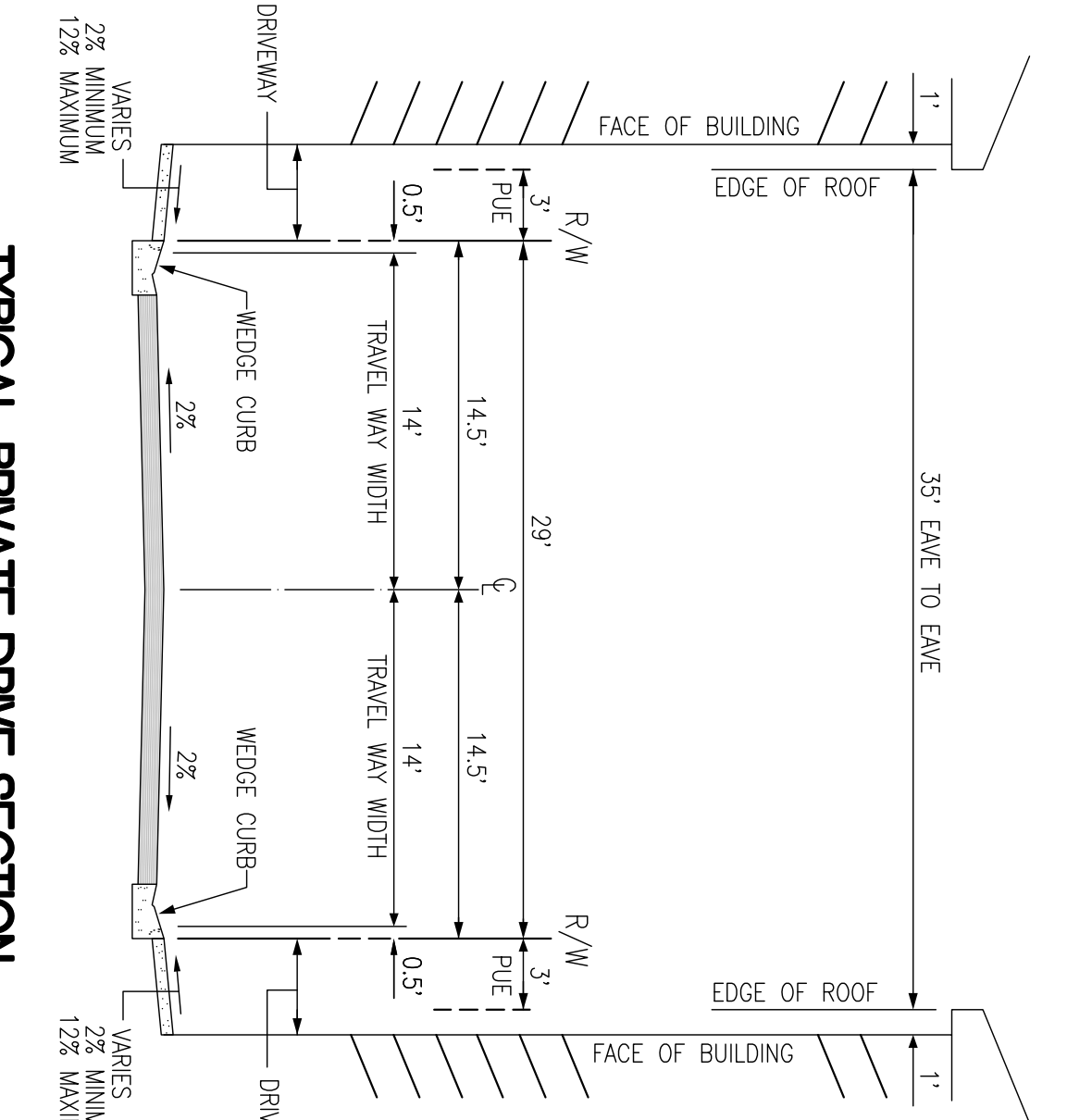
EUCALYPTUS AVENUE (EXISTING PUBLIC STREET)

NOT TO SCALE

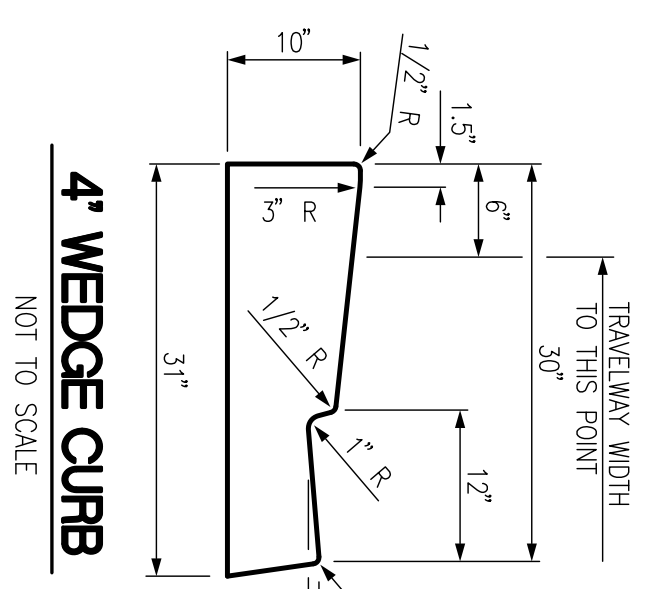


CHANGE	DATE	REVISION

P.M. 30882 P.M.B. 208/3-3



**DRIVEWAY NOTE:**  
18" MINIMUM PARKING ALLOWED  
3' TO 8' NO PARKING ALLOWED (ROLL UP GARAGE DOORS REQUIRED)



**TENTATIVE TRACT No. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
TENTATIVE TRACT MAP**

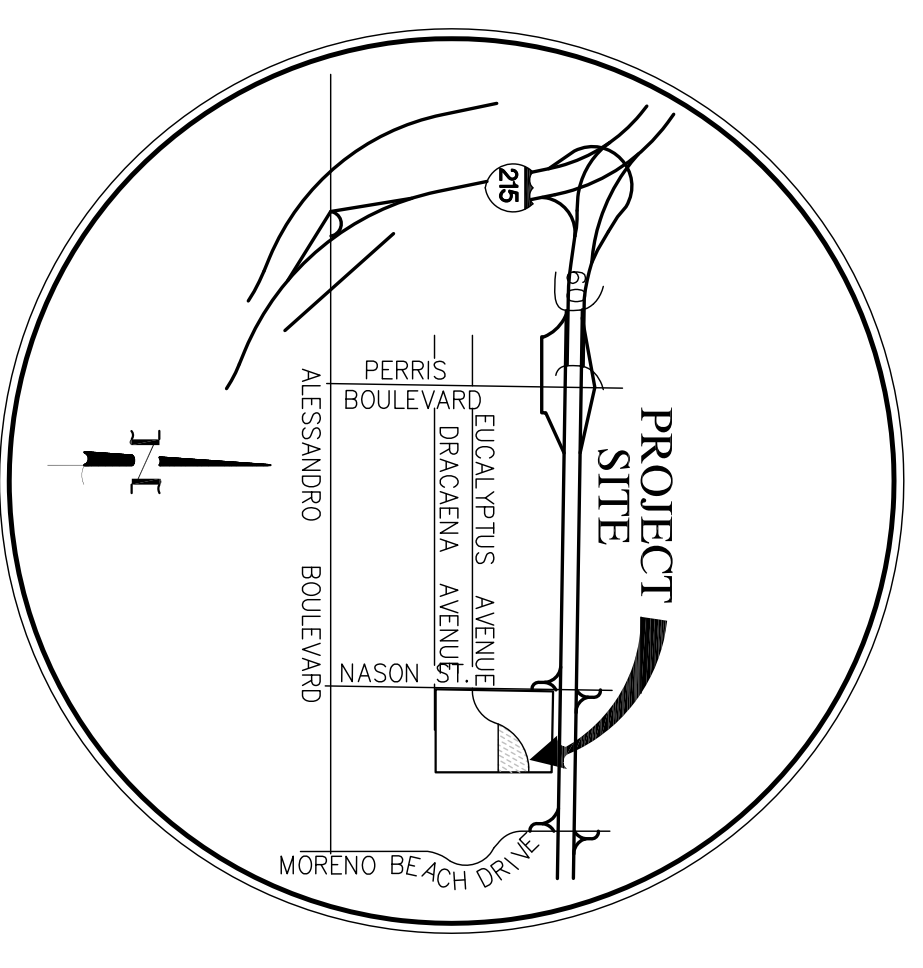
CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 4 of 5  
P15-066 | P15-067



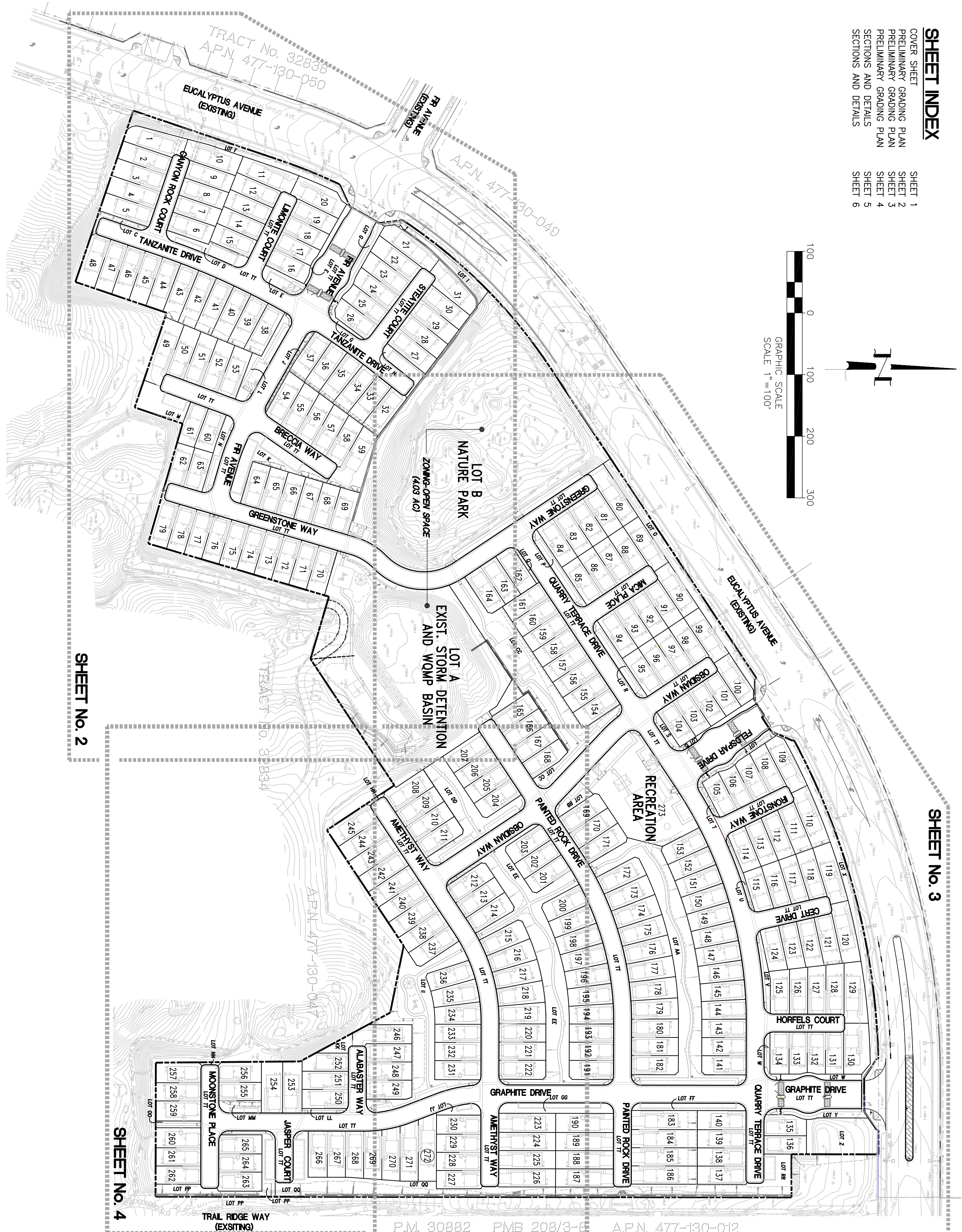
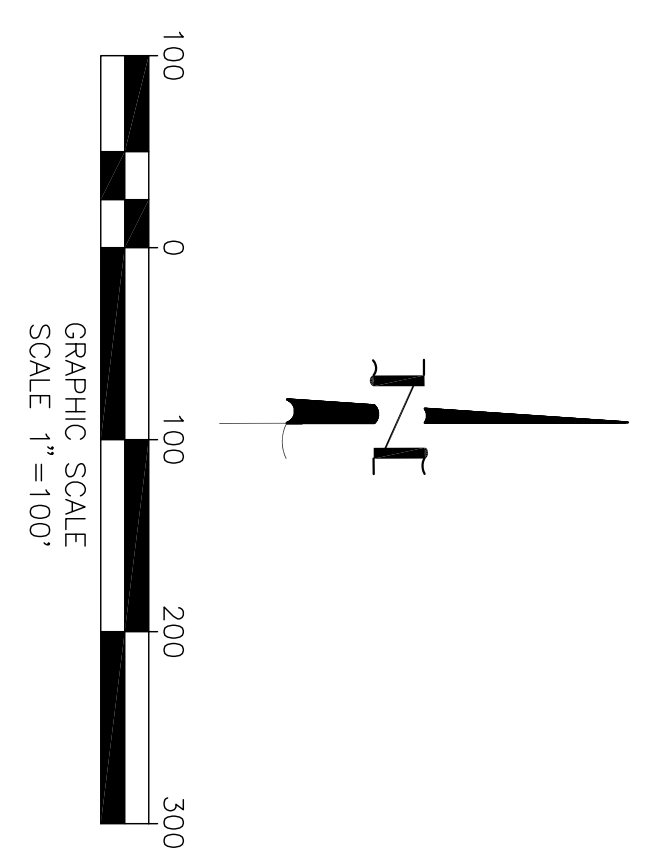


# PRELIMINARY GRADING PLAN TRACT MAP NO. 36933 ROCKCLIFFE AT STONERIDGE RANCH CITY OF MORENO VALLEY, CA



**SHEET INDEX**

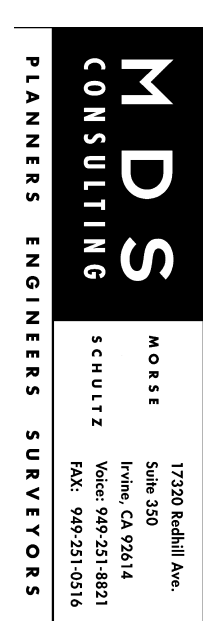
SHEET 1	COVER SHEET
SHEET 2	PRELIMINARY GRADING PLAN
SHEET 3	PRELIMINARY GRADING PLAN
SHEET 4	PRELIMINARY GRADING PLAN
SHEET 5	SECTIONS AND DETAILS
SHEET 6	SECTIONS AND DETAILS



### LEGEND/ABBREVIATION

- EXISTING STREET ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SEWER SYSTEM
- PROPOSED WATER SYSTEM
- PROPOSED CONTOUR
- PROPOSED CONCRETE DRAINAGE DITCH
- PROPOSED PARKING STALL STRIPING
- PROPOSED PAO ELEVATION
- PROPOSED FINISH FLOOR ELEVATION
- TOP OF CURB
- EXPOSED PORT. OF RET. WALL HEIGHT
- DECORATIVE PAVING
- CONCRETE
- ENHANCED LANDSCAPING (NO TURF)
- PROPOSED (2:1 UNLESS NOTED) SLOPE
- PROPOSED CENTERLINE RADIUS
- PRIVATE STREET
- BEGIN OF VERTICAL CURB
- MIDDLE OF VERTICAL CURB
- END OF VERTICAL CURB
- EXISTING
- MAXIMUM
- CATCH BASIN
- PROPOSED LOT NUMBER
- LOT NUMBER
- PERMETER TUBULAR FENCE
- PROPOSED REMAINING WALL
- TENTATIVE TRACT BOUNDARY
- PROPOSED CENTERLINE

### CIVIL ENGINEER



**Stanley C. Morse**  
3-11-16  
DATE



**CHANGE DATE**

3/11/16	CITY COMMENTS
2/15/16	CITY COMMENTS
1/14/16	CITY COMMENTS
11/16/15	PRSC COMMENTS 10/14/2015
08/15/15	FIRST SUBMITAL

### ASSESSOR'S PARCEL NUMBERS

A.P.N. 488-090-025	A.P.N. 488-091-025
A.P.N. 488-090-026	A.P.N. 488-091-026
A.P.N. 488-090-028	A.P.N. 488-091-028
A.P.N. 488-090-061	A.P.N. 488-091-053
A.P.N. 488-090-077	A.P.N. 488-090-078

### LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, AND A PORTION OF PARCEL 4 AS DESCRIBED IN LOT LINE ADJUSTMENT NO. 948 AND CERTIFICATE OF COMPLIANCE, RECORDED 10/27/04 AS DOCUMENT NO. 830898 OF SAID COUNTY.

### FLOOD NOTE

SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP 080503070G, EFFECTIVE DATE OF AUGUST 28, 2008.

### WATER QUALITY MANAGEMENT PLAN NOTE

IN ADDITIONAL TO THE EXISTING DOWNSCREEN MASTER PLAN STORM WATER DETENTION AND WATER QUALITY BASINS, TENTATIVE TRACT MAP NO. 36933 PROPOSES TO HAVE CDS (OR EQUIVALENT) UNIT INSTALLED AT EACH OF THE TWO STORM DRAIN SYSTEM OUTFALLS. THESE CDS UNITS WILL HAVE ALL THE APPROPRIATE SCREENS AND FILTERS TO PRE-TREAT THE STORM WATER PRIOR TO ENTERING THE DOWN STREAM DETENTION AND WATER QUALITY BASINS.

### GENERAL NOTES

- NUMBER OF UNITS: 272 RESIDENTIAL DWELLING UNITS (POTENTIAL RESIDENTIAL 274 DWELLING UNITS) (2 STORES) AND A RECREATION BUILDING
- THESE ARE AND KNOWN EXISTING WELLS (IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS)
- ALL INTERIOR STREET RIGHTS OF WAY TO BE PRIVATELY OWNED AND MAINTAINED.
- THE SITE HAS BEEN PREVIOUSLY GRADED WITH TRACT 32833. THERE ARE NO LIQUID OR SOLID WASTES SITES WITHIN THE PROJECT.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN ALL COMMON FACILITIES, VISIBLE FRONT YARDS AND REVERSE FRONTAGE AREAS NOT ACCEPTED BY THE CITY'S SPECIAL DISTRICTS.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE DETENTION BASIN.
- A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE PRIVATE STREETS, COMMON AREA AMENITIES AND COMMON LANDSCAPING AREAS.
- ALL HOMES SHALL BE FIRE SPRINKLERED.
- MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE.

### DEVIATIONS FROM RIS ZONING

CITY REQUIREMENT	PROPOSED
MINIMUM FRONT SETBACK	25'
MINIMUM REAR YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	12' (TYPICAL 3'-23')
INTERIOR SIDE YARD	10'
STREET SIDE YARD	20'
MINIMUM DISTANCE BETWEEN BUILDINGS	6'
MAXIMUM LOT COVERAGE	45%
	62%

### SETBACKS

FRONT: 3' MINIMUM (TYPICAL 3'-23')  
REAR: 10' MINIMUM (TYPICAL 12'-29')  
SIDE: 3' MINIMUM (TYPICAL 3'-6')  
MINIMUM SIDE YARD BUILDING SEPARATION: 6.00'

### LOT SUMMARY (272 DWELLINGS)

MINIMUM LOT SIZE	MAXIMUM LOT SIZE	AVERAGE LOT SIZE	ADJUSTED NET ACREAGE	NUMBER OF DWELLING UNITS	ADJUSTED NET DENSITY (272/29.07) = 9.36 DU/AC	NET DENSITY (272/24.57) = 11.07 DU/AC
1,960 SF	3,989 SF	2,361 SF	2,907 AC	272 DU	9.36 DU/AC	11.07 DU/AC

### LAND USE SUMMARY (272 DWELLINGS)

LAND USE	ACREAGE	PERCENT(%)
1-272	14.74	50.7%
A	0.44	1.5%
B	2.38	8.2%
C-RR	1.68	5.8%
	4.38	15.1%
	5.45	18.7%
<b>GROSS ACREAGE</b>	<b>29.07 AC</b>	<b>100.0%</b>

### LAND USE SUMMARY (POTENTIAL 274 DWELLINGS)

LAND USE	ACREAGE	PERCENT(%)
1-272, 274 & 275	14.83	51.1%
273	0.44	1.5%
B	2.38	8.2%
C-RR (LOT 7 EXCLUDED)	4.22	14.5%
PRIVATE COMMON AREA	5.45	18.7%
<b>GROSS ACREAGE</b>	<b>29.00 AC</b>	<b>100.0%</b>

### TENTATIVE TRACT NO. 36933

<b>NUMBER OF NUMBERED LOTS (272 DWELLINGS)</b>	272	<b>NUMBER OF NUMBERED LOTS (POTENTIAL 274 DWELLINGS)</b>	274
RESIDENTIAL DWELLING UNITS	272	RESIDENTIAL DWELLING UNITS	274
RECREATION AREA	1	RECREATION AREA	1
<b>TOTAL</b>	<b>273</b>	<b>TOTAL</b>	<b>275</b>

### TOPOGRAPHIC MAPPING

GROSS ACREAGE:	29.07 AC	GROSS ACREAGE:	29.00 AC
CONTOUR INTERVAL:	1 FOOT	CONTOUR INTERVAL:	1 FOOT
SCALE:	1"=40'	SCALE:	1"=40'
DATE:	AUG. 2010	DATE:	AUG. 2010

### OWNER

**BEAZER HOMES**  
100 E. IMPERIAL HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480

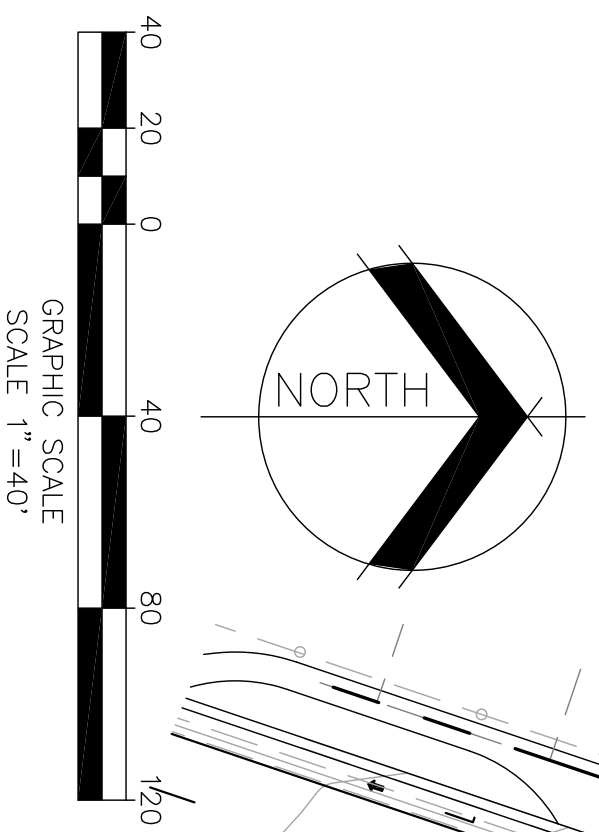
### APPLICANT / DEVELOPER

**BEAZER HOMES**  
1800 G. MORGENTHAU HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480

# TENTATIVE TRACT NO. 36933 ROCKCLIFFE AT STONERIDGE RANCH PRELIMINARY GRADING PLAN

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 1 of 6  
P15-066 | P15-067



CHANGE	DATE	REVISION



TENTATIVE TRACT NO. 36933  
 ROCKCLIFFE AT STONERIDGE RANCH  
**PRELIMINARY GRADING PLAN**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA

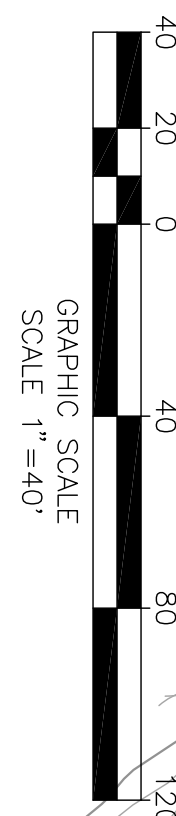
SHEET 2 of 6  
 P15-066 \ P15-067

SEE SHEET NO 3

SEE SHEET NO 3

SEE SHEET NO 4

SEE SHEET NO 2



EXISTING TRAFFIC SIGNAL AND SIGNING & STRIPING TO MODIFIED

MAIN DRIVE: RESIDE MONITORING RESIDE CONTROL GATE INTERSECTION DIRECTORY

LOT A EXISTING STORM DETENTION AND WOMP BASIN

EXISTING LANDSCAPE DESIGN TO BE MAINTAINED BY HOA

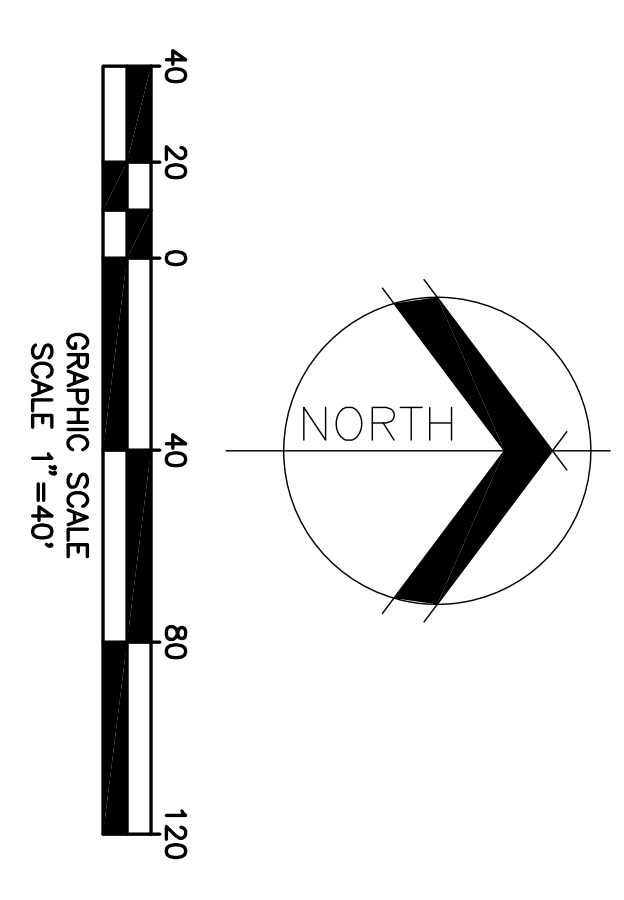
POTENTIAL LAND EXCHANGE SEE DETAIL ON SHEET 5

TENTATIVE TRACT NO. 36933  
 ROCKCLIFFE AT STONERIDGE RANCH  
**PRELIMINARY GRADING PLAN**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA

