



AGENDA
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF
THE CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
BOARD OF LIBRARY TRUSTEES

August 25, 2015

REGULAR MEETING – 6:00 PM

City Council Study Sessions

First & Third Tuesdays of each month – 6:00 p.m.

City Council Meetings

Special Presentations – 5:30 P.M.

Second & Fourth Tuesdays of each month – 6:00 p.m.

City Council Closed Session

Will be scheduled as needed at 4:30 p.m.

City Hall Council Chamber – 14177 Frederick Street

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Dr. Yxstian A. Gutierrez, Mayor Pro Tem
Jeffrey J. Giba, Council Member

Jesse L. Molina, Mayor

George E. Price, Council Member
D. LaDonna Jempson, Council Member

AGENDA
CITY COUNCIL OF THE CITY OF MORENO VALLEY
August 25, 2015

CALL TO ORDER - 5:30 PM

SPECIAL PRESENTATIONS

1. Moreno Valley Police Department (MVPD) Officer of the 1st Quarter 2015 – Officer Christopher Brown

2. Recognition of ASTERISK Student Interns

3. Recognition of Kyla Vincson, Scholastic National 180 Award Winner (Report of: City Clerk)

**AGENDA
JOINT MEETING OF THE
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF THE
CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
AND THE BOARD OF LIBRARY TRUSTEES**

***THE CITY COUNCIL RECEIVES A SEPARATE STIPEND FOR CSD
MEETINGS***

**REGULAR MEETING – 6:00 PM
AUGUST 25, 2015**

CALL TO ORDER

Joint Meeting of the City Council, Community Services District, City as Successor Agency for the Community Redevelopment Agency, Housing Authority and the Board of Library Trustees - actions taken at the Joint Meeting are those of the Agency indicated on each Agenda item.

PLEDGE OF ALLEGIANCE

INVOCATION

Pastor Mark Orellano, Victory Outreach

ROLL CALL

INTRODUCTIONS

PUBLIC COMMENTS ON MATTERS ON THE AGENDA WILL BE TAKEN UP AS THE ITEM IS CALLED FOR BUSINESS, BETWEEN STAFF'S REPORT AND CITY COUNCIL DELIBERATION (SPEAKER SLIPS MAY BE TURNED IN UNTIL THE ITEM IS CALLED FOR BUSINESS.)

PUBLIC COMMENTS ON ANY SUBJECT NOT ON THE AGENDA UNDER THE JURISDICTION OF THE CITY COUNCIL

Those wishing to speak should complete and submit a BLUE speaker slip to the Bailiff. There is a three-minute time limit per person. All remarks and questions shall be addressed to the presiding officer or to the City Council.

JOINT CONSENT CALENDARS (SECTIONS A-D)

All items listed under the Consent Calendars, Sections A, B, C, and D are considered to be routine and non-controversial, and may be enacted by one motion unless a member of the City Council, Community Services District, City as Successor Agency for the Community Redevelopment Agency, Housing Authority or the Board of Library Trustees

requests that an item be removed for separate action. The motion to adopt the Consent Calendars is deemed to be a separate motion by each Agency and shall be so recorded by the City Clerk. Items withdrawn for report or discussion will be heard after public hearing items.

A. CONSENT CALENDAR-CITY COUNCIL

- A.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- A.2. MINUTES - CITY COUNCIL - REGULAR MEETING - JUL 14, 2015 6:00 PM

Recommendation: Approve as submitted.

- A.3. CITY COUNCIL REPORTS ON REIMBURSABLE ACTIVITIES (Report of: City Clerk)

Recommendation:

1. Receive and file the Reports on Reimbursable Activities for the period of July 8 - August 18, 2015.

- A.4. RESOLUTION URGING THE STATE OF CALIFORNIA TO PROVIDE NEW SUSTAINABLE FUNDING FOR STATE AND LOCAL TRANSPORTATION INFRASTRUCTURE (Report of: City Manager)

Recommendation:

1. Adopt Resolution No. 2015-60. A Resolution of the City Council of the City of Moreno Valley, California, urging the State of California to provide new sustainable funding for state and local transportation infrastructure.

- A.5. AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE MORONGO BAND OF MISSION INDIANS TO THE GOVERNING BOARD (Report of: City Manager)

Recommendation:

1. Amend the Joint Powers Agreement with the Western Riverside Council of Governments to add the Morongo Band of Mission Indians as a Voting Member.

- A.6. APPROVE RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE AGREEMENT WITH THE BOARD OF EQUALIZATION FOR

IMPLEMENTATION OF THE LOCAL PREPAID MOBILE TELEPHONY SERVICES COLLECTION ACT (Report of: Financial & Management Services)

Recommendation:

1. Approve Resolution No. 2015-61. A Resolution of the City Council of the City of Moreno Valley, California, Authorizing the City Manager to Execute Agreement with the Board of Equalization for Implementation of the Local Prepaid Mobile Telephony Services Collection Act.

A.7. RECEIPT OF QUARTERLY INVESTMENT REPORT FOR THE QUARTER ENDED JUNE 30, 2015 (Report of: Financial & Management Services)

Recommendation:

1. Receive and file the Quarterly Investment Report for quarter ended June 30, 2015, in compliance with the City's Investment Policy.

A.8. APPROVAL OF RENEWABLE ENERGY RESOURCES PROCUREMENT PLAN UPDATE FOR FISCAL YEAR 2015/2016 (Report of: Financial & Management Services)

Recommendation:

1. Approve the Renewable Energy Resources Procurement Plan Update for Fiscal Year 2015/2016.

A.9. APPROVAL OF RESOURCE ADEQUACY PROGRAM UPDATES FOR FISCAL YEAR 2015/2016 (Report of: Financial & Management Services)

Recommendation:

1. Approve the Resource Adequacy Program updates for Fiscal Year 2015/2016

A.10. AUTHORIZATION OF ANNUAL TECHNOLOGY SOFTWARE AND HARDWARE MAINTENANCE PAYMENTS AND WAIVING FORMAL BID (Report of: Financial & Management Services)

Recommendations:

1. Waive the formal bidding requirements for technology annual maintenance payments.
2. Waive the insurance requirements for technology annual maintenance payments that do not require on-site maintenance.

3. Authorize the City Manager to make technology annual maintenance payments to various vendors for an aggregate amount not-to-exceed \$982,931 during Fiscal Year 2015-16.

A.11. LIST OF PERSONNEL CHANGES (Report of: Administrative Services)

Recommendation:

1. Ratify the list of personnel changes as described.

A.12. PAYMENT REGISTER - JUNE 2015 (Report of: Financial & Management Services)

Recommendation:

1. Receive and file the Payment Register.

A.13. ORDINANCE NO. 899, AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, REPEALING AND REENACTING CHAPTER 11.60 OF TITLE 11 OF THE MORENO VALLEY MUNICIPAL CODE REGULATING AND AUTHORIZING ALARM SYSTEMS (RECEIVED INTRODUCTION ON JULY 14, 2015 BY A 5-0 VOTE) (Report of: City Manager)

Recommendation:

1. Adopt Ordinance No. 899. An Ordinance of the City Council of the City of Moreno Valley, California, repealing and reenacting Chapter 11.60 of Title 11 of the Moreno Valley Municipal Code regulating and authorizing alarm systems.

B. CONSENT CALENDAR-COMMUNITY SERVICES DISTRICT

B.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

B.2. MINUTES - REGULAR MEETING OF JULY 14, 2015 (See A.2)

Recommendation: Approve as submitted.

B.3. APPROVE FACILITY LICENSE AGREEMENT FOR MORENO VALLEY YOUTH OPPORTUNITY CENTER AT MORENO VALLEY CONFERENCE AND RECREATION CENTER (Report of: Parks & Community Services)

Recommendation:

1. Approve the Facility License Agreement for the Moreno Valley Youth Opportunity Center at the Moreno Valley Conference and Recreation Center.

C. CONSENT CALENDAR - HOUSING AUTHORITY

- C.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- C.2. MINUTES - REGULAR MEETING OF JULY 14, 2015 (See A.2)

Recommendation: Approve as submitted.

D. CONSENT CALENDAR - BOARD OF LIBRARY TRUSTEES

- D.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- D.2. MINUTES - REGULAR MEETING OF JULY 14, 2015 (See A.2)

Recommendation: Approve as submitted.

E. PUBLIC HEARINGS - NONE

Questions or comments from the public on a Public Hearing matter are limited to five minutes per individual and must pertain to the subject under consideration. Those wishing to speak should complete and submit a GOLDENROD speaker slip to the Bailiff.

F. ITEMS REMOVED FROM CONSENT CALENDARS FOR DISCUSSION OR SEPARATE ACTION

G. REPORTS

G.1. CITY COUNCIL REPORTS ON REGIONAL ACTIVITIES

(Informational Oral Presentation - not for Council action)

March Joint Powers Commission (JPC)

Riverside County Habitat Conservation Agency (RCHCA)

Riverside County Transportation Commission (RCTC)

Riverside Transit Agency (RTA)

Western Riverside Council of Governments (WRCOG)

Western Riverside County Regional Conservation Authority (RCA)

School District/City Joint Task Force

G.2. APPOINTMENTS TO VARIOUS CITY COUNCIL ADVISORY BOARD AND COMMISSIONS (Report of: City Clerk)

Recommendations: That the City Council:

1. Appoint those applicants who received majority vote by the City Council. Appoint Christopher Johnson to the Arts Commission as a teenage member with a term expiring three years after the effective date of appointment, or until high school graduation, whichever comes first.
2. Appoint one applicant to the Environmental and Historical Preservation Board with a term expiring June 30, 2016.
3. Appoint one applicant to the Traffic Safety Commission with a term expiring June 30, 2018.
4. If vacancies are not filled by a majority vote of the City Council, authorize the City Clerk to re-advertise the positions as vacant and carry over the current applications for reconsideration of appointment at a future date.