SHEET 3 of 6  
 P15-066 \ P15-067

P:\9170\PREL\UT\T\Plan\Grading\grading\_03.dwg 2/17/16

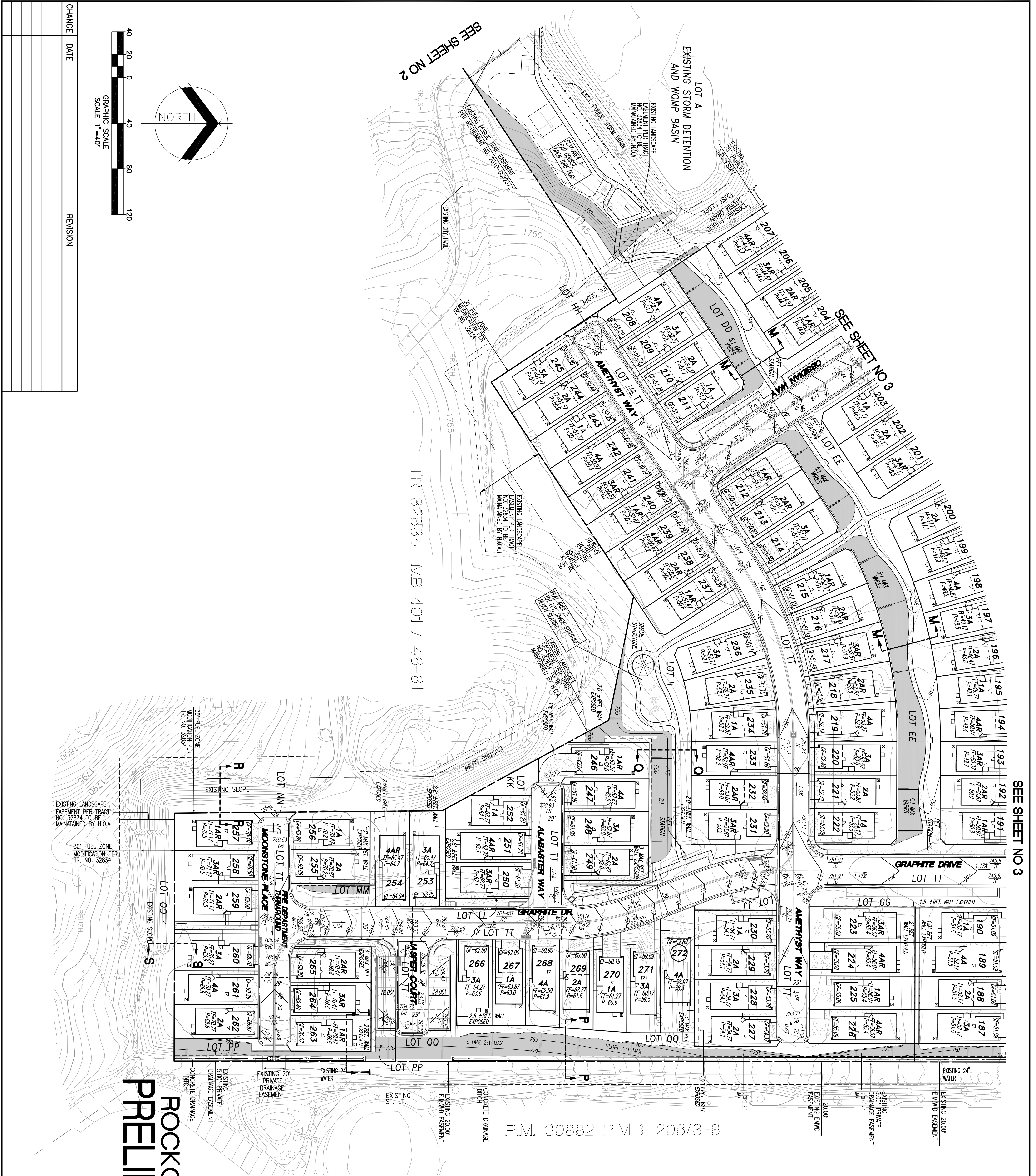
CHANGE	DATE	REVISION



SEE SHEET NO 2

SEE SHEET NO 3

SEE SHEET NO 3

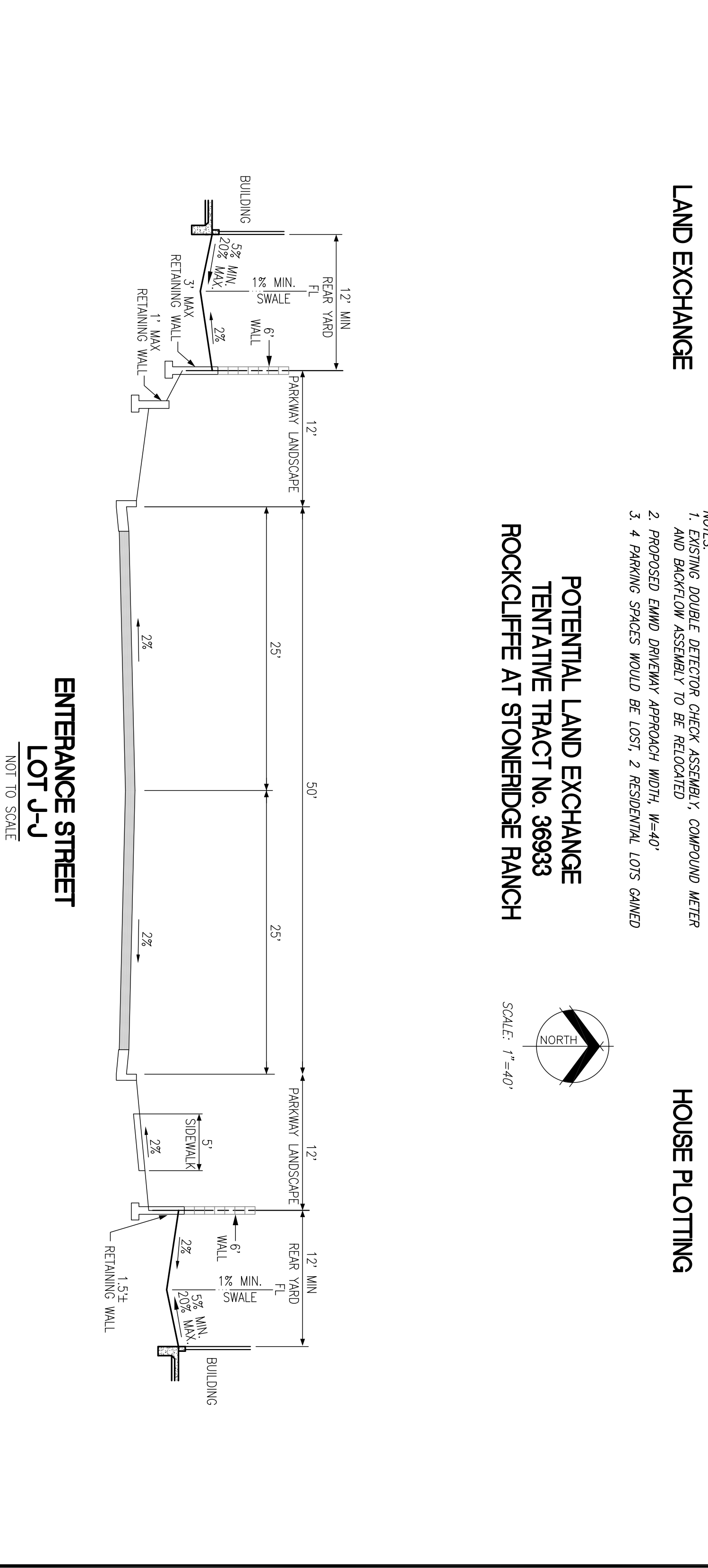
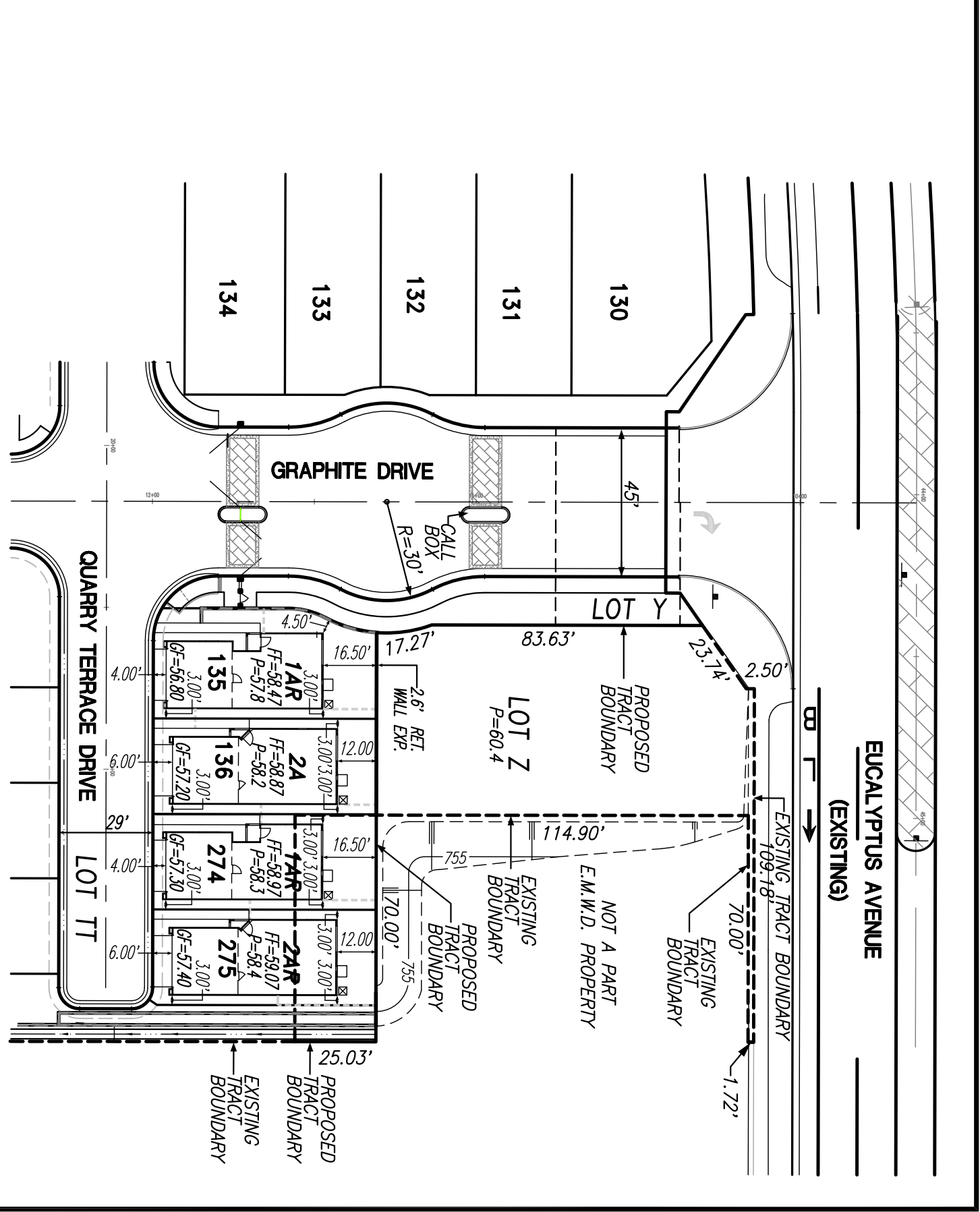
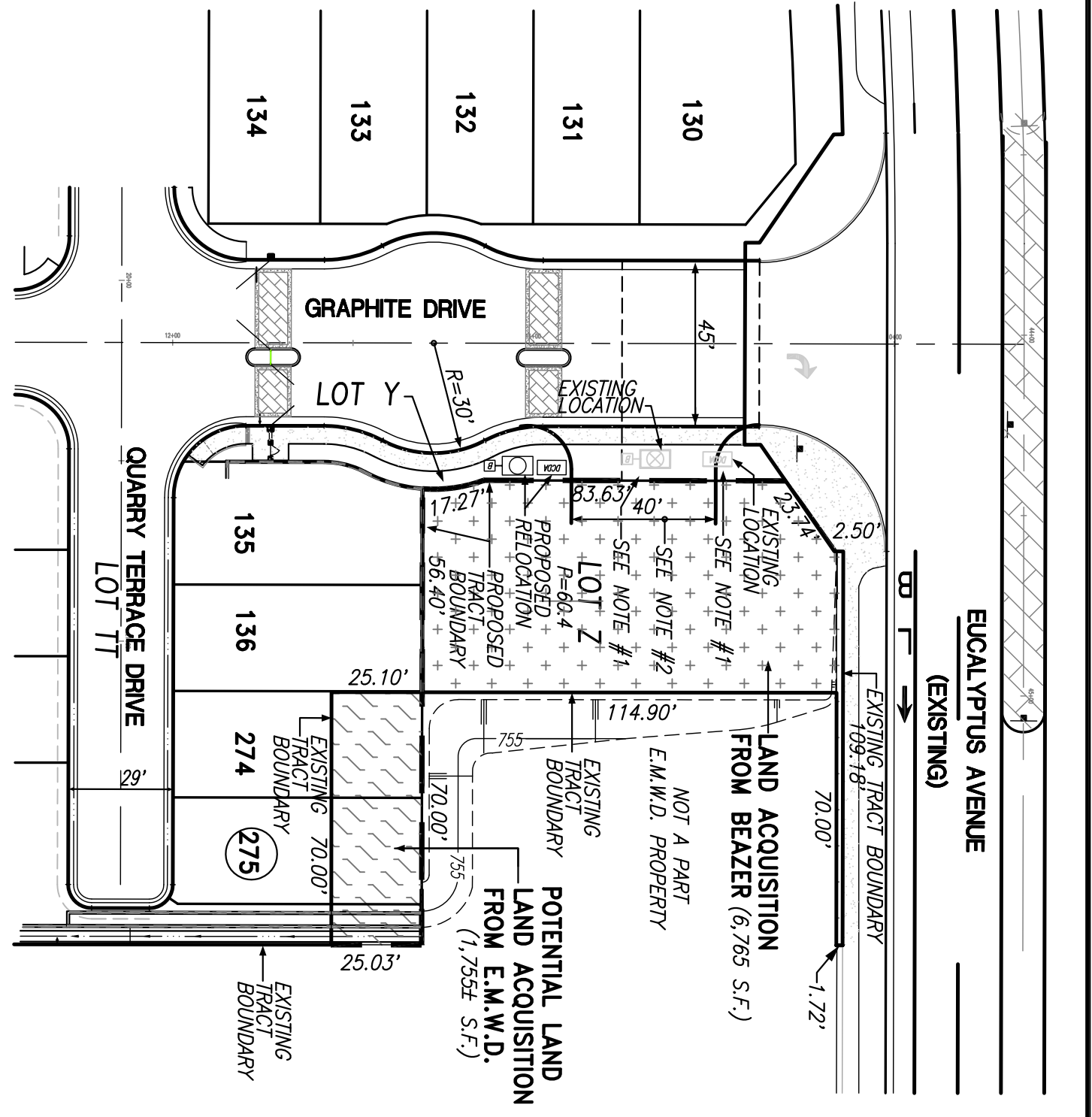
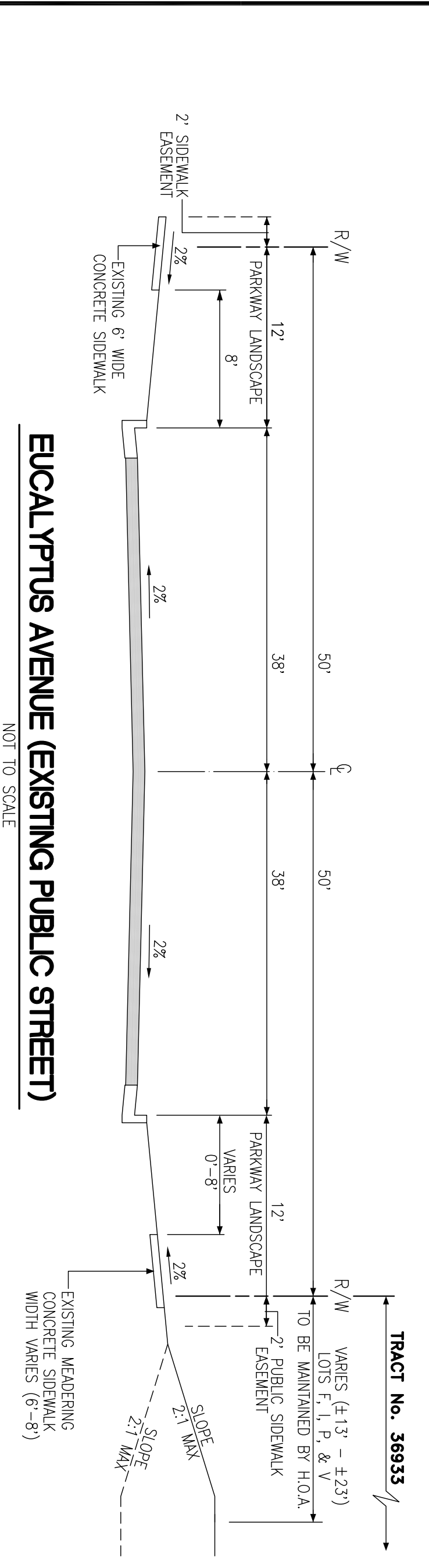
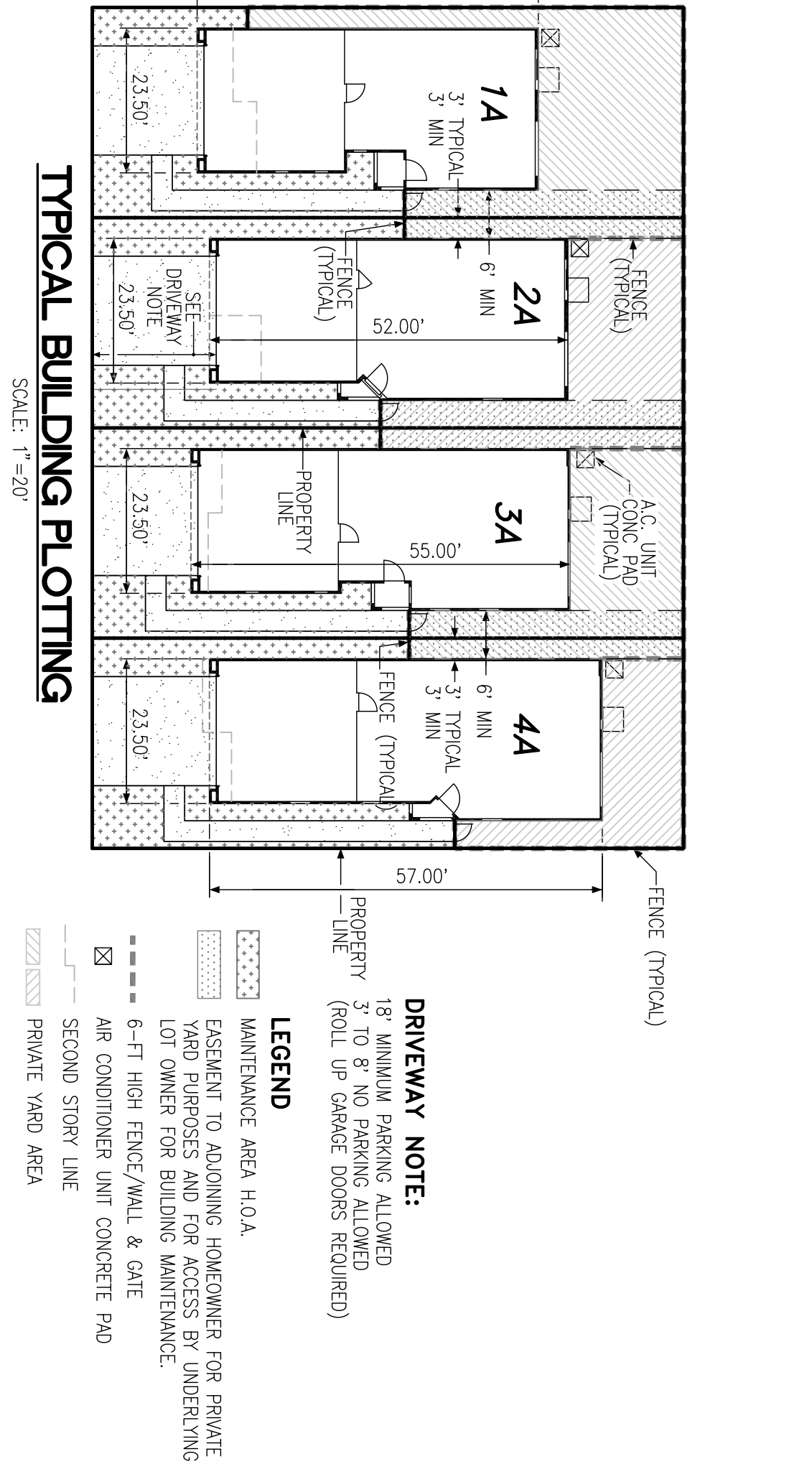
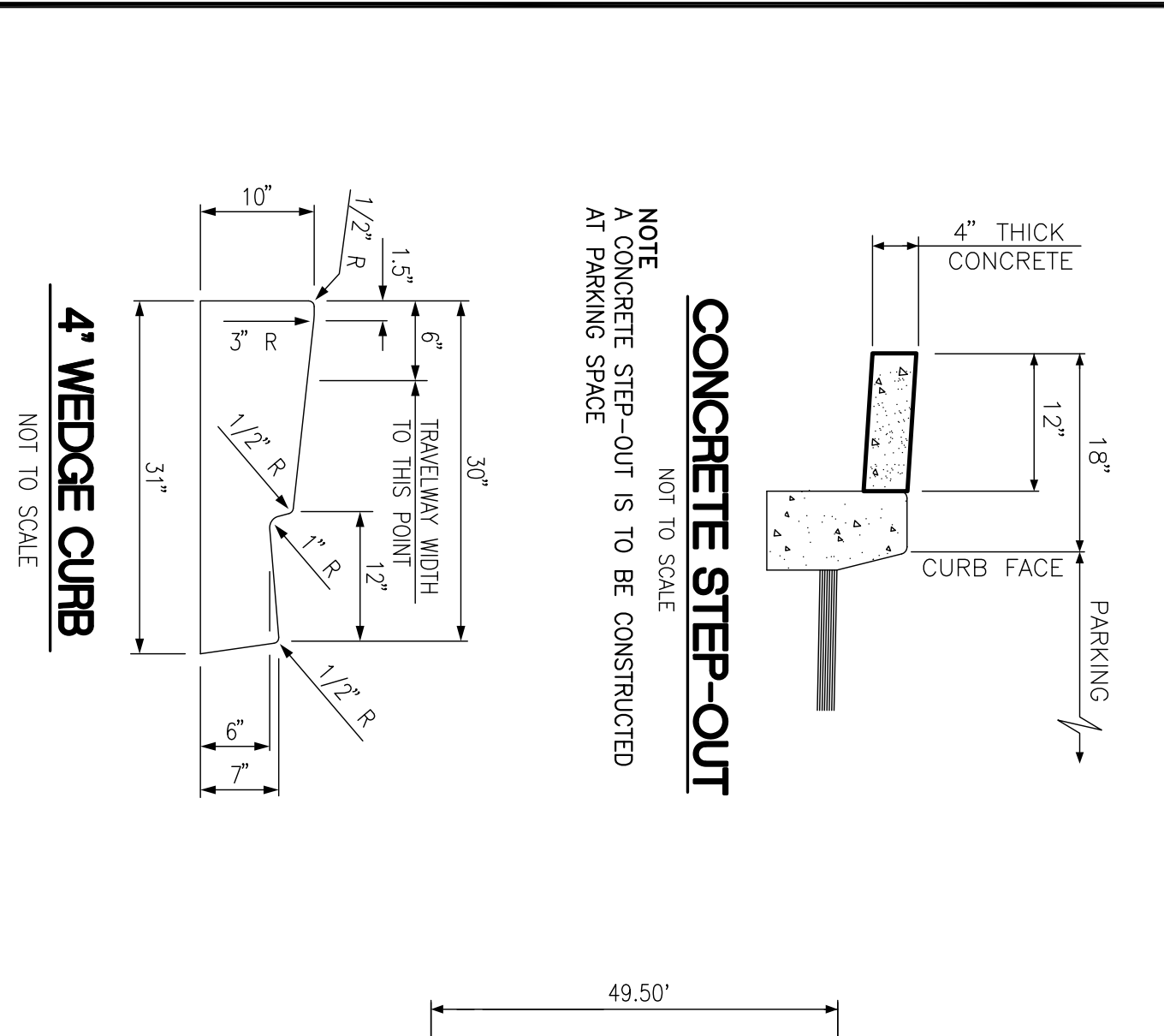
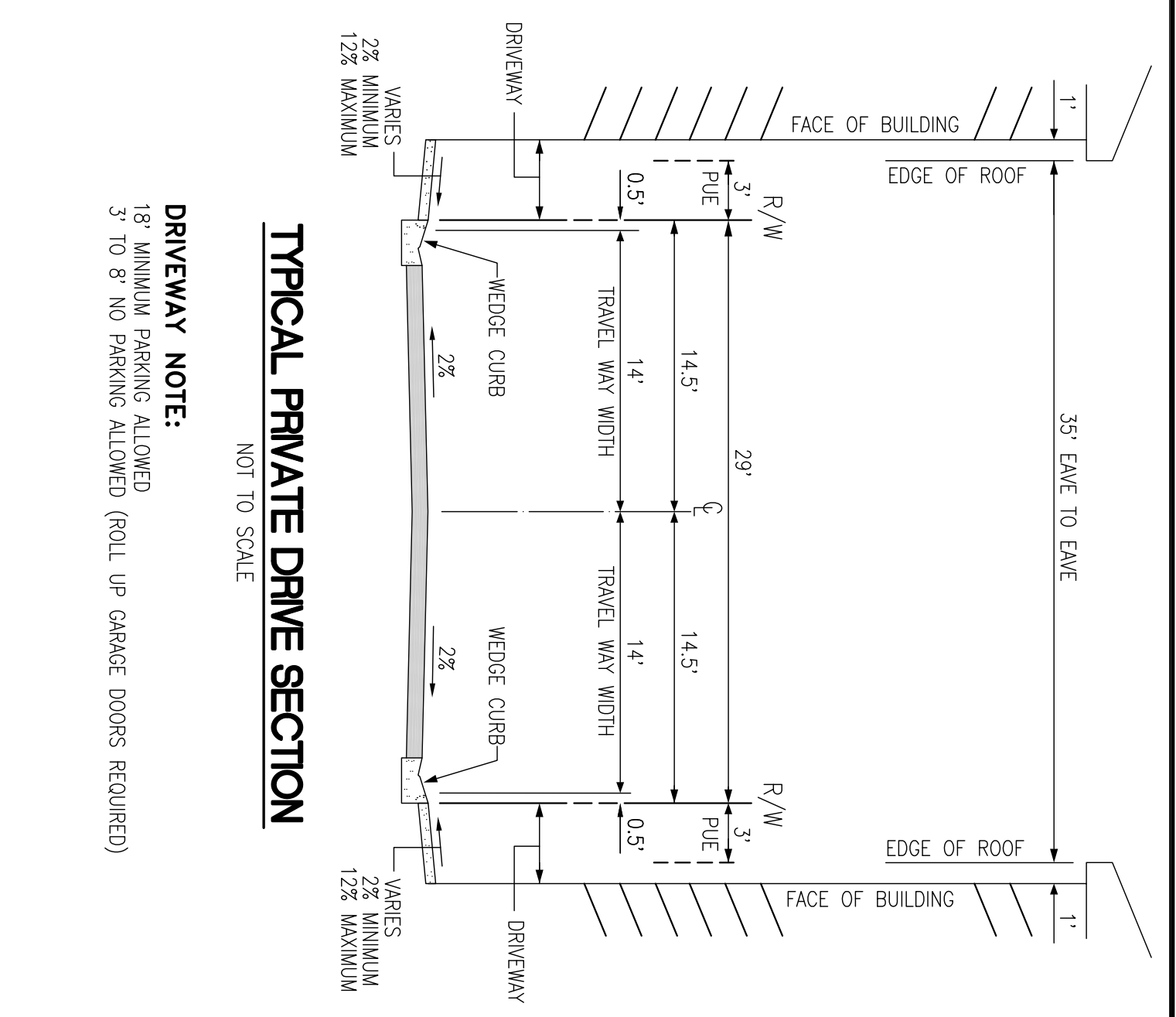
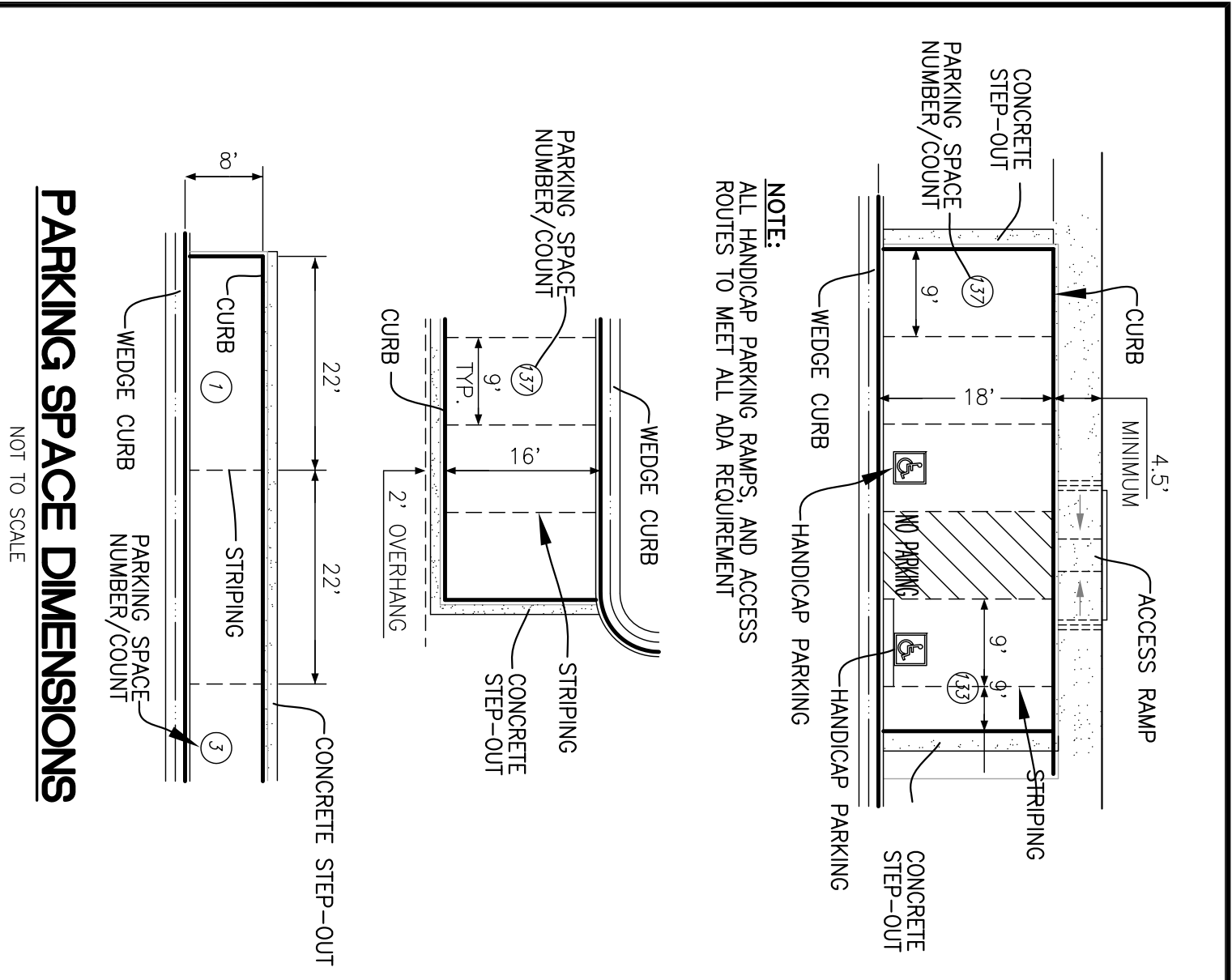


TR 32834 MB 401 / 4-6-61

P.M. 30882 P.M.B. 208/3-8

TENTATIVE TRACT NO. 36933  
 ROCKCLIFFE AT STONERIDGE RANCH  
**PRELIMINARY GRADING PLAN**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA

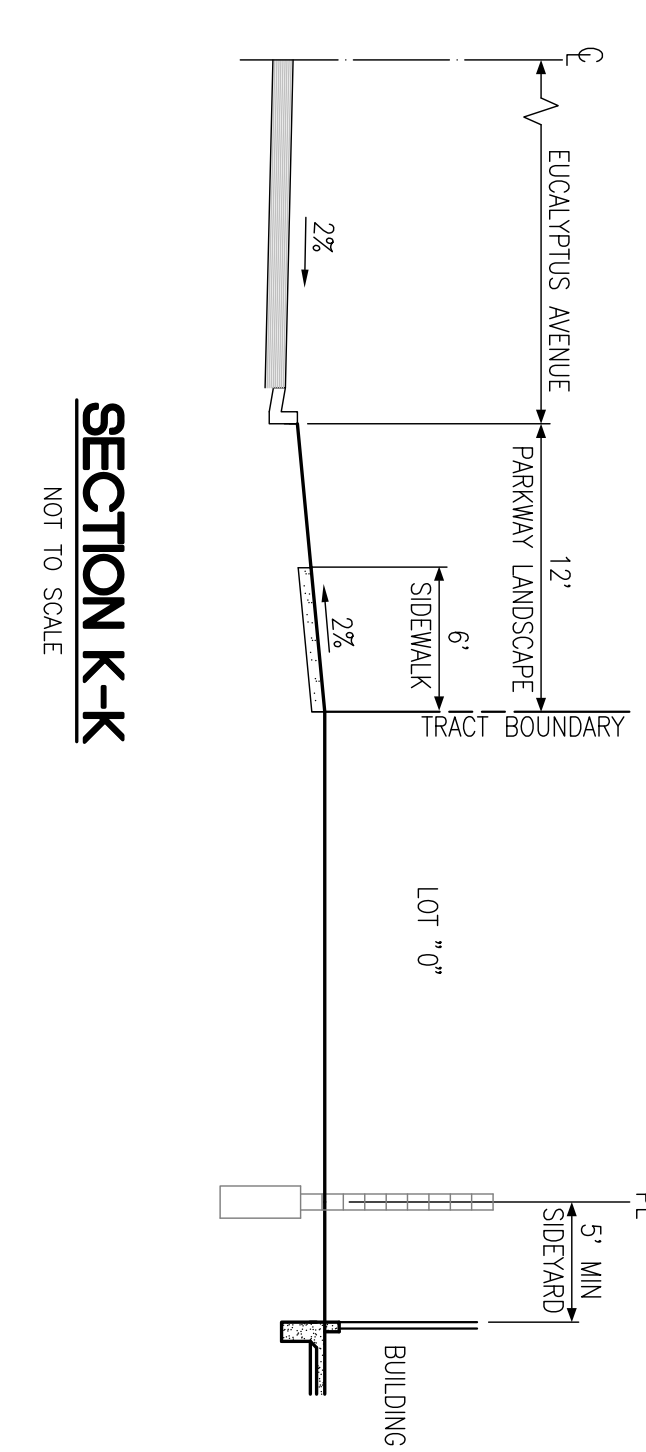
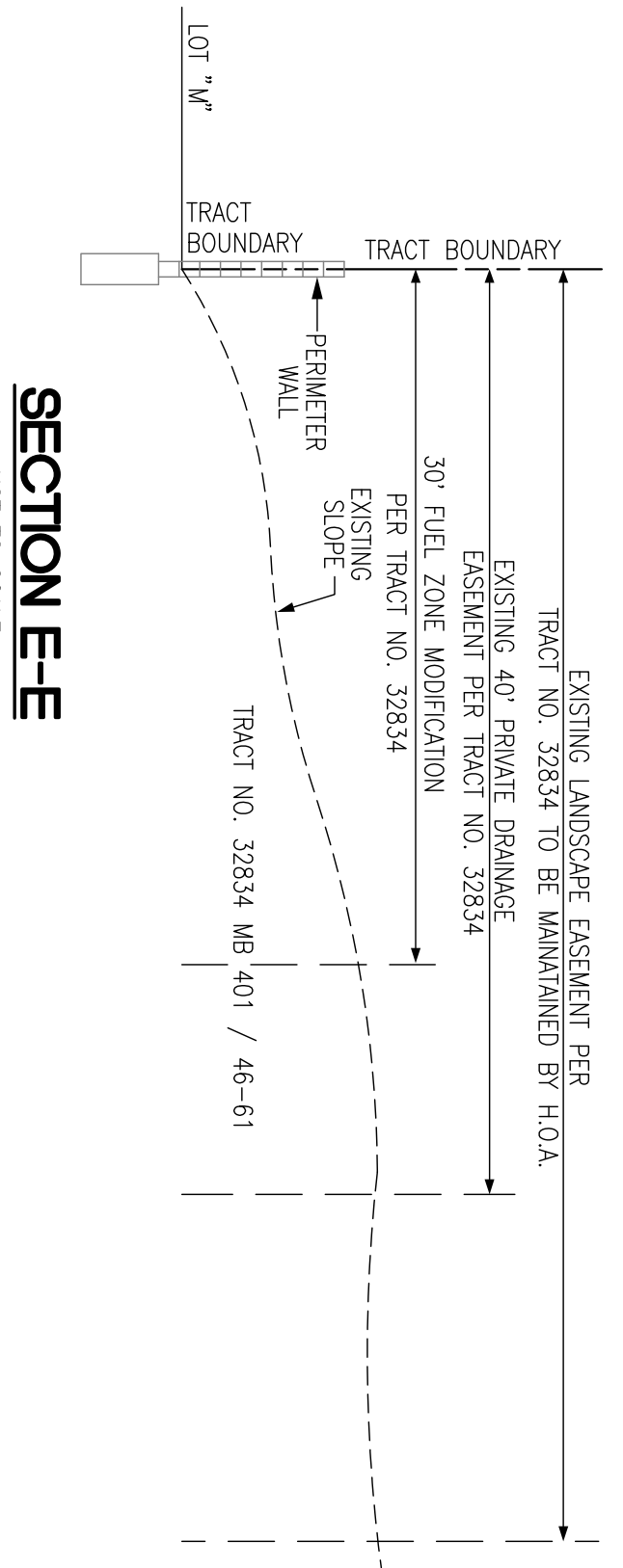
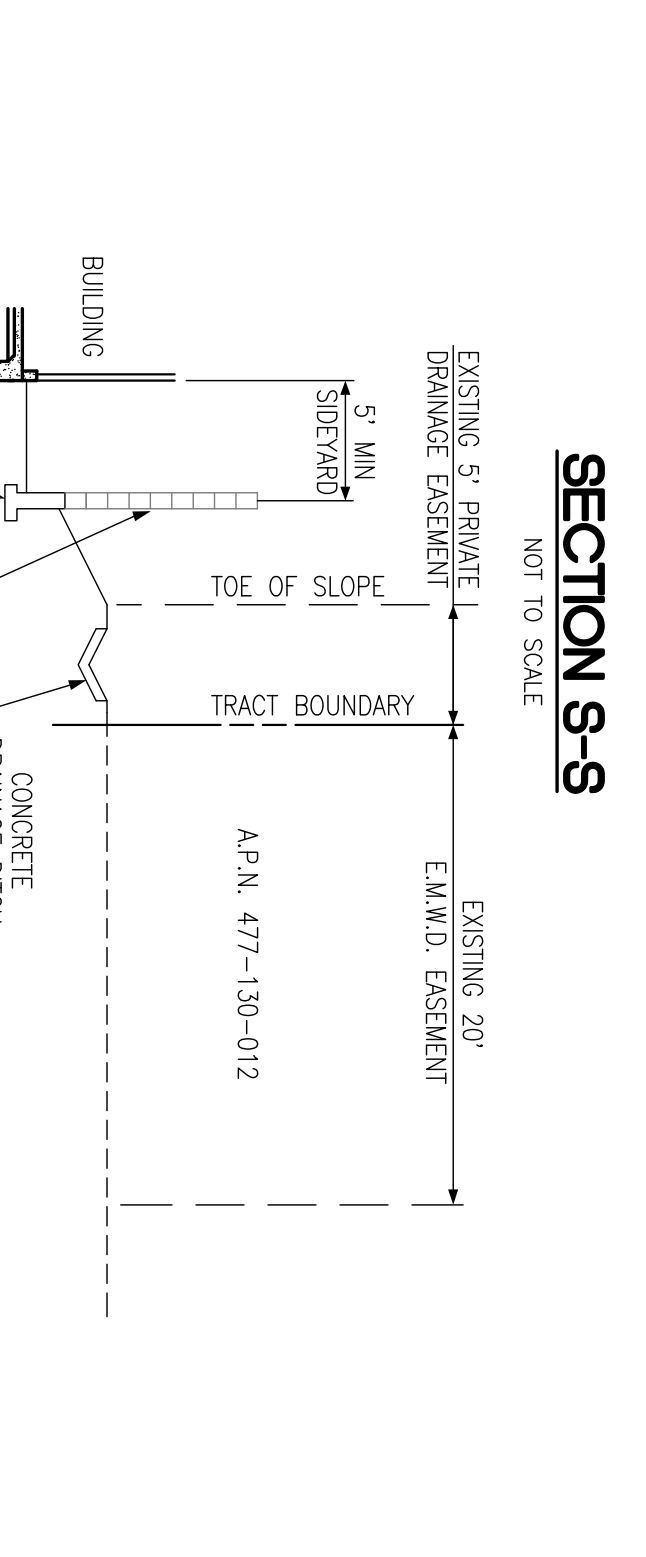
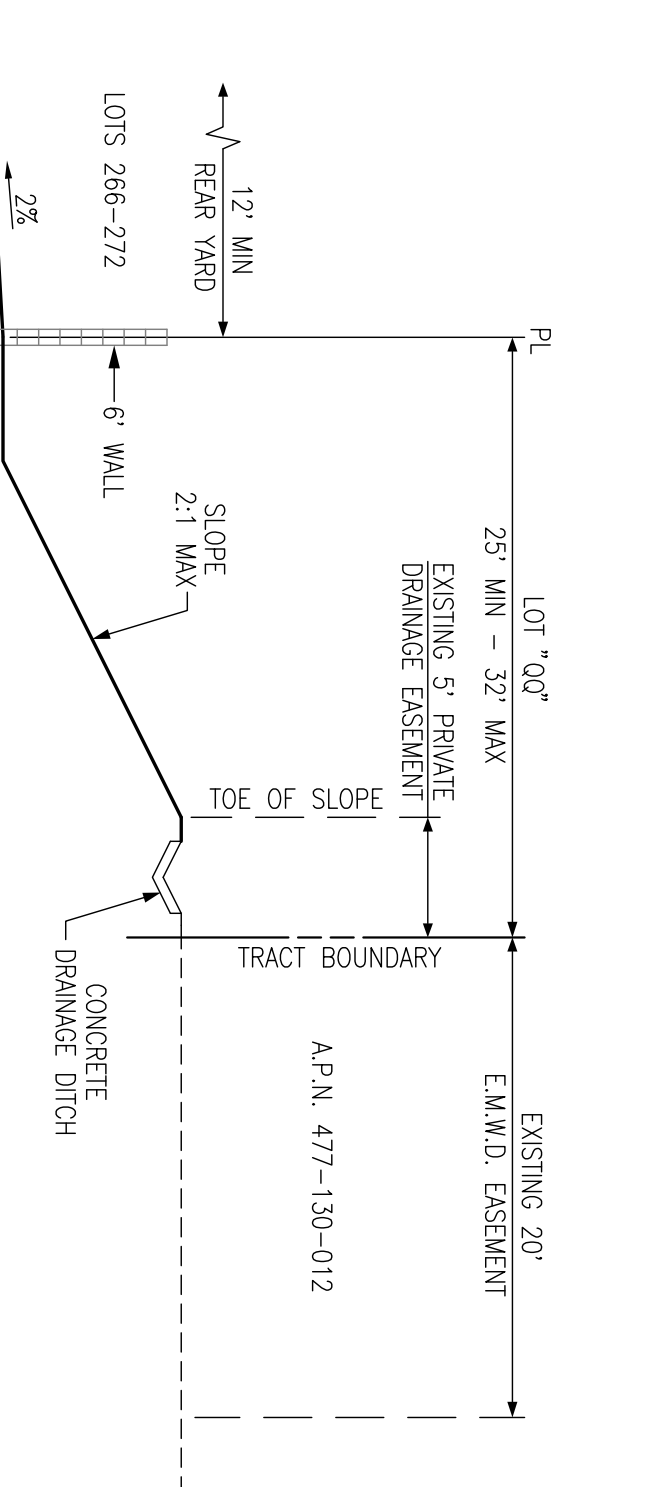
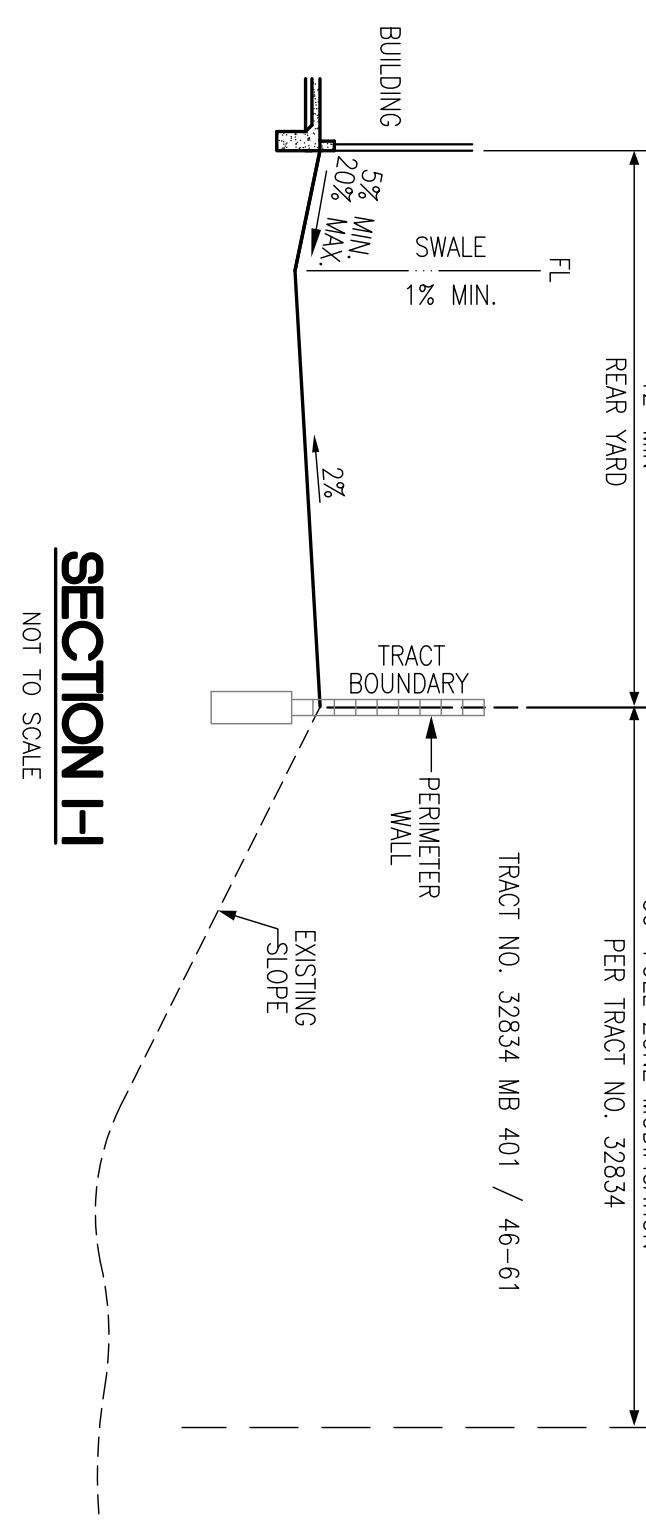
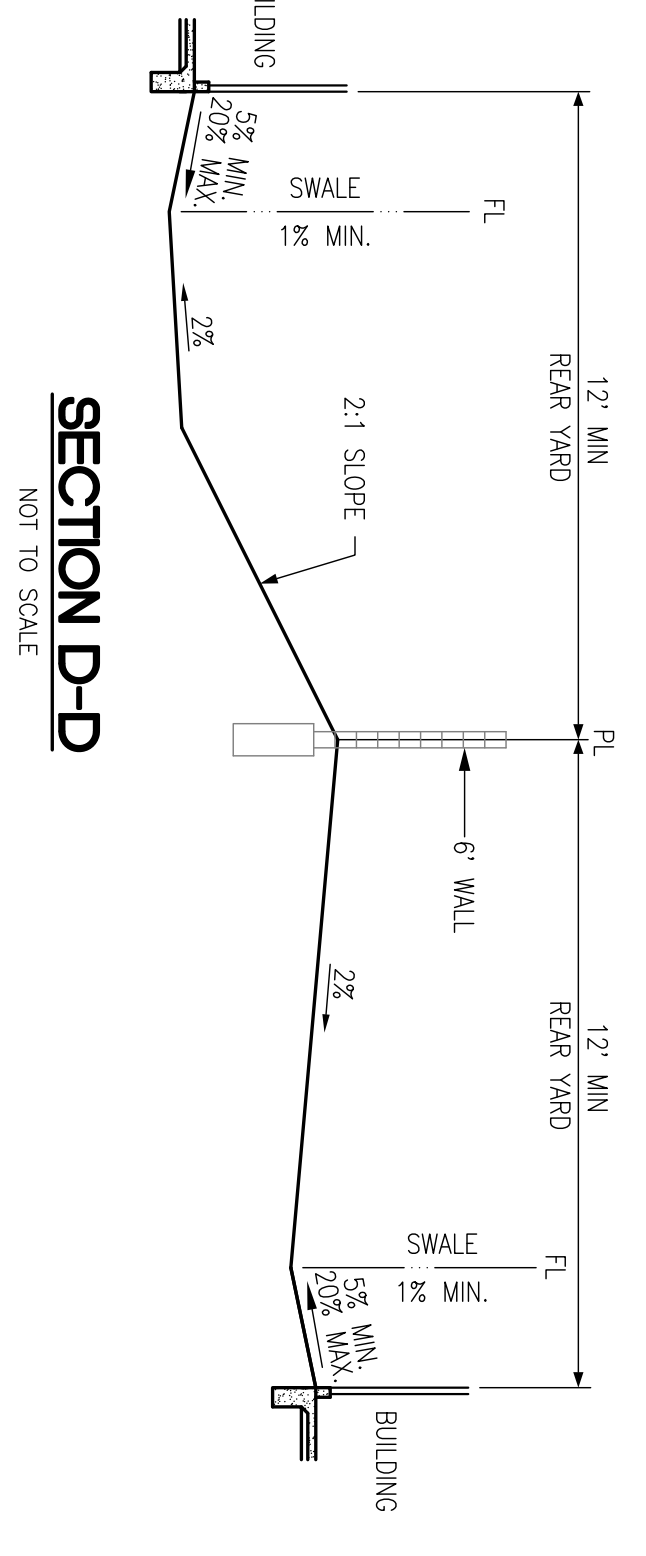
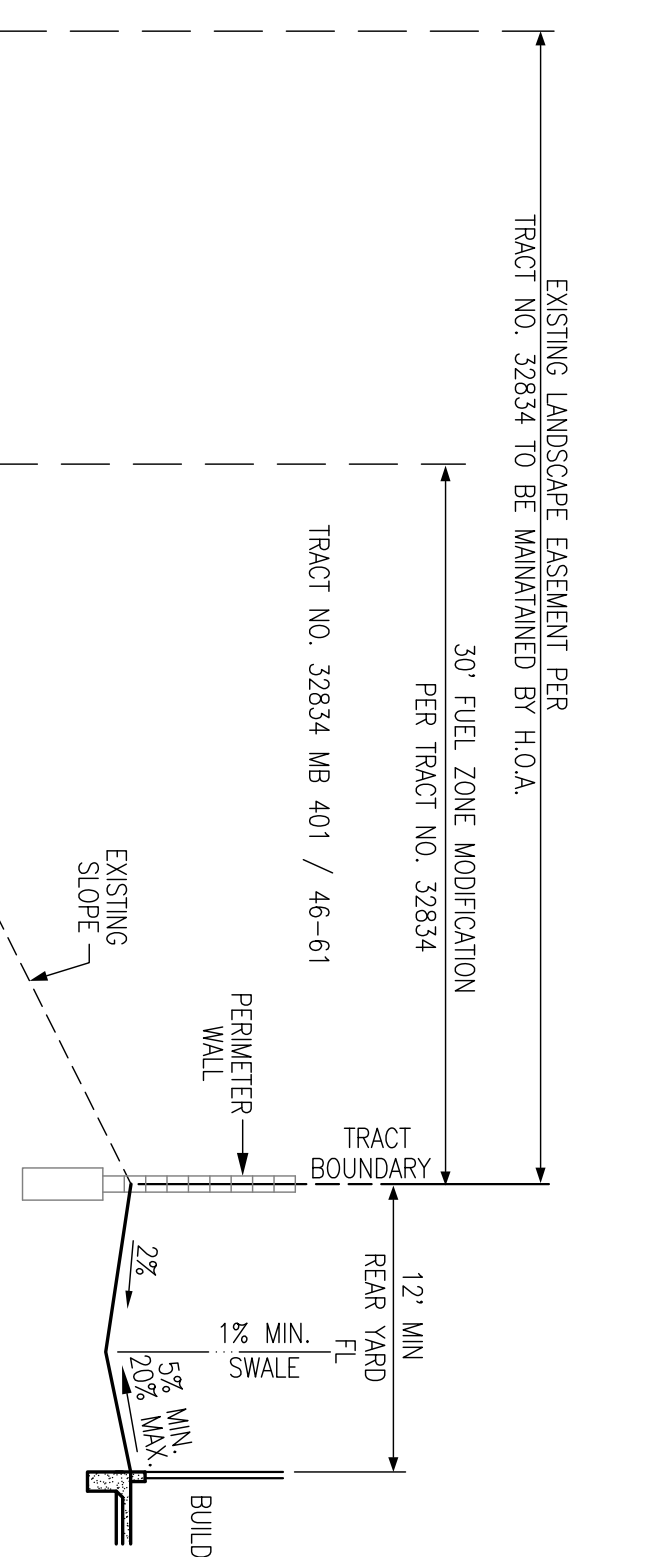
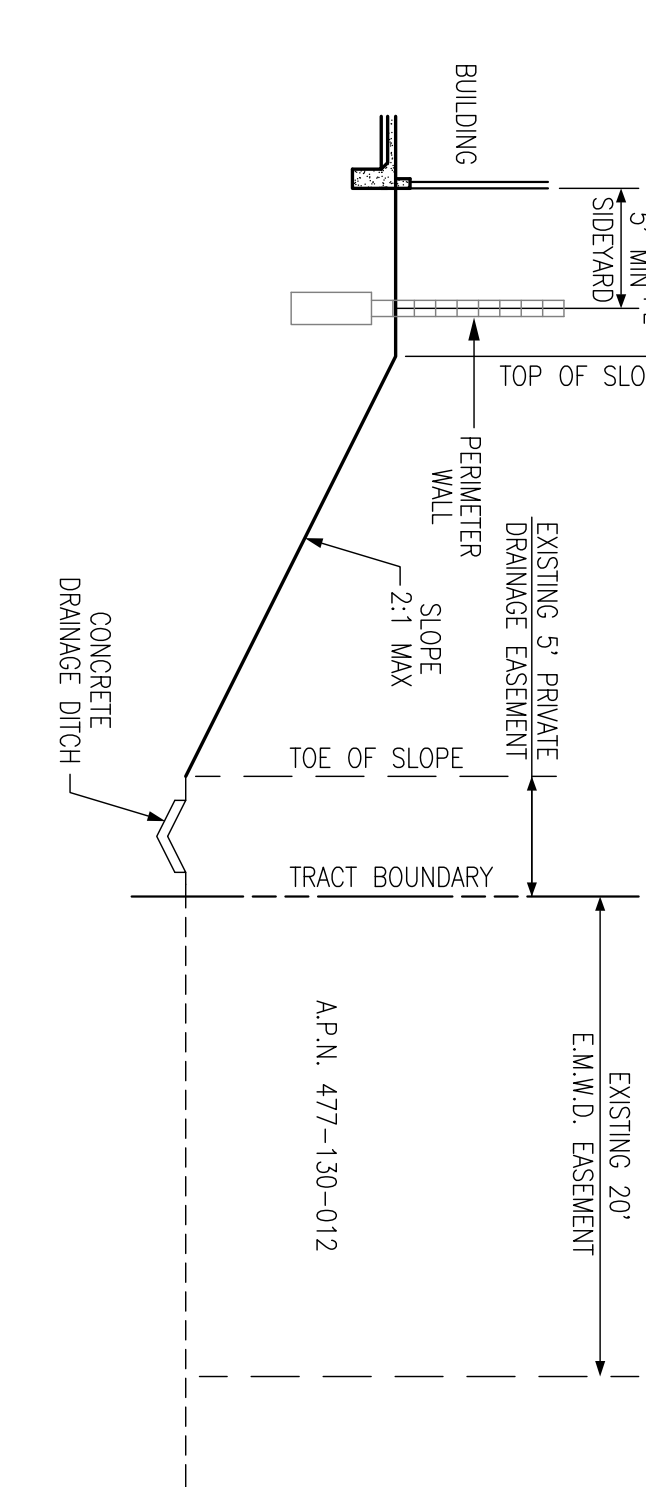
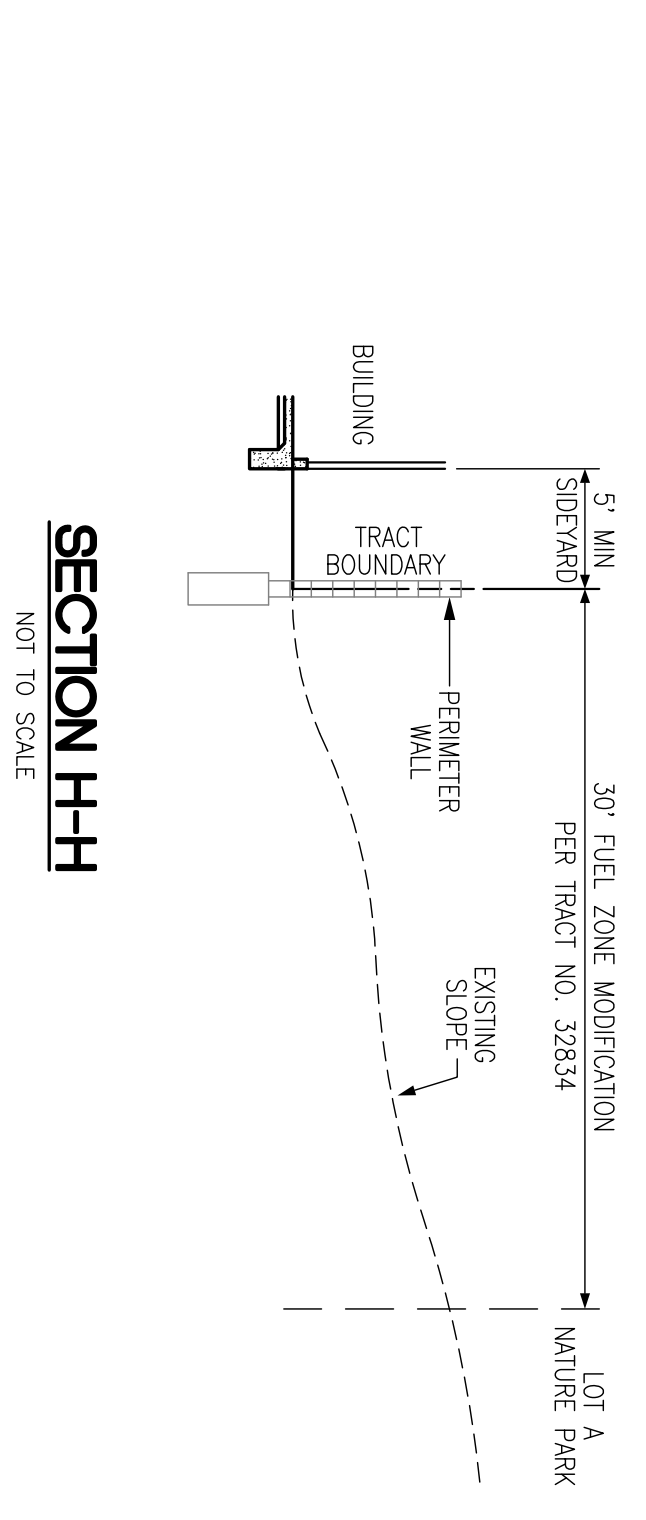
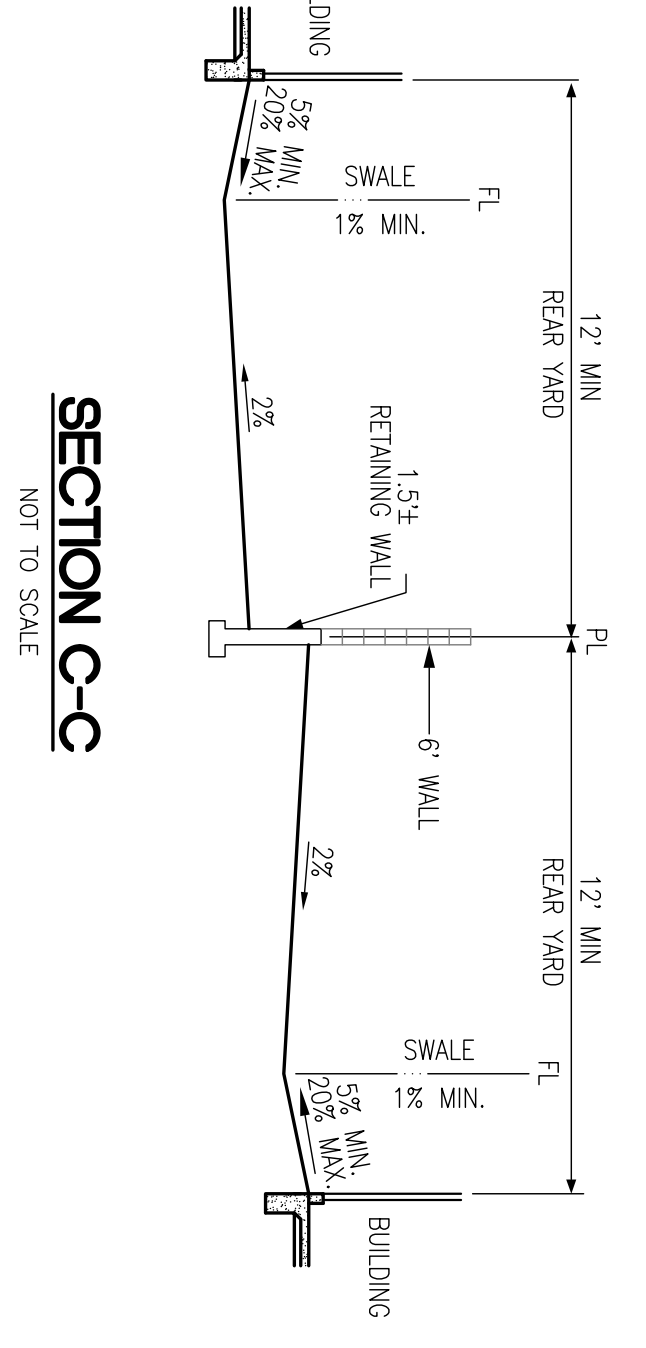
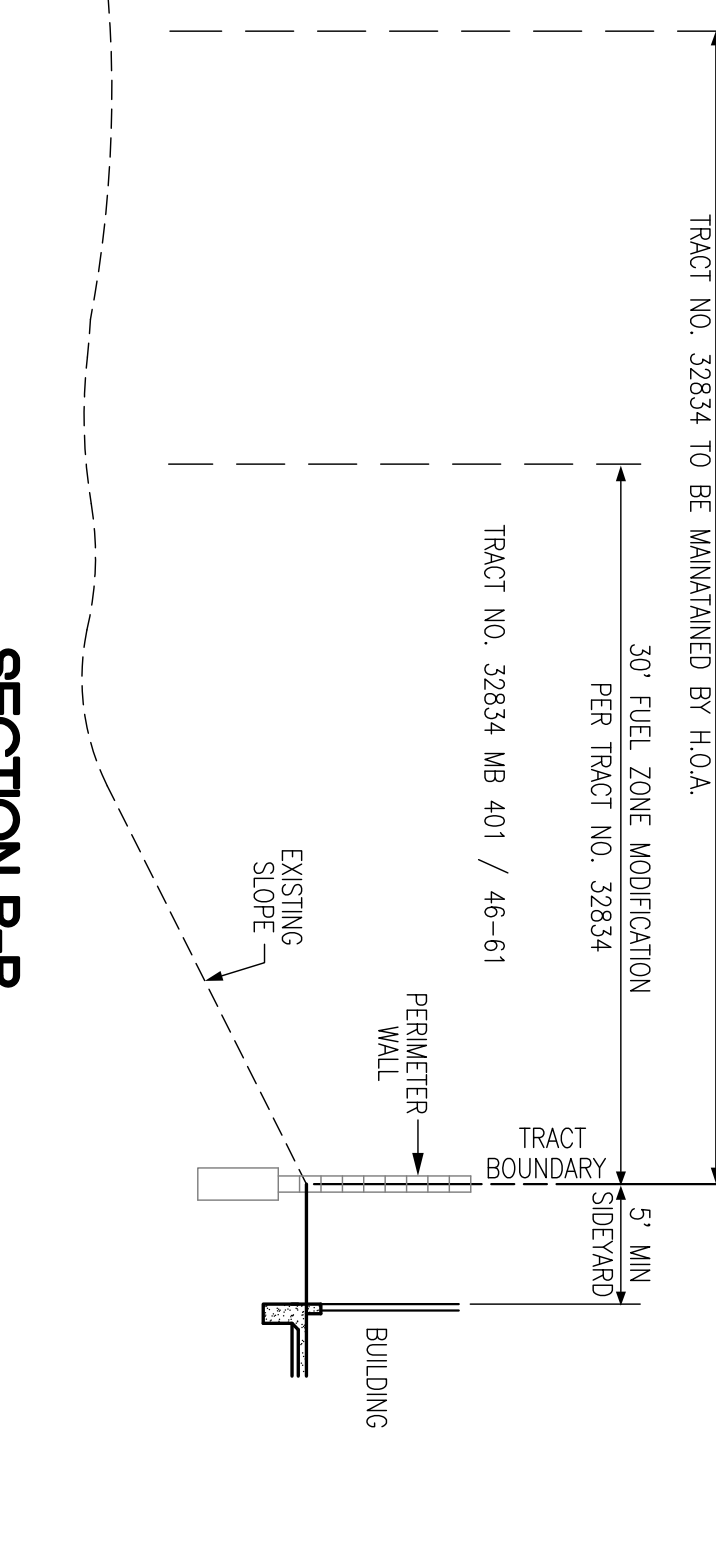
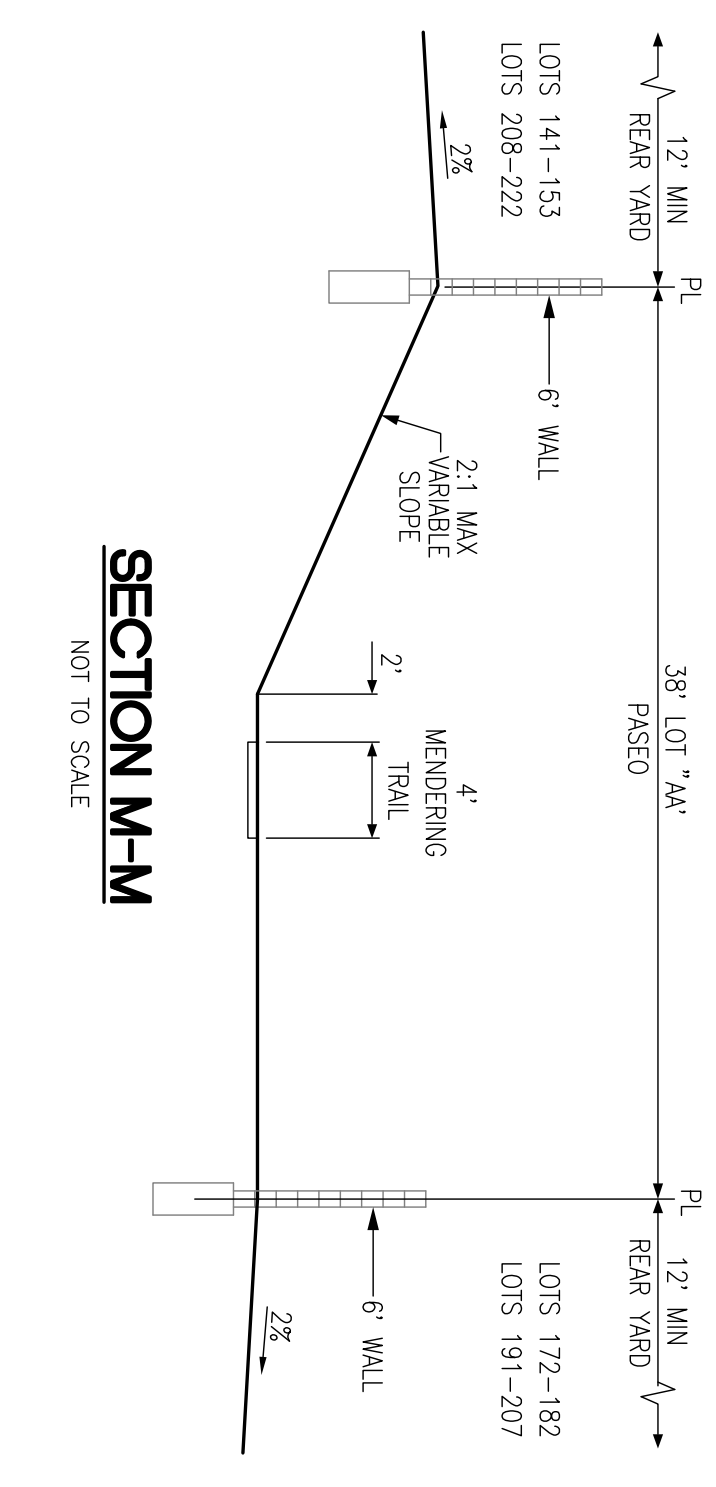
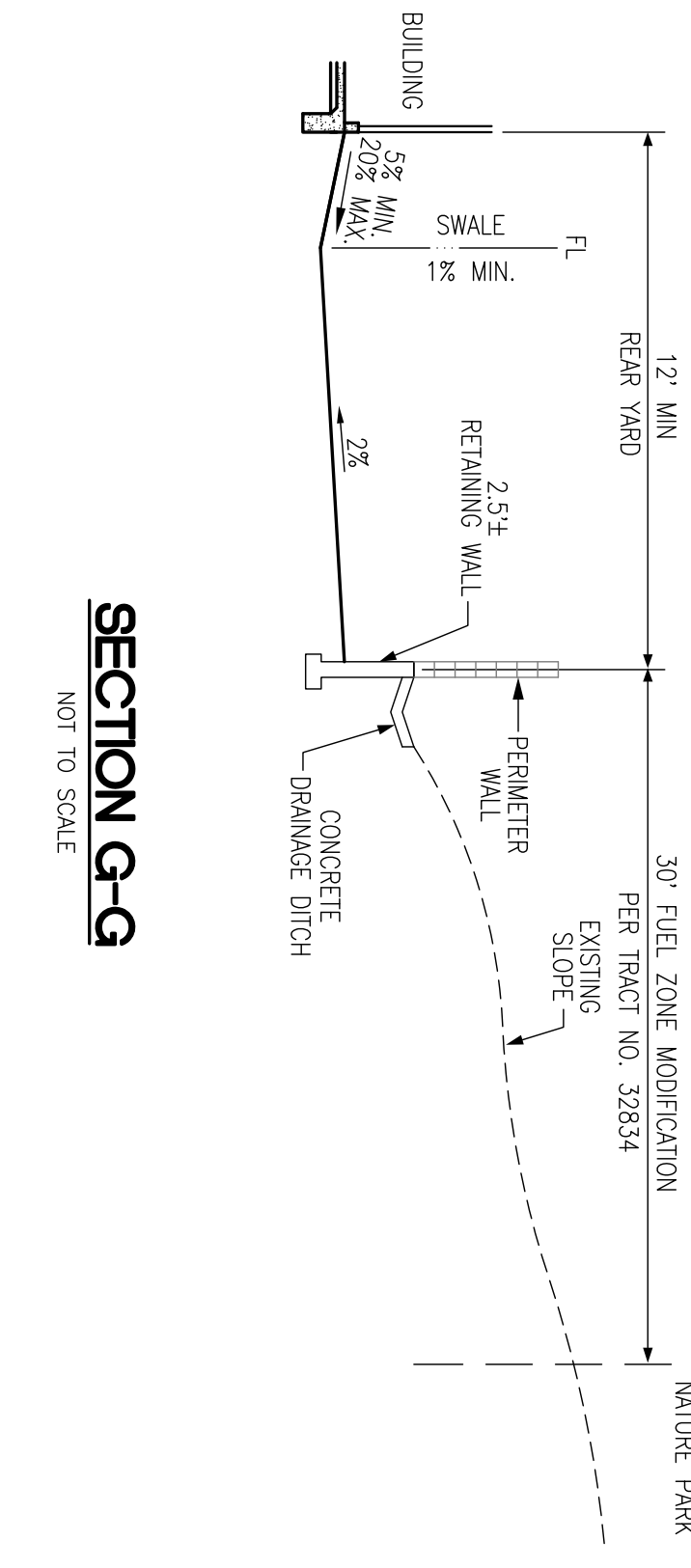
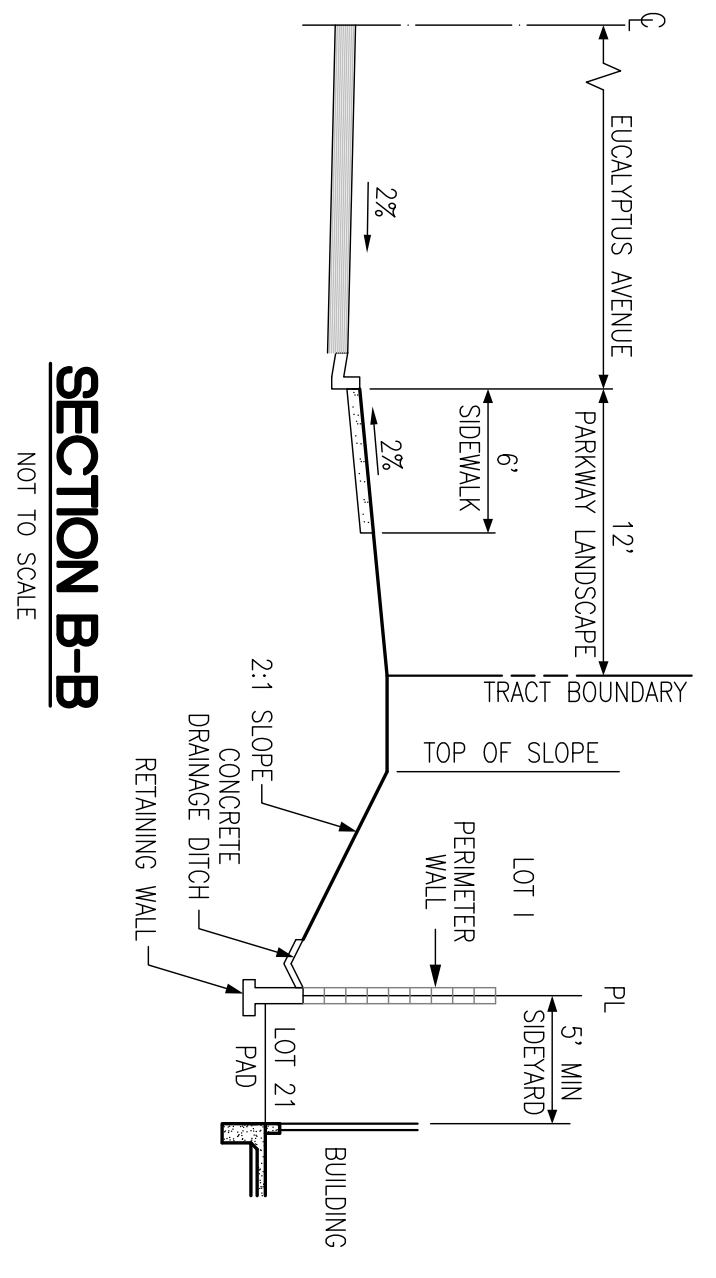
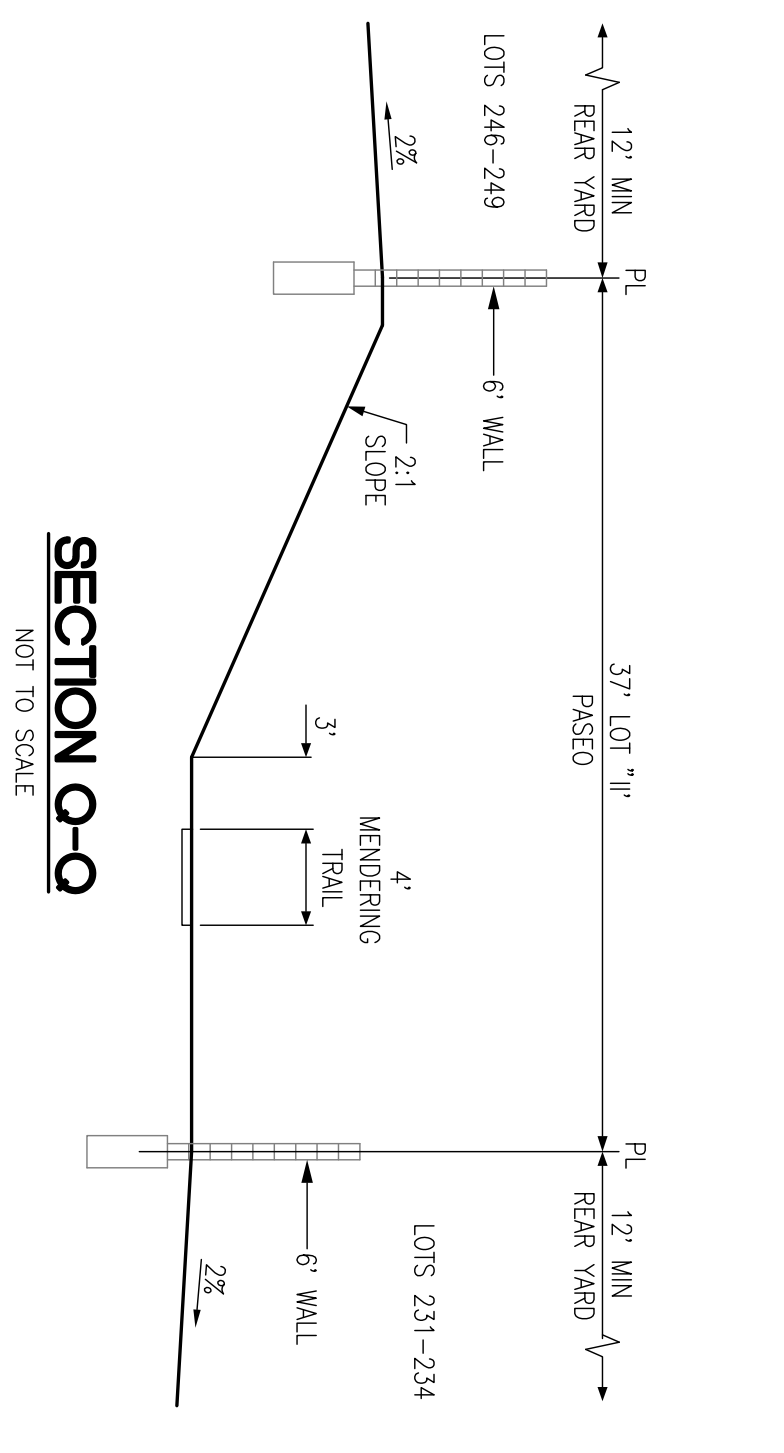
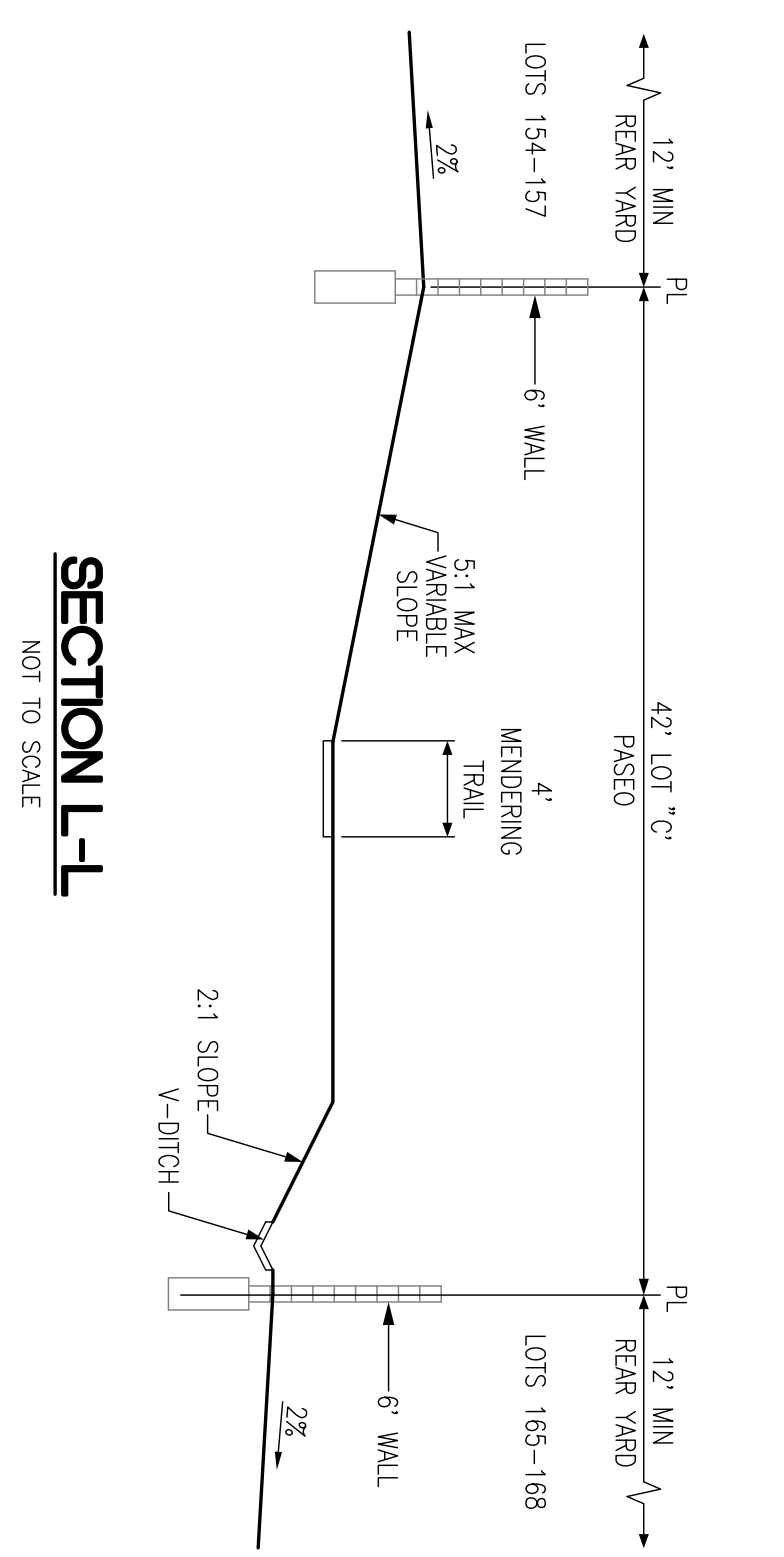
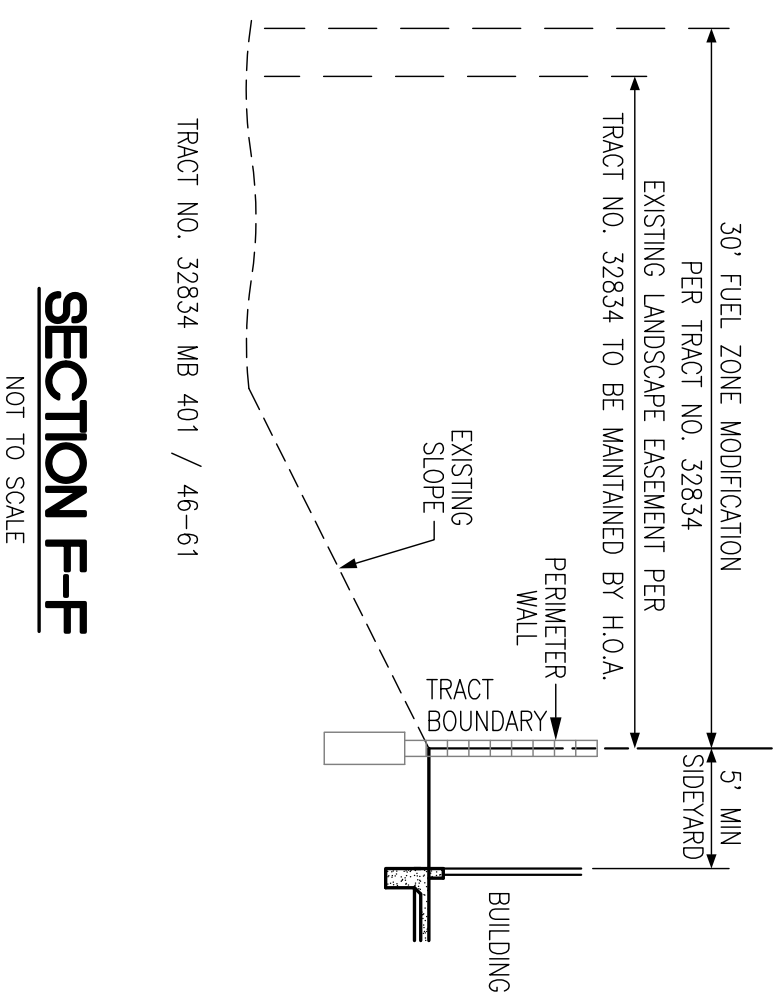
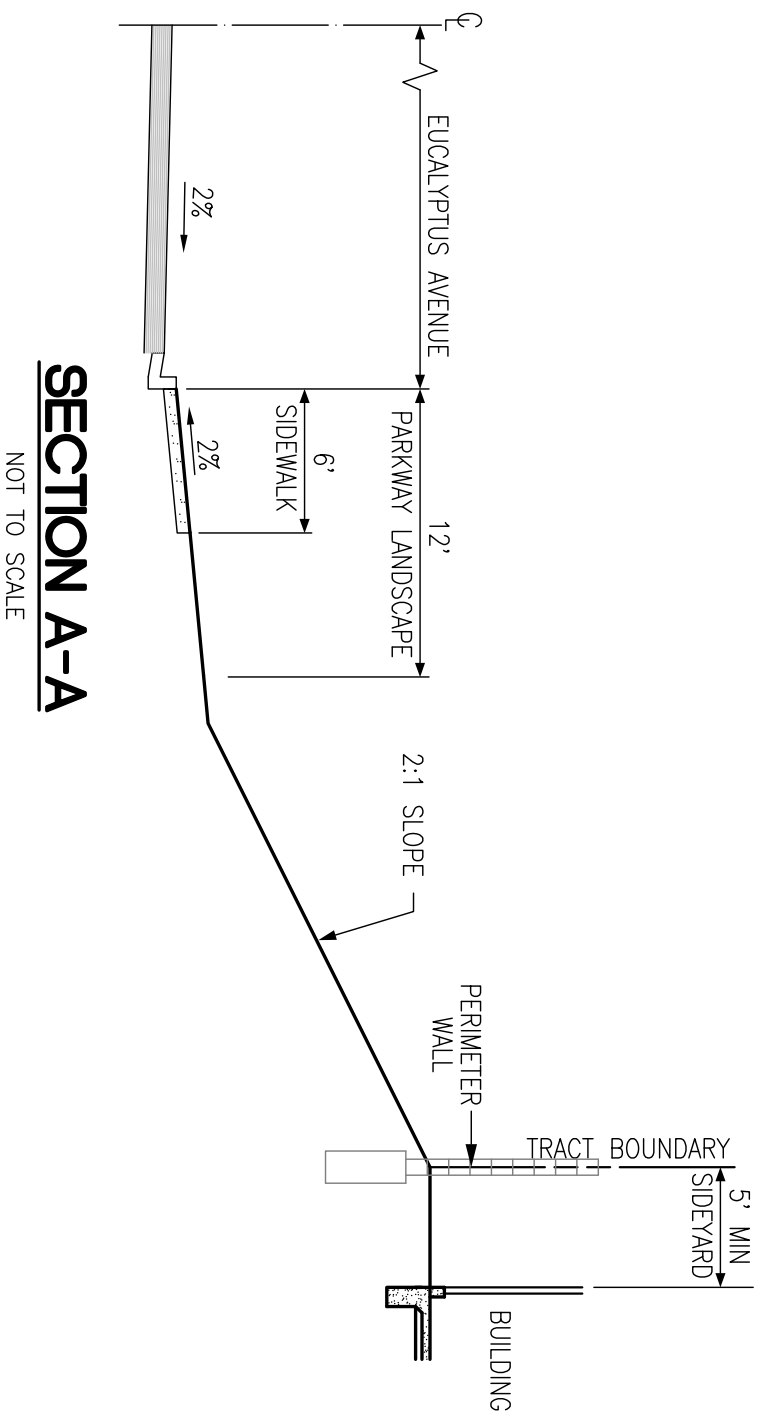
SHEET 4 of 6  
 P15-066 \ P15-067



CHANGE	DATE	REVISION

TENTATIVE TRACT No. 369333  
ROCKCLIFFE AT STONERIDGE RANCH  
**PRELIMINARY GRADING PLAN**  
CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 5 of 6  
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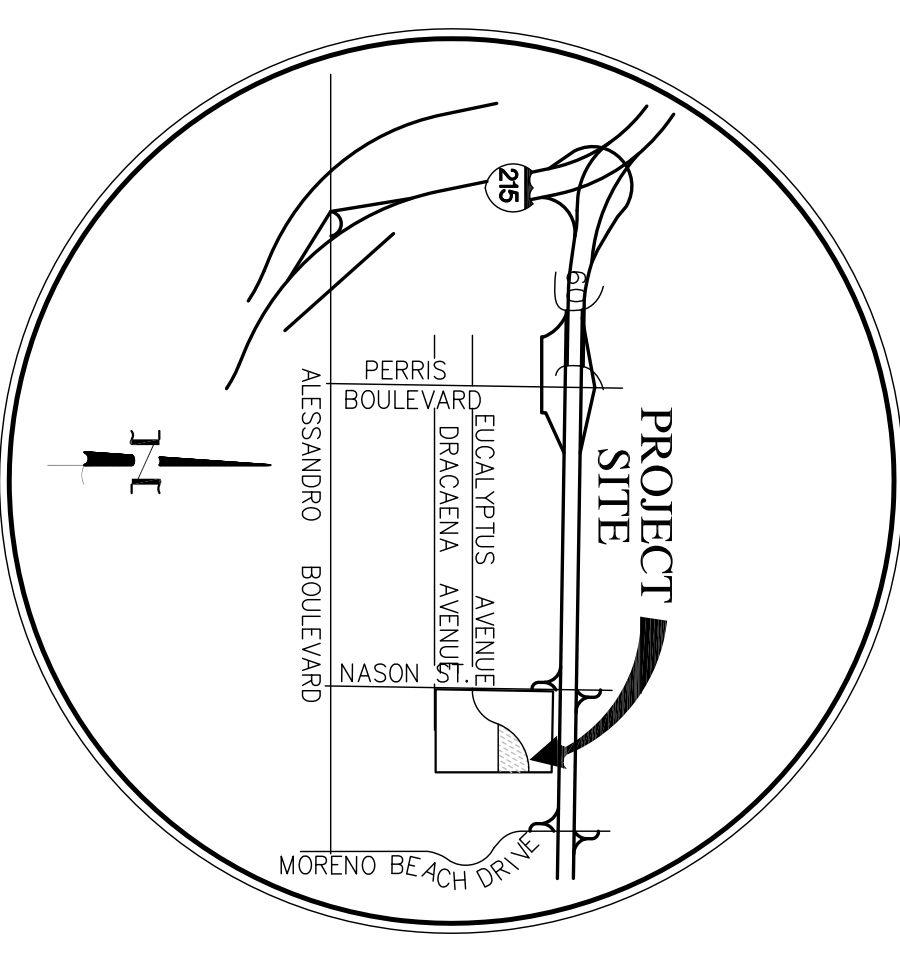
CHANGE	DATE	REVISION

**TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
PRELIMINARY GRADING PLAN**

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 6 of 6  
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# PLOT PLAN TRACT MAP NO. 36933 ROCKCLIFFE AT STONERIDGE RANCH CITY OF MORENO VALLEY, CA



### VICINITY MAP

NOT TO SCALE

### LEGAL DESCRIPTION

BEING A SUBDIVISION OF LOT 1 AND LETTERED LOTS A THROUGH F, INCLUSIVE, AS SHOWN BY TRACT MAP NO. 32853, AS FILED IN BOOK 409, PAGES 24 THROUGH 30, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

### FLOOD NOTE

SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEMA FLOOD MAP 08063070G, EFFECTIVE DATE OF AUGUST 28, 2008.