G.3. CITY MANAGER'S REPORT

(Informational Oral Presentation - not for Council action)

G.4. CITY ATTORNEY'S REPORT

(Informational Oral Presentation - not for Council action)

H. LEGISLATIVE ACTIONS

H.1. ORDINANCES - 1ST READING AND INTRODUCTION

H.1.1. INTRODUCE ORDINANCE 902. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, ADDING CHAPTER 8.40 TO TITLE 8 OF THE CITY OF MORENO VALLEY MUNICIPAL CODE ESTABLISHING THE EXPEDITED PERMITTING PROCEDURE FOR SMALL RESIDENTIAL ROOFTOP SOLAR SYSTEMS (Report of: Community Development)

Recommendation: That the City Council:

1. Introduce Ordinance No. 902. An Ordinance of the City Council of the City of Moreno Valley, California, Adding Chapter 8.40 to Title 8 of the City of Moreno Valley Municipal Code Establishing the Expedited Permitting Procedure for Small Residential Rooftop Solar Systems.

H.2. ORDINANCES - 2ND READING AND ADOPTION

H.2.1. ORDINANCE 900. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0012 (CHANGE OF ZONE), PA12-0013 (SPECIFIC PLAN) AND PA12-0014 (PREZONING/ ANNEXATION), WHICH INCLUDE THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN, A FULL REPEAL OF THE MORENO HIGHLANDS SPECIFIC PLAN NO. 212-1, PRE-ZONING/ANNEXATION FOR 85 ACRES AT NORTHWEST CORNER OF GILMAN SPRINGS ROAD AND ALESSANDRO BOULEVARD, CHANGE OF ZONE TO LOGISTICS DEVELOPMENT (LD), LIGHT LOGISTICS (LL) AND OPEN SPACE (OS) FOR AREAS WITHIN THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY, AND A CHANGE OF ZONE TO OPEN SPACE (OS) FOR THOSE PROJECT AREAS OUTSIDE AND SOUTHERLY OF THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY (RECEIVED FIRST READING AND INTRODUCTION ON AUGUST 19, 2015 BY A 3-2 VOTE, JEMPSON AND PRICE OPPOSED) (Report of: Community Development)

Recommendation: That the City Council:

1. Adopt Ordinance No. 900. An Ordinance of the City Council of the City of Moreno Valley, California, Approving PA12-0012 (Change Of Zone), PA12-0013 (Specific Plan) And PA12-0014 (Prezoning/Annexation), Which Include the Proposed World Logistics Center Specific Plan, a Full Repeal of the Moreno Highlands Specific Plan No. 212-1, Pre-Zoning/Annexation for 85 Acres at Northwest Corner of Gilman Springs Road and Alessandro Boulevard, Change of Zone to Logistics Development (LD), Light Logistics (LL) and Open Space (OS) for Areas Within the Proposed World Logistics Center Specific Plan Boundary, and a Change of Zone to Open Space (OS) for Those Project Areas Outside and Southerly of the Proposed World Logistics Center Specific Plan Boundary

H.2.2. ORDINANCE NO. 901. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0011 (DEVELOPMENT AGREEMENT) FOR THE WORLD LOGISTICS CENTER PROJECT WHICH REAL ESTATE HIGHLAND FAIRVIEW HAS LEGAL OR EQUITABLE INTEREST IN, ON APPROXIMATELY 2,263

ACRES, WITHIN THE WORLD LOGISTICS SPECIFIC PLAN AREA (2,610 ACRES), INTENDED TO BE DEVELOPED AS HIGH CUBE LOGISTICS WAREHOUSE AND RELATED ANCILLARY USES GENERALLY EAST OF REDLANDS BOULEVARD, SOUTH OF STATE ROUTE 60, WEST OF GILMAN SPRINGS ROAD AND NORTH OF THE SAN JACINTO WILDLIFE AREA (RECEIVED FIRST READING AND INTRODUCTION ON AUGUST 19, 2015 BY A 3-2 VOTE, JEMPSON AND PRICE OPPOSED) (Report of: Community Development)

Recommendation: That the City Council:

1. Adopt Ordinance No. 901. An Ordinance of the City Council of the City of Moreno Valley, California, approving PA12-0011 (Development Agreement) for the World Logistic Center Project Which Real Estate Highland Fairview Has Legal or Equitable Interest in, on Approximately 2,263 Acres, Within the World Logistics Specific Plan Area (2,610 Acres), Intended to be Developed as High Cube Logistics Warehouse and Related Ancillary Uses Generally East of Redlands Boulevard, South of State Route 60, West of Gilman Springs Road and North of the San Jacinto Wildlife Area

H.3. ORDINANCES - URGENCY ORDINANCES - NONE

H.4. RESOLUTIONS - NONE

CLOSING COMMENTS AND/OR REPORTS OF THE CITY COUNCIL, COMMUNITY SERVICES DISTRICT, CITY AS SUCCESSOR AGENCY FOR THE COMMUNITY REDEVELOPMENT AGENCY OR HOUSING AUTHORITY

Materials related to an item on this Agenda submitted to the City Council/Community Services District/City as Successor Agency for the Community Redevelopment Agency/Housing Authority or Board of Library Trustees after distribution of the agenda packet are available for public inspection in the City Clerk's office at 14177 Frederick Street during normal business hours.

ADJOURNMENT

CERTIFICATION

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, certify that the City Council Agenda was posted in the following places pursuant to City of Moreno Valley Resolution No. 2007-40:

City Hall, City of Moreno Valley
14177 Frederick Street

Moreno Valley Library
25480 Alessandro Boulevard

Moreno Valley Senior/Community Center
25075 Fir Avenue

Jane Halstead, CMC,
City Clerk

Date Posted: August 25, 2015

MINUTES
CITY COUNCIL REGULAR MEETING OF THE CITY OF MORENO VALLEY
July 14, 2015

CALL TO ORDER - 5:30 PM

SPECIAL PRESENTATIONS

1. Presentation of 4th of July Independence Day Parade Awards (Molina approved)
2. Recognition of 4th of July Independence Day Parade and Family FunFest Sponsors (Molina approved) a) McDonalds - Firecracker Sponsor b) Waste Management - Liberty Sponsor c) Discount Tire Centers - Liberty Sponsor d) Skechers - Presenting Sponsor
3. Recognition of 4th of July Independence Day Essay Contest Winners (Molina approved)
4. Business Spotlight a) Cupcake and Espresso Bar (District 3) b) The Hole in Wall (District 1) c) Hangar Trampoline (District 2)

**MINUTES
JOINT MEETING OF THE
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF THE
CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
BOARD OF LIBRARY TRUSTEES**

**REGULAR MEETING – 6:00 PM
July 14, 2015**

CALL TO ORDER

The Joint Meeting of the City Council of the City of Moreno Valley, Moreno Valley Community Services District, City as Successor Agency for the Community Redevelopment Agency of the City of Moreno Valley, Moreno Valley Housing Authority and the Board of Library Trustees was called to order at 6:31 p.m. by Mayor Jesse L. Molina In the Council Chamber located at 14177 Frederick Street.

Mayor Jesse L. Molina announced that the City Council receives a separate stipend for CSD meetings.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Frank Wright.

INVOCATION

Pastor Brad Ormonde, Harvest Christian Fellowship

ROLL CALL

Council:	Jesse L. Molina	Mayor
	Dr. Yxstian A. Gutierrez	Mayor Pro Tem
	Jeffrey J. Giba	Council Member
	D. LaDonna Jempson	Council Member
	George E. Price	Council Member

INTRODUCTIONS

Staff:	Michelle Dawson	City Manager
	Shahiedah Coates	Interim City Attorney
	Jane Halstead	City Clerk
	Richard Teichert	Chief Financial Officer
	Thomas M. DeSantis	Assistant City Manager
	Ahmad Ansari	Public Works Director/City Engineer

Minutes Acceptance: Minutes of Jul 14, 2015 6:00 PM (CONSENT CALENDAR-CITY COUNCIL)

Joel Ontiveros
 Abdul Ahmad
 Chris Paxton
 Betsy Adams
 Mike Lee
 Allen Brock

Police Chief
 Fire Chief
 Administrative Services Director
 Parks & Community Services Director
 Economic Development Director
 Community Development Director

PUBLIC COMMENTS ON MATTERS ON THE AGENDA WERE BE TAKEN UP AS THE ITEM IS CALLED FOR BUSINESS, BETWEEN STAFF'S REPORT AND CITY COUNCIL DELIBERATION (SPEAKER SLIPS MAY BE TURNED IN UNTIL THE ITEM IS CALLED FOR BUSINESS.)

PUBLIC COMMENTS ON ANY SUBJECT NOT ON THE AGENDA UNDER THE JURISDICTION OF THE CITY COUNCIL

Mayor Jesse L. Molina announced that there will be 35 minutes of public comments not on the agenda. The remaining public comments will be heard prior to the City Council Reports and Closing Comments. In the event that the agenda item for such public comments has not been called by 9:00 p.m., it shall be called as the next item of business following the conclusion of any item being heard at 9:00 p.m.

Rachel Gonzaga

1. Representative from Jose Medina
2. Invited the public to a water conservation and rebate workshop in partnership with Eastern and Western Municipal Water Districts on July 25, 2015 from 10:00 - 12:00 p.m. at Lake Perris recreation area, flyers available.
3. Pancake breakfast and Senior scam stopper - July 30th from 9:30-11:30 a.m. in the Perris Senior Center.

Thomas Breitreuz

1. Representing WestCo RealCo, thanked staff particularly City Manager Michelle Dawson and City Attorney.

Kathleen Dale

1. Recalls and flyers available
2. World Logistic Center, encouraged workshops

Kenny Calvin

1. Labor Movement
2. Skechers

Evan Morgan

1. Recalls
2. World Logistic Center

Tom Jerele, Sr.

1. 4th of July

Rafael Brugueras

1. Yes for jobs
2. Supports World Logistic Center

Chris Baca

1. World Logistic Center Public Hearings
2. Charter
3. Recalls

Sandra Murphy

1. Opposes World Logistic Center

Frank Wright

1. Immigration

Santiago Hernandez

1. World Logistic Center

Curtis Gardner

1. Charter Petition
2. World Logistic Center meetings

Simran Gonzalez

1. World Logistic Center

Harnethia Mansell

1. Cultural programs

Ivan Martinez

1. Opposes World Logistic Center

Louise Palomarez

1. Supports World Logistic Center

JOINT CONSENT CALENDARS (SECTIONS A-D)

Mayor Jesse L. Molina opened the agenda items for the Consent Calendars for public comments, which were received from Kathleen Dale and Chris Baca and Louise Palomarez.