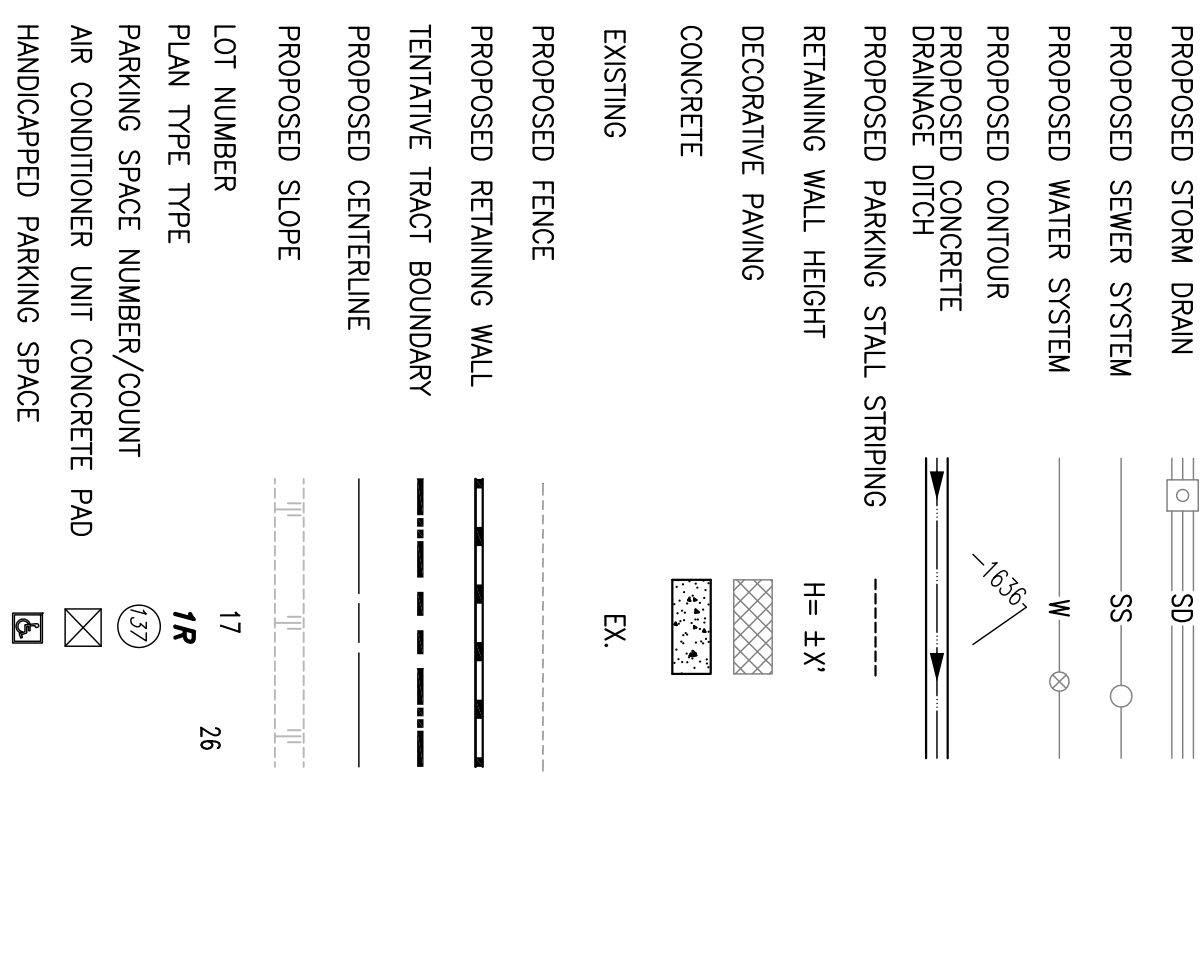
### ASSESSOR'S PARCEL NUMBERS

A.P.N. 488-090-026 A.P.N. 488-091-025  
A.P.N. 488-090-027 A.P.N. 488-091-031  
A.P.N. 488-090-028 A.P.N. 488-091-033  
A.P.N. 488-090-029 A.P.N. 488-091-035  
A.P.N. 488-090-077 A.P.N. 488-090-078

### ZONING

CURRENT: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
PROPOSED: CITY OF MORENO VALLEY ZONING -R15 (RESIDENTIAL) / OS (OPEN SPACE)  
R15 (RESIDENTIAL) ZONE: 23.04 ACRES CURRENT AND PROPOSED  
OS (OPEN SPACE) ZONE: 4.03 ACRES CURRENT AND PROPOSED

### LEGEND/ABBREVIATION

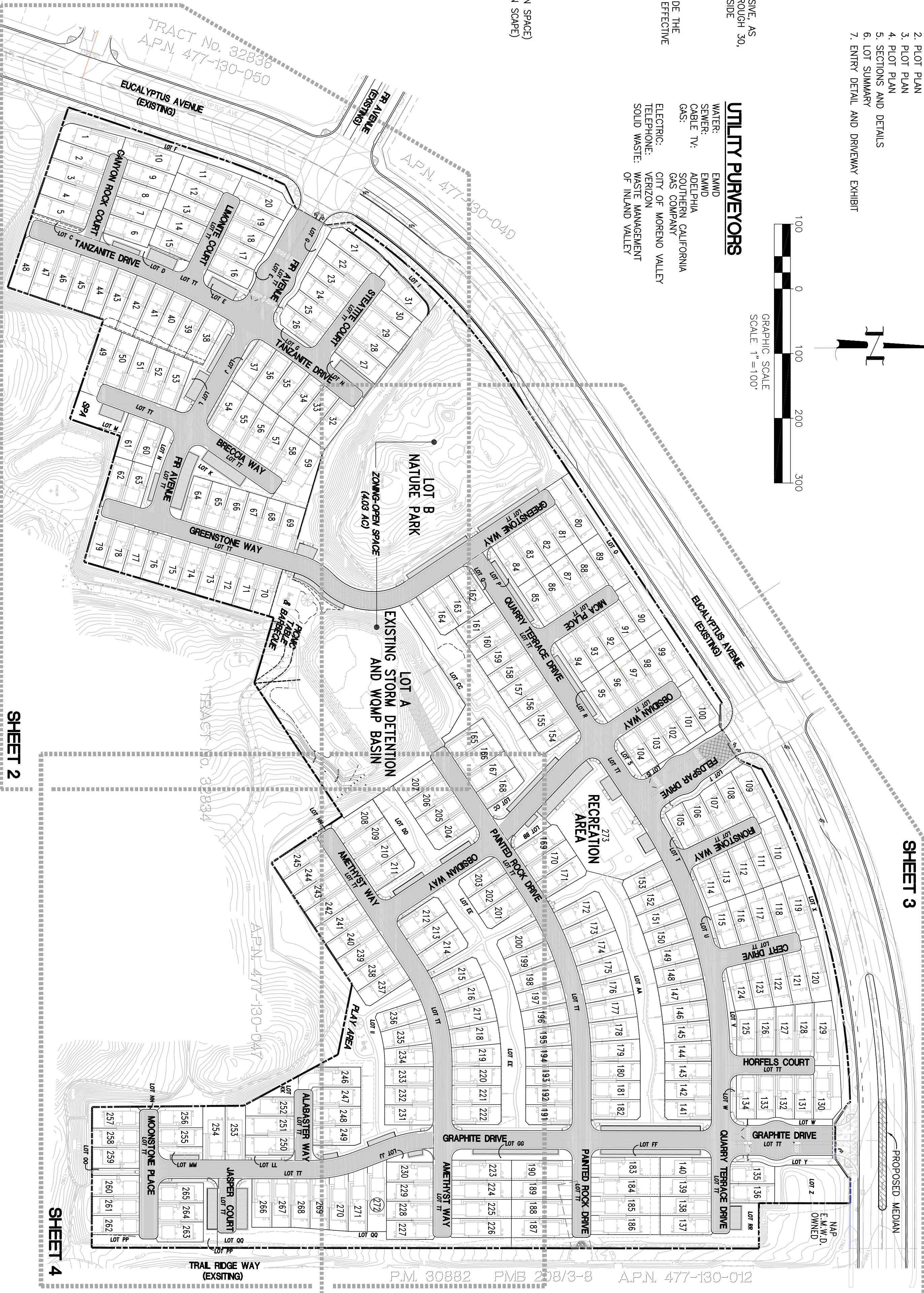
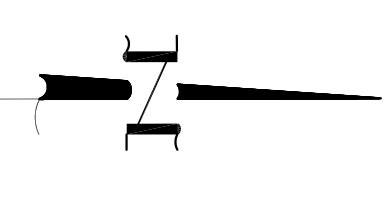
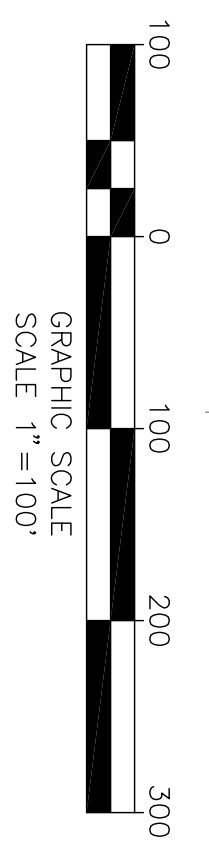


### SHEET INDEX

1. COVER SHEET
2. PLOT PLAN
3. REAR YARD
4. PLOT PLAN
5. SECTIONS AND DETAILS
6. LOT SUMMARY
7. ENTRY DETAIL AND DRIVEWAY EXHIBIT

### UTILITY PURVEYORS

WATER: EAWD  
SEWER: EMWD  
CABLE TV: ADELPHIA  
GAS: SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC: CITY OF MORENO VALLEY  
TELEPHONE: VERIZON  
SOLID WASTE: WASTE MANAGEMENT OF INLAND VALLEY



### PLAN TYPE MIX (272 DWELLINGS)

PLAN TYPE	QUANTITY	PERCENTAGE	FOOTPRINT	BUILDING AREA
1	73	26.8	1,088	1,995
2	79	29.1	1,132	2,176
3	62	22.8	1,248	2,425
4	272	100.0		

### PLAN TYPE MIX (POTENTIAL 274 DWELLINGS)

PLAN TYPE	QUANTITY	PERCENTAGE	FOOTPRINT	BUILDING AREA
1	74	27.0	1,088	1,995
2	71	25.9	1,132	2,176
3	62	22.6	1,248	2,425
4	274	100.0		

### PARKING SUMMARY (272 DWELLINGS)

OPEN PARKING SPACE REQUIRED = 136 SPACES  
REQUIRED = 0.5 SPACE/UNIT X (272 UNITS) = 136 SPACES  
TOTAL REQUIRED = 136 SPACES  
(INCLUDES 6 HANDICAPPED ACCESS PARKING)

OPEN PARKING SPACE PROVIDED = 148 SPACES

### PARKING SUMMARY (POTENTIAL 274 DWELLINGS)

OPEN PARKING SPACE REQUIRED = 137 SPACES  
REQUIRED = 0.5 SPACE/UNIT X (274 UNITS) = 137 SPACES  
TOTAL REQUIRED = 137 SPACES  
(INCLUDES 6 HANDICAPPED ACCESS PARKING)

OPEN PARKING SPACE PROVIDED = 144 SPACES

ADDITIONAL PARKING AT LOTS WITH DRIVEWAY = 36 SPACES  
GREATER THAN OR EQUAL TO 18' (18 LOTS)

TOTAL PARKING SPACE PROVIDED = 184 SPACES

ADDITIONAL PARKING AT LOTS WITH DRIVEWAY = 36 SPACES  
GREATER THAN OR EQUAL TO 18' (18 LOTS)

TOTAL PARKING SPACE PROVIDED = 180 SPACES

### GENERAL NOTES

1. NUMBER OF UNITS: 272 RESIDENTIAL DWELLING UNITS (POTENTIAL RESIDENTIAL 274 DWELLING UNITS) (2 STORES) AND 2 RECREATION BUILDINGS
2. THERE ARE NO KNOWN EXISTING WELLS, IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS AND SEWAGE LEACH FIELDS.
3. ALL INTERIOR STREET RIGHTS OF WAY TO BE PRIVATELY OWNED AND MAINTAINED.
4. THE SITE HAS BEEN PREVIOUSLY GRADED WITH TRACT 32853. THERE ARE NO LIQUID OR SOLID WASTES SITES WITHIN THE PROJECT.
5. A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN ALL COMMON FACILITIES, VISIBLE FRONT YARDS AND REVERSE FRONTAGE AREAS NOT ACCEPTED BY THE CITY'S SPECIAL DISTRICTS.
6. A HOMEOWNER ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE DETENTION BASIN.
7. A HOMEOWNER ASSOCIATION WILL BE REQUIRED TO MAINTAIN THE PRIVATE STREETS, COMMON AREA AMENITIES AND COMMON LANDSCAPING AREAS.
8. ALL HOMES SHALL BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE.
9. MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE.

### DEVIATIONS FROM R15 ZONING

CITY REQUIREMENT	PROPOSED
MINIMUM FRONT SETBACK	25'
MINIMUM REAR YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	12' (TYPICAL 12'-29')
INTERIOR SIDE YARD	3'
STREET SIDE YARD	4.5'
MINIMUM DISTANCE BETWEEN BUILDINGS	20'
MAXIMUM LOT COVERAGE	62%

### SETBACKS

FRONT: 3' MINIMUM (TYPICAL 3'-23')  
REAR: 10' MINIMUM (TYPICAL 12'-29')  
SIDE: 3' MINIMUM (TYPICAL 3'-6')  
MINIMUM SIDE YARD BUILDING SEPARATION: 6.00'

### LOT SUMMARY (272 DWELLINGS)

MINIMUM LOT SIZE	MAXIMUM LOT SIZE	AVERAGE LOT SIZE	ADJUSTED NET ACREAGE	NUMBER OF DWELLING UNITS	ADJUSTED NET DENSITY (272/29.07) = 9.36 DU/AC	NET DENSITY (272/24.57) = 11.07 DU/AC
1,960 SF	3,989 SF	2,361 SF	2,907 AC	272 DU		

### LAND USE SUMMARY (272 DWELLINGS)

LAND USE	ACREAGE	PERCENT(%)
RESIDENTIAL DWELLING UNITS	14.74	50.7%
RECREATION	0.44	1.5%
NATURE PARK	2.38	8.2%
DETENTION BASIN (EXISTING)	1.68	5.8%
OPEN COMMON AREA	4.38	15.1%
PRIVATE STREETS	5.45	18.7%
GROSS ACREAGE	29.07 AC	100.0%

### LAND USE SUMMARY (POTENTIAL 274 DWELLINGS)

LAND USE	ACREAGE	PERCENT(%)
RESIDENTIAL DWELLING UNITS	14.83	51.1%
RECREATION	0.44	1.5%
NATURE PARK	2.38	8.2%
DETENTION BASIN (EXISTING)	1.68	5.8%
OPEN COMMON AREA	4.22	14.2%
PRIVATE STREETS	5.45	18.7%
GROSS ACREAGE	29.00 AC	100.0%

### TENTATIVE TRACT No. 36933

NUMBER OF NUMBERED LOTS (272 DWELLINGS)	RESIDENTIAL DWELLING UNITS	RECREATION AREA	TOTAL
272	272	1	273

### TENTATIVE TRACT No. 36933

NUMBER OF NUMBERED LOTS (POTENTIAL 274 DWELLINGS)	RESIDENTIAL DWELLING UNITS	RECREATION AREA	TOTAL
274	274	1	275

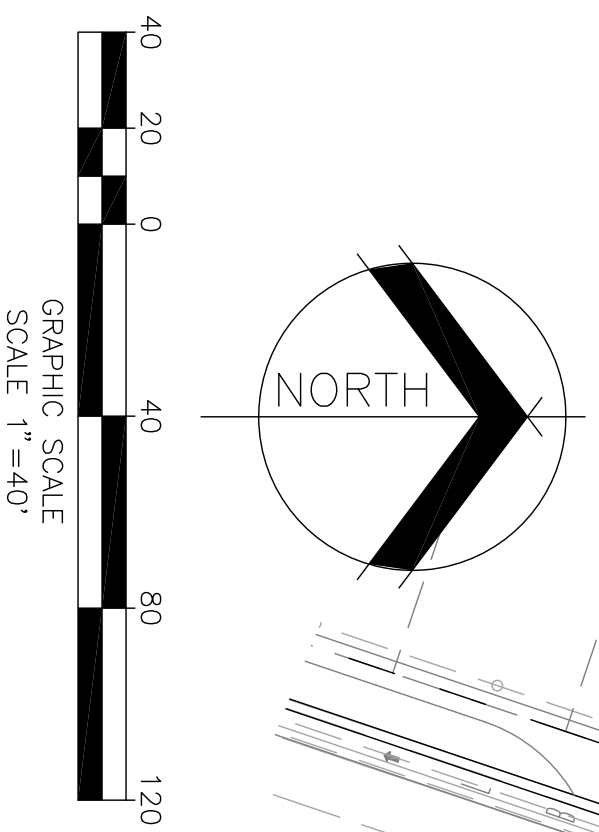
### TOPOGRAPHIC MAPPING

GROSS ACREAGE:	29.07 AC	CONTOUR INTERVAL:	1 FOOT
DATE:	AUG. 2010	SCALE:	1"=40'

**OWNER**  
BEAZER HOMES  
1800 C. M. WHEELER HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

**APPLICANT / DEVELOPER**  
BEAZER HOMES  
1800 C. M. WHEELER HIGHWAY, SUITE 200  
BREA, CA 92621  
PH: (714) 285-2900  
FAX: (866) 823-7480  
CONTACT: LENNY DUNN

TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
PLOT PLAN  
CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA  
SHEET 1 of 7  
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CHANGE	DATE	REVISION



SEE SHEET 7 FOR STREET AND DRIVE SECTIONS.

**TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
PLOT PLAN**

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 2 of 7  
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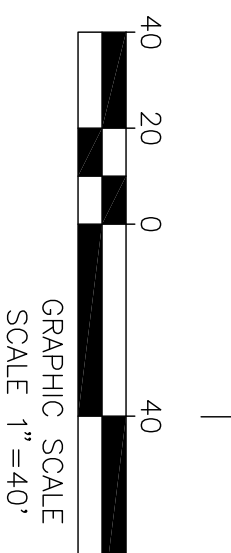
LOT B  
NATURE PARK  
2.38 AC

SEE SHEET NO 3

SEE SHEET NO 4



SEE SHEET NO 2



LOT B  
NATURE PARK  
2.38 AC

SEE ENTRY DETAIL  
ON SHEET 7

EXISTING TRAFFIC SIGNAL  
AND SIGNING & STRIPING  
TO MODIFIED

CHANGE	DATE	REVISION

EXISTING STORM DETENTION  
AND WOMP BASIN  
1.68 AC

SEE SHEET NO 4

SEE SHEET 7 FOR STREET  
AND DRIVE SECTIONS.

TENTATIVE TRACT NO. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
**PLOT PLAN**

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 3 of 7  
P15-066 | P15-067

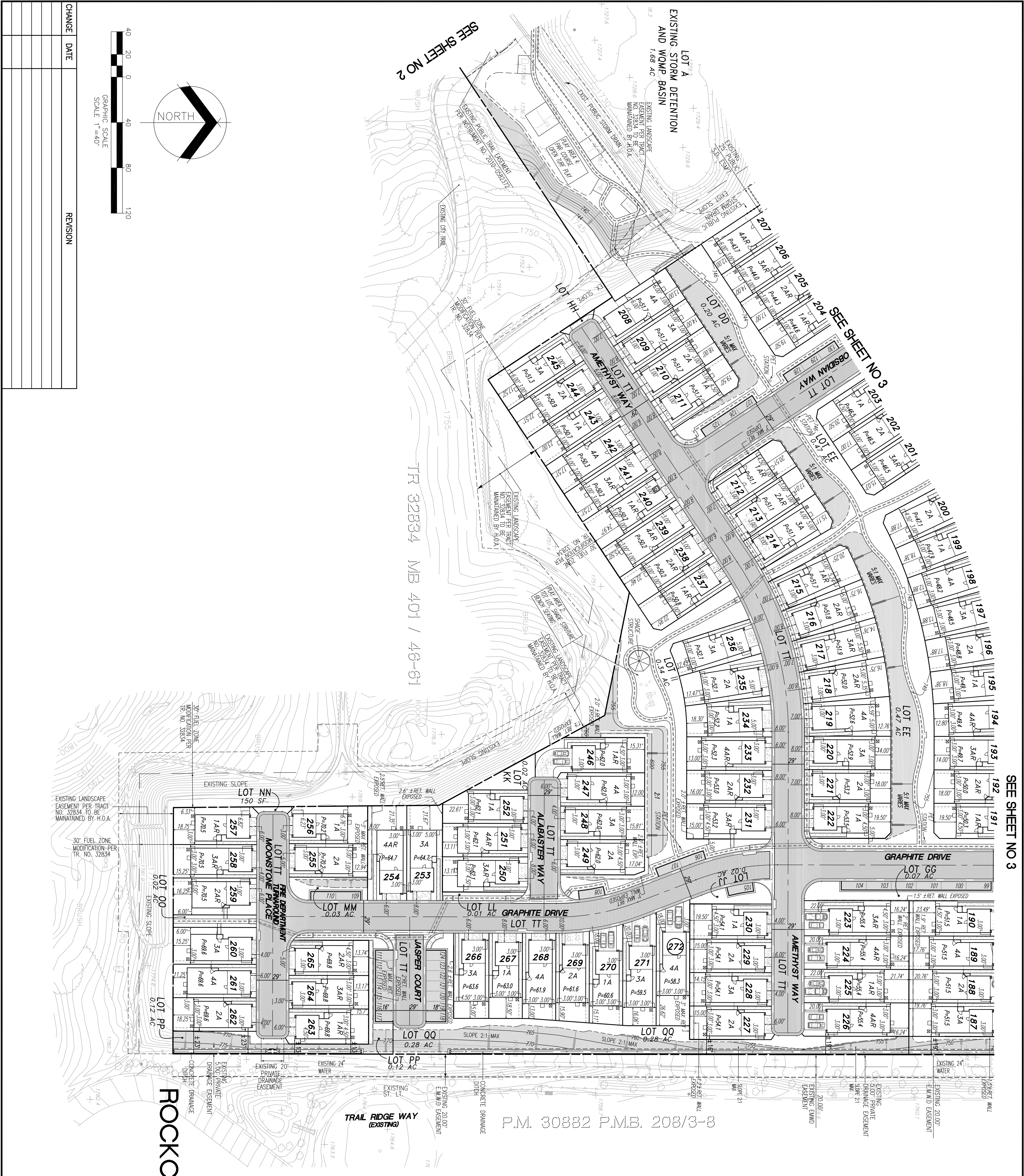
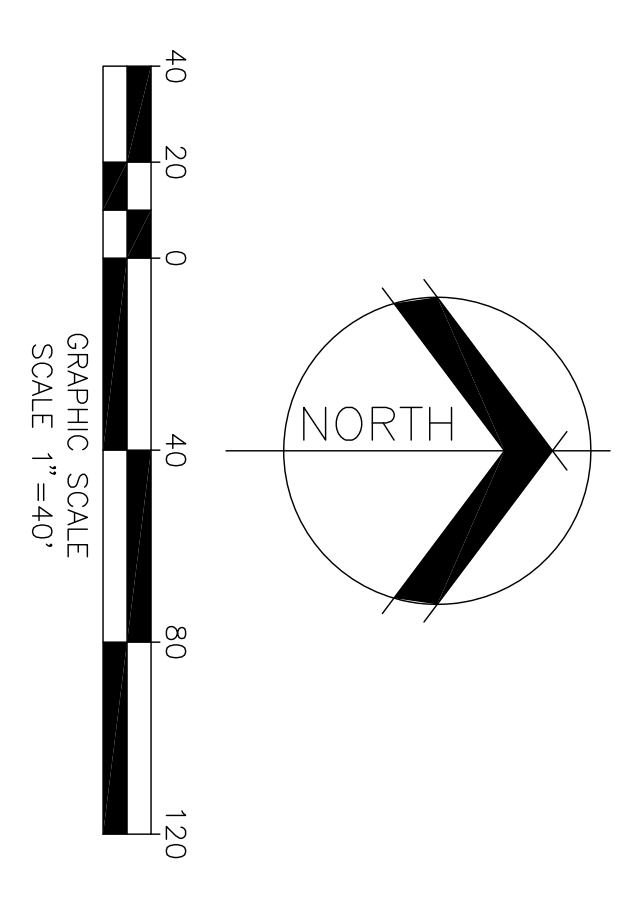


SEE ENTRY DETAIL  
ON SHEET 7

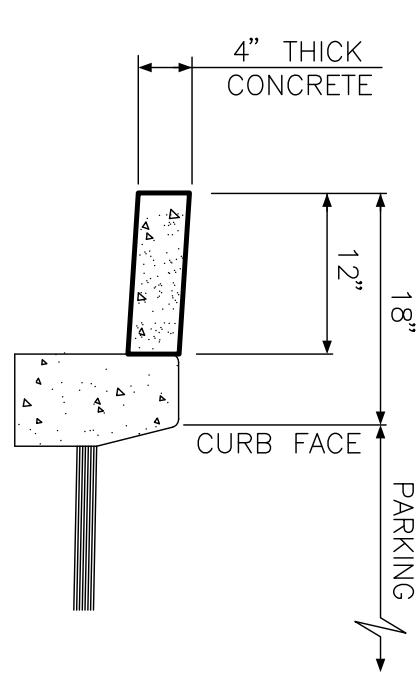
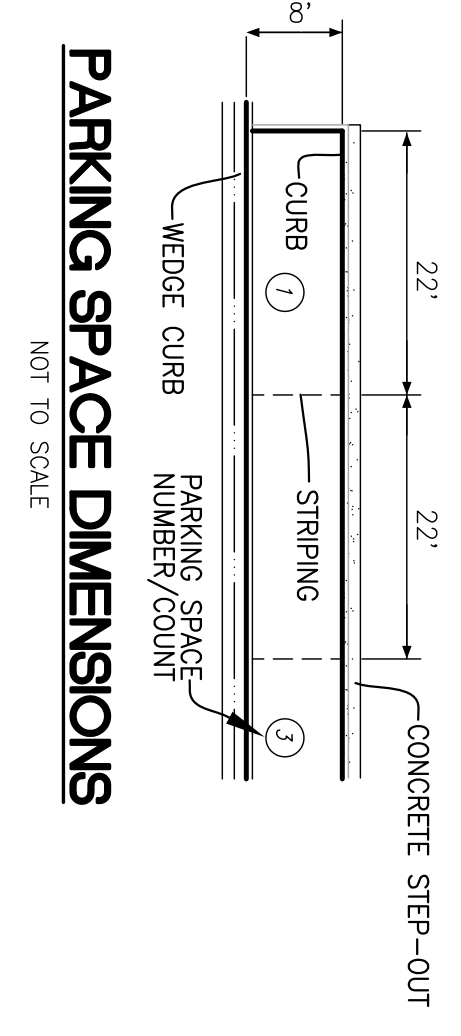
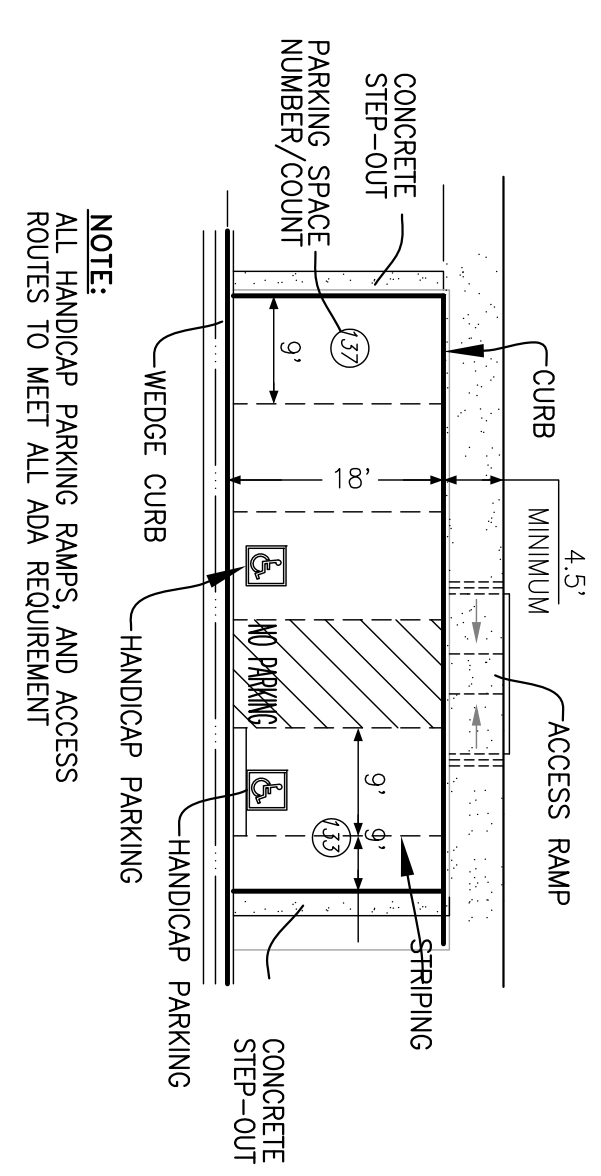
POTENTIAL  
LAND EXCHANGE  
SEE SHEET 5

APN 477-130-012

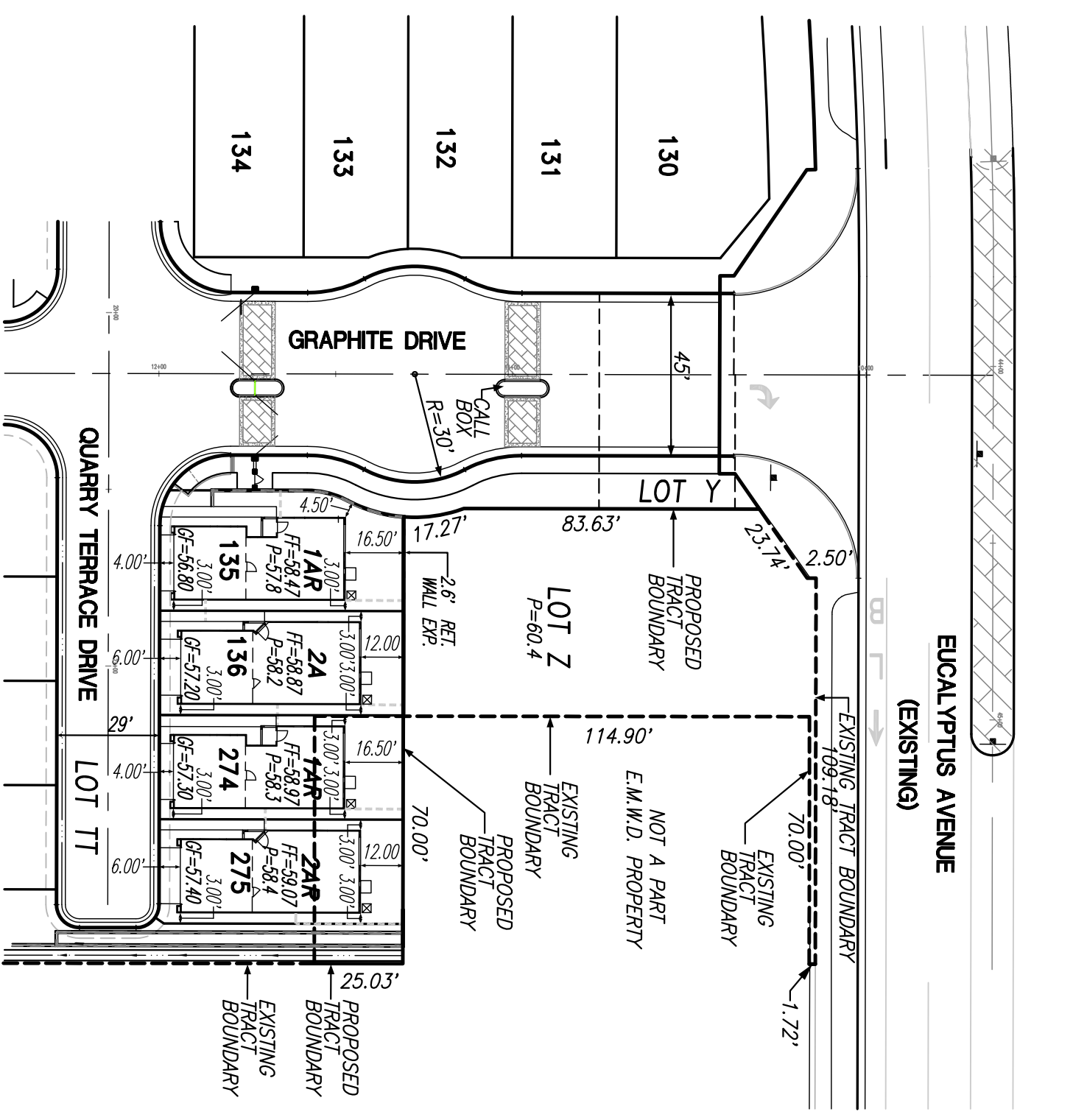
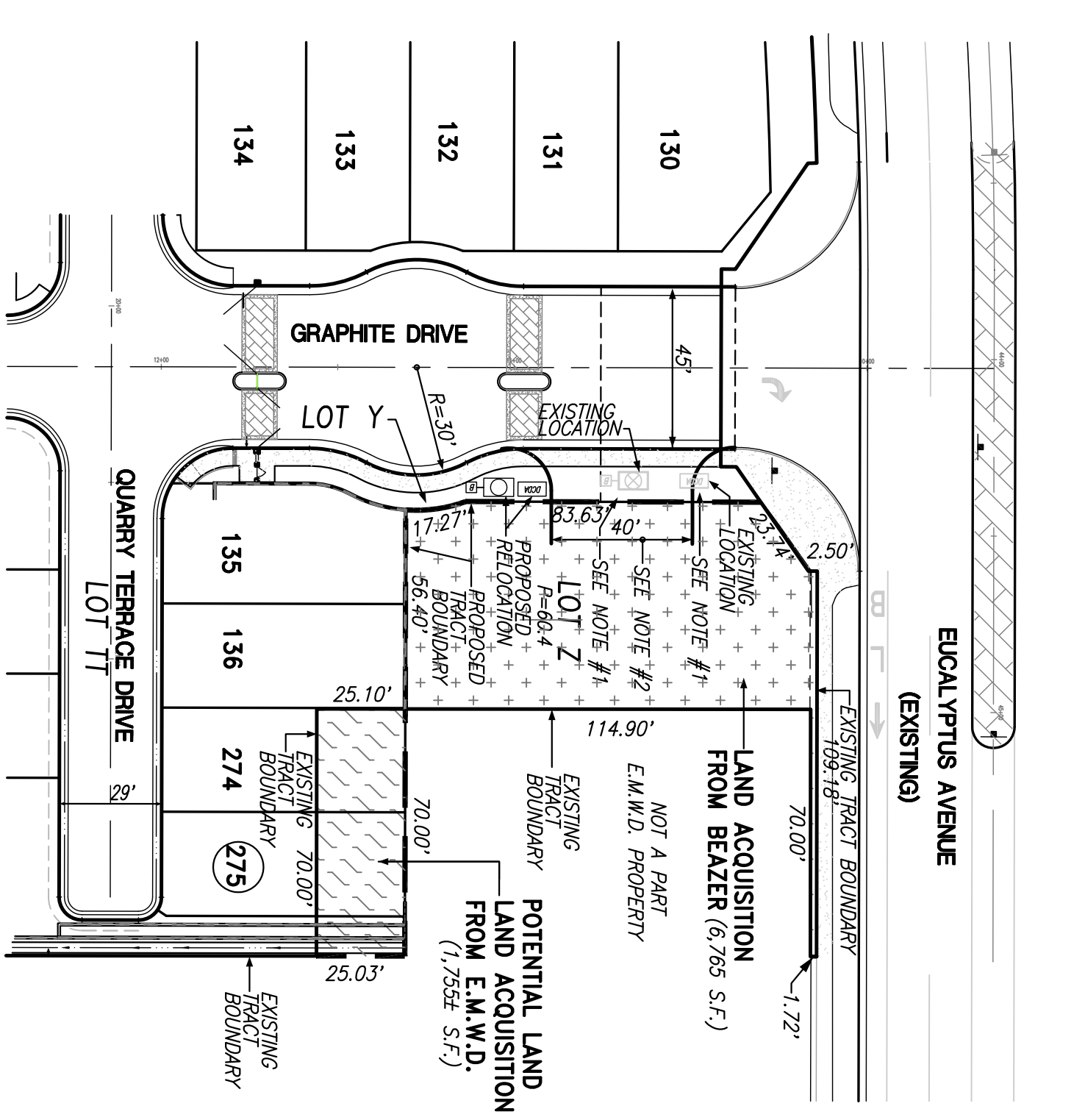
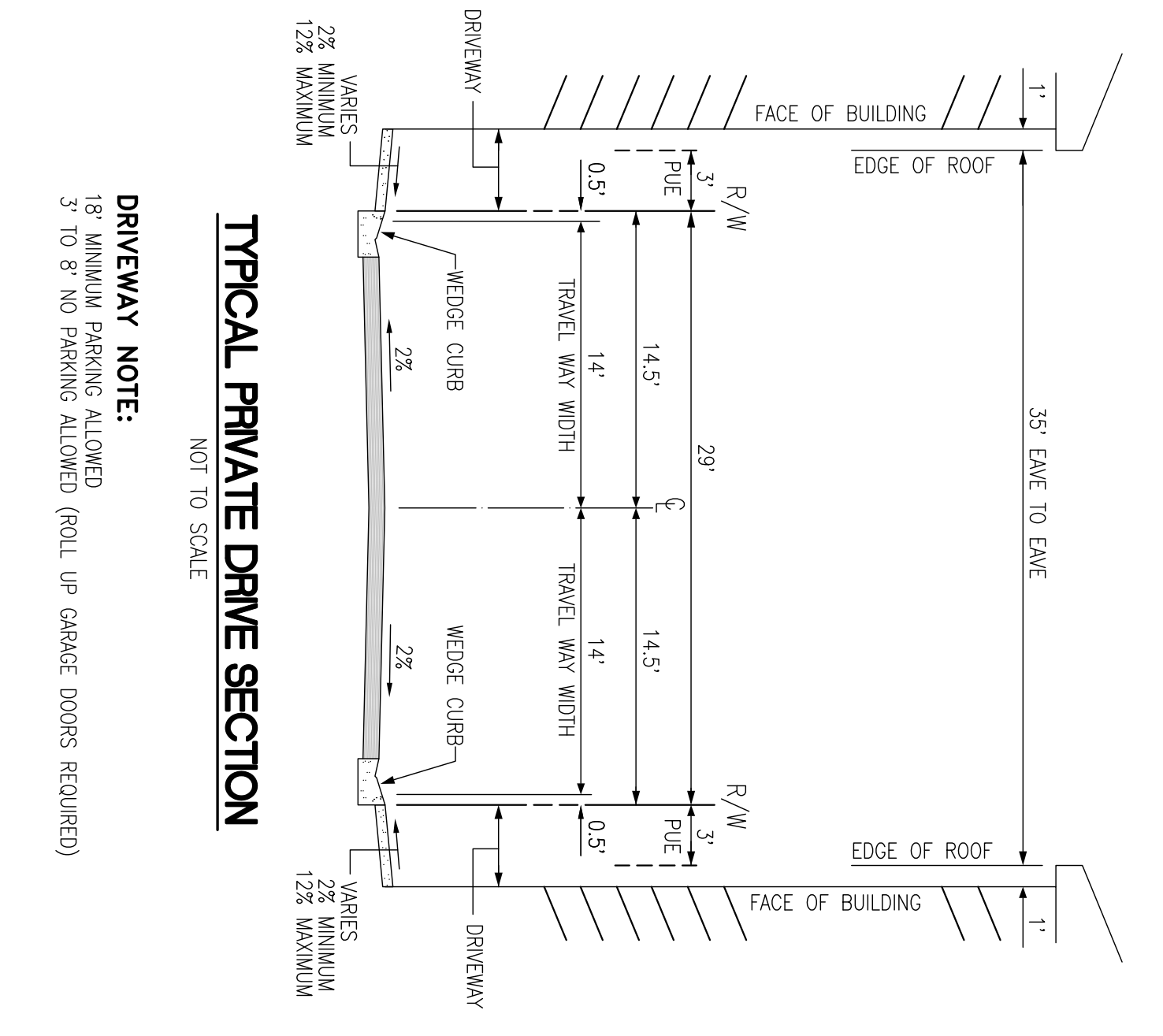
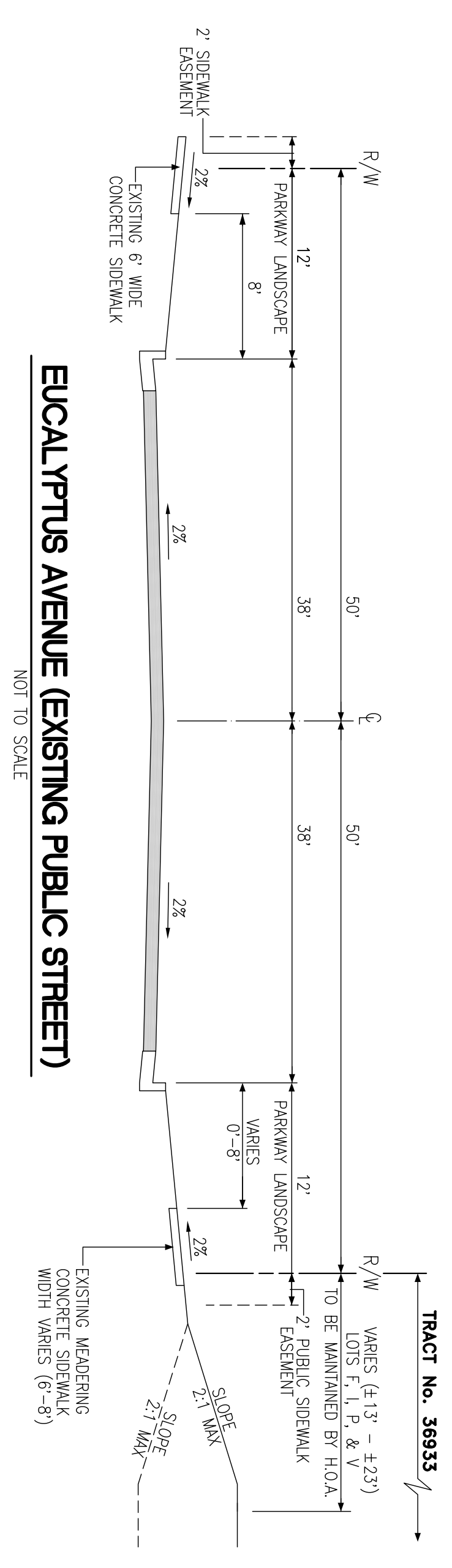
CHANGE	DATE	REVISION



**TENTATIVE TRACT No. 36933**  
**ROCKCLIFFE AT STONERIDGE RANCH**  
**PLOT PLAN**  
 CITY OF MORENO VALLEY,  
 COUNTY OF RIVERSIDE,  
 STATE OF CALIFORNIA  
 SHEET 4 of 7  
 P15-066 \ P15-067

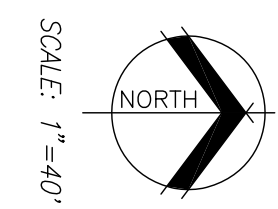


**CONCRETE STEP-OUT**  
NOT TO SCALE  
NOTE  
A CONCRETE STEP-OUT IS TO BE CONSTRUCTED  
AT PARKING SPACE



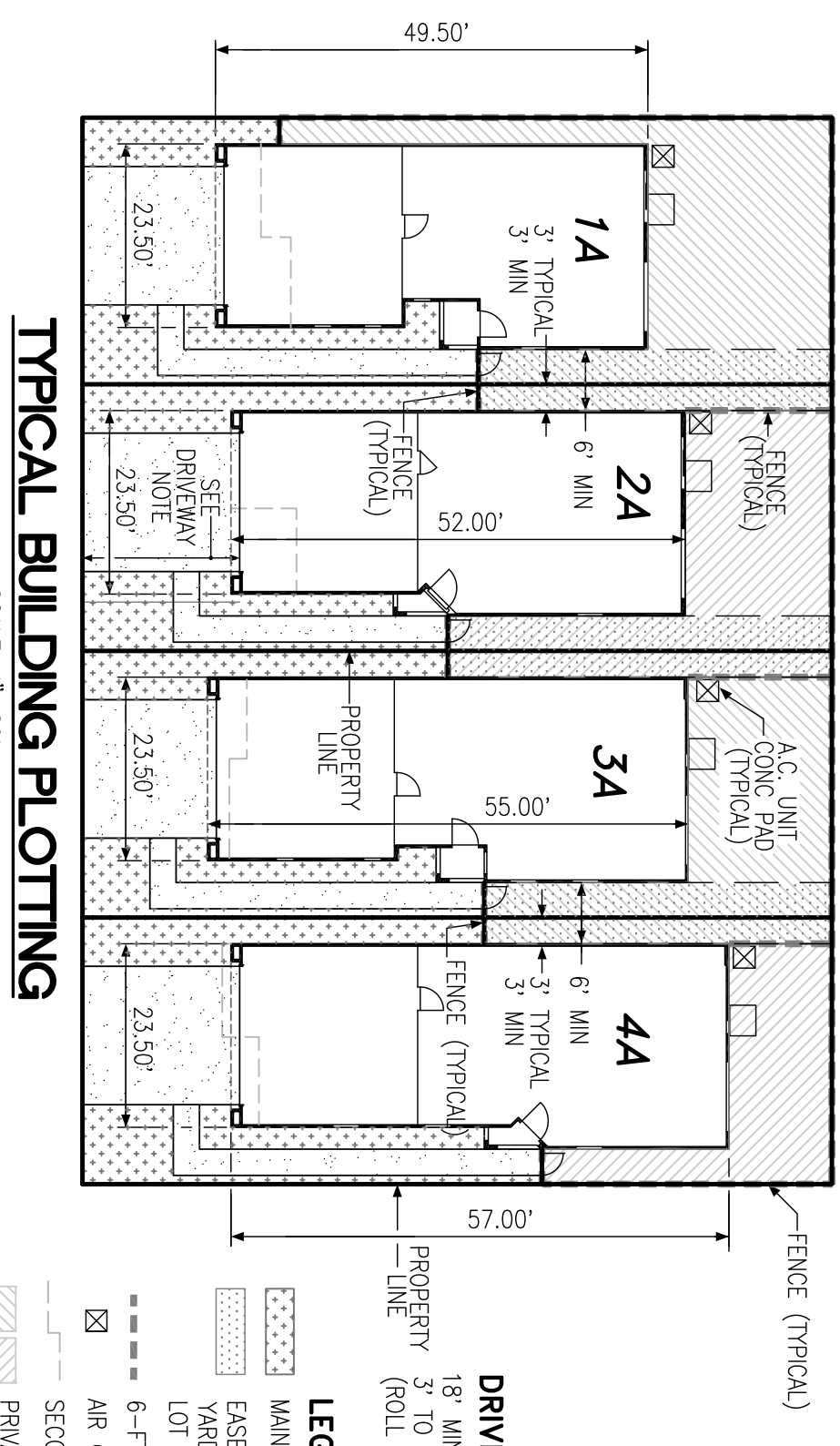
**LAND EXCHANGE**

**POTENTIAL LAND EXCHANGE  
TENTATIVE TRACT No. 36933  
ROCKCLIFFE AT STONERIDGE RANCH**



SCALE: 1"=40'

- NOTES:  
1. EXISTING DOUBLE DETECTOR CHECK ASSEMBLY, COMPOUND METER AND BACKFLOW ASSEMBLY TO BE RELOCATED  
2. PROPOSED EMD DRIVEWAY APPROACH WIDTH, W=40'  
3. 4 PARKING SPACES WOULD BE LOST, 2 RESIDENTIAL LOTS GAINED



- DRIVEWAY NOTE:**  
18" MINIMUM PARKING ALLOWED  
3' TO 8' NO PARKING REQUIRED (ROLL UP GARAGE DOORS REQUIRED)
- LEGEND**  
MAINTENANCE AREA H.O.A.  
ESSENTIAL TO ADDING HOMEOWNER FOR PRIVATE YARD PURPOSES AND FOR ACCESS BY UNDERLYING LOT OWNER FOR BUILDING MAINTENANCE.  
6-FT HIGH FENCE/WALL & GATE  
AIR CONDITIONER UNIT CONCRETE PAD  
SECOND STORY LINE  
PRIVATE YARD AREA

**TENTATIVE TRACT No. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
PLOT PLAN**

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 5 of 7  
P15-066 | P15-067

CHANGE	DATE	REVISION

RESIDENTIAL LOT TABULATION (272 DWELLING UNITS)

Table with columns: LOT NO., AREA (SF), PLAN TYPE, TOTAL FLOOR AREA (SF), FLOOR AREA RATIO, GROUND FLOOR COVERAGE (SF), LOT COVERAGE, PRIVATE YARD AREA (SF). Rows 1-100.

Table with columns: LOT NO., AREA (SF), PLAN TYPE, TOTAL FLOOR AREA (SF), FLOOR AREA RATIO, GROUND FLOOR COVERAGE (SF), LOT COVERAGE, PRIVATE YARD AREA (SF). Rows 101-200.

Table with columns: LOT NO., AREA (SF), PLAN TYPE, TOTAL FLOOR AREA (SF), FLOOR AREA RATIO, GROUND FLOOR COVERAGE (SF), LOT COVERAGE, PRIVATE YARD AREA (SF). Rows 201-300.

LETTER LOT TABULATION

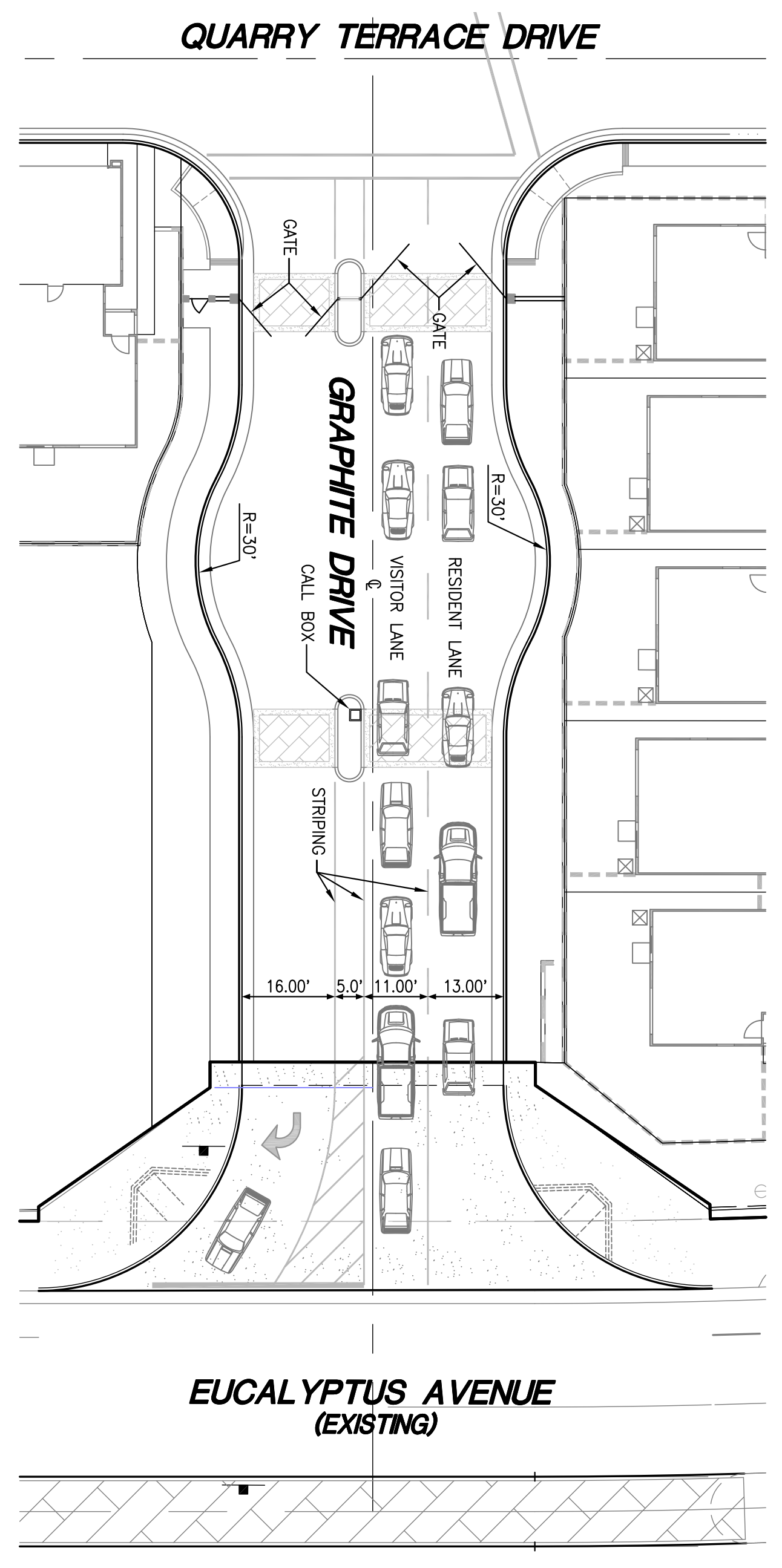
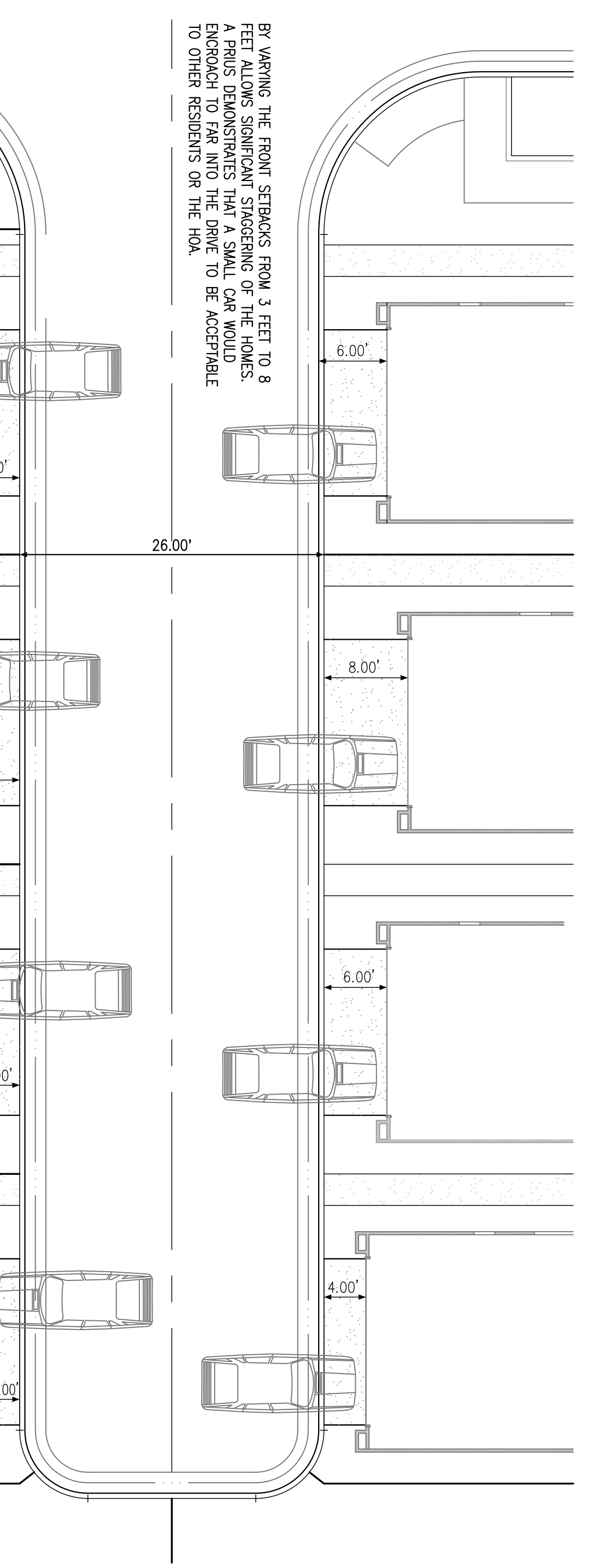
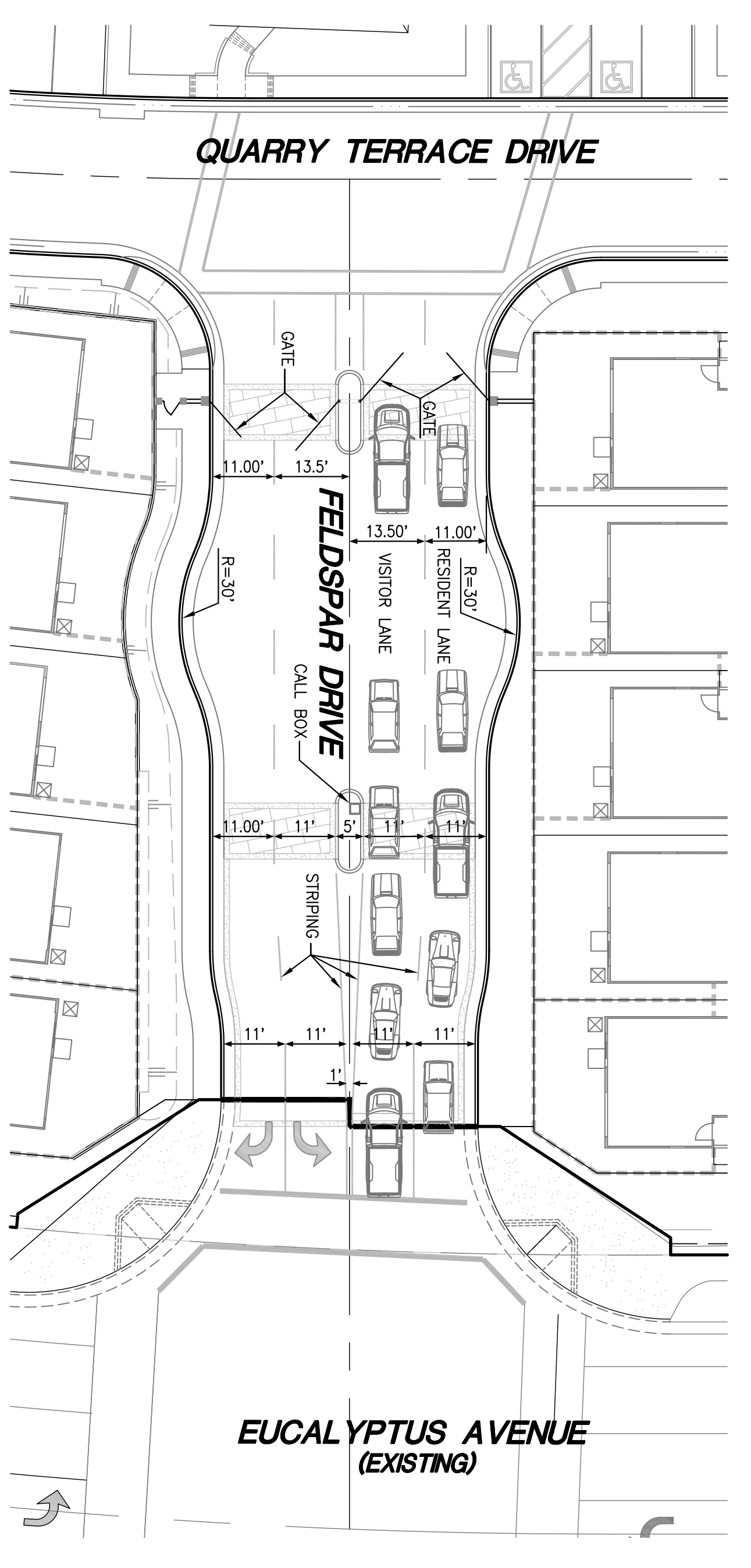
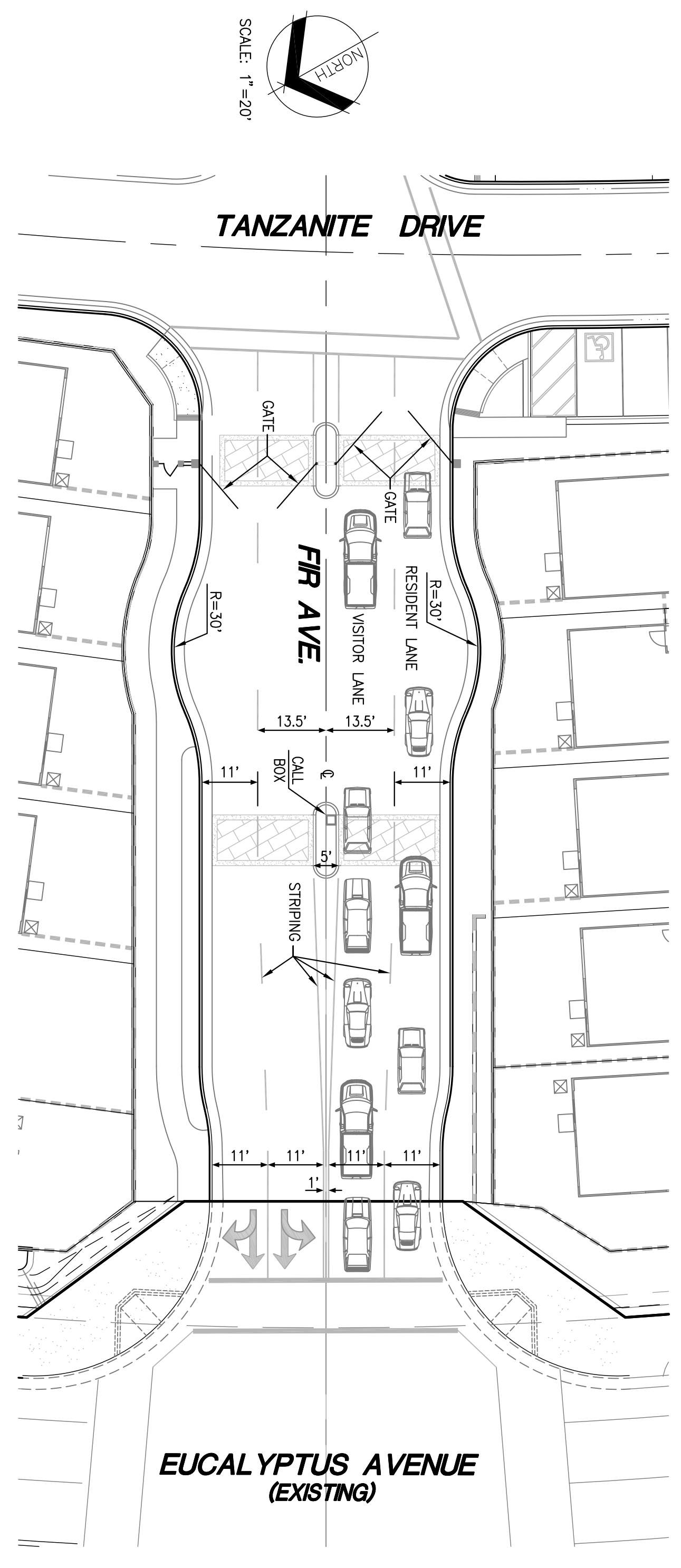
Table with columns: LOT NO., LOT AREA (SF), LOT AREA (AC), LAND USE, WATER RETENTION BASIN (EXISTING), WATER QUALITY/DETENTION BASIN (EXISTING), NATURE PARK, COMMON AREA, PRIVATE YARD AREA (SF). Rows A-TOTAL.

POTENTIAL LOT EXCHANGE

Table with columns: LOT NO., AREA (SF), PLAN TYPE, TOTAL FLOOR AREA (SF), FLOOR AREA RATIO, GROUND FLOOR COVERAGE (SF), LOT COVERAGE, PRIVATE YARD AREA (SF). Rows 274-275.

TENTATIVE TRACT No. 36933 ROCKCLIFFE AT STONERIDGE RANCH PLOT PLAN

CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA SHEET 6 of 7 P15-066 \ P15-067



BY WAVING THE FRONT SETBACKS FROM 3 FEET TO 8 FEET ALONG SIGNIFICANT STAGGERING OF THE HOUSES, A PULSUS DEMONSTRATES THAT A SMALL CAR WOULD ENOUGH TO FAR INTO THE DRIVE TO BE ACCEPTABLE TO OTHER RESIDENTS OR THE HOA.

**DRIVENWAY EXHIBIT**  
SCALE: 1"=10'

**TENTATIVE TRACT No. 36933  
ROCKCLIFFE AT STONERIDGE RANCH  
PLOT PLAN**

CITY OF MORENO VALLEY,  
COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA

SHEET 7 of 7  
P15-066 \ P15-067

CHANGE	DATE	REVISION

I:\9170\PROJECT\TT Plot\_Grade\pln\_07.dwg 2/17/16

# Rockcliffe at Stoneridge Landscape Concept Plan Tract 36933

## PLANT PALETTE

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
<b>TREES</b>				
	24" BOX	CERCIS SP.	REDBUD	L
	24" BOX	CHITALPA TASHKENTENSIS	CHITALPA	L
	24" BOX	LAGERSTROEMIA SP.	GRAPE MYRTLE	L
	24" BOX	PARKINSONIA 'DESERT MUSEUM'	PALO VERDE	M
	24" BOX	FRUNUS SP.	PURPLE LEAF PLUM	M
	24" BOX	MYRUS SP.	ORNAMENTAL PEAR	M
	24" BOX	FINUS ELDERICA	AFGHAN PINE	M
	15 GAL	PLATANUS RACEMOSA	STYCAMORE	M
	36" BOX	ARBUTUS 'MARINA'	STRAWBERRY TREE	M
	36" BOX	FISTACIA CHINENSIS	CHINESE PISTACHE	L
	36" BOX	QUERCUS SP.	OAK	L
	36" BOX	ULMUS P. 'DRAKE'	EVERGREEN ELM	M
	BTH	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	L
	24" BOX	EUCALYPTUS S. 'ROSEA'	RED IRONBARK	L
	15 GAL	LAGERSTROEMIA 'PEGAS' 'ZUNI'	GRAPE MYRTLE STD.	M
	15 GAL	LEPTOSPERMUM SCOPARILUM	NEW ZEALAND TEA TREE STD.	L
	15 GAL	RAHAPHOLEPIS L. 'MAJESTIC BEAUTY'	INDIA HAWTHORN STD.	M
	15 GAL	TECOMA STANS	YELLOW BELLS	M

## PLANT PALETTE (cont'd)

SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
<b>SHRUBS</b>			
1 GAL	ALOE 'BLUE ELF'	ALOE	L
15 GAL	ALYOGYNE HUEGELII	BLUE HIBISCUS	L
5 GAL	ANGONANTHUS SP.	KANGAROO PAW	L
1 GAL	ARISTOTAPHYLOS 'PACIFIC MIST'	DESERT HONEYBUCKLE	L
1 GAL	BACCHARIS P. 'TWIN PEAKS'	PACIFIC MIST MANZANITA	L
1 GAL	CALLIANDRA ERIOPHYLLA	CYOTE BRUSH	L
5 GAL	CALLISTEMON 'LITTLE JOHN'	FAIRY DUSTER	L
5 GAL	CEANTHUS SP.	DIWARF BOTTLEBRUSH	L
1 GAL	CISTUS SP.	WILD LILAC	L
1 GAL	CLIVIA MINIATA	ROCKROSE	L
5 GAL	ECHUM FASTUOSUM	KAFFIR LILY	L
5 GAL	EURYOPUS PECTINATUS	PRIFE OF MADEIRA	L
5 GAL	FREMONTODENDRON SP.	EURYOPUS GAISY	L
1 GAL	GALVESIA SPECIOSA	FLANNELBUSH	L
5 GAL	GREVILLEA SP.	ISLAND SNAPDRAGON	L
1 GAL	HEMEROCALLIS SP.	GREVILLEA	L
5 GAL	HESPERALOE PARVIFLORA	DAYLILY	L
15 GAL	JUNIPERUS SP.	RED TUCCA	L
1 / 5 GAL	LANTANA SP.	JUNIPER	L
5 GAL	LAVANDULA SP.	LANTANA	L
1 GAL	LIRIOPE SP.	LAVANDER	L
1 GAL	MIMULUS AURANTIACUS	LILY TURF	M
5 / 15 GAL	MYRTUS C. 'COMPACTA'	MONKEYFLOWER	M
5 / 15 GAL	PITTOSPORUM T. 'VARIEGATA'	DIWARF MYRTLE	M
5 / 15 GAL	RAHAPHOLEPIS INDICA	VARIEGATED TOBIRA	M
15 GAL	ROSA SP.	INDIA HAWTHORN	L
5 GAL	ROSMARINUS OFFICINALIS	ROSE	L
5 GAL	SALVIA SP.	ROSEMARY	L
5 / 15 GAL	WESTRINGIA SP.	SAGE	L
		COAST ROSEMARY	L
<b>GRASSES</b>			
1 GAL	FESTUCA GLAUCA	BLUE FESCUE	M
1 GAL	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	M
1 GAL	MISCANTHUS SINENSIS	EULALIA GRASS	M
1 GAL	SEBLERIA AUTUMNALIS	AUTUMN MOOR GRASS	M
<b>VINES</b>			
15 GAL	BOUGAINVILLEA SP.	BOUGAINVILLEA	L
15 GAL	MACFADYENA INGLUIS-CATI	CAT'S BLOW VINE	L
5 GAL	VITIS C. 'ROGER'S RED'	WILD GRAPE	L

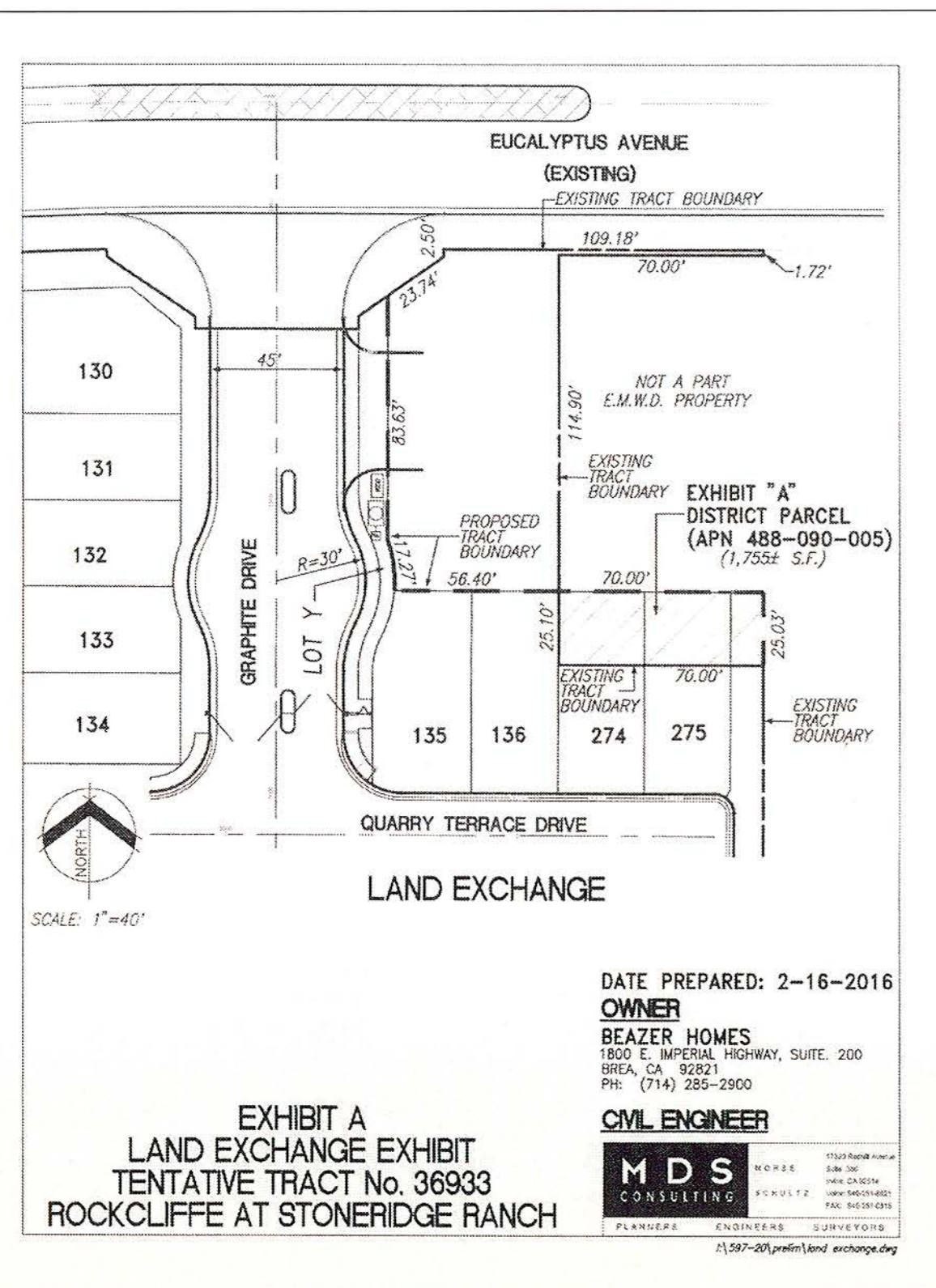
## PLANT PALETTE (cont'd)

SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
<b>GROUND COVERS</b>			
FLATS	APTENIA CORDIFOLIA	RED APPLE	L
1 GAL	CEANTHUS S. HORIZONTALIS	CARTEL CREEPER	L
FLATS	MYOPORUM PACIFICUM	MYOPORUM	L
FLATS	ROSMARINUS O. 'PROSTRATUS'	PROSTRATE ROSEMARY	L
FLATS	SEDUM RUBROINCTUM	PORK 4 BEANS	L
FLATS	SENECIO MANDRALISCAE	CHALKSTICKS	L
1 GAL	VERBENA LILACINA	VIOLET VERBENA	L
		TURF	H
80D	MARATHON II		
SEED	HYDROSEED MIX		

NOTE: ON-SITE LANDSCAPE AND IRRIGATION SHALL BE MAINTAINED BY THE HOA AND REQUIRED FOR THE SIDES AND/OR SLOPES OF ALL DETENTION BASINS

## TREE COUNT

REQUIRED: 681  
PROVIDED: 1120



## WALL / FENCE LEGEND

- 6" HT. SLUMP BLOCK WALL
- 6" - 6" HT. VINYL PRIVACY FENCE
- 6" HT. TUBULAR STEEL FENCE

## PLAY AREA 1

- PLAY LOT
- SHADE STRUCTURE
- OPEN TURF PLAY
- PICNIC AREA

## PLAY AREA 2

- TOT LOT
- SHADE STRUCTURE
- BENCH SEATING

## PLAY AREA 3

- TOT LOT
- OPEN TURF PLAY
- SHADE STRUCTURE
- BENCH SEATING

## PLAY AREA 4

- PAR COURSE
- OPEN TURF PLAY

## PASEO SECTION



TREES, SHRUBS & GROUND COVER ON SLOPE

MEANDERING 5' WALKWAY

TREES & GROUND COVER (TYP)

VINYL PRIVACY FENCE

VINYL PRIVACY FENCE

SCALE: 1"=50'  
REV. DATE: 3-10-15  
(949) 855-6413  
FAX: 830-4465  
PLANNING - RESEARCH  
Suite J12 - Laguna Hills, CA 92653

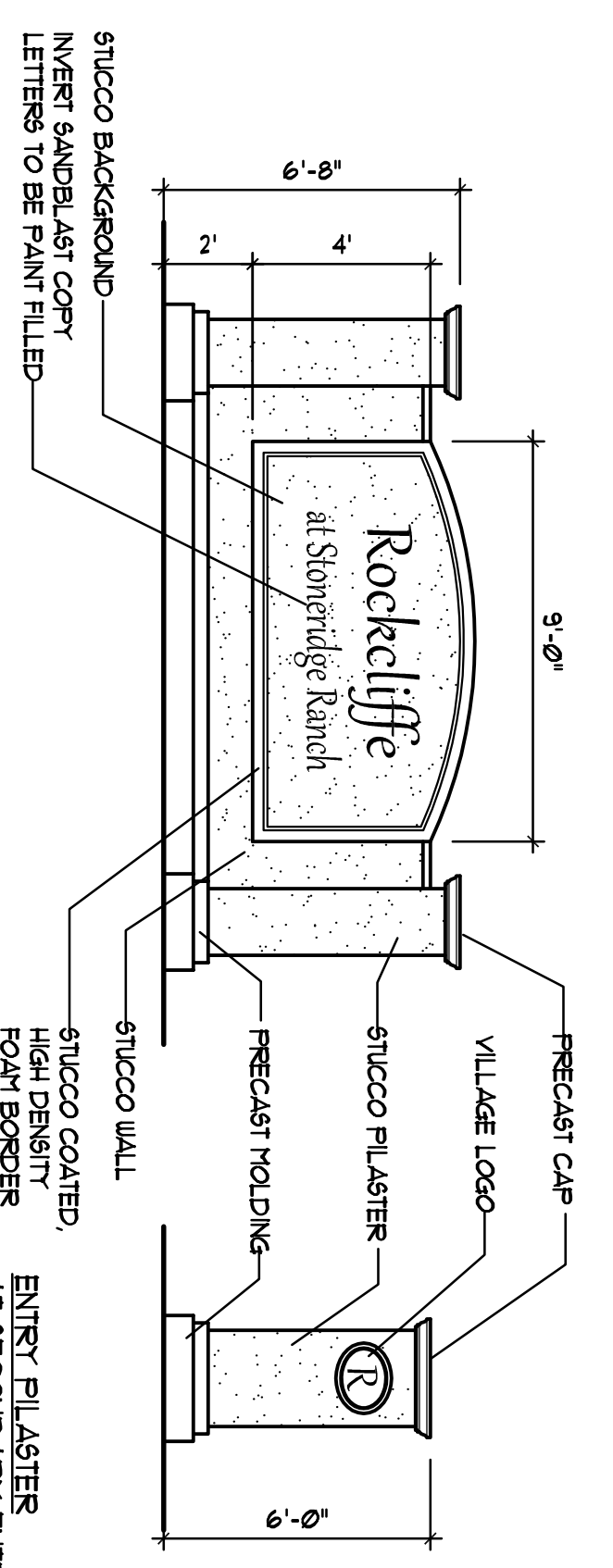
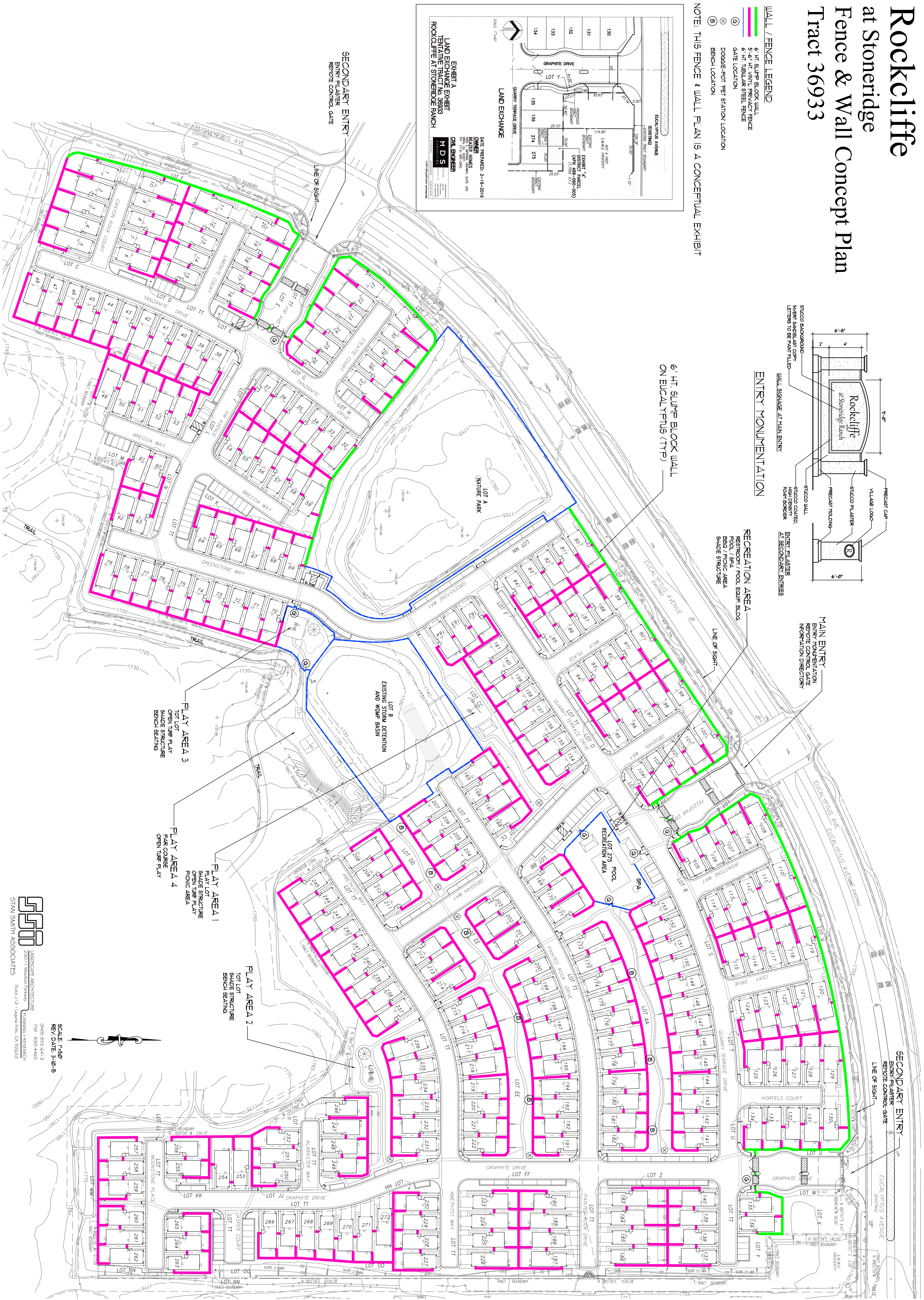
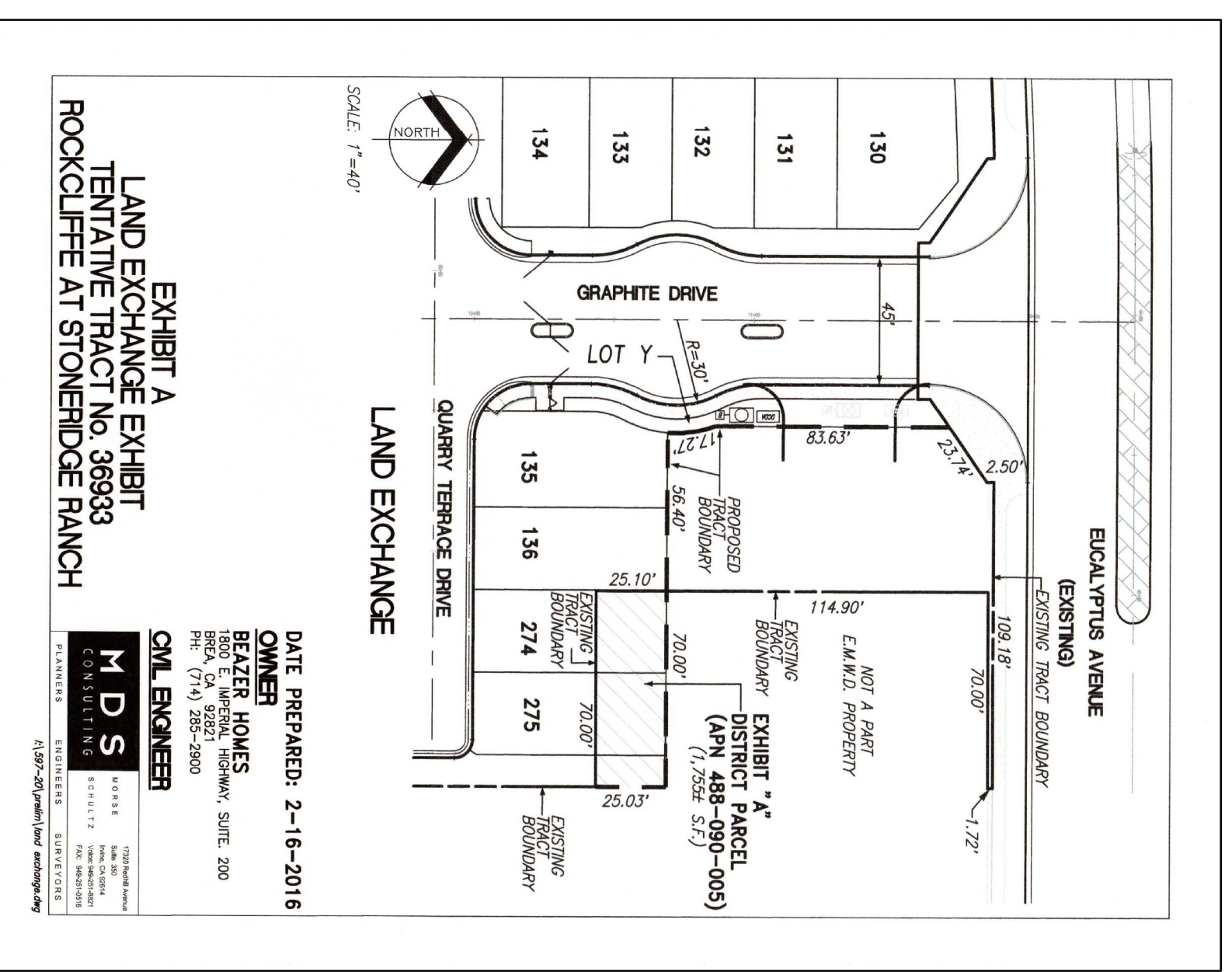
NOTE: THIS LANDSCAPE PLAN IS A CONCEPTUAL EXHIBIT

Attachment: Preliminary Landscape Plan (1924 - Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

Packet Pg. 1030

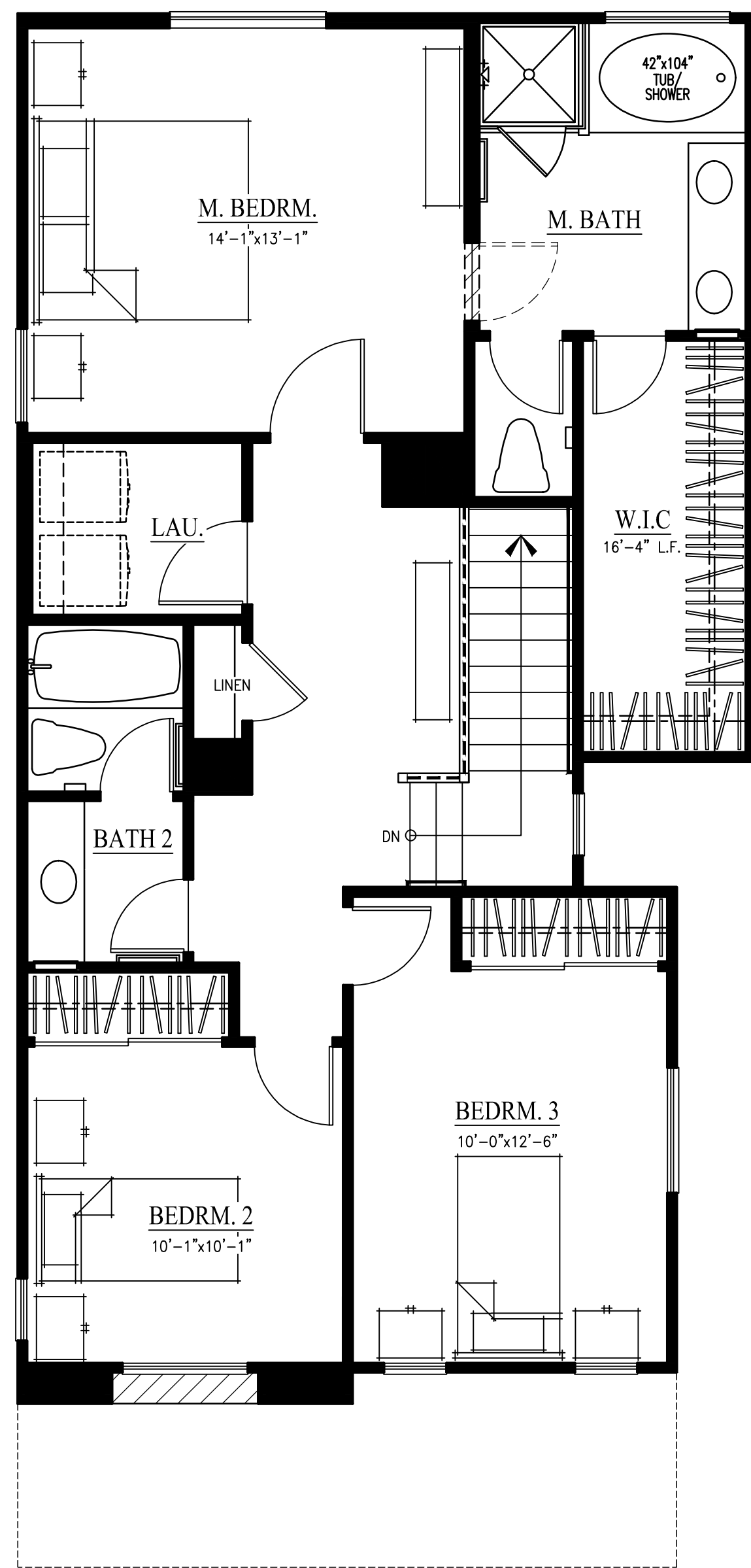
# Rockcliffe at Stoneridge Fence & Wall Concept Plan Tract 36933

- WALL / FENCE LEGEND**
- 6' HT. SLUMP BLOCK WALL
  - 6' HT. VINYL POST FENCE
  - 6' HT. TUBULAR STEEL FENCE
  - ④ GATE LOCATION
  - ⊗ DOGIE-POUT PET STATION LOCATION
  - ⊕ BENCH LOCATION
  - ⊖ BENCH LOCATION
- NOTE: THIS FENCE & WALL PLAN IS A CONCEPTUAL EXHIBIT

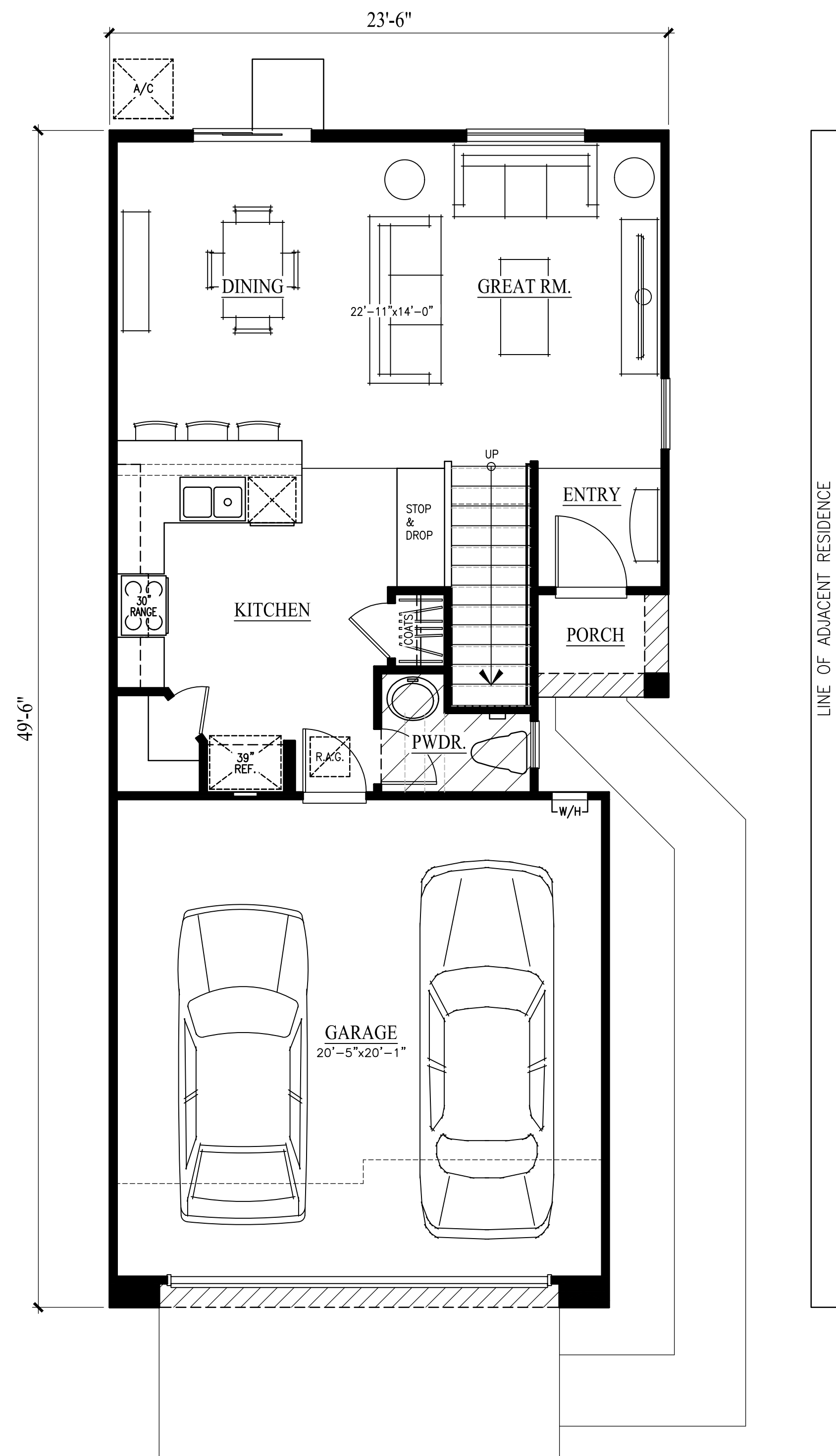


**SCALE: 1"=50'**  
**REV. DATE: 3-10-15**

(925) 835-2413  
FAX: (925) 416-025  
23071 Woodloch Parkway  
PLANNING • RESEARCH  
Stan Smith Associates  
Suite 112 • Laguna Hills, CA 92653



SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	615 SQ. FT.
SECOND FLOOR AREA	927 SQ. FT.
TOTAL DWELLING	1,542 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	429 SQ. FT.
PORCH	24 SQ. FT.