Motion to approve the Joint Consent Calendar Items A.1 through D.2 with the exception of item A.14, which was removed for separate action.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Dr. Yxstian A. Gutierrez, Mayor Pro Tem
SECONDER:	D. LaDonna Jempson, Council Member
AYES:	Molina, Gutierrez, Giba, Jempson, Price

A. CONSENT CALENDAR-CITY COUNCIL

A.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

A.2. City Council - Regular Meeting - Jun 23, 2015 6:00 PM

A.3. CITY COUNCIL REPORTS ON REIMBURSABLE ACTIVITIES (Report of: City Clerk)

Recommendation:

1. Receive and file the Reports on Reimbursable Activities for the period of June 17 – July 7, 2015.

A.4. APPOINT A VOTING DELEGATE AND ALTERNATE DELEGATES FOR THE LEAGUE OF CALIFORNIA CITIES (LCC) 2015 ANNUAL CONFERENCE BUSINESS MEETING (Report of: City Clerk)

Recommendation:

1. Appoint Mayor Pro Tem Dr. Yxstian A. Gutierrez as the voting delegate, Council Member Jeffrey J. Giba as the first alternate voting delegate, and Council Member George E. Price as the second alternate voting delegate for the League of California Cities (LCC) 2015 Annual Conference business meeting.

A.5. APPROVAL OF A CONTRACT WITH QUINTANILLA AND ASSOCIATES TO PROVIDE INTERIM CITY ATTORNEY SERVICES (Report of: Administrative Services)

Recommendations:

1. Approve agreement with The Law Firm of Quintanilla and Associates for Interim City Attorney Services.
2. Authorize the Mayor to sign the agreement.

A.6. PA11-0007 (PM 35879) – MARCH BUSINESS CENTER - APPROVE PARCEL MAP AND ACCEPT THE AGREEMENT AND SECURITY FOR

PUBLIC IMPROVEMENTS. DEVELOPER – CSIP WR Moreno Valley LLC, Newport Beach, CA 92660 (Report of: Public Works)

Recommendations:

1. Approve Parcel Map for PA11-0007 (PM 35879), authorize the City Clerk to sign the map and transmit said map to the County Recorder's Office for recordation.
2. Accept the Agreement and Security for Public Improvements for CSIP WR Moreno Valley, LLC.
3. Authorize the Mayor to execute the Agreement.
4. Direct the City Clerk to forward the signed Agreement to the County Recorder's Office for recordation.
5. Authorize the City Engineer to execute any future time extension amendments to the agreement, subject to City Attorney approval, if the required public improvements are not completed within said timeframe.

- A.7. APPROVAL OF A LONG-TERM LAND LEASE ON BOX SPRINGS MOUNTAIN WITH CF&D CORP. FOR RADIO COMMUNICATIONS (Report of: Financial & Management Services)

Recommendation:

1. Authorize the City Manager to execute the contract with CF&D Corp. for leasing land on Box Springs Mountain for an amount not to exceed \$106,162 for the initial five years with an option to renew for up to seven additional five-year terms.

- A.8. APPROVE MORENO VALLEY UTILITY (MVU) ENERGY EFFICIENCY AND DEMAND RESPONSE PROGRAM UPDATES FOR FISCAL YEAR 2015/2016 (Report of: Public Works)

Recommendation:

1. Approve Moreno Valley Utility Energy Efficiency and Demand Response Program Updates for Fiscal Year 2015/2016.

- A.9. PAYMENT REGISTER - MAY 2015 (Report of: Financial & Management Services)

Recommendation:

1. Receive and file the Payment Register.

A.10. GRANT OF UTILITY EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR POWER LINE RELOCATION AND MAINTENANCE ASSOCIATED WITH THE RECHE VISTA DRIVE REALIGNMENT PROJECT NO. 801 0009 70 77 (Report of: Public Works)

Recommendations:

1. Grant a utility easement to Southern California Edison Company (SCE) for power line relocation and maintenance associated with the Reche Vista Drive Realignment project.
2. Authorize the Public Works Director/City Engineer to execute the Grant of Easement for SCE once it has been finalized, subject to the review and approval of the City Attorney.

A.11. PROJECT PA96-0017 (TRACTS 27251 AND 27251-1) – SINGLE FAMILY RESIDENTIAL – ACCEPT SUBSTITUTION AGREEMENT AND REINSTATE THE LETTERS OF CREDIT FOR THE PUBLIC IMPROVEMENTS LOCATED ON THE EAST SIDE OF MORRISON STREET BETWEEN FIR AVENUE AND EUCALYPTUS AVENUE. DEVELOPER – RSI MORENO VALLEY, LLC - 620 NEWPORT CENTER DR. 12TH FLOOR, NEWPORT, CA 92660 (Report of: Public Works)

Recommendations:

1. Accept the substitution of Agreement for Public Improvements and reinstate the letters of credit for project PA96-0017 (Tracts 27251 and 27251-1).
2. Authorize the Mayor to execute the agreement in the form hereto.
3. Direct the City Clerk to forward the signed agreement to the County Recorder's Office for recordation.
4. Authorize the Public Works Director/City Engineer to execute any future time extension amendments to the agreement, subject to City Attorney approval, if the required public improvements are not completed within said timeframe.

A.12. PA05-0034 (PM 33361) – APPROVE FINAL MAP AND ACCEPT THE AGREEMENT AND SECURITY FOR PUBLIC IMPROVEMENTS. DEVELOPER – INLAND LAND GROUP, LLC (Report of: Public Works)

Recommendations:

1. Approve Final Map for PA05-0034 (PM 33361), authorize the City Clerk to sign the map and transmit said map to the County Recorder's Office for recordation.
2. Accept the Agreement and Security for Public Improvements for Inland Land Group, LLC.
3. Authorize the Mayor to execute the Agreement.
4. Direct the City Clerk to forward the signed Agreement to the County Recorder's Office for recordation.
5. Authorize the City Engineer to execute any future time extension amendments to the agreement, subject to City Attorney approval, if the required public improvements are not completed within said timeframe.

A.13. LIST OF PERSONNEL CHANGES (Report of: Administrative Services)

Recommendation:

1. Ratify the list of personnel changes as described.

A.14. This item has been moved to F.

A.15. AUTHORIZATION TO SUBMIT GRANT APPLICATIONS UNDER CYCLE 7 OF THE HIGHWAY SAFETY IMPROVEMENT PROGRAM (HSIP) (Report of: Public Works)

Recommendation:

1. Authorize the submittal of grant applications for Cycle 7 of the Highway Safety Improvement Program (HSIP).

B. CONSENT CALENDAR-COMMUNITY SERVICES DISTRICT

B.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

B.2. MINUTES - REGULAR MEETING OF JUNE 23, 2015 (See A.2)

B.3. AMEND THE CONTRACT WITH THINK TOGETHER, INC., TO OPERATE DAY-TO-DAY ACTIVITIES AND FUNCTIONS INVOLVING THE CITY'S AFTER SCHOOL EDUCATION AND SAFETY (ASES) GRANT PROGRAM FOR FISCAL YEAR 2015-16 (Report of: Parks & Community Services)

Recommendations:

1. Authorize the City Manager to amend the contract entered into with THINK Together, Inc., on April 26, 2011, to operate day-to-day activities and functions of the City.
 2. Authorize the reduction of revenue and expense budgets in the ASES Program Grant Fund (Fund 2202) for the ASES Grant Program in the amount of \$28,983, respectively, upon approval of the contract amendment with THINK Together, Inc.
- B.4. ACCEPTANCE OF GRANT MONIES FROM THE CALIFORNIA DEPARTMENT OF EDUCATION, CHILD DEVELOPMENT SERVICE, FOR CHILD CARE SERVICES AND ADOPTION OF THE RESOLUTION TO CERTIFY THE APPROVAL OF THE GOVERNING BOARD (Report of: Parks & Community Services)

Recommendations:

1. Authorize the acceptance of grant money in the amount of \$593,054 for Fiscal Year (FY)2015/2016 from the California Department of Education, Child Development Division, for the purpose of providing school age child care and development services; and
2. Adopt Resolution No. CSD 2015-28. A Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Certifying the Approval of the Governing Board to Enter into this Transaction with the California Department of Education for the Purpose of Providing Child Care and Development Services and to Authorize the Designated Personnel, as shown on the Resolution, to Sign Contract Documents for FY2015/2016.

C. CONSENT CALENDAR - HOUSING AUTHORITY

- C.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.
- C.2. MINUTES - REGULAR MEETING OF JUNE 23, 2015 (See A.2)

D. CONSENT CALENDAR - BOARD OF LIBRARY TRUSTEES

- D.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.
- D.2. MINUTES - REGULAR MEETING OF JUNE 23, 2015 (See A.2)

E. PUBLIC HEARINGS

E.1. OPERATING COVENANT AGREEMENT FOR DECKERS OUTDOOR CORPORATION (Report of: Economic Development)

Mayor Molina opened the public testimony portion of the public hearing. Public testimony was received from Evan Morgan and Tom Jerele, Sr.

Recommendations: That the City Council:

1. Conduct a Public Hearing.
2. Adopt Resolution No. 2015-53. A Resolution of the City Council of the City of Moreno Valley, California, Accepting the Economic Development Subsidy Report prepared pursuant to Government Code Section 53083, regarding an Operating Covenant Agreement by and between the City of Moreno Valley and Deckers Outdoor Corporation, a Delaware Corporation.
3. Adopt Resolution No. 2015-54. A Resolution of the City Council of the City of Moreno Valley, California, Approving the Operating Covenant Agreement between the City of Moreno Valley and Deckers Outdoor Corporation, Authorizing the City Manager to execute the Operating Covenant Agreement and making related findings.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	George E. Price, Council Member
SECONDER:	D. LaDonna Jempson, Council Member
AYES:	Molina, Gutierrez, Giba, Jempson, Price

F. ITEMS REMOVED FROM CONSENT CALENDARS FOR DISCUSSION OR SEPARATE ACTION

- F.1. ORDINANCE NO. 898. AN ORDINANCE OF THE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AUTHORIZING AN AMENDMENT TO THE CONTRACT BETWEEN THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AND THE BOARD OF ADMINISTRATION OF THE CALIFORNIA PUBLIC EMPLOYEE'S RETIREMENT SYSTEM. (RECEIVED FIRST READING AND INTRODUCTION ON JUNE 23, 2015) (Report of: Administrative Services)

Mayor Pro Tem Yxstian Gutierrez opened agenda item for public comments, which were received from Chris Baca.

Mayor Jesse L. Molina recused himself from the dias.

Recommendations:

1. Adopt the required Ordinance No. 898. An Ordinance of the of the City Council of the City of Moreno Valley, California, Authorizing an Amendment to the Contract Between the City Council of the City of Moreno Valley and the Board of Administration of the California Public Employee's Retirement System.

RESULT:	APPROVED [4 TO 0]
MOVER:	Jeffrey J. Giba, Council Member
SECONDER:	George E. Price, Council Member
AYES:	Dr. Yxstian A. Gutierrez, Jeffrey J. Giba, D. LaDonna Jempson, George E. Price
RECUSED:	Jesse L. Molina

G. REPORTS

- G.1. CITY COUNCIL REPORTS ON REGIONAL ACTIVITIES (Informational Oral Presentation - not for Council action)
- a) March Joint Powers Commission (MJPC) - no report
 - b) Riverside County Habitat Conservation Agency (RCHCA) - no report
 - c) Riverside County Transportation Commission (RCTC) - Mayor Molina announced at the July 8 meeting, the Board of Directors received an update on the 2016 State Transportation Improvement Program (STIP). The STIP is a five-year program of projects that is updated every two years, providing commitment of transportation funds for highways, rail operations, mass transportation, and local roads. Unfortunately, there is no new programming capacity available for the 2016 STIP update and some of the projects in the current 2014 STIP may have to be reprogrammed to outer years. This has the potential of influencing the SR-60 Truck Climbing Lanes project through the Badlands, as it is partially funded within the 2014 STIP. Fortunately however, due to the safety aspects of the project, there is commitment to maintain the current construction schedule anticipated to commence in 2017.
 - d) Riverside Transit Agency (RTA) - Mayor Molina reported a recently launched trip planning service for our local area veterans. 211VetLink is a source of travel information for veterans on the go. This resource is a collaborative partnership between 2-1-2 Riverside County, 2-1-1 San Bernardino County, Riverside Transit Agency, and several other regional transportation agencies. Veterans can obtain transportation options to community resources, medical appointments, job interviews, and much more. The first of its kind for Southern California, this trip planner takes into consideration not only date and time of the trip, but also any special accommodations that may be required such as curb-to-curb service or driver assistance. For those that do not have internet access, you can plan your next trip by calling 2-1-1 and speak with a resource advisor in Riverside or San Bernardino County,

Monday through Friday from 8:00 a.m. to 5:00 p.m.

- e) Western Riverside Council of Governments (WRCOG) - Council Member Giba reported on the following:

TUMF Program Update

The comprehensive TUMF Program update is nearing completion, and last month a draft fee schedule was presented to the Executive Committee. As expected, all of the sectors showed an increase in the fee compared to 2009 (the last time a comprehensive update was prepared); however, the increase to the non-residential sector was greater than expected. Changes in trip productions and trip generation rates are contributing factors to the larger non-residential increase.

The Public Works Directors are examining the draft fee at their next meeting on June 18; recommendations from this Committee will be forwarded to the Technical Advisory Committee and Executive Committee for consideration.

HERO Program

The Executive Committee is requesting that member jurisdictions commit to the HERO Program as the sole PACE program in Western Riverside County. Other PACE providers are inquiring about doing business in the WRCOG subregion, and members have asked WRCOG for guidance on how they might respond. The Executive Committee's unanimous action was to request that members not consider additional PACE providers at this time.

- f) Western Riverside County Regional Conservation Authority (RCA) - on recess until September - no report
- g) School District/City Joint Task Force - on recess - no report

Mayor Jesse L. Molina opened the agenda item for public comments, which were received from Tom Jerele, Sr.

G.2. ENVIRONMENTAL AND HISTORICAL PRESERVATION BOARD (ORAL PRESENTATION) (Report of: City Clerk)

Environmental and Historical Preservation Board Chair M. Naeem Qureshi gave the annual report.

G.3. ADOPTION OF RESOLUTIONS APPROVING THE ISSUANCE BY THE MORENO VALLEY PUBLIC FINANCING AUTHORITY OF NOT TO EXCEED

\$29,000,000 AGGREGATE PRINCIPAL AMOUNT OF LEASE REVENUE BONDS, SERIES 2015 TO FINANCE CERTAIN CAPITAL IMPROVEMENTS; APPROVING THE FORMS OF A MASTER TRUST AGREEMENT, AUTHORIZING EXECUTION AND DELIVERY OF A MASTER FACILITIES LEASE, A MASTER FACILITIES SUBLEASE AND A BOND PURCHASE AGREEMENT; APPROVING FORM OF OFFICIAL STATEMENT; AND AUTHORIZING EXECUTION OF DOCUMENTS AND THE TAKING OF ALL NECESSARY ACTIONS RELATING TO THE FINANCING WITH THE MORENO VALLEY PUBLIC FINANCING AUTHORITY (Report of: Financial & Management Services)

Item was tabled to a date uncertain as staff recommended.

Recommendations: That the City Council:

1. Adopt Resolution No. 2015-55. A Resolution of the City Council of the City of Moreno Valley Approving the Issuance by the Moreno Valley Public Financing Authority of Not to Exceed \$29,000,000 Aggregate Principal Amount of Lease Revenue Bonds, Series 2015 to Finance Certain Capital Improvements; Authorizing Execution and Delivery of a Master Facilities Lease, a Master Facilities Sublease and a Bond Purchase Agreement; Approving Form of Official Statement; and Authorizing Execution of Documents and the Taking of All Necessary Actions Relating to the Financing with the Moreno Valley Public Financing Authority.
2. Adopt Resolution No. MVPFA 2015-01. A Resolution Authorizing the Issuance and Sale of Lease Revenue Bonds to Finance Certain Capital Facilities; Approving the Forms of a Master Trust Agreement, a Master Facilities Lease, a Master Facilities Sublease and a Bond Purchase Agreement; Approving an Official Statement Describing Said Bonds; and Authorizing Execution of Documents and the Taking of All Necessary Actions Relating to the Issuance of the Bond.
3. Approve the budget amendment detailed in the fiscal impact section of this report, authorizing the receipt and expenditure of the debt proceeds and the project funds.

RESULT:	TABLED [UNANIMOUS]
MOVER:	Jesse L. Molina, Mayor
SECONDER:	George E. Price, Council Member
AYES:	Molina, Gutierrez, Giba, Jempson, Price

G.4. COUNCIL RECESS DISCUSSION (Report of: City Clerk)

Item was removed from the agenda as staff recommended.

Minutes Acceptance: Minutes of Jul 14, 2015 6:00 PM (CONSENT CALENDAR-CITY COUNCIL)

G.5. CITY MANAGER'S REPORT (Informational Oral Presentation - not for Council action)

No report given.

G.6. CITY ATTORNEY'S REPORT (Informational Oral Presentation - not for Council action)

Interim City Attorney Shadieaha Coates thanked the City Council on behalf of Jenkins & Hogan, LLC., for the opportunity to serve the City Council. The contract on the Consent Calendar approved the firm Quintanilla to represent the City on an interim basis in the future.

Mayor Jesse L. Molina thanked the Jenkins and Hogan for their hard work in representing the City.

H. LEGISLATIVE ACTIONS

H.1. ORDINANCES - 1ST READING AND INTRODUCTION

H.1.1. ORDINANCE NO. 899, AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, REPEALING AND REENACTING CHAPTER 11.60 OF TITLE 11 OF THE MORENO VALLEY MUNICIPAL CODE REGULATING AND AUTHORIZING ALARM SYSTEMS (Report of: City Manager)

Mayor Molina opened the agenda item for public comments; there being none, public comments were closed.

Recommendations: That the City Council:

1. Introduce Ordinance No. 899. An Ordinance of the City Council of the City of Moreno Valley, California, repealing and reenacting Chapter 11.60 of Title 11 of the Moreno Valley Municipal Code regulating and authorizing alarm systems.

RESULT:	FIRST READING OF ORDINANCE [UNANIMOUS] Next: 8/25/2015 6:00 PM
MOVER:	Jeffrey J. Giba, Council Member
SECONDER:	George E. Price, Council Member
AYES:	Molina, Gutierrez, Giba, Jempson, Price

H.2. ORDINANCES - 2ND READING AND ADOPTION - NONE

H.3. ORDINANCES - URGENCY ORDINANCES - NONE

H.4. RESOLUTIONS - NONE

CLOSING COMMENTS AND/OR REPORTS OF THE CITY COUNCIL, COMMUNITY SERVICES DISTRICT, CITY AS SUCCESSOR AGENCY FOR THE COMMUNITY REDEVELOPMENT AGENCY OR HOUSING AUTHORITY

Council Member Jempson

1. Provided an update on revising procedures to be used during the Planning Commission selection. She had received information from Murrieta, Temecula, Palm Desert, Palm Springs, Corona and Lake Elsinore. She will be working with staff on the procedures.
2. Zone 2 policing meeting was held July 8. It was poorly attended. There are lots of resources. Recommended the public take advantage of the officers who are there to answer questions.
3. Reported there is a big problem with fireworks. People do not understand why public safety is not doing something about it. Prop 47 says it may be a misdemeanor, have to put up with the noises.
4. Appreciated resident Mr. Baca's concerns on what the Council is voting on; has an agenda review with staff and has a lot of questions answered. Regardless of her position of having a full time job, organizes her time and hopes to be able to continue serving her community.

Council Member Giba

1. Acknowledged his mother, Doris Giba's birthday would be tomorrow at 87 years old.
2. Attended the League of California Cities and registered for the City finances what you need to know. It was an all day affair. It was a very detailed PowerPoint and presentation by Michael Coleman, fiscal policy advisor. Is looking into getting some of the video downloads. Has asked the City Manager to bring it to a Saturday Study Session and invited the public for the presentation on public financing.