PLAN 1  
**ROCKCLIFF II**  
 MORENO VALLEY, CA



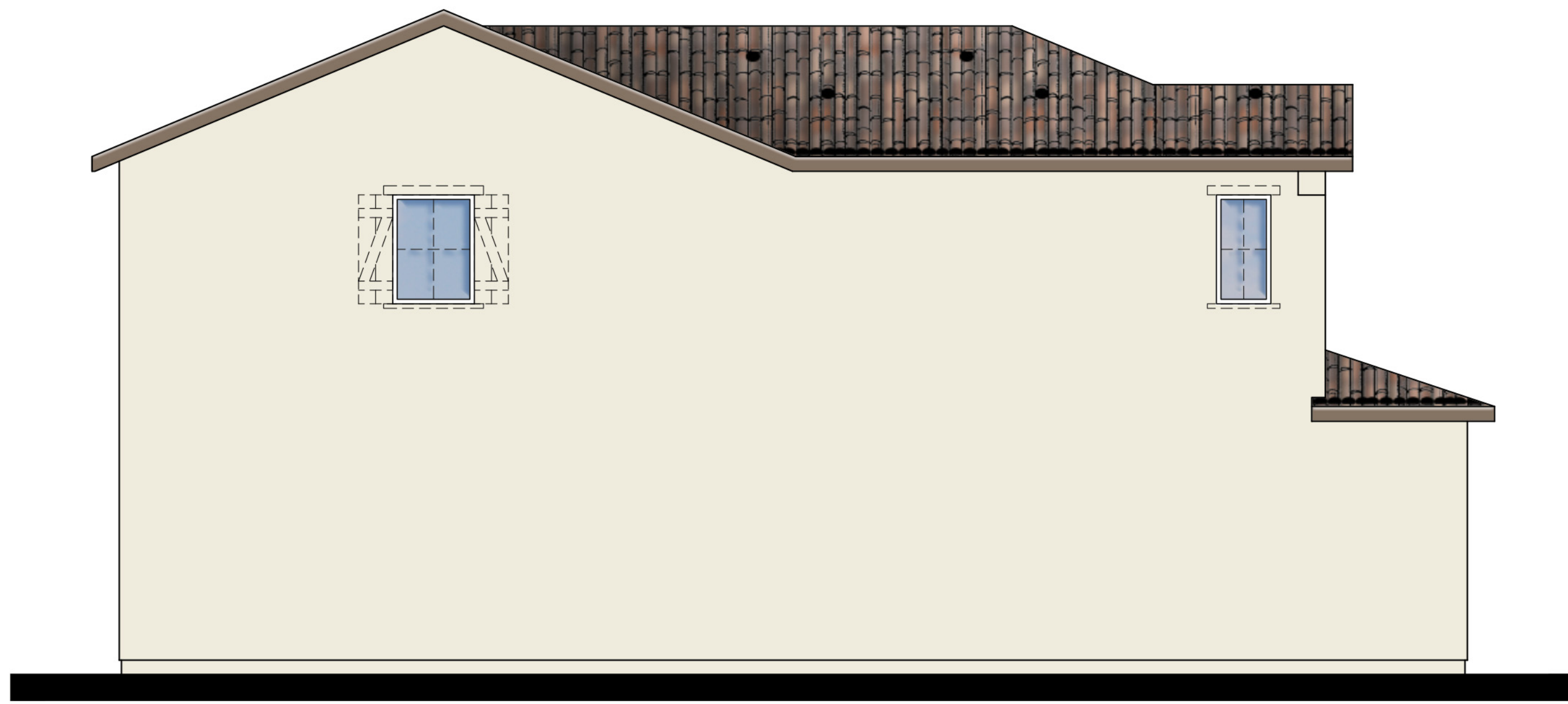
Job #: 14053  
 Date: Feb 16, 2016

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 ARCHITECT  
 INC.

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Attachment: Building Elevations (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)

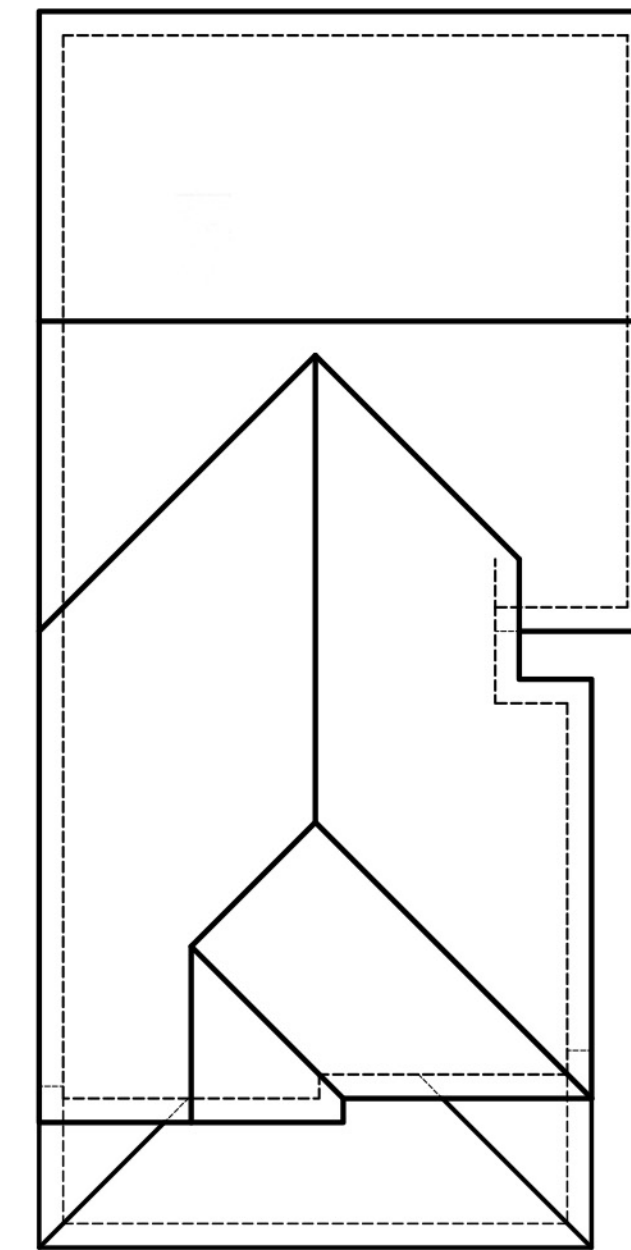




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

COLOR SCHEME #1

"A" ELEVATION

PLAN 1  
**ROCKCLIFF II**  
MORENO VALLEY, CA



FRONT ELEVATION



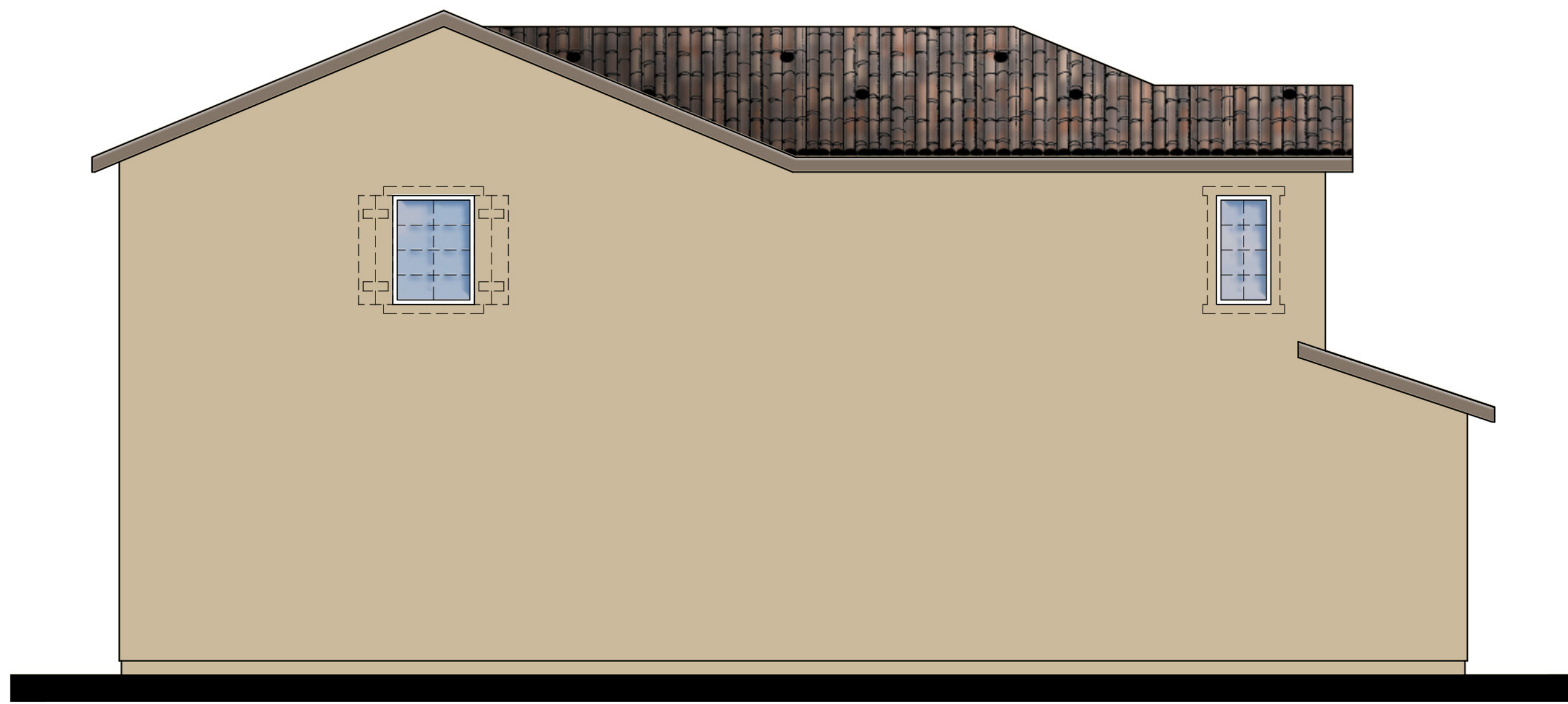
REAR ELEVATION



A HIGHER MEASURE OF HOME  
Job #: 14053  
Date: Feb 16, 2016

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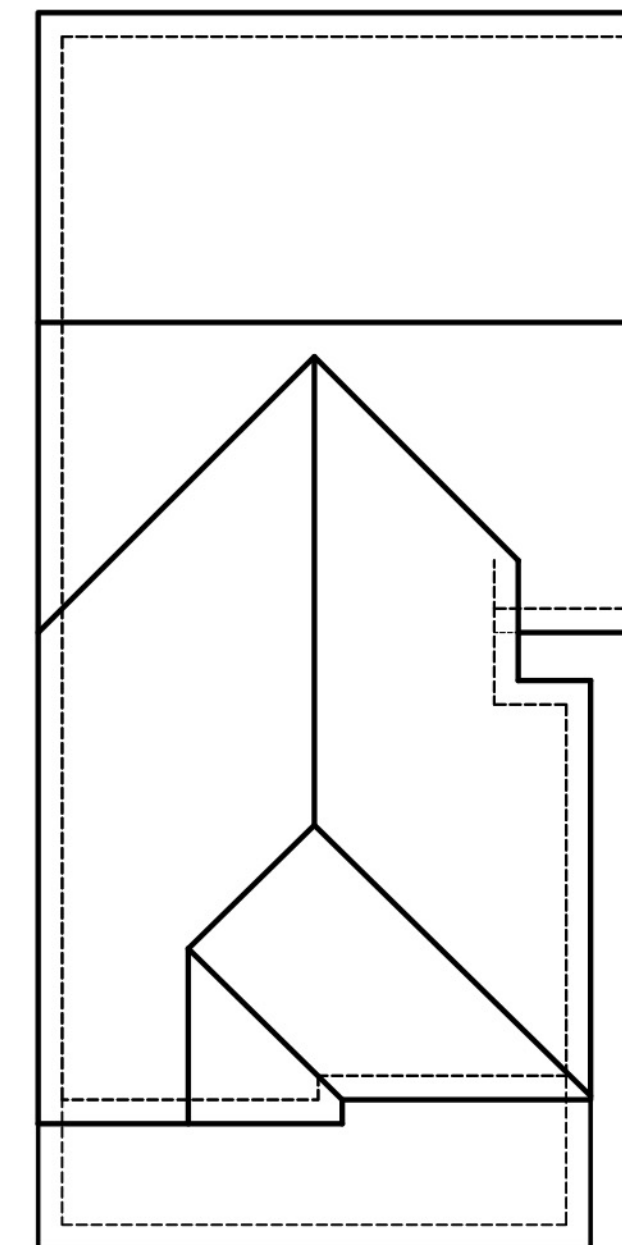
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #4

"B" ELEVATION

PLAN 1

**ROCKCLIFF II**  
MORENO VALLEY, CA

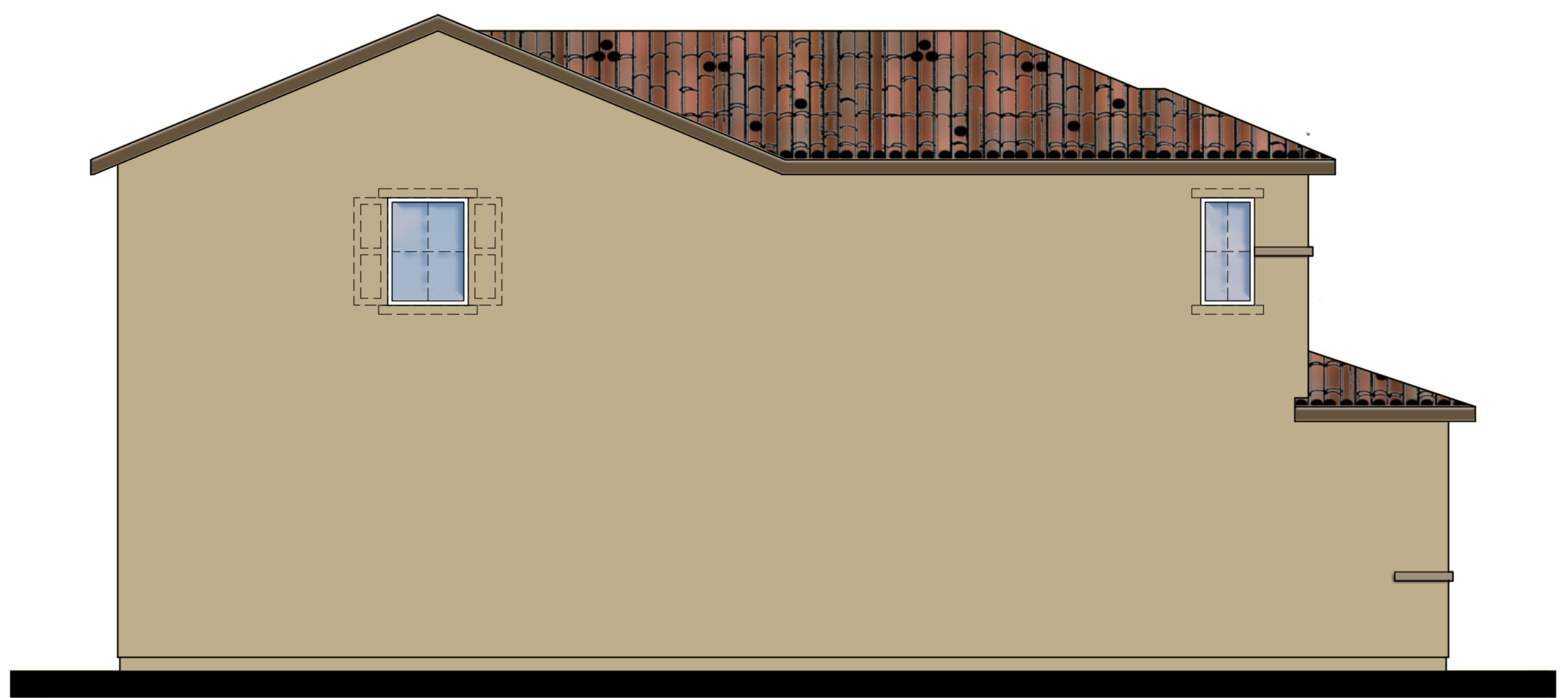


Job #: 14053  
Date: Feb 16, 2016

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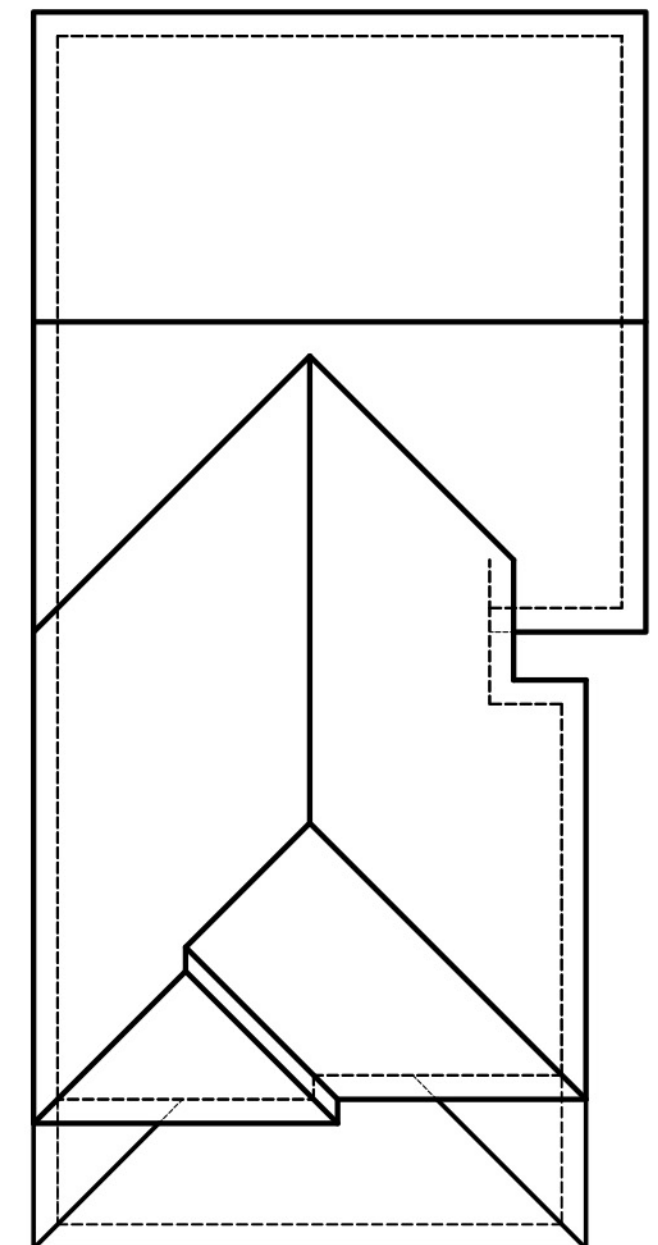
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

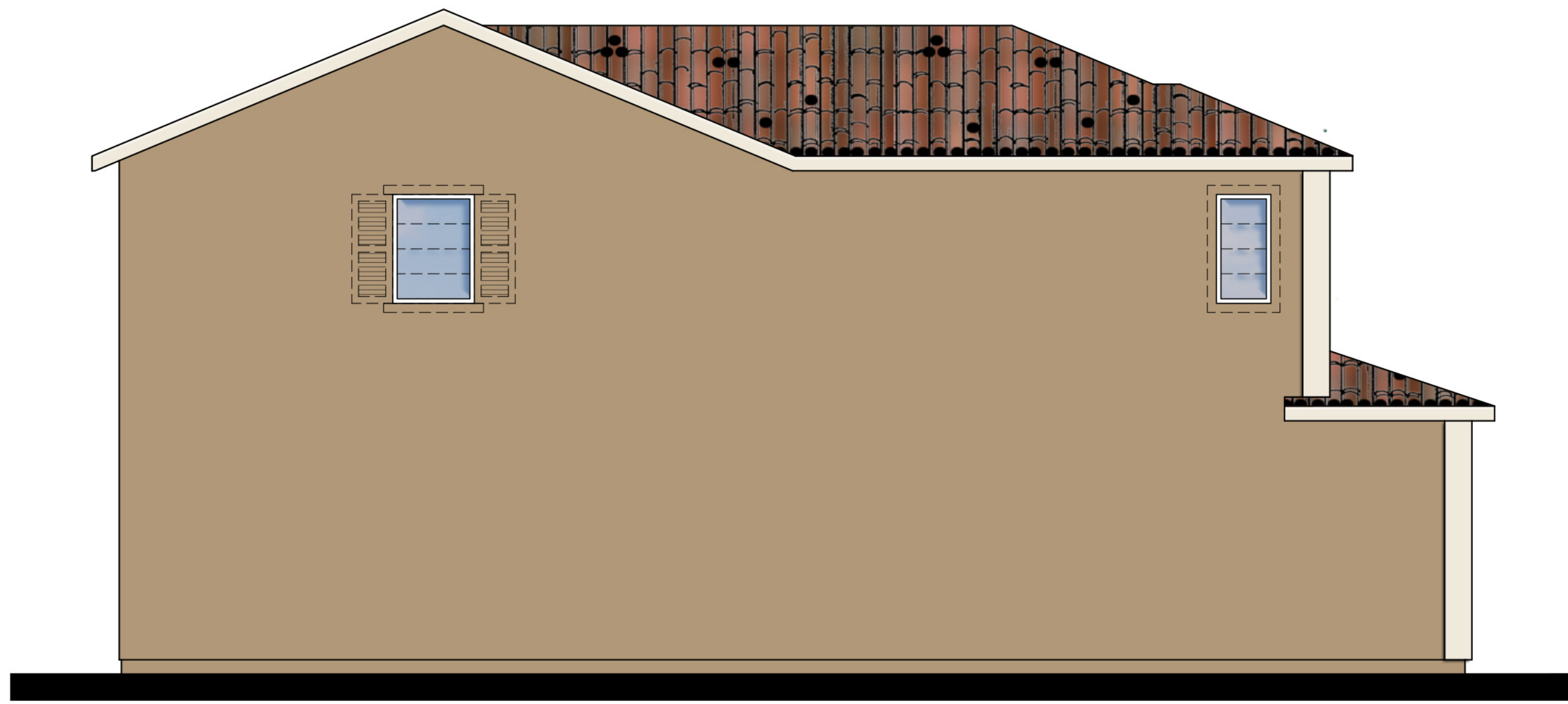
COLOR SCHEME #7  
"C" ELEVATION



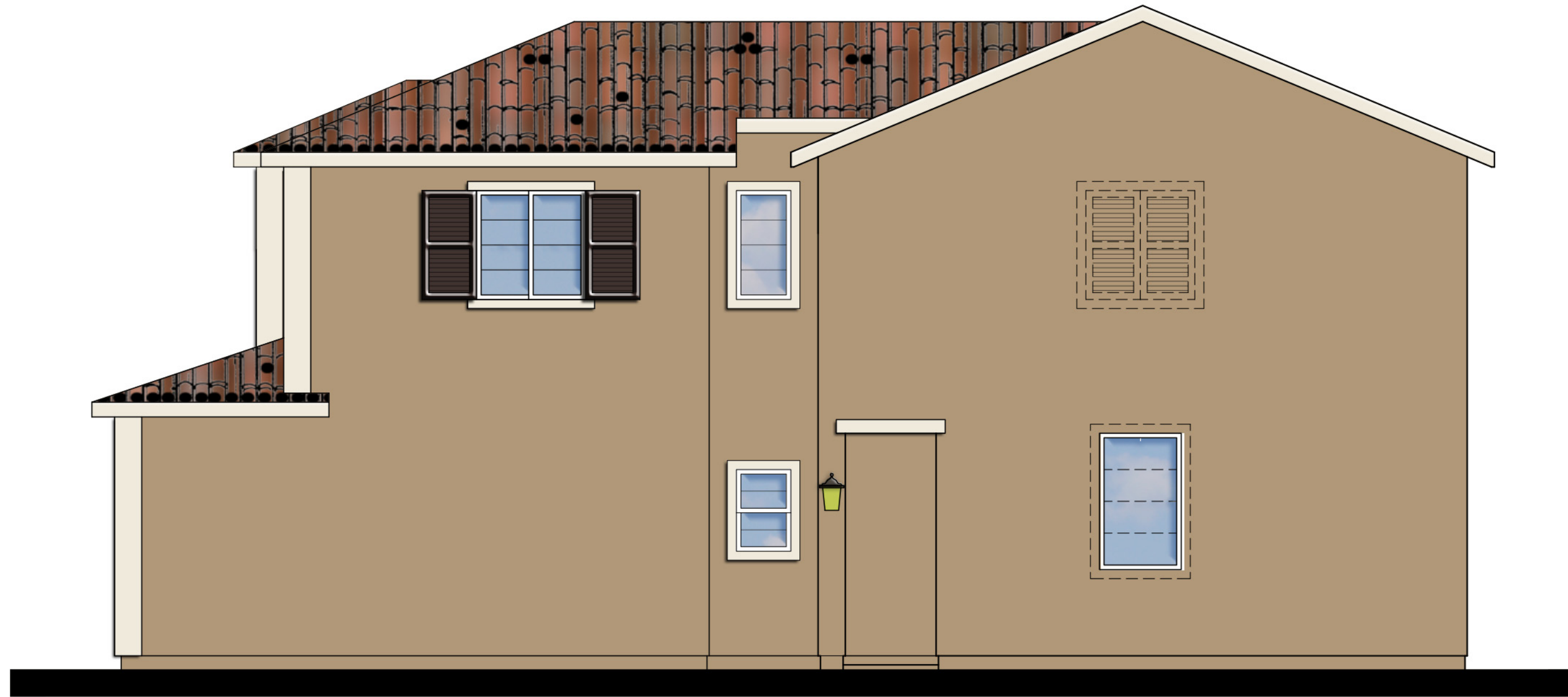
REAR ELEVATION

PLAN 1  
**ROCKCLIFF II**  
MORENO VALLEY, CA

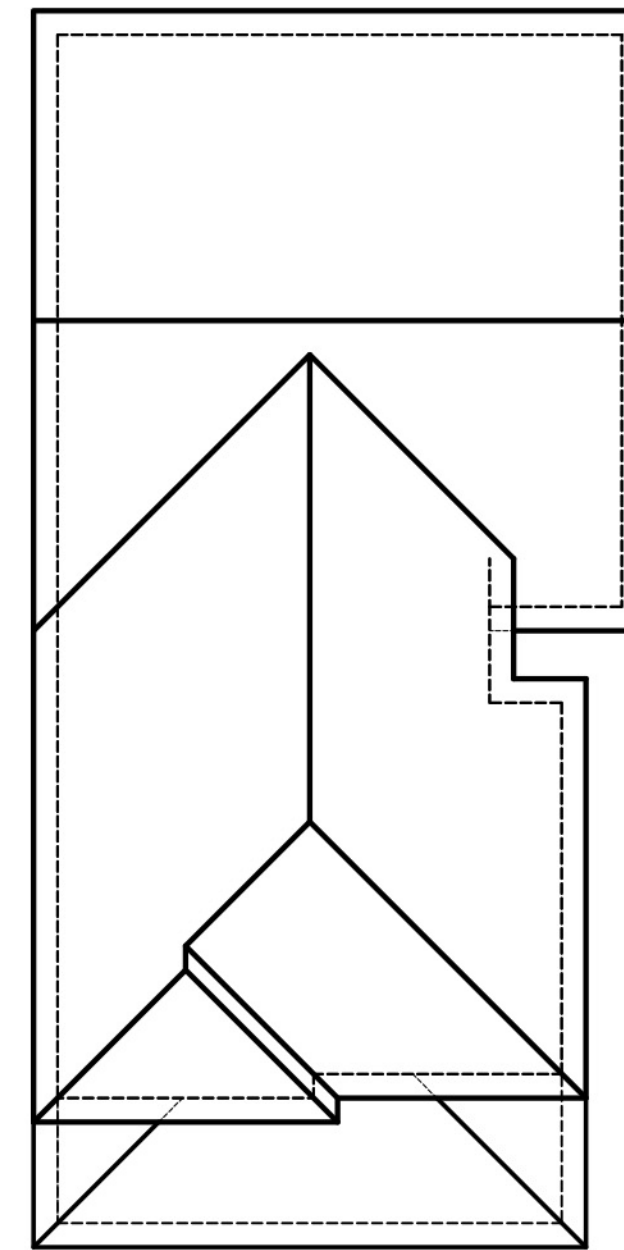




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

COLOR SCHEME #10

"D" ELEVATION

PLAN 1

**ROCKCLIFF II**  
MORENO VALLEY, CA



FRONT ELEVATION



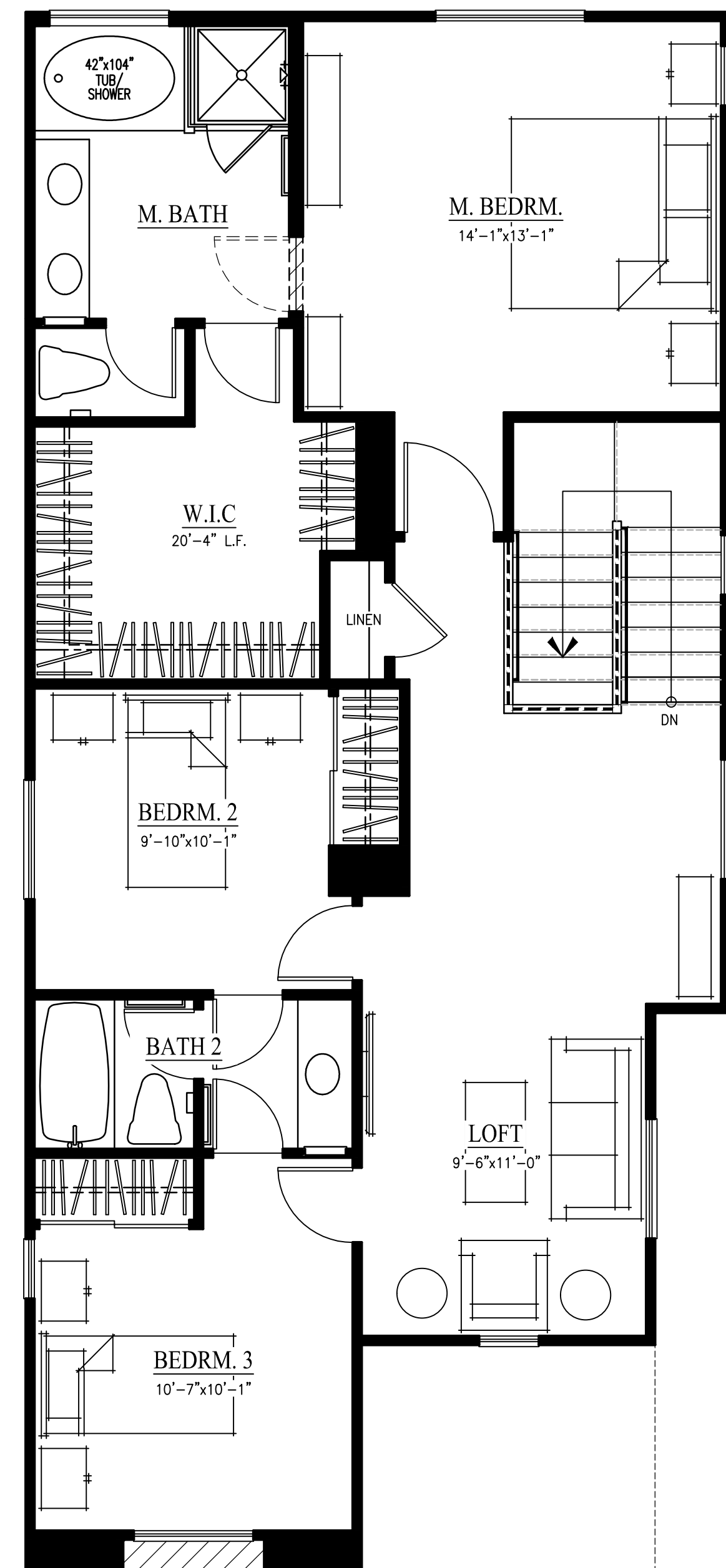
REAR ELEVATION



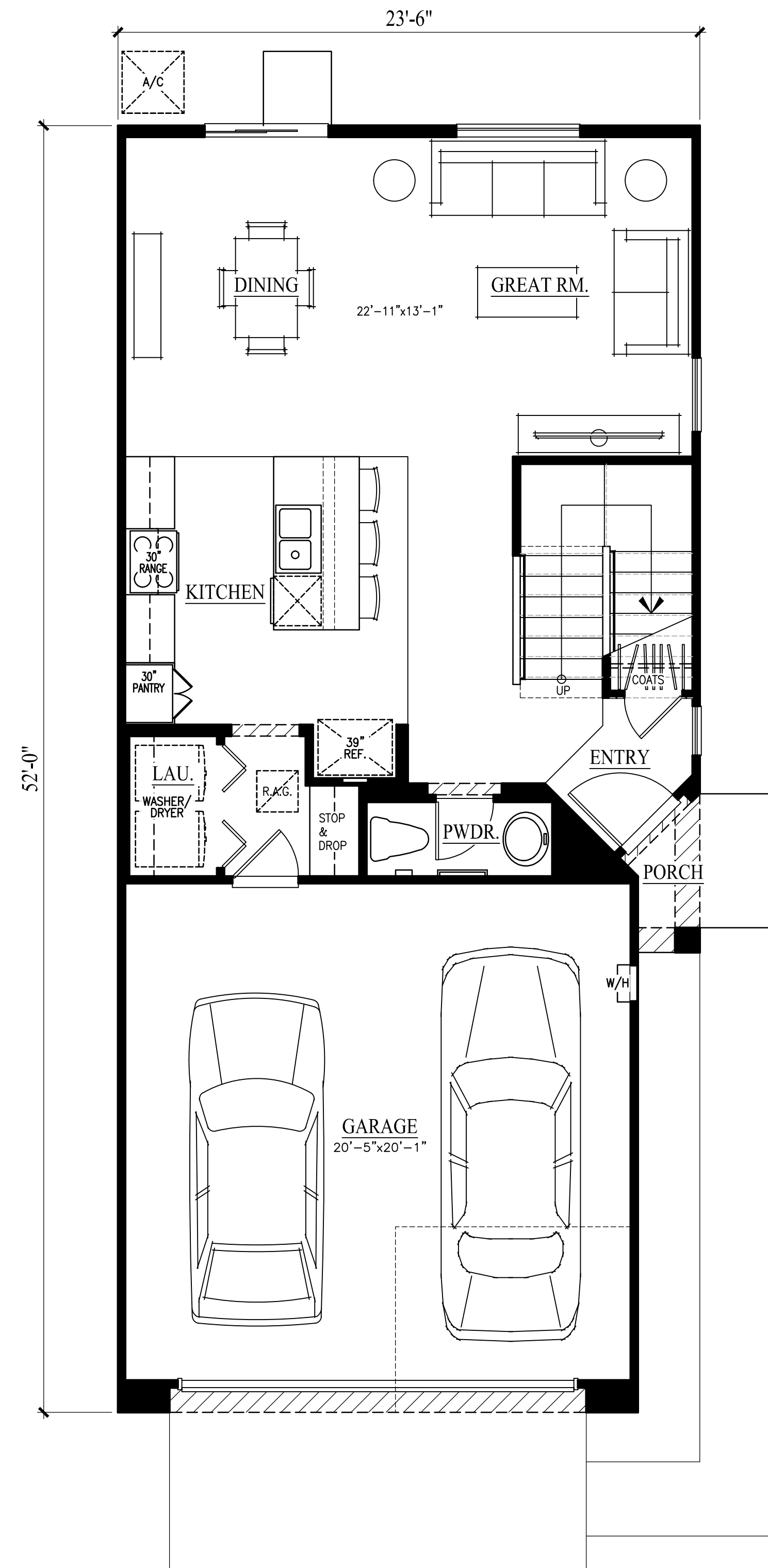
Job #: 14053  
Date: Feb 16, 2016

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	712 SQ. FT.
SECOND FLOOR AREA	1,021 SQ. FT.
TOTAL DWELLING	1,733 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	428 SQ. FT.
PORCH	15 SQ. FT.