Council Member Price

1. Congratulated all winners and parade participants. It was a very good crowd. He had some Moreno Valley residents riding with him.
2. He also attended the Leadership graduation and it was a very nice program, thanked the Chamber of Commerce.
3. Thanked the Interim City Attorneys, Mike Jenkins and John Cotti, appreciated all their help.

4. Reported that at least for the 25 years, City Council has gone dark the second week in July and the 2nd meeting in August. Had checked the schedule prior to scheduling his vacation plan and there was nothing scheduled. Did talk to Mr. Benzeevii and he had no problem with it and he appreciated that. He hoped that would put to rest the vacation plans.
5. Thanked Mr. Baca and Evan Morgan; willing to meet with anyone, thanked them for coming in and having a good conversation.
6. Happy Birthday to Council Member Giba's mother, Doris Giba who resides in District 3.

Mayor Pro Tem Gutierrez

1. Congratulated Deckers for their expansion
2. Bringing businesses to Moreno Valley is an economic tool.
3. Thanked interim City Attorney Michael Jenkins and his associates; welcomed the new interim City Attorney, Mr. Steve Quintanilla; is looking forward to working with him.

Mayor Molina

1. Thanked everyone's involvement in keeping calm.
2. It is good to disagree sometimes.
3. The person that does not ask the question is going to be left behind.
4. Commented on the Planning Commission hearings, thanked staff for working hard
5. Mayor Molina stated his intention was to keep order during meetings.
6. Wished everyone a good night

ADJOURNMENT

There being no further business the July 14, 2015 Regular City Council Meeting was adjourned at 8:58 p.m. by unanimous informal consent.

Submitted by:

Jane Halstead, City Clerk, CMC
Secretary, Moreno Valley Community Services District
Secretary, City as Successor Agency for the Community Redevelopment Agency of the
City of Moreno Valley
Secretary, Moreno Valley Housing Authority
Secretary, Board of Library Trustees

Approved by:

Jesse L. Molina, Mayor
President, Moreno Valley Community Services District
Chairperson, City as Successor Agency for the Community Redevelopment Agency of
the City of Moreno Valley
Chairperson, Moreno Valley Housing Authority
Chairperson, Board of Library Trustees



Report to City Council

TO: Mayor and City Council

FROM: Jane Halstead, City Clerk

AGENDA DATE: August 25, 2015

TITLE: CITY COUNCIL REPORTS ON REIMBURSABLE ACTIVITIES

RECOMMENDED ACTION

Recommendation:

1. Receive and file the Reports on Reimbursable Activities for the period of July 8 - August 18, 2015.

<i>Reports on Reimbursable Activities</i>			
July 8 – August 8, 2015			
Council Member	Date	Meeting	Cost
Jeffrey J. Giba	7/27/15	League of California Cities (LCC) Riverside County Division	\$15.00
Dr. Yxstian A. Gutierrez	7/22/15	Moreno Valley Chamber of Commerce Wake-Up Moreno Valley	\$15.00
D. LaDonna Jempson		None	
Jesse L. Molina		None	
George E. Price	7/22/15	Moreno Valley Chamber of Commerce Wake-Up Moreno Valley	\$15.00

Prepared By:
Cindy Miller
Executive Assistant to the Mayor/City Council

Department Head Approval:
Jane Halstead
City Clerk

CITY COUNCIL GOALS

None

ATTACHMENTS

None

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>
City Attorney Approval	<u>✓ Approved</u>
City Manager Approval	<u>✓ Approved</u>



Report to City Council

TO: Mayor and City Council

FROM: Thomas M. DeSantis, Assistant City Manager

AGENDA DATE: August 25, 2015

TITLE: RESOLUTION URGING THE STATE OF CALIFORNIA TO PROVIDE NEW SUSTAINABLE FUNDING FOR STATE AND LOCAL TRANSPORTATION INFRASTRUCTURE

RECOMMENDED ACTION

Recommendation:

1. Adopt Resolution No. 2015-60. A Resolution of the City Council of the City of Moreno Valley, California, urging the State of California to provide new sustainable funding for state and local transportation infrastructure.

SUMMARY

This report recommends City Council approval of a Resolution urging the State of California to provide new sustainable funding for state and local transportation infrastructure.

DISCUSSION

The City of Moreno Valley has participated in efforts with the League of California Cities, California State Association of Counties, and California's Regional Transportation Planning agencies to study unmet funding needs for local roads, bridges, sidewalks and other essential infrastructure. The 2014 California Statewide Local Streets and Roads Needs Assessment indicates that the condition of the local transportation network is deteriorating as predicted in the initial 2008 study. The results also show that California's local streets and roads are on a path of significant decline. On a scale of zero (failed) to 100 (excellent), the statewide average Pavement Condition Index (PCI) is 66, placing it in the "at risk" category as pavements will begin to deteriorate much more rapidly and require rehabilitation or rebuilding rather than more cost-effective

preventative maintenance if funding is not increased. The results show that the City of Moreno Valley's local streets have a statewide average pavement index of 65.3, placing our infrastructure in the "at risk" category.

If funding remains at current levels, 25 percent of local streets and roads in California will be in "failed" condition in 10 years. Cities and counties need an additional \$1.7 billion just to maintain a status quo pavement condition. An additional \$3 billion annual investment in the local streets and roads system is expected to improve pavement conditions statewide from an average "at risk" condition to an average "good" condition. Transportation experts indicate that if additional funding isn't secured now, it will cost taxpayers twice as much to fix the local system in the future. Absent additional funding, unmet needs for local transportation facilities will increase by \$11 billion in five years and \$21 billion in ten years.

The proposed Resolution strongly urges the Governor and Legislature to adopt the following priorities for funding California's streets and roads:

1. *Make a Significant Investment in Transportation Infrastructure:*
Any package should seek to raise at least \$6 billion annually and should remain in place for at least 10 years or until an alternative method of funding our transportation system is agreed upon.
2. *Focus on Maintaining and Rehabilitating the Current System:*
Repairing California's streets and highways involves much more than fixing potholes. It requires major road pavement overlays, fixing unsafe bridges, providing safe access for bicyclists and pedestrians, replacing storm water culverts, as well as operational improvements that necessitate the construction of auxiliary lanes to relieve traffic congestion choke points and fixing design deficiencies that have created unsafe merging and other traffic hazards. Efforts to supply funding for transit in addition to funding for roads should also focus on fixing the system first.
3. *Equal Split Between State and Local Projects:*
We support sharing revenue for roadway maintenance equally (50/50) between the state and local government (cities and counties), given the equally-pressing funding needs of both systems, as well as the longstanding historical precedent for collecting transportation user fees through a centralized system and sharing the revenues across the entire network through direct subventions. Ensuring that funding to

local governments is provided directly, without intermediaries, will accelerate project delivery and ensure maximum accountability.

4. *Raise Revenues Across a Broad Range of Options:*

Research by the California Alliance for Jobs and Transportation California shows that voters strongly support increased funding for transportation improvements. Any package should move California toward an all-users pay structure, in which everyone who benefits from the system contributes to maintaining it – from traditional gasoline-fueled vehicles, to new hybrids or electric vehicles, to commercial vehicles.

5. *Invest a Portion of Diesel Tax and/or Cap & Trade Revenue To High-Priority Goods Movement Projects:*

While the focus of a transportation funding package should be on maintaining and rehabilitating the existing system, California has a critical need to upgrade the goods movement infrastructure that is essential to our economic well-being. Establishing a framework to make appropriate investments in major goods movement arteries can lay the groundwork for greater investments in the future that will also improve air quality and reduce greenhouse gas emissions.

6. *Strong Accountability Requirements to Protect the Taxpayers' Investment:*

Voters and taxpayers must be assured that all transportation revenues are spent responsibly. Local governments are accustomed to employing transparent processes for selecting road maintenance projects aided by pavement management systems, as well as reporting on the expenditure of transportation funds through the State Controller's Local Streets and Roads Annual Report.

7. *Provide Consistent Annual Funding Levels:*

Under current statute, the annual gas tax adjustment by the Board of Equalization is creating extreme fluctuations in funding levels – a \$900 million drop in this budget year alone. A transportation funding package should contain legislation that will create more consistent revenue projections and allow Caltrans and transportation agencies the certainty they need for longer term planning.

ALTERNATIVES

1. Approve the Resolution urging the State of California to provide new sustainable funding for state and local transportation infrastructure. *Staff recommends this alternative.*
2. Do not approve Alternative No. 1 and provide further direction to staff.

FISCAL IMPACT

No fiscal impact at this time.

PREPARATION OF STAFF REPORT

Prepared By:
Julie Reyes
Sustainability & Intergovernmental Programs Manager

Department Head Approval:
Thomas M. DeSantis
Assistant City Manager

Concurred By:
Ahmad R. Ansari
Public Works Director/City Engineer

CITY COUNCIL GOALS

Advocacy. Develop cooperative intergovernmental relationships and be a forceful advocate of City policies, objectives, and goals to appropriate external governments, agencies and corporations.

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

ATTACHMENTS

1. Resolution No. 2015-60 Urging the State of California to Provide Sustainable Funding for Transportation Infrastructure

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/17/15 9:55 AM
City Attorney Approval	<u>✓ Approved</u>	8/19/15 11:00 AM
City Manager Approval	<u>✓ Approved</u>	8/19/15 2:25 PM

RESOLUTION NO. 2015-60

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, URGING THE STATE OF CALIFORNIA TO PROVIDE NEW SUSTAINABLE FUNDING FOR STATE AND LOCAL TRANSPORTATION INFRASTRUCTURE

WHEREAS, Governor Edmund G. Brown, Jr. has called an extraordinary session to address the immense underfunding of California's transportation infrastructure; and

WHEREAS, cities and counties own and operate more than 81 percent of streets and roads in California, and from the moment we open our front door to drive to work, bike to school, or walk to the bus station, people are dependent upon a safe, reliable local transportation network; and

WHEREAS, the City of Moreno Valley has participated in efforts with the California State Association of Counties, League of California Cities, and California's Regional Transportation Planning Agencies to study unmet funding needs for local roads and bridges, including sidewalks and other essential components; and

WHEREAS, the resulting 2014 California Statewide Local Streets and Roads Needs Assessment, which provides critical analysis and information on the local transportation network's condition and funding needs, indicates that the condition of the local transportation network is deteriorating as predicted in the initial 2008 study; and

WHEREAS, the results show that California's local streets and roads are on a path of significant decline. On a scale of zero (failed) to 100 (excellent), the statewide average pavement condition index (PCI) is 66, placing it in the "at risk" category where pavements will begin to deteriorate much more rapidly and require rehabilitation or rebuilding rather than more cost-effective preventative maintenance if funding is not increased; and

WHEREAS, the results show that the City of Moreno Valley's local streets have a statewide average pavement index of 65.3, placing them in the "at-risk" category; and

WHEREAS, if funding remains at the current levels, in 10 years, 25 percent of local streets and roads in California will be in "failed" condition; and

WHEREAS, cities and counties need an additional \$1.7 billion just to maintain a status quo pavement condition of 66, and much more revenue to operate the system with Best Management Practices, which would reduce the total amount of funding needed for maintenance in the future; and

WHEREAS, models show that an additional \$3 billion annual investment in the local streets and roads system is expected to improve pavement conditions statewide from an average “at risk” condition to an average “good” condition; and

WHEREAS, Transportation experts indicate that if additional funding isn’t secured now, it will cost taxpayers twice as much to fix the local system in the future, and absent additional funding, unmet needs for local transportation facilities will increase by \$11 billion in five years and \$21 billion in ten years; and

WHEREAS, modernizing the local street and road system provides well-paying construction jobs and boosts local economies; and

WHEREAS, the local street and road system is also critical for farm to market needs, interconnectivity, multimodal needs, and commerce; and

WHEREAS, police, fire, and emergency medical services all need safe reliable roads to react quickly to emergency calls and a few minutes of delay can be a matter of life and death; and

WHEREAS, maintaining and preserving the local street and road system in good condition will reduce drive times and traffic congestion, improve bicycle safety, and make the pedestrian experience safer and more appealing, which leads to reduce vehicle emissions helping the State achieve its air quality and greenhouse gas emissions reductions goals; and

WHEREAS, restoring roads before they fail also reduces construction time which results in less air pollution from heavy equipment and less water pollution from site run-off; and

WHEREAS, in addition to the local system, the state highway system needs an additional \$5.7 billion annually to address the state’s deferred maintenance; and

WHEREAS, in order to bring the local system back into a cost-effective condition, at least \$7.3 billion annually in new money going directly to cities and counties; and

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Resolution No. 2015-60
Date Adopted: August 25, 2015

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF MORENO VALLEY strongly urges the Governor and Legislature to identify a sufficient and stable funding source for local street, road and state highway maintenance and rehabilitation to ensure the safe and efficient mobility of the traveling public and the economic vitality of California.

RESOLVED FURTHER, that the CITY OF MORENO VALLEY strongly urges the Governor and Legislature to adopt the following priorities for funding California's streets and roads.

1. Make a significant investment in transportation infrastructure. Any package should seek to raise at least \$6 billion annually and should remain in place for at least 10 years or until an alternative method of funding our transportation system is agreed upon.
2. Focus on maintaining and rehabilitating the current system. Repairing California's streets and highways involves much more than fixing potholes. It requires major road pavement overlays, fixing unsafe bridges, providing safe access for bicyclists and pedestrians, replacing storm water culverts, as well as operational improvements that necessitate the construction of auxiliary lanes to relieve traffic congestion choke points and fixing design deficiencies that have created unsafe merging and other traffic hazards. Efforts to supply funding for transit in addition to funding for roads should also focus on fixing the system first.
3. Equal split between state and local projects. We support sharing revenue for roadway maintenance equally (50/50) between the state and cities and counties, given the equally-pressing funding needs of both systems, as well as the longstanding historical precedent for collecting transportation user fees through a centralized system and sharing the revenues across the entire network through direct subventions. Ensuring that funding to local governments is provided directly, without intermediaries, will accelerate project delivery and ensure maximum accountability.
4. Raise revenues across a broad range of options. Research by the California Alliance for Jobs and Transportation California shows that voters strongly support increased funding for transportation improvements. Additionally, any package should move California

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Resolution No. 2015-60
Date Adopted: August 25, 2015

toward an all-users pay structure, in which everyone who benefits from the system contributes to maintaining it – from traditional gasoline-fueled vehicles, to new hybrids or electric vehicles, to commercial vehicles.

- 5. Invest a portion of diesel tax and/or cap & trade revenue to high-priority goods movement projects. While the focus of a transportation funding package should be on maintaining and rehabilitating the existing system, California has a critical need to upgrade the goods movement infrastructure that is essential to our economic well-being. Establishing a framework to make appropriate investments in major goods movement arteries can lay the groundwork for greater investments in the future that will also improve air quality and reduce greenhouse gas emissions.
- 6. Strong accountability requirements to protect the taxpayers' investment. Voters and taxpayers must be assured that all transportation revenues are spent responsibly. Local governments are accustomed to employing transparent processes for selecting road maintenance projects aided by pavement management systems, as well as reporting on the expenditure of transportation funds through the State Controller's Local Streets and Roads Annual Report.
- 7. Provide Consistent Annual Funding Levels. Under current statute, the annual gas tax adjustment by the Board of Equalization is creating extreme fluctuations in funding levels – a \$900 million drop in this budget year alone. A transportation funding package should contain legislation that will create more consistent revenue projections and allow Caltrans and transportation agencies the certainty they need for longer term planning.

APPROVED AND ADOPTED this 25th day of August, 2015.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

4
Resolution No. 2015-60
Date Adopted: August 25, 2015

Attachment: Resolution No. 2015-60 Urging the State of California to Provide Sustainable Funding for Transportation Infrastructure [Revision 4]

APPROVED AS TO FORM:

City Attorney

5
Resolution No. 2015-60
Date Adopted: August 25, 2015

Attachment: Resolution No. 2015-60 Urging the State of California to Provide Sustainable Funding for Transportation Infrastructure [Revision 4]

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2015-60 was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 25th day of August, 2015 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

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Resolution No. 2015-60
Date Adopted: August 25, 2015

Attachment: Resolution No. 2015-60 Urging the State of California to Provide Sustainable Funding for Transportation Infrastructure [Revision 4]



Report to City Council

TO: Mayor and City Council

FROM: Thomas M. DeSantis, Assistant City Manager

AGENDA DATE: August 25, 2015

TITLE: AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE MORONGO BAND OF MISSION INDIANS TO THE GOVERNING BOARD

RECOMMENDED ACTION

Recommendation:

1. Amend the Joint Powers Agreement with the Western Riverside Council of Governments to add the Morongo Band of Mission Indians as a Voting Member.

SUMMARY

This report recommends approval of the amendment to the Joint Powers Agreement with the Western Riverside Council of Governments to add the Morongo Band of Mission Indians as a voting member.

DISCUSSION

For several years, WRCOG has discussed including tribes as WRCOG members. There are six tribes in the WRCOG sub-region. Three are gaming tribes (Morongo, Pechanga, and Soboba), and three are non-gaming tribes (Cahuilla, Ramona, and Santa Rosa). In June 2013, the WRCOG Executive Committee directed the WRCOG Executive Director to enter into a Memorandum of Understanding with the Morongo Band of Mission Indians to join WRCOG as an ex-officio, non-voting member.

On July 6, 2015, the WRCOG Executive Committee adopted Resolution No. 19-15 to amend its bylaws to recognize the Morongo Band of Mission Indians as voting member. The Executive Committee also directed staff to continue to reach out to other tribes located in the sub-region for purposes of participation in WRCOG.

FISCAL IMPACT

No fiscal impact to the City.

PREPARATION OF STAFF REPORT

Prepared By:
Julie Reyes
Sustainability & Intergovernmental Programs Manager

Department Head Approval:
Thomas M. DeSantis
Assistant City Manager

CITY COUNCIL GOALS

Advocacy. Develop cooperative intergovernmental relationships and be a forceful advocate of City policies, objectives, and goals to appropriate external governments, agencies and corporations.

ATTACHMENTS

1. AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE MORONGO BAND OF MISSION INDIANS TO THE GOVERNING BOARD

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/11/15 8:58 AM
City Attorney Approval	<u>✓ Approved</u>	8/19/15 3:22 PM
City Manager Approval	<u>✓ Approved</u>	8/19/15 3:25 PM

**AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE
WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS
TO ADD THE MORONGO BAND OF MISSION INDIANS TO THE
WRCOG GOVERNING BOARD**

This Amendment to the Joint Powers Agreement ("Amendment") is made and entered into on the 6th day of July, 2015, by and between seventeen cities located within western Riverside County and the County of Riverside (collectively the "Parties").

RECITALS

WHEREAS, the Parties have entered into a Joint Powers Agreement on April 1, 1991, and through subsequent amendments thereto (the "JPA"), to form the Western Riverside Council of Governments ("WRCOG"); and

WHEREAS, the Morongo Band of Mission Indians ("Morongo") has approached WRCOG to express that their involvement in WRCOG will be beneficial to both WRCOG member agencies and Morongo; and

WHEREAS, Morongo and WRCOG believe that by working together Western Riverside County will be better positioned to address challenges of the region; and

WHEREAS, WRCOG agrees and strongly supports coordination with Morongo, and believes that permitting Morongo membership on the WRCOG Governing Body is the best manner which would most efficaciously serve the interests of the WRCOG member agencies and Morongo; and

WHEREAS, pursuant to Government Code sections 6500 et seq., the Parties to the JPA desire to amend the JPA to add Morongo to the Governing Body of WRCOG.

MUTUAL UNDERSTANDINGS

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions hereinafter stated, the Parties hereto agree as follows:

Section 1: Sections 2.4.1 and 2.4.2 to the JPA are hereby amended to read as follows:

2.4.1. WRCOG shall be governed by a General Assembly with membership consisting of the appropriate representatives from the County of Riverside, each city which is a signatory to this Agreement, the Western Municipal Water District, the Eastern Municipal Water District, and the Morongo Band of Mission Indians ("Morongo"), the number of which shall be determined as hereinafter set forth. The General Assembly shall meet at least once annually, preferably scheduled in the evening. Each member agency of the General Assembly shall have one vote for each mayor, council member, county supervisor, water district board member, and tribal council member present at the General Assembly. The General Assembly shall act only upon a majority of a quorum. A quorum shall consist of a majority of the total authorized representatives, provided that members representing a

majority of the member agencies are present. The General Assembly shall adopt and amend by-laws for the administration and management of this Agreement, which when adopted and approved shall be an integral part of this Agreement. Such by-laws may provide for the management and administration of this Agreement.