PLAN 2

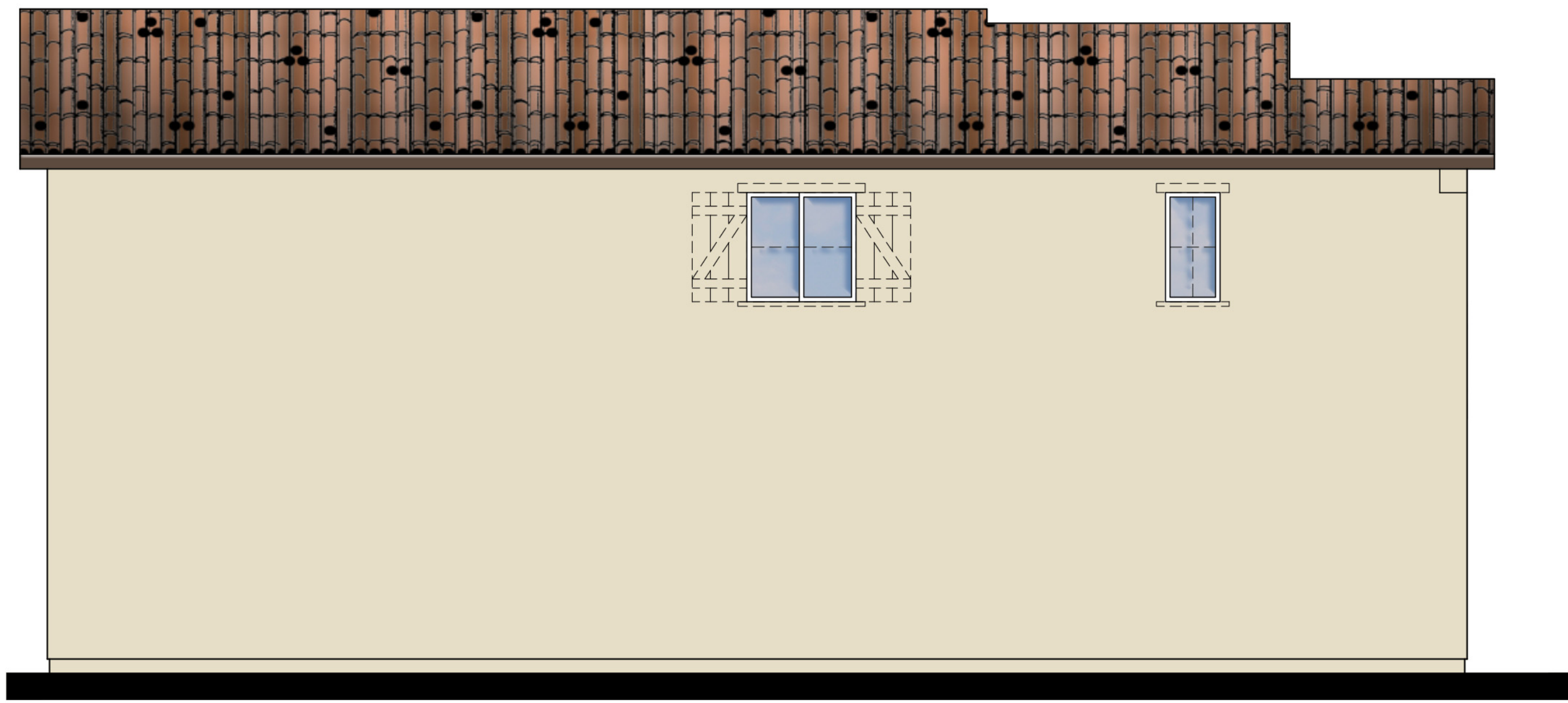
ROCKCLIFF II  
MORENO VALLEY, CA



Job #: 14053  
Date: Feb 15, 2016

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Attachment: Building Elevations (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



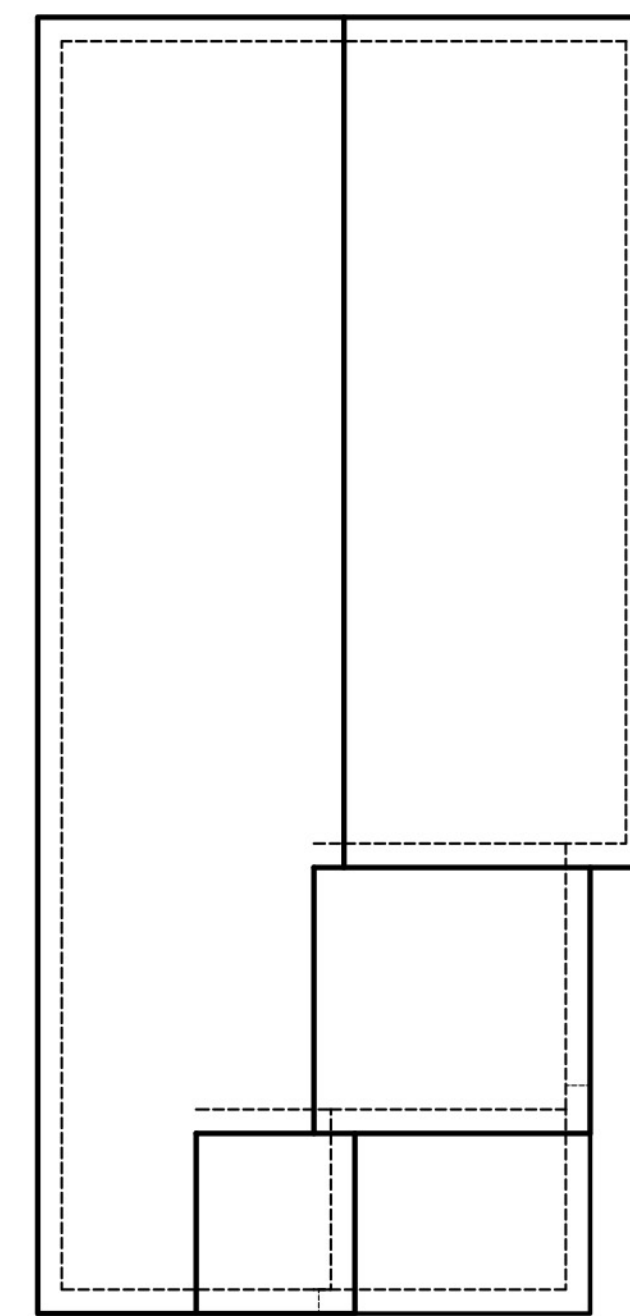
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #2

"A" ELEVATION

PLAN 2

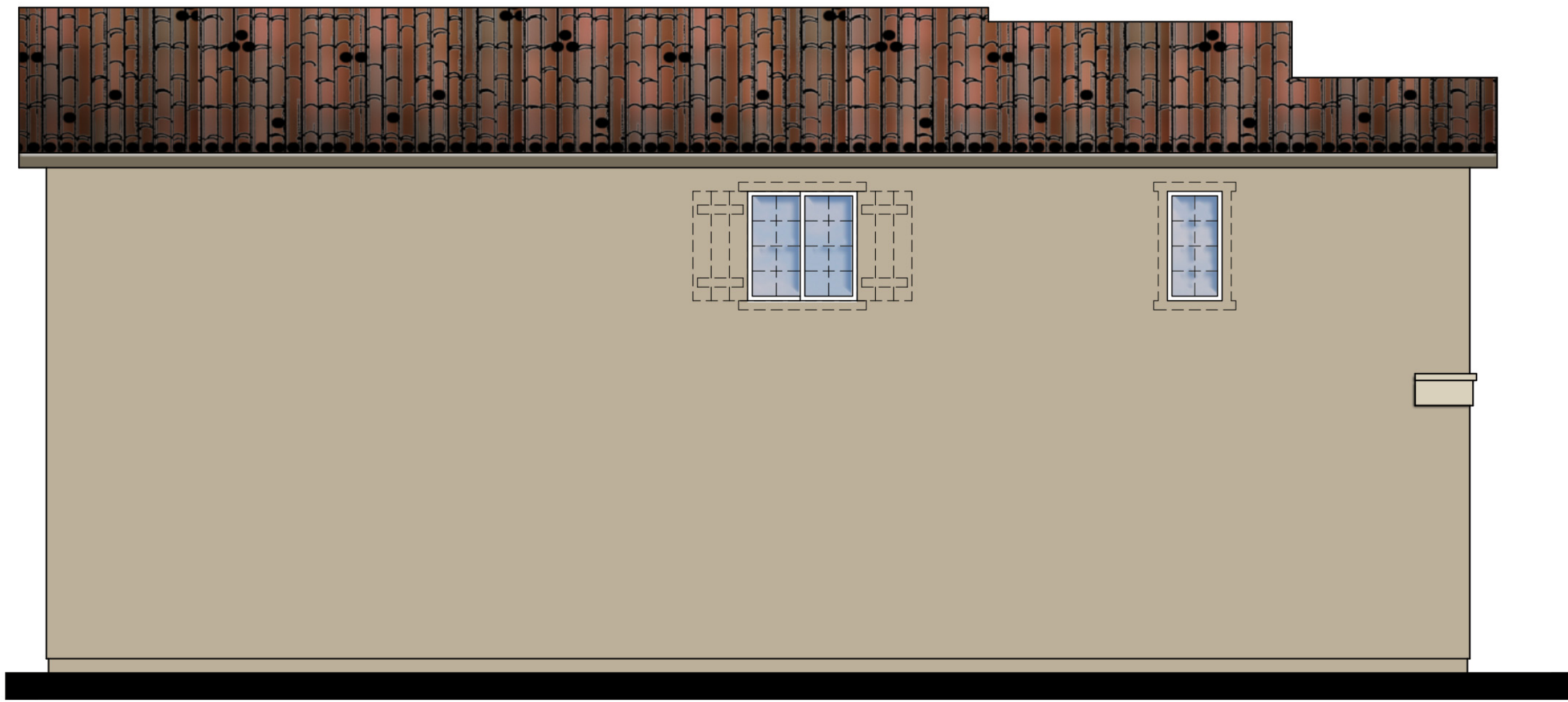
**ROCKCLIFF II**  
MORENO VALLEY, CA



Job #: 14053  
Date: Feb 15, 2016

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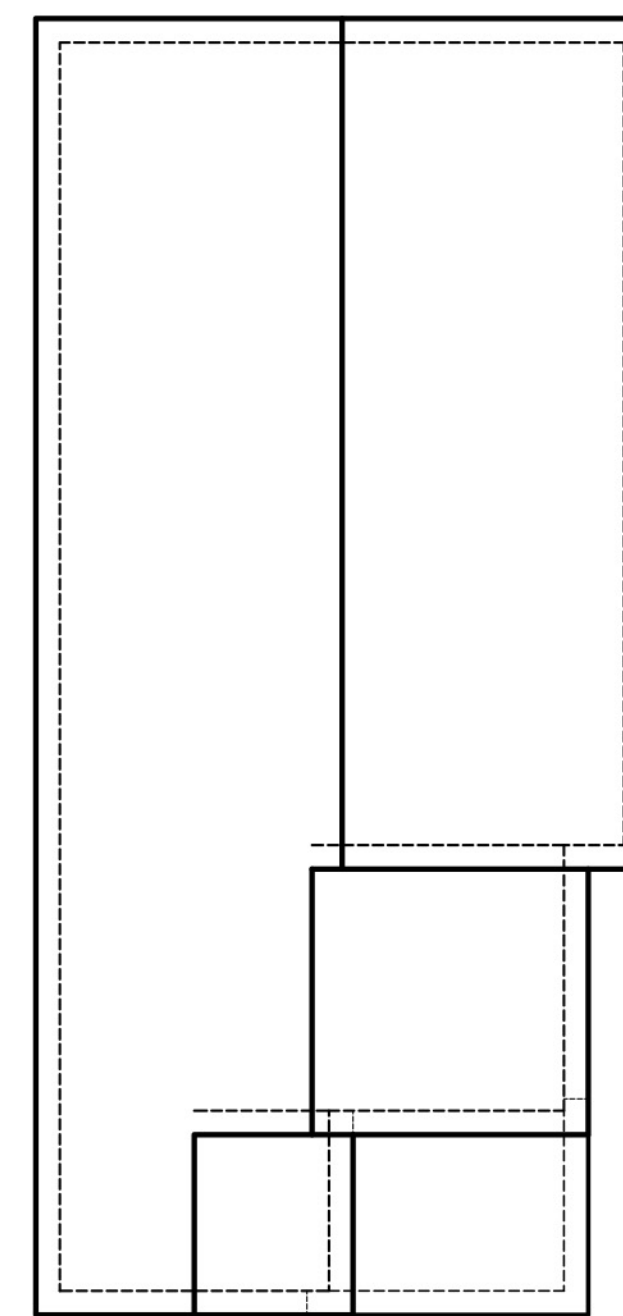
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #5

"B" ELEVATION

PLAN 2

**ROCKCLIFF II**  
MORENO VALLEY, CA

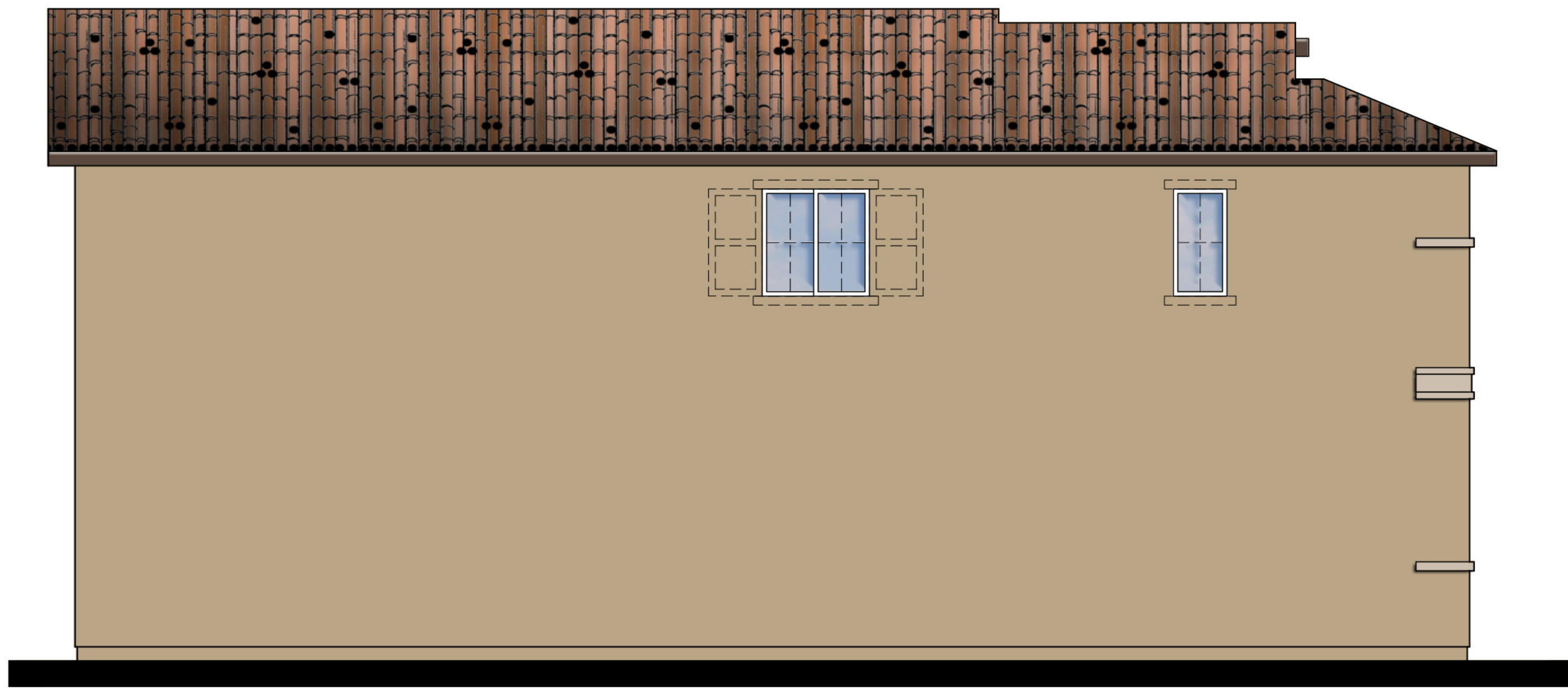


A HIGHER MEASURE OF HOME  
Job #: 14053  
Date: Feb 15, 2016

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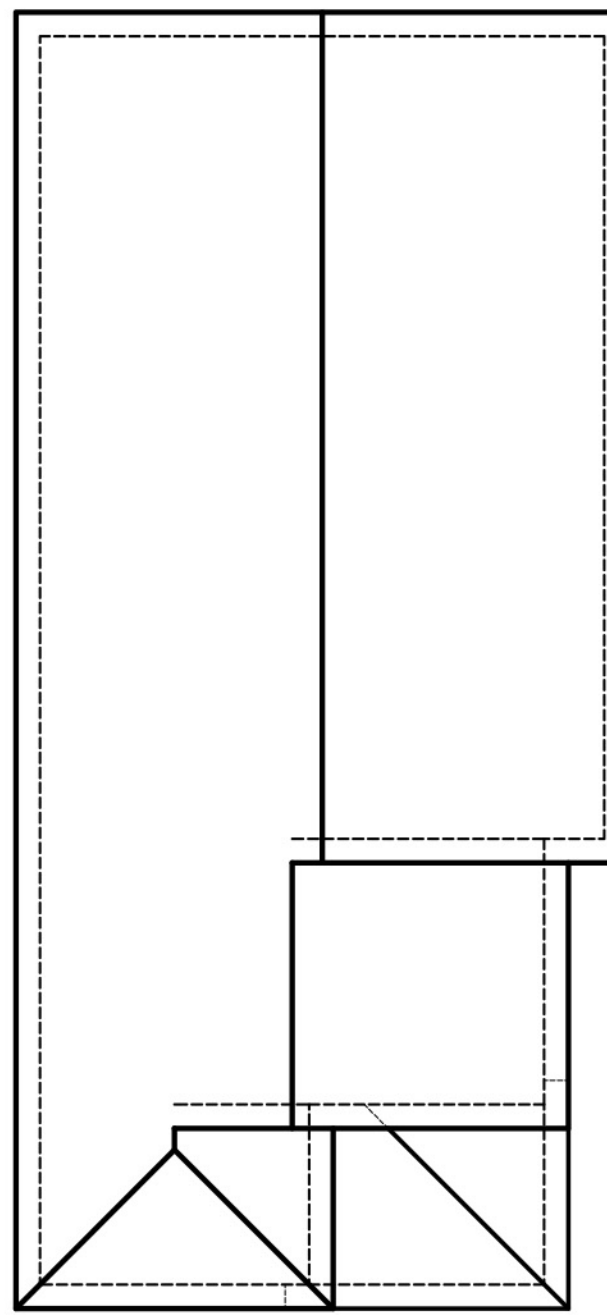
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LEFT ELEVATION



FRONT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



RIGHT ELEVATION



REAR ELEVATION

COLOR SCHEME #8

"C" ELEVATION

PLAN 2

**ROCKCLIFF II**  
MORENO VALLEY, CA



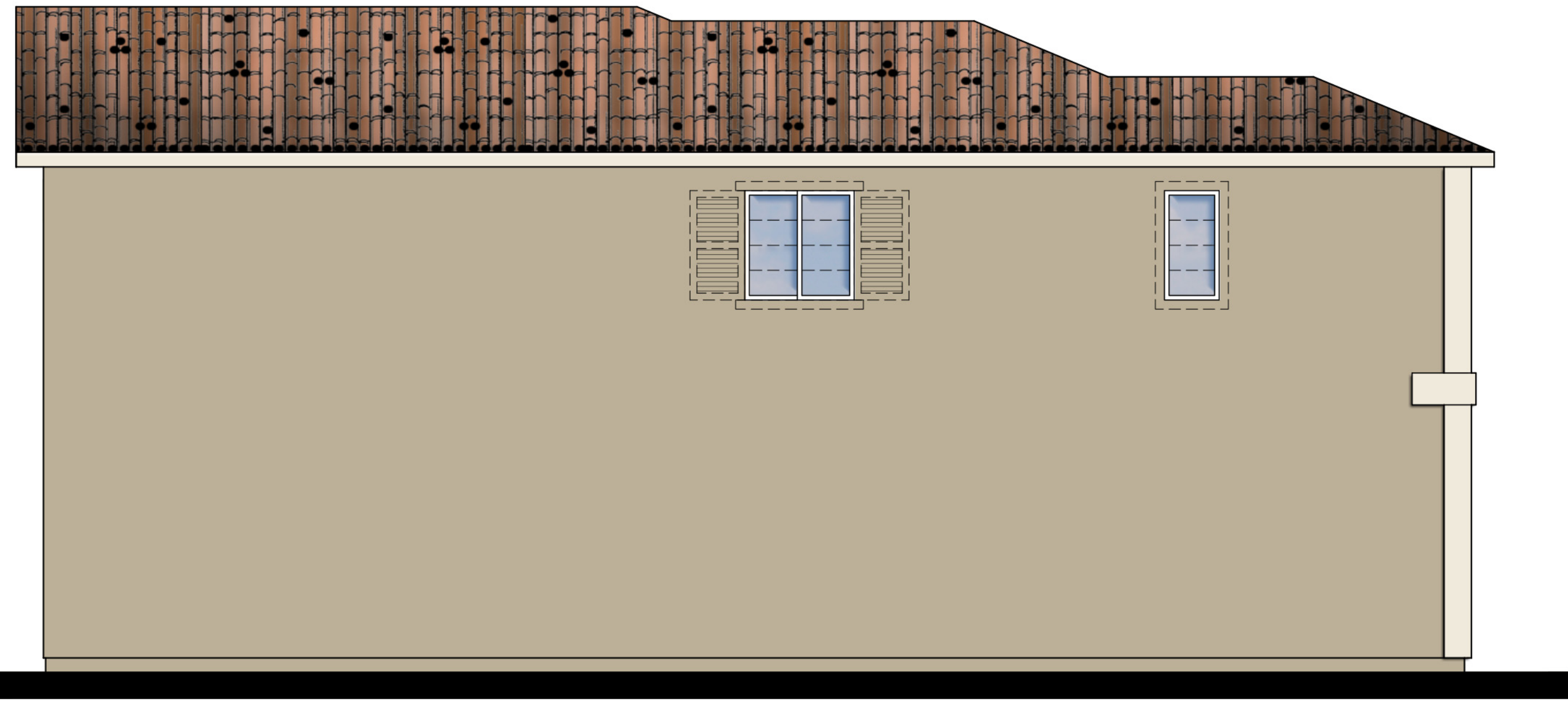
Job #: 14053  
Date: Feb 15, 2016

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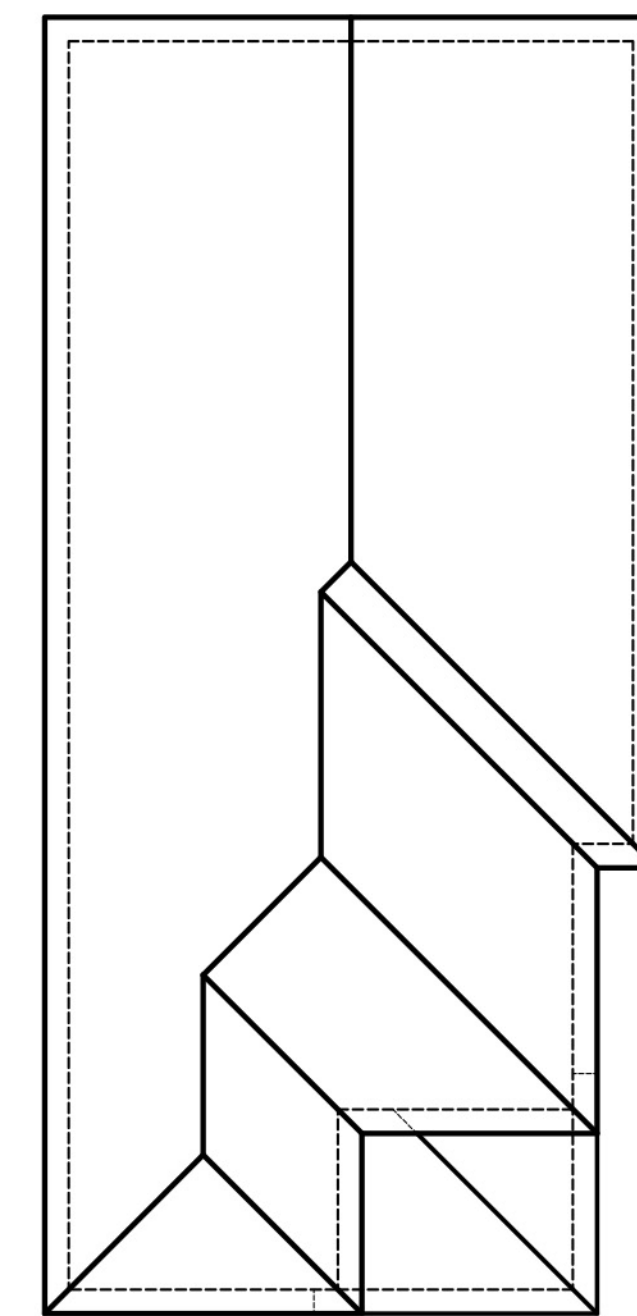




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

COLOR SCHEME #11

"D" ELEVATION

PLAN 2

**ROCKCLIFF II**  
MORENO VALLEY, CA



FRONT ELEVATION



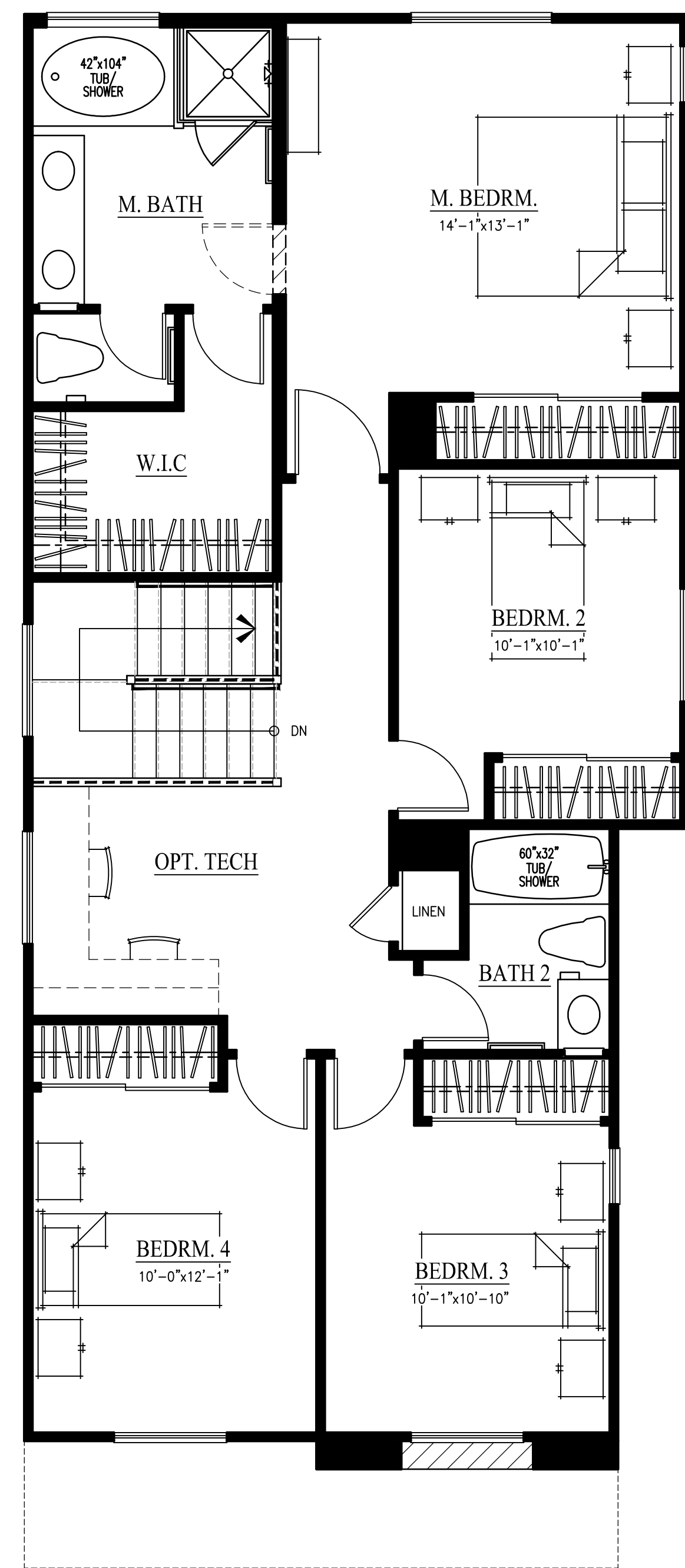
REAR ELEVATION



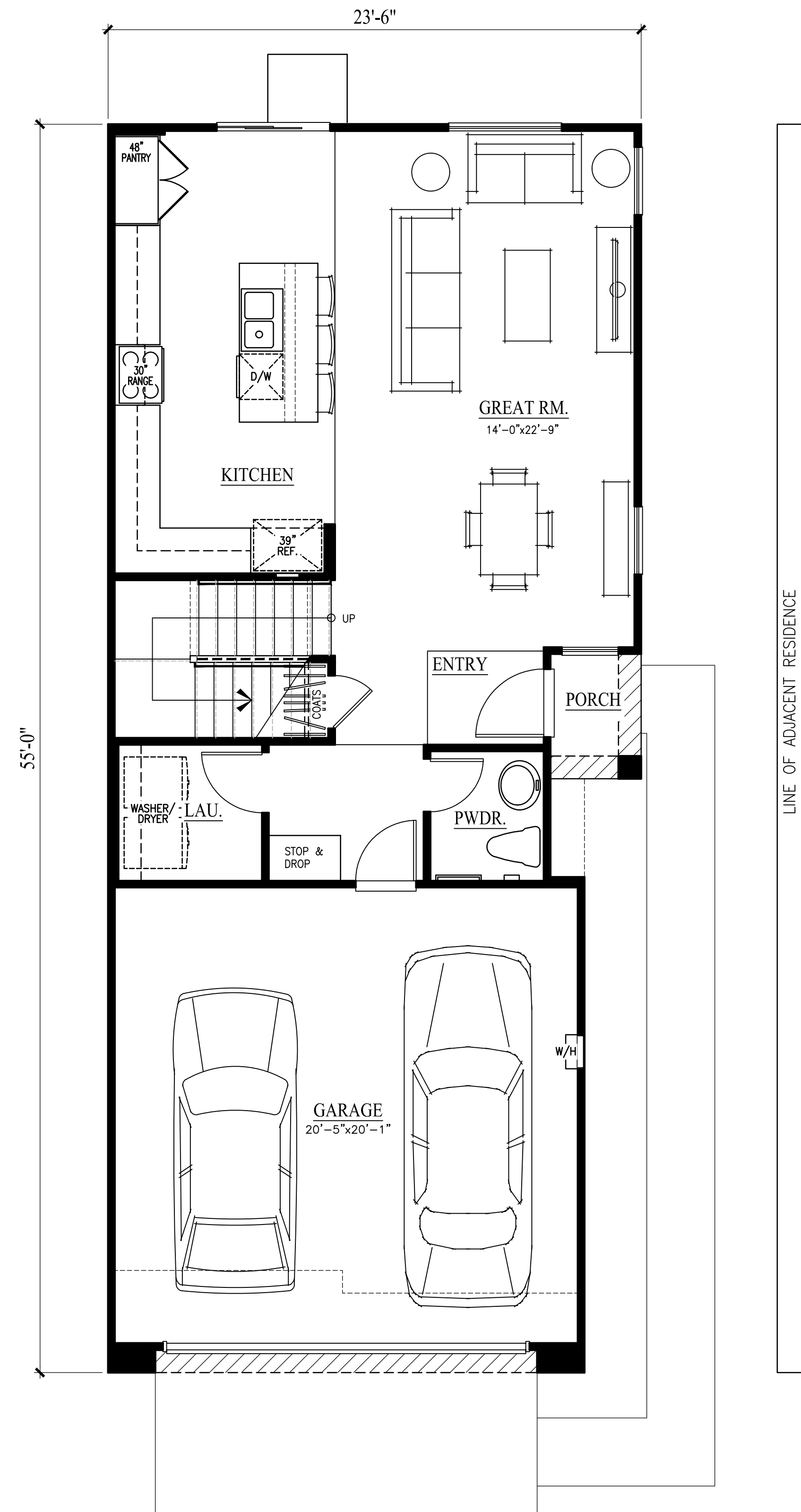
Job #: 14053  
Date: Feb 16, 2016

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	749 SQ. FT.
SECOND FLOOR AREA	1,069 SQ. FT.
TOTAL DWELLING	1,818 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	428 SQ. FT.
PORCH	22 SQ. FT.

PLAN 3

ROCKCLIFF II  
MORENO VALLEY, CA



Job #: 14053  
Date: Jun 08, 2015

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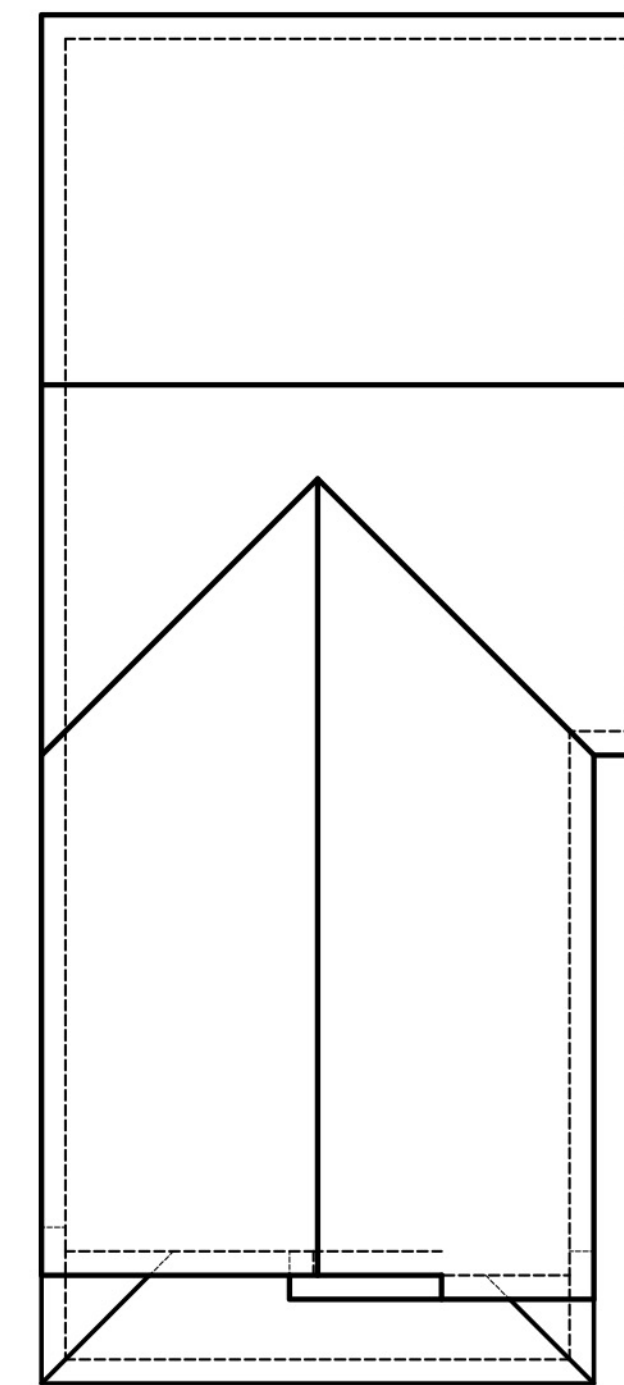
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #3

"A" ELEVATION

PLAN 3

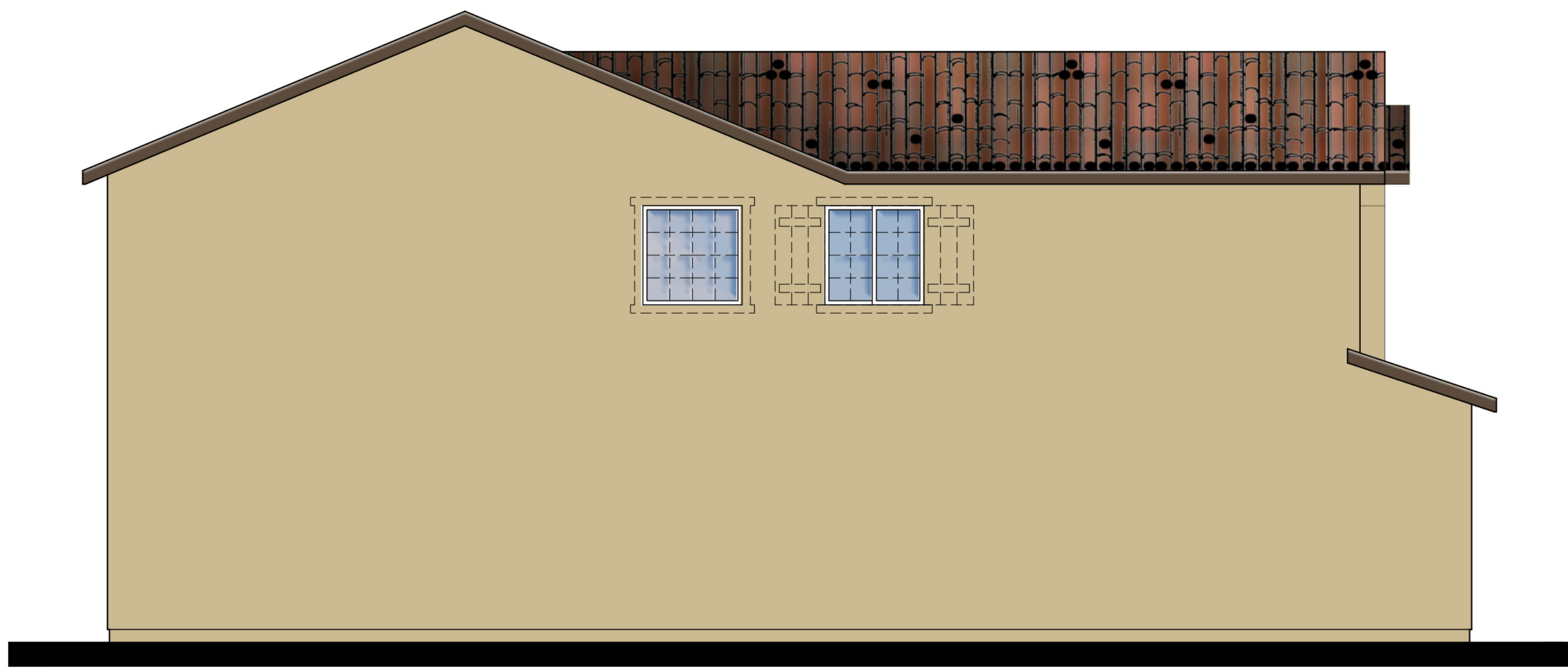
**ROCKCLIFF II**  
MORENO VALLEY, CA



Job #: 14053  
Date: Jun 17, 2015

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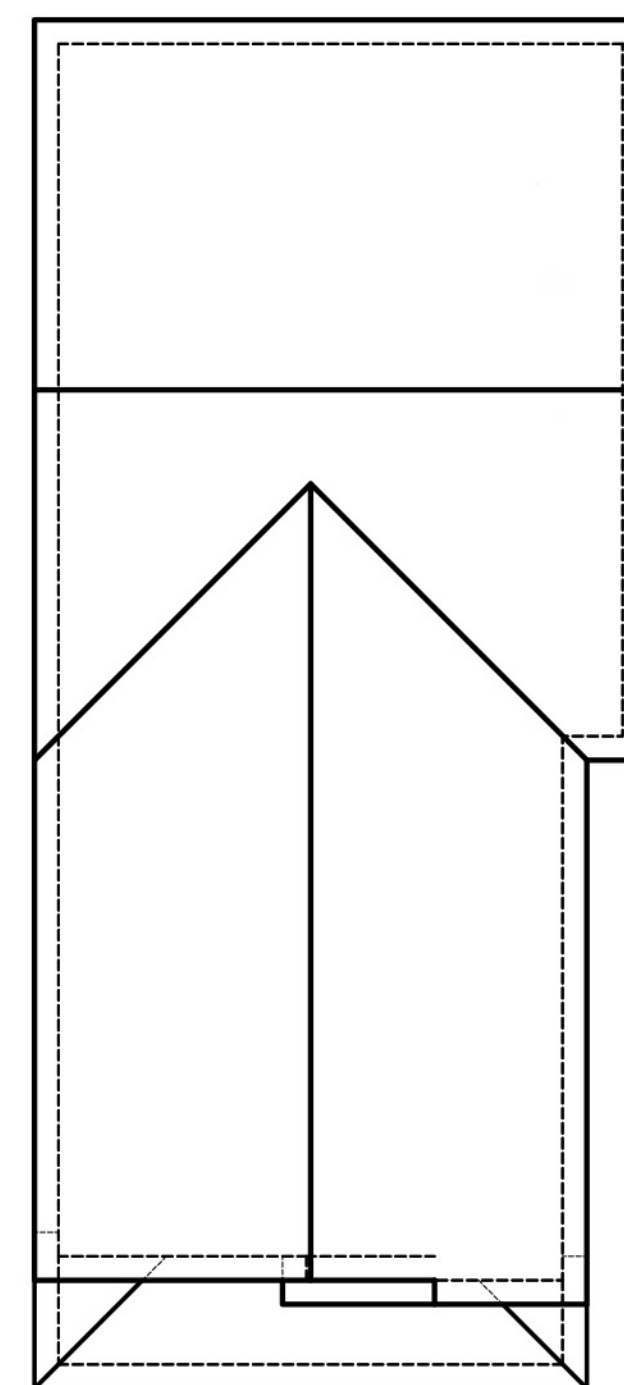
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LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