2.4.2. There shall be an Executive Committee which exercises the powers of this Agreement between sessions of the General Assembly. Members of the Executive Committee shall be the Mayor from each of the member cities, four members of the Riverside County Board of Supervisors, the President of each Water District, and the Tribal Chairman of Morongo; the remaining member of the Board of Supervisors shall serve as an alternate, except any City Council, at its discretion, can appoint a Mayor Pro Tem or other City Council member in place of the Mayor, each water district board, at its discretion, can appoint another Board member in place of the President, and the Tribal Council of Morongo, at its discretion, can appoint another Tribal Council member in place of the Tribal Chairman. The Executive Committee shall act only upon a majority of a quorum. A quorum shall consist of a majority of the member agencies. Membership of Morongo on the General Assembly and Executive Committee of WRCOG shall be conditioned on Morongo entering into a separate Memorandum of Understanding with WRCOG.

Section 2: Section 2.18 of the JPA is hereby amended to read as follows:

2.18 TUMF Matters – Water Districts and Morongo.

Pursuant to this JPA, WRCOG administers the Transportation Mitigation Fee ("TUMF") for cities in Western Riverside County. The fee was established prior to the Water District's and Morongo's involvement with WRCOG and will fund transportation improvements for the benefit of the County of Riverside and the cities in Western Riverside County. As such, the Western Municipal Water District, the Eastern Municipal Water District, and Morongo General Assembly and Executive Committee members shall not vote on any matter related to the administration of the TUMF Program or the expenditure of TUMF revenues.

Section 3: Section 3.5 of the JPA is hereby amended to read as follows:

3.5 Contributions from Water Districts and the Morongo Band of Mission Indians.

The provision of section 3.4 above shall be inapplicable to the Western Municipal Water District, the Eastern Municipal Water District, and Morongo. The amount of contributions from these water districts and Morongo shall be through the WRCOG budget process.

Section 4: This Amendment is to become effective upon execution by not less than two-thirds (2/3) of all the parties that are currently signatories to the JPA.

Section 5: All other provisions and terms of the JPA are to remain unchanged.

Section 6: This Amendment may be executed in counterparts.

IN WITNESS WHEREOF, the Parties hereto have caused this Amendment to be executed and attested by their officers thereunto duly authorized as of the date first above written.

[SIGNATURES ON FOLLOWING PAGES]

ATTEST:

Clerk of the Board of Supervisors

By: _____

Dated: _____

COUNTY OF RIVERSIDE

By: _____

Chairman, Board of Supervisors

ATTEST:

City Clerk
City of Banning

By: _____

Dated: _____

CITY OF BANNING

By: _____

Mayor

ATTEST:

City Clerk
City of Calimesa

By: _____

Dated: _____

CITY OF CALIMESA

By: _____

Mayor

ATTEST:

City Clerk
City of Canyon Lake

By: _____

Dated: _____

CITY OF CANYON LAKE

By: _____

Mayor

Attachment: AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE

ATTEST:

City Clerk
City of Corona

By: _____

Dated: _____

CITY OF CORONA

By: _____
Mayor

ATTEST:

City Clerk
City of Eastvale

By: _____

Dated: _____

CITY OF EASTVALE

By: _____
Mayor

ATTEST:

City Clerk
City of Hemet

By: _____

Dated: _____

CITY OF HEMET

By: _____
Mayor

ATTEST:

City Clerk
City of Jurupa Valley

By: _____

Dated: _____

CITY OF JURUPA VALLEY

By: _____
Mayor

Attachment: AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE

ATTEST:

City Clerk
City of Lake Elsinore

By: _____

Dated: _____

CITY OF LAKE ELSINORE

By: _____
Mayor

ATTEST:

City Clerk
City of Menifee

By: _____

Dated: _____

CITY OF MENIFEE

By: _____
Mayor

ATTEST:

City Clerk
City of Moreno Valley

By: _____

Dated: _____

CITY OF MORENO VALLEY

By: _____
Mayor

ATTEST:

City Clerk
City of Murrieta

By: _____

Dated: _____

CITY OF MURRIETA

By: _____
Mayor

Attachment: AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE

ATTEST:

City Clerk
City of Norco

By: _____

Dated: _____

CITY OF NORCO

By: _____
Mayor

ATTEST:

City Clerk
City of Perris

By: _____

Dated: _____

CITY OF PERRIS

By: _____
Mayor

ATTEST:

City Clerk
City of Riverside

By: _____

Dated: _____

CITY OF RIVERSIDE

By: _____
Mayor

ATTEST:

City Clerk
City of San Jacinto

By: _____

Dated: _____

CITY OF SAN JACINTO

By: _____
Mayor

Attachment: AMENDMENT TO THE JOINT POWERS AGREEMENT OF THE WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS TO ADD THE

ATTEST:

City Clerk
City of Temecula

By: _____

Dated: _____

CITY OF TEMECULA

By: _____
Mayor

ATTEST:

City Clerk
City of Wildomar

By: _____

Dated: _____

CITY OF WILDOMAR

By: _____
Mayor



Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: APPROVE RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE AGREEMENT WITH THE BOARD OF EQUALIZATION FOR IMPLEMENTATION OF THE LOCAL PREPAID MOBILE TELEPHONY SERVICES COLLECTION ACT

RECOMMENDED ACTION

Recommendation:

1. Approve Resolution No. 2015-61. A Resolution of the City Council of the City of Moreno Valley, California, Authorizing the City Manager to Execute Agreement with the Board of Equalization for Implementation of the Local Prepaid Mobile Telephony Services Collection Act.

SUMMARY

This report requests that the City Council approve the attached resolution which will allow the City to collect utility users tax (UUT) associated with prepaid mobile telephone services.

Section 3.26.050.B of the Municipal Code specifically identifies wireless telephone service, whether provided on a post-paid or prepaid basis, as a service that is included in the Utility Users Tax. Until now, there has been no viable manner to identify where the prepaid wireless services were sold, or to collect, remit and allocate the tax to the local authority. In September 2014, Assembly Bill (AB) 1717 was signed into law, allowing the California Board of Equalization to collect taxes from merchants and then remit them to the proper taxing authority.

This is not an expansion of the UUT, but is merely a cooperative effort between the State and the cities that have a UUT to collect amounts due based on ordinances that

already exist and authorize the tax, but in the past were beyond the capabilities of cities to collect.

DISCUSSION

In 2008, Ordinance 781 was approved which modified the provisions of the Utility Users Tax (UUT). The UUT was reduced from 6% to 5.75%. The tax base was updated to reflect some of the changes in both technology and the manner in which telephone services are provided. Section 3.26.050.B of the Municipal Code specifically includes wireless telephone service, whether provided on a post-paid or prepaid basis, as a taxable service.

Traditionally, a city's utility users tax is collected by wireless service providers who include the charge on their customers' monthly invoices. In contrast to this arrangement, customers who purchase pre-paid wireless services usually avoid paying any UUT because there has been no process in place to identify where the prepaid wireless services were sold, nor to collect, remit and allocate the tax to the local authority. With prepaid wireless, there is no contract, no monthly invoice, and the prepaid wireless services are usually sold by retailers rather than directly by wireless service providers. It is estimated that approximately 70% of all prepaid wireless services are sold by retailers. Since these transactions bypass local UUT, cities experience a significant loss of revenue. Additionally, traditional phone plan users are treated disparately and the burden of the UUT is not equally shared among all telephone users.

Beginning January 1, 2016, AB 1717 will take effect and solve the collection problem by requiring California retailers and on-line sellers to collect the local UUT at the same time they collect sales tax on other retail products based on the point of sale. Under this new law, all local jurisdictions must contract with the California State Board of Equalization (BOE) in order to receive the UUT imposed on consumers of prepaid wireless phone service. Implementation of this contract levels the playing field for all consumers of wireless phone services.

The BOE distributed the forms and requirements for participation in the program on July 28, 2015 and requires that all documents be completed and returned by September 1, 2015.

This is not an expansion of the UUT but is merely a cooperative effort between the State and the cities that have a UUT to collect amounts due based on ordinances that already exist and authorize the tax, but in the past were beyond the capabilities of cities to collect.

Also attached is the agreement between the City and the BOE for collection of local charges by the State. The requested City Council action will authorize the City Manager to sign these agreements.

ALTERNATIVES

1. Approve the proposed resolution.
2. Do not approve the resolution and provide staff with additional direction.

Staff recommends Alternative 1.

FISCAL IMPACT

The actual fiscal impact is unknown. Since the collection and allocation programs will not begin until January 2016, it is estimated that an increase of \$150,000 will occur during fiscal year 2015-16.

PREPARATION OF STAFF REPORT

Prepared By:
Brooke McKinney
Treasury Operations Division Manager

Department Head Approval:
Richard Teichert
Chief Financial Officer

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

ATTACHMENTS

1. Resolution No. 2015-61
2. Agreement for State Collection and Administration of Local Charges

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/11/15 8:56 AM
City Attorney Approval	<u>✓ Approved</u>	8/19/15 12:04 PM
City Manager Approval	<u>✓ Approved</u>	8/19/15 3:37 PM

RESOLUTION NO. 2015-61

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE AGREEMENT WITH THE BOARD OF EQUALIZATION FOR IMPLEMENTATION OF THE LOCAL PREPAID MOBILE TELEPHONY SERVICES COLLECTION ACT

WHEREAS, the City of Moreno Valley (the City) certifies that Ordinance No. 78, codified as Moreno Valley Municipal Code Chapter 3.26, applies its local charge (Utility Users Tax) to prepaid mobile telephony services; and

WHEREAS, the Local Prepaid Mobile Telephony Services Collection Act mandates the Board of Equalization (the Board), to administer and collect the local charges for all applicable jurisdictions (Rev. & Tax Code section 42103); and

WHEREAS, the Board will perform all functions incident to the administration and collection of the local charges; and

WHEREAS, the Board requires that the City enter into an "Agreement for State Collection and Administration of Local Charges" prior to implementation of the Local Prepaid Mobile Telephony Services Collection Act; and

WHEREAS, the Board requires that the City authorize the agreement.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

The "Agreement for State Collection and Administration of Local Charges" is hereby approved and the City Manager is hereby authorized to execute the agreement on behalf of the City along with any other related documents required by the Board to perform all functions incident to the administration and collection of the prepaid mobile telephony services surcharge and local charges (Rev. & Tax. Code, § 42101.5).