REAR ELEVATION

COLOR SCHEME #6

"B" ELEVATION

PLAN 3

**ROCKCLIFF II**  
MORENO VALLEY, CA

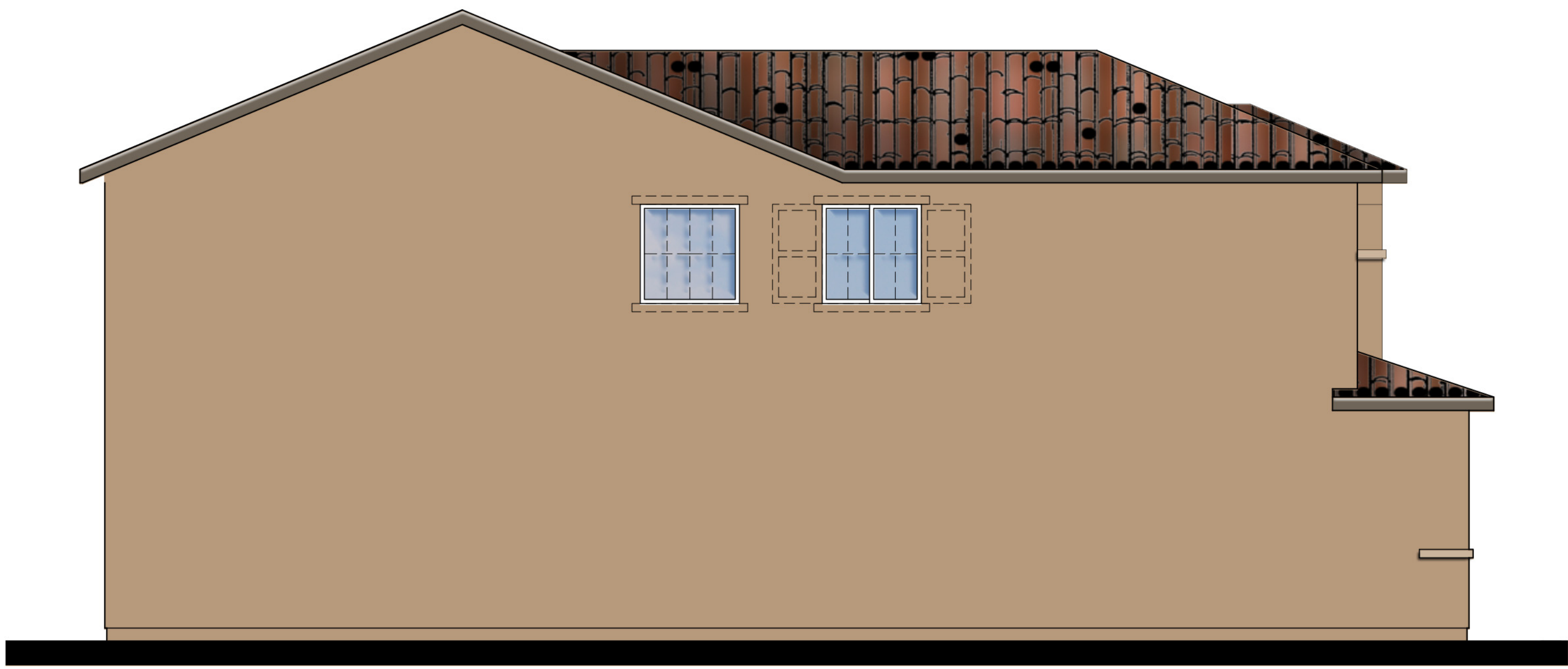


Job #: 14053  
Date: Jun 17, 2015

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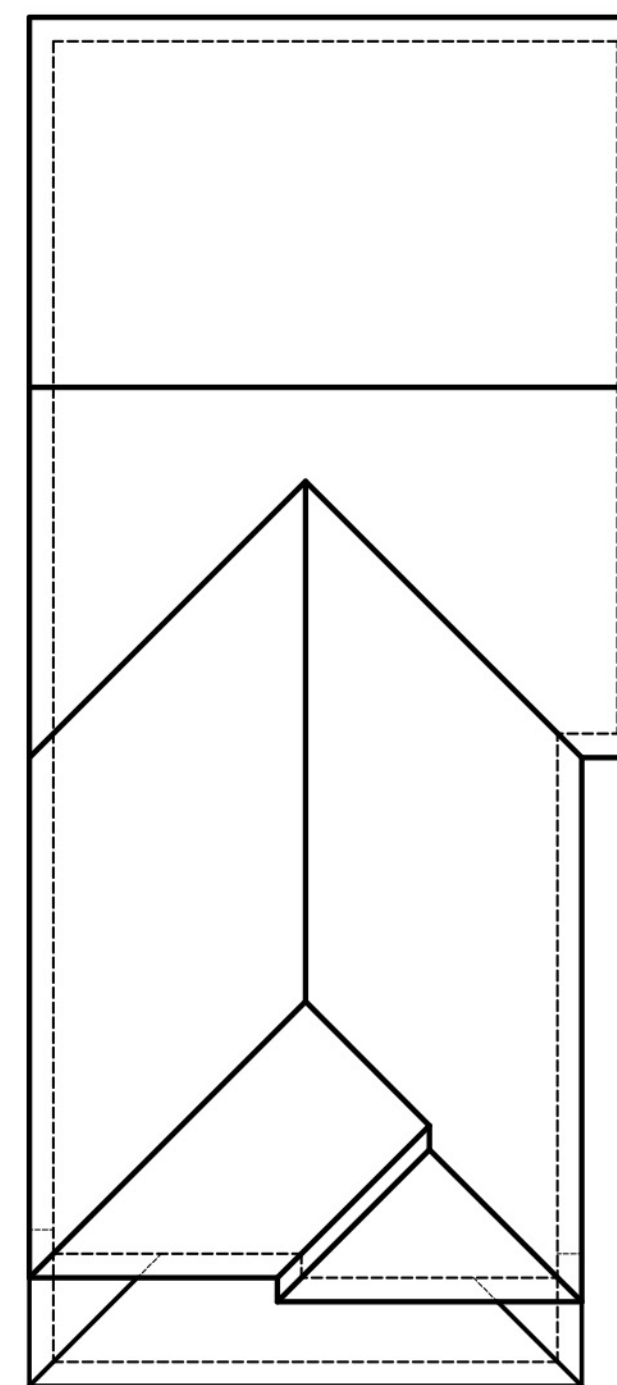
klcarch.com



LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



REAR ELEVATION

COLOR SCHEME #9

"C" ELEVATION

PLAN 3  
**ROCKCLIFF II**  
MORENO VALLEY, CA



Job #: 14053  
Date: Jun 17, 2015

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Attachment: Building Elevations (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



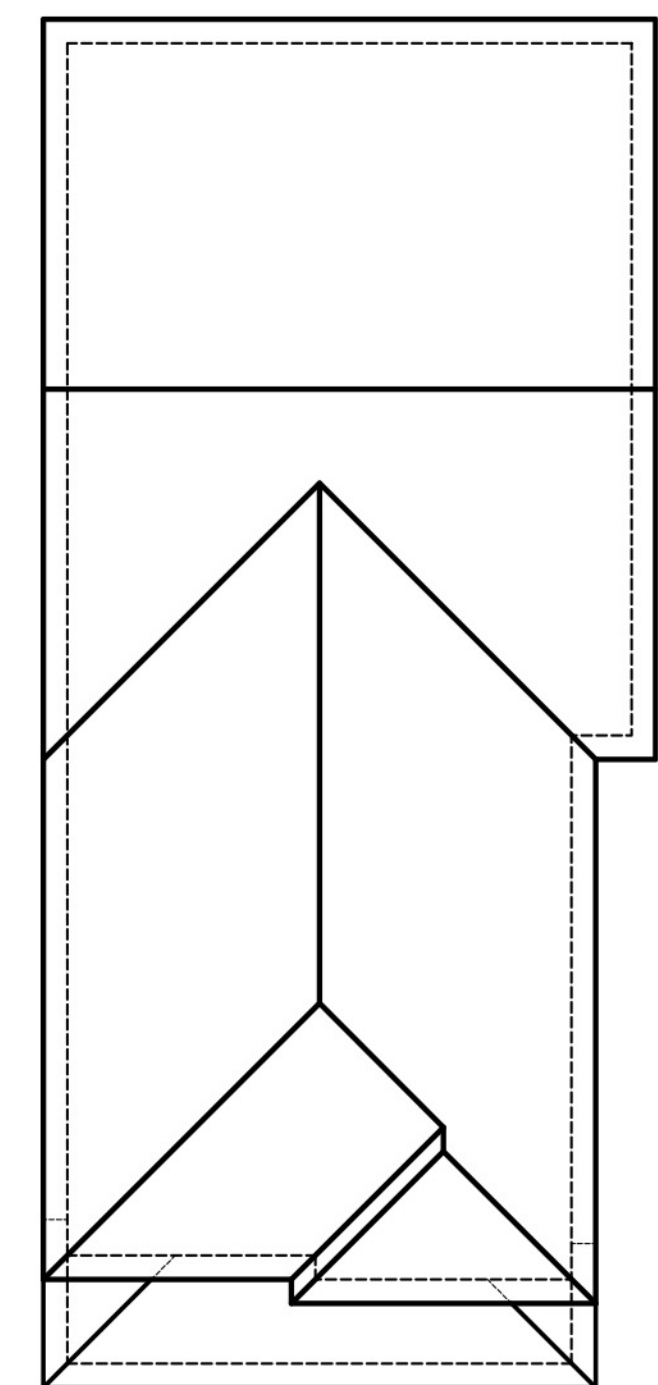
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #12

"D" ELEVATION

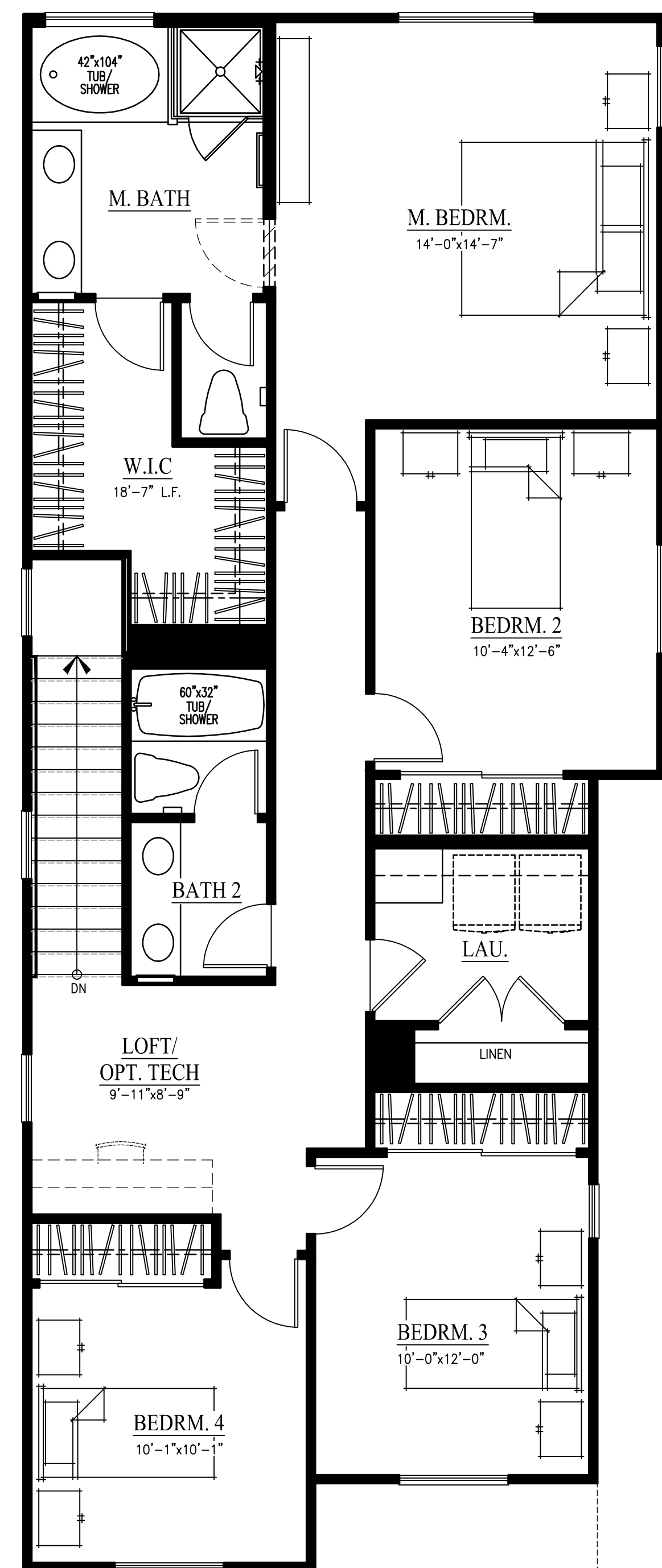
PLAN 3  
**ROCKCLIFF II**  
MORENO VALLEY, CA



Job #: 14053  
Date: Feb 16, 2016

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SECOND FLOOR PLAN

AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	803 SQ. FT.
SECOND FLOOR AREA	1,179 SQ. FT.
TOTAL DWELLING	1,982 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	428 SQ. FT.
PORCH	15 SQ. FT.

PLAN 4



FIRST FLOOR PLAN

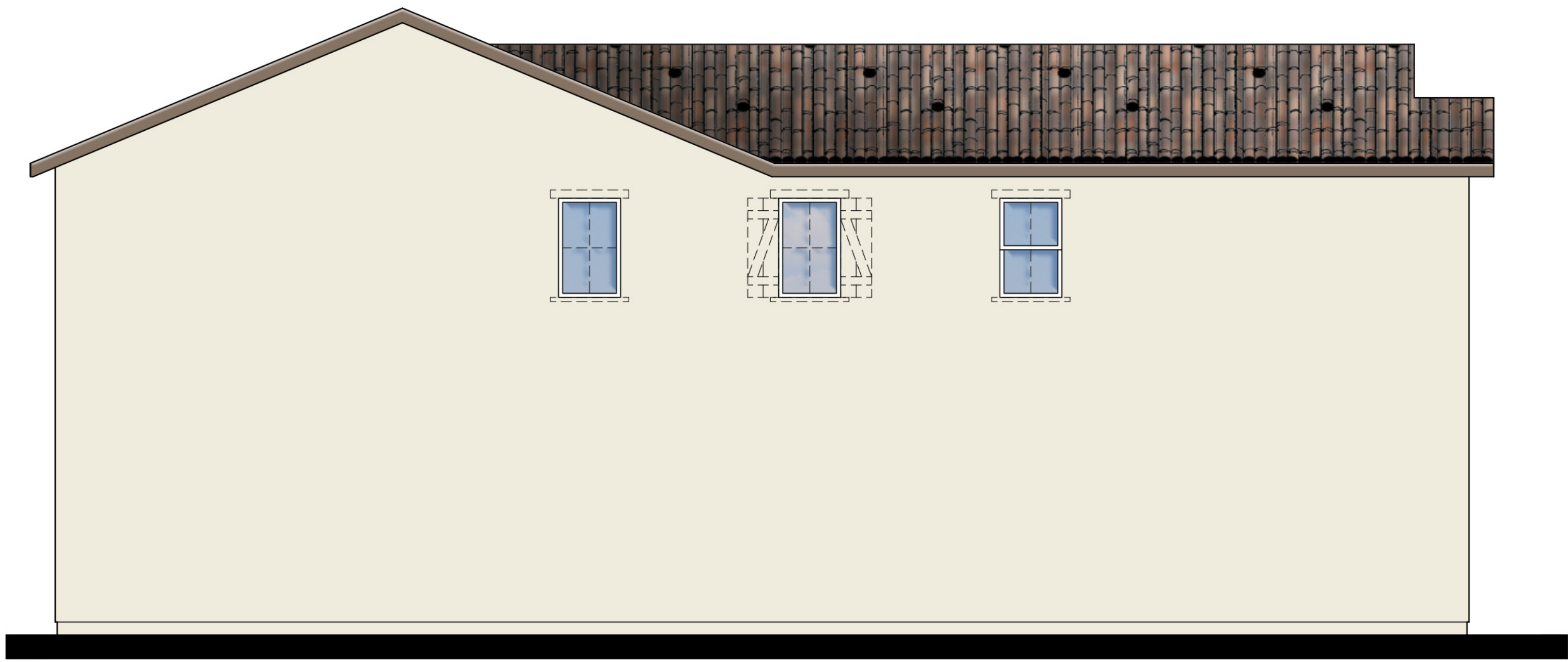
**ROCKCLIFF II**  
MORENO VALLEY, CA

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Job #: 14053  
Date: Jun 08, 2015

Attachment: Building Elevations (1924 : Tentative Tract Map and Conditional Use Permit for a Residential Planned Unit Development)



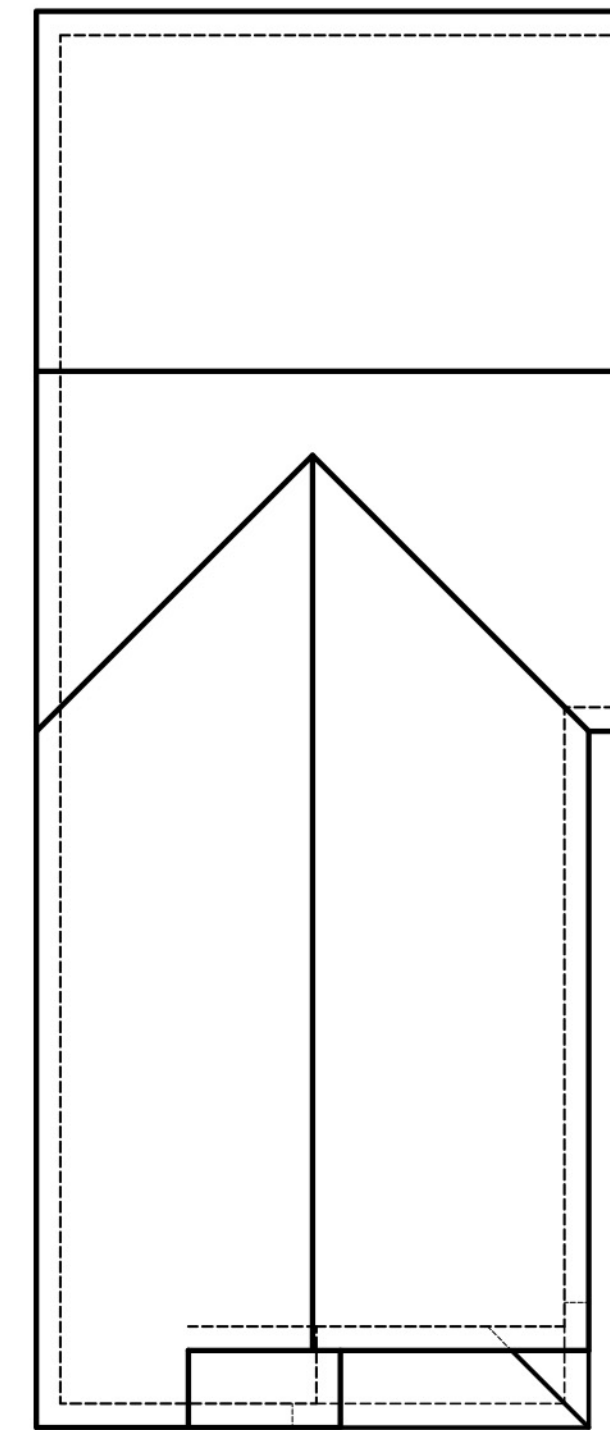
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



REAR ELEVATION

COLOR SCHEME #1

"A" ELEVATION

PLAN 4

**ROCKCLIFF II**  
MORENO VALLEY, CA



A HIGHER MEASURE OF HOME  
Job #: 14053  
Date: Feb 16, 2016

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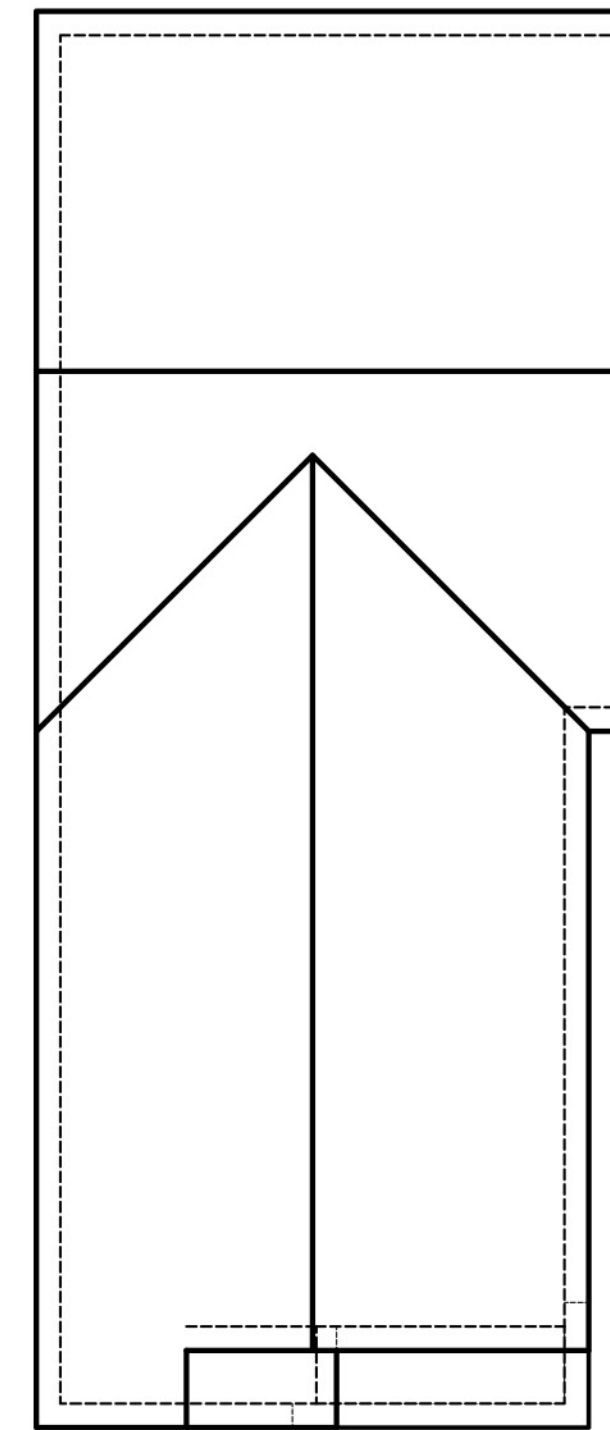




LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS

COLOR SCHEME #4

"B" ELEVATION

PLAN 4

**ROCKCLIFF II**  
MORENO VALLEY, CA



FRONT ELEVATION



REAR ELEVATION



Job #: 14053  
Date: Feb 16, 2016

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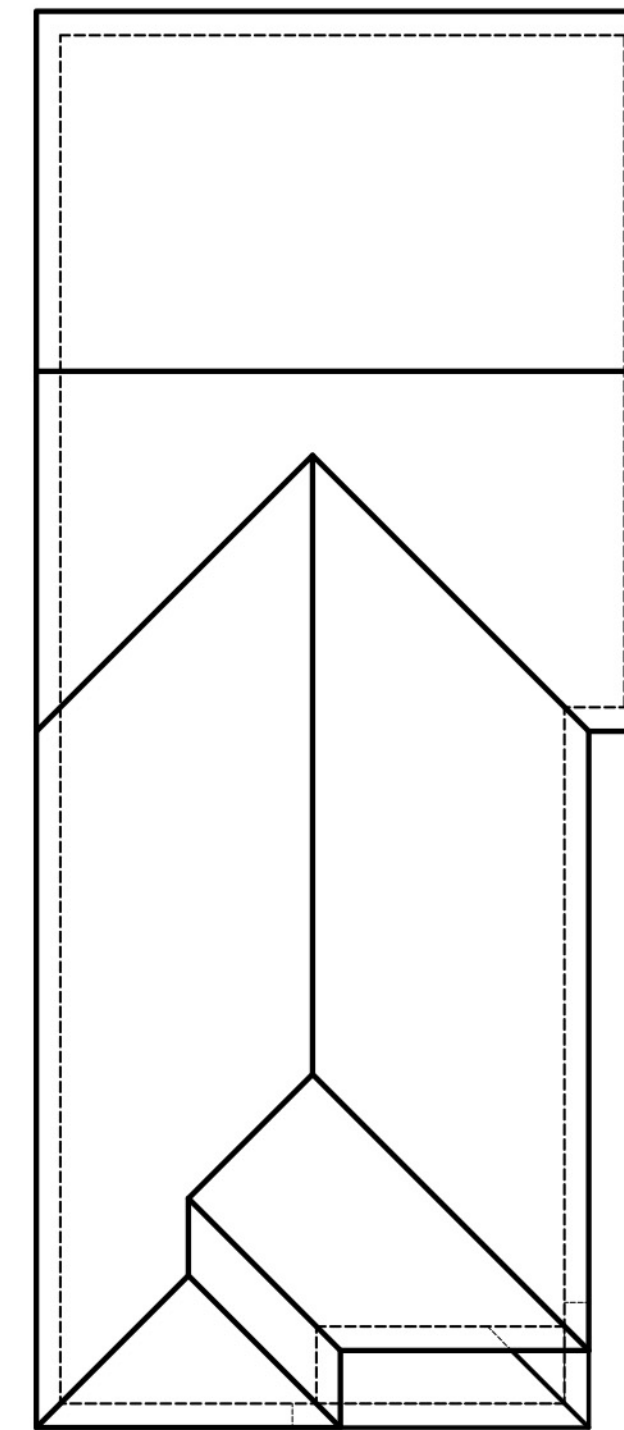
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LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



REAR ELEVATION

COLOR SCHEME #7

"C" ELEVATION

PLAN 4

**ROCKCLIFF II**  
MORENO VALLEY, CA



Job #: 14053  
Date: Feb 16, 2016

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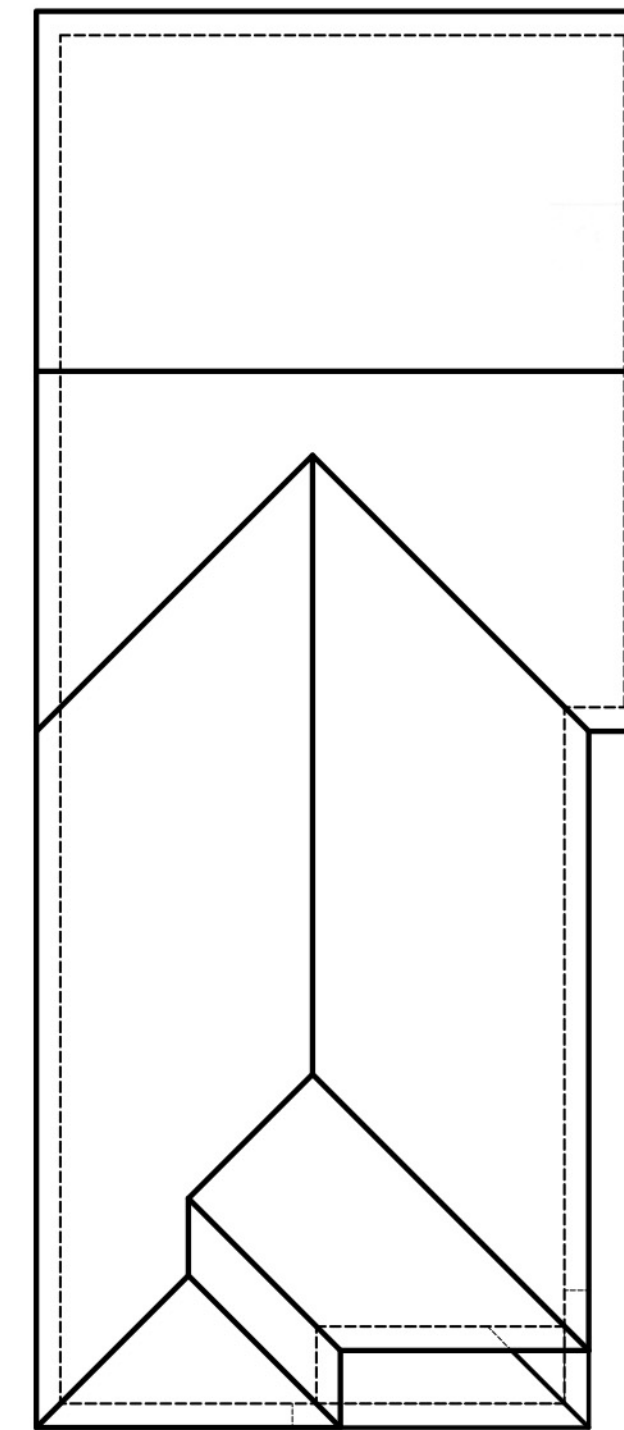
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LEFT ELEVATION



RIGHT ELEVATION



ROOF PLAN  
PITCH 5:12

WINDOW TRIM & SHUTTERS SHOWN DASHED  
SHALL OCCUR ON LOTS ADJACENT TO PUBLIC  
RIGHT OF WAYS REQUIRING ENHANCEMENTS



FRONT ELEVATION



REAR ELEVATION

COLOR SCHEME #10

"D" ELEVATION

PLAN 4

**ROCKCLIFF II**  
MORENO VALLEY, CA



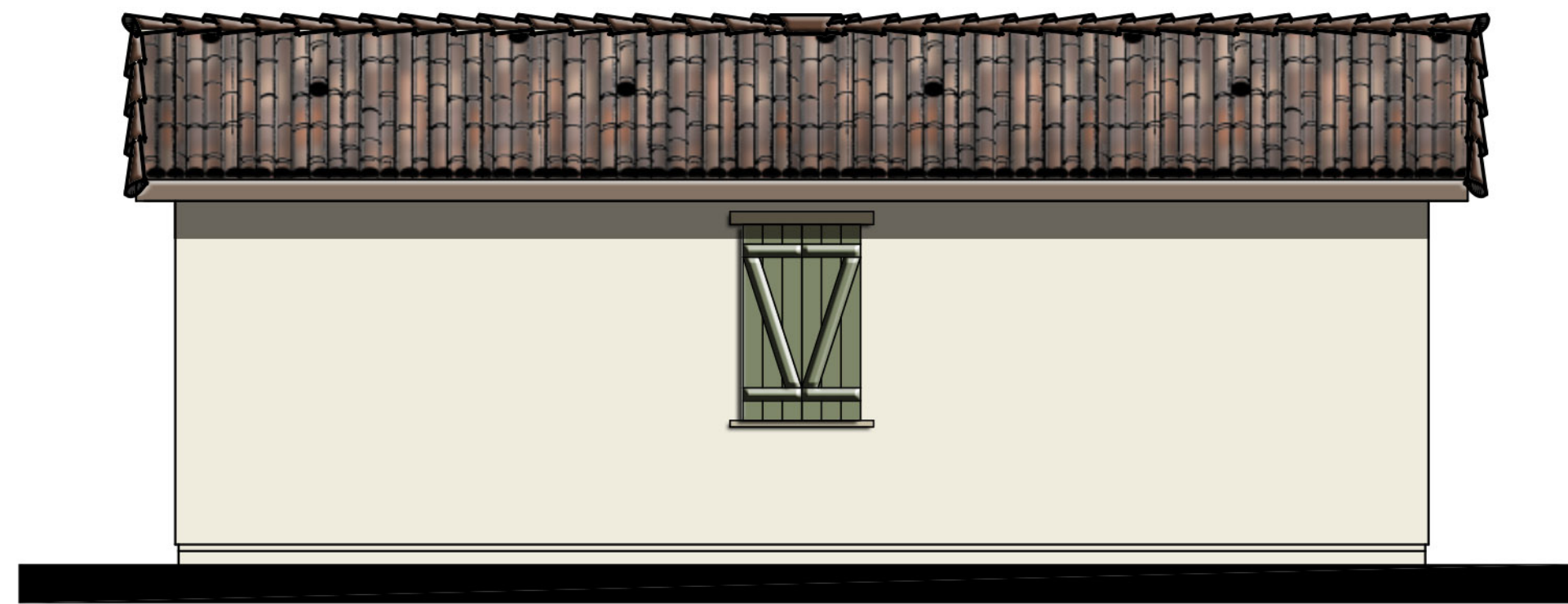
A HIGHER MEASURE OF HOME  
Job #: 14053  
Date: Feb 16, 2016

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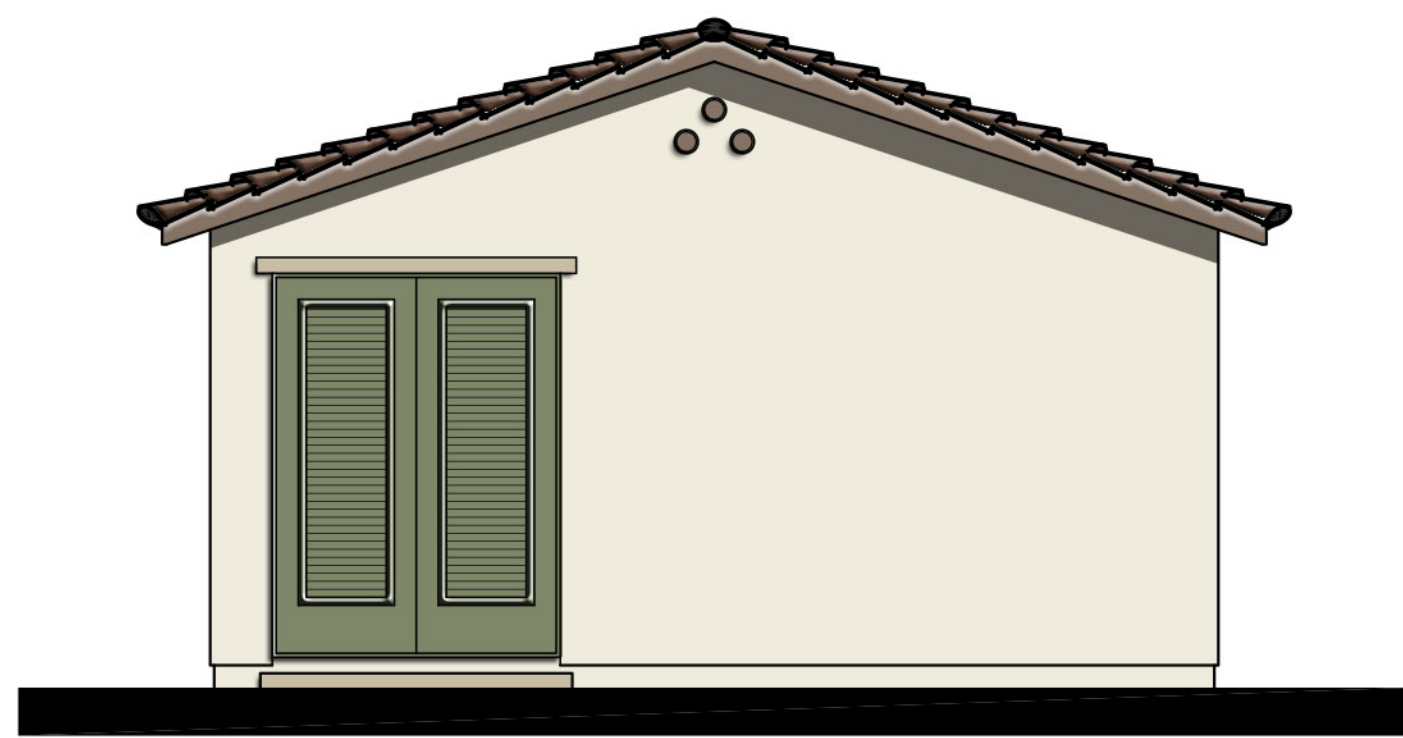




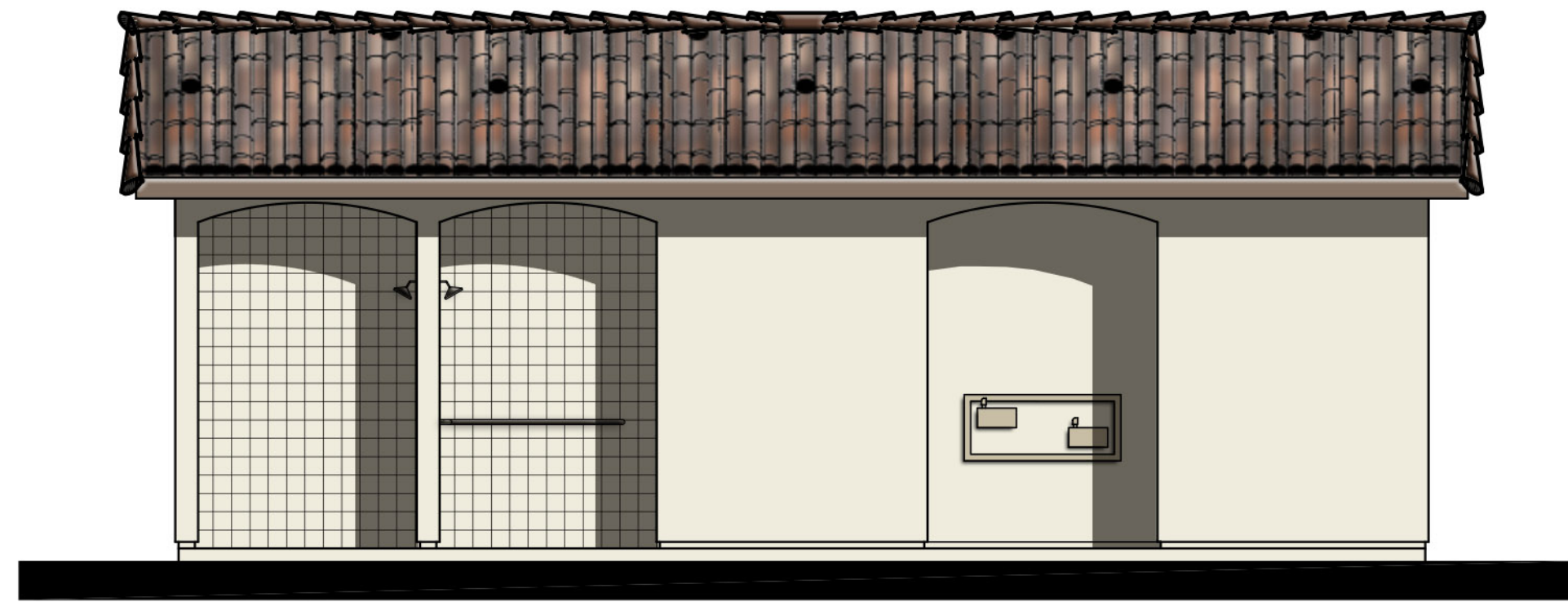
RIGHT ELEVATION



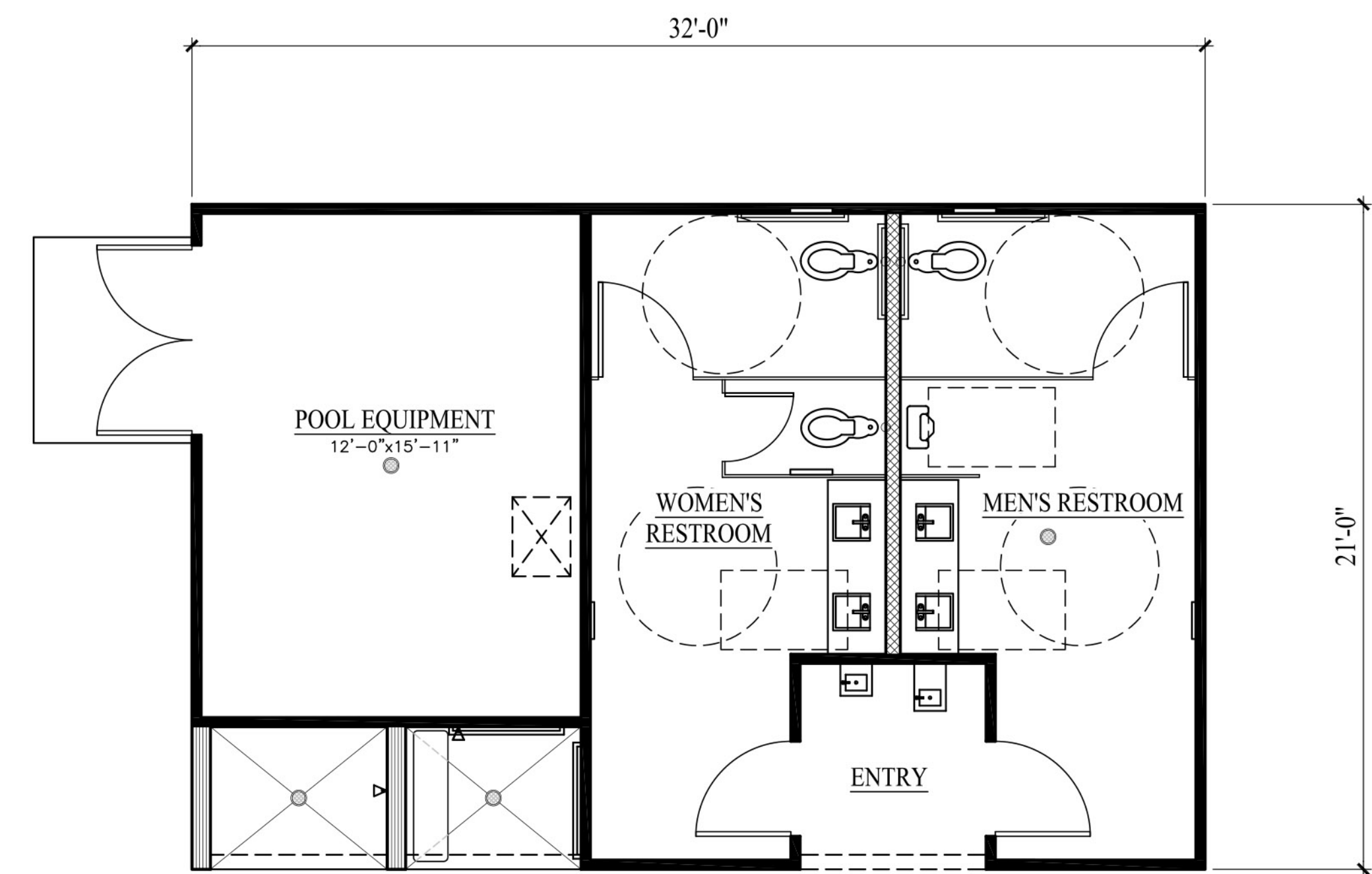
REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



AREA TABULATION

UNCONDITIONED SPACE	
WOMEN'S RESTROOM -	187 SQ. FT.
MEN'S RESTROOM -	187 SQ. FT.
POOL EQUIPMENT -	202 SQ. FT.
SHOWERS -	55 SQ. FT.
ENTRY -	38 SQ. FT.
TOTAL -	669 SQ. FT.

FLOOR PLAN  
9'-0" CEILING

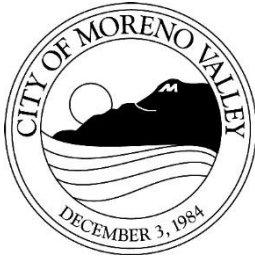
COLOR SCHEME #1

# Rockcliff II Pool Restroom Building

Moreno Valley, CA

**BEAZER**  
HOMES  
Job #: 16024  
Date: Mar 10, 2016

Kevin L. Crook  
**Architect**  
Inc



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## PLANNING COMMISSION

### STAFF REPORT

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Meeting Date: March 24, 2016

#### MUNICIPAL CODE AMENDMENT

Case: PA14-0011  
Applicant: City of Moreno Valley  
Owner: City of Moreno Valley  
Representative: Community Development Department  
Location: Citywide  
Case Planner: Claudia Manrique  
Council District: All

#### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission take the following action:

1. **APPROVE** a continuance of the Public Hearing to the Planning Commission meeting of April 28, 2016.

Prepared by:  
Claudia Manrique  
Associate Planner

Approved by:  
Allen Brock  
Community Development Director

#### **ATTACHMENTS**

None