APPROVED AND ADOPTED this 25th day of August, 2015.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

1
Resolution No. 2015-61
Date Adopted: August 25, 2015

Attachment: Resolution No. 2015-61 [Revision 3] (1606 : APPROVE RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE

APPROVED AS TO FORM:

City Attorney

Attachment: Resolution No. 2015-61 [Revision 3] (1606 : APPROVE RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE

2
Resolution No. 2015-61
Date Adopted: August 25, 2015

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2015-61 was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 25th day of August, 2015 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Resolution No. 2015-61³
Date Adopted: August 25, 2015

Attachment: Resolution No. 2015-61 [Revision 3] (1606 : APPROVE RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE

Local Jurisdiction _____

AGREEMENT FOR STATE COLLECTION AND ADMINISTRATION OF LOCAL CHARGES

This Agreement is for the purpose of implementing the Local Prepaid Mobile Telephony Services Collection Act (Part 21.1, commencing with Section 42100) of Division 2 of the Revenue and Taxation Code), hereinafter referred to as the Local Charge Act. The _____ and the State Board of Equalization, hereinafter called the Board, do agree as follows:

Insert name of local jurisdiction

ARTICLE I DEFINITIONS

Unless the context requires otherwise, wherever the following terms appear in this Agreement they shall be interpreted to mean the following:

A. “Administrative Expenses” means all expenses incurred by the Board in the administration and collection of the local charges, including preparation and wind down costs which are reimbursable to the Board from the revenues collected by the Board on behalf of the local jurisdiction.

B. “Contingent Fee” includes, but is not limited to, a fee that is based on a percentage of the tax liability reported on a return, a fee that is based on a percentage of the taxes owed, or a fee that depends on the specific tax result attained.

C. “Direct Seller” means a prepaid Mobile Telephony Service (MTS) provider or service supplier, as defined in section 41007, that makes a sale of prepaid mobile telephony services directly to a prepaid consumer for any purpose other than resale in the regular course of business. A direct seller includes, but is not limited to, a telephone corporation, a person that provides an interconnected Voice over Internet Protocol (VoIP) service, and a retailer as described in section 42004(b)(1).

D. “Local Charges” means a utility user tax imposed on the consumption of prepaid mobile telephony services, as described in section 42102, and charges for access to communication services or to local “911” emergency telephone systems imposed by a local jurisdiction, as described in section 42102.5.

E. “Local Jurisdiction” or “local agency” means a city, county, or city and county, which includes a charter city, county, or city and county of this State, which has adopted an ordinance imposing a local charge of the kind described in Part 21.1 of Division 2 of the Revenue and Taxation Code and has entered into a contract with the Board to perform all functions incident to the collection of the local charges.

F. “Ordinance” means an ordinance of a local jurisdiction imposing a local charge, including any local enactment relating to the filing of a refund or a claim arising under the ordinance, attached hereto, as amended from time to time.

G. “Quarterly local charges” means the total amount of local charges transmitted by the Board to a local jurisdiction for a calendar quarter, as set forth in section 42106(a)(1).

H. “Refund” means the amount of local charges deducted by the Board from a local jurisdiction’s quarterly local charges in order to pay that jurisdiction’s share of a local charge refund due to one taxpayer.

I. “Section” – all section references are to the Revenue and Taxation Code.

J. “Seller” means a person that sells prepaid mobile telephony service to a person in a retail transaction.

ARTICLE II BOARD ADMINISTRATION AND COLLECTION OF LOCAL CHARGES

A. Administration. The Board and the local jurisdiction agree that the Board shall perform functions incident to the collection of the local charges from sellers that are not direct sellers.

B. Collection. The Board shall collect the local charges in the same manner as it collects the prepaid MTS Surcharge in the Prepaid Mobile Telephony Services Surcharge Collection Act, subject to specified limitations in the Local Charge Act for which the local jurisdiction is responsible, as set forth in Article III of this Agreement.

C. Audits. The Board’s audit duties shall be limited to verification that the seller that is not a direct seller complied with the Local Charge Act.

D. Other applicable laws. The Board and the local jurisdiction agree that all provisions of law applicable to the administration and operation of the Local Charge Act, Prepaid Mobile Telephony Services Surcharge Collection Act, and the Fee Collection Procedures Law (FCPL) shall be applicable to the collection of local charges. References in the FCPL to feepayer include a person required to pay the local charge, including the seller. All future amendments to applicable laws are automatically incorporated into this Agreement.

E. Deposit of Local Charges. All local charges collected by the Board shall be deposited in the Local Charges for Prepaid Mobile Telephony Services Fund in the State Treasury to be held in trust for the local taxing jurisdiction. Local charges shall consist of all taxes, charges, interest, penalties, and other amounts collected and paid to the Board, less payments for refunds and reimbursement to the Board for expenses incurred in the administration and collection of the local charges, including preparation and wind-down costs.

F. Allocation of Expenses. The Board shall allocate the total combined annual expenses incurred for administration and collection pursuant to the Prepaid Mobile Telephony Services Surcharge Collection Act and the Local Charge Act on a pro rata basis according to revenues collected for: (1) the emergency telephone users surcharge portion of the prepaid MTS surcharge, (2) the Public Utilities Commission surcharges

portion of the prepaid MTS surcharge, and (3) local charges. The Board shall charge a local jurisdiction its pro rata share of the Board's cost of collection and administration.

G. Transmittal of money. All local charges collected by the Board shall be transmitted to the local jurisdiction once in each calendar quarter. Transmittals may be made by mail or by deposit to the account of the local jurisdiction in a bank designated by that jurisdiction. The Board shall furnish a statement quarterly indicating the amounts paid and withheld for expenses of the Board.

H. Rules. The Board shall prescribe and adopt such rules and regulations as in its judgment are necessary or desirable for the administration and collection of local charges and the distribution of the local charges collected.

I. Security. The Board agrees that any security which it hereafter requires to be furnished under the FCPL section 55022 will be upon such terms that it also will be available for the payment of the claims of the local jurisdiction for local taxes owing to it as its interest appears. The Board shall not be required to change the terms of any security now held by it, and the local jurisdiction shall not participate in any security now held by the Board.

J. Records of the Board.

1. Information obtained by the local jurisdiction from the examination of the Board's records shall be used by the local jurisdiction only for purposes related to the collection of the prepaid mobile telephony services surcharge and local charges by the Board pursuant to this Agreement.

2. When requested by resolution of the legislative body of a local jurisdiction, the Board shall permit any duly authorized officer or employee or other person designated by that resolution to examine any information for its own jurisdiction that is reasonably available to the Board regarding the proper collection and remittance of a local charge of the local jurisdiction by a seller, including a direct seller, subject to the confidentiality requirements of sections 7284.6, 7284.7 and 19542. (sections 42110(b), 42103(e).).

3. The resolution of the local jurisdiction shall certify that any person designated by the resolution, other than an officer and an employee, meets all of the following conditions:

- a. Has an existing contract with the local jurisdiction that authorizes the person to examine the prepaid MTS surcharge and local charge records.
- b. Is required by that contract with the local jurisdiction to disclose information contained in or derived from, those records only to an officer or employee of the local jurisdiction authorized by the resolution to examine the information.
- c. Is prohibited by that contract from performing consulting services for a seller during the term of that contract.
- d. Is prohibited by that contract from retaining information contained in, or derived from, those prepaid MTS surcharge and local charge records, after that contract has expired.

4. Any third party contract between the local jurisdiction and an entity or person authorized by the local jurisdiction to request information from the Board shall be subject to the following limitations:

a. Any third party shall, to the same extent as the Board, be subject to Section 55381, relating to unlawful disclosures.

b. A third party contract shall not provide, in whole or in part, in any manner a contingent fee arrangement as payment for services rendered.

5. Information obtained by examination of Board records shall be used only for purposes related to the collection of the prepaid MTS surcharge and local charges by the board pursuant to the contract, or for purposes related to other governmental functions of the local jurisdiction set forth in the resolution.

6. If the Board believes that any information obtained from the Board's records related to the collection of the prepaid MTS surcharge and local charges has been disclosed to any person not authorized or designated by the resolution of the local jurisdiction, or has been used for purposes not permitted by section 42110(b), the board may impose conditions on access to its local charge records that the board considers reasonable, in order to protect the confidentiality of those records. (section 42110 (c).)

7. The costs incurred by the Board in complying with a request for information shall be deducted by the Board from those revenues collected by the Board on behalf of the local jurisdiction making the request, as authorized by section 42110(b)(1).

ARTICLE III LOCAL JURISDICTION ADMINISTRATION AND RESPONSIBILITIES

A. The local jurisdictions shall be solely responsible for all of the following:

1. Defending any claim regarding the validity of the ordinance in its application to prepaid mobile telephony service. The claim shall be processed in accordance with the provisions of the local ordinance that allows the claim to be filed.

2. Interpreting any provision of the ordinance, except to the extent specifically superseded by section 42105 of the Local Charge Act. The claim shall be processed in accordance with the provisions of the local enactment that allows the claim to be filed.

3. Responding to specified consumer claims for refund involving: (1) rebutting the presumed location of the retail transaction; (2) a consumer claim of exemption from the local charge under the ordinance; or (3) any action or claim challenging the validity of a local tax ordinance, in whole or part. The claim shall be processed in accordance with the provisions of the local enactment that allows the claim to be filed.

4. Refunding the taxes in the event a local jurisdiction or local government is ordered to refund the tax under the local ordinance.

5. Reallocating local charges as a result of correcting errors relating to the location of the point of sale of a seller or the known address of a consumer, for up to two past quarters from the date of knowledge.

6. Collecting local charges on prepaid mobile telephony service and access to communication services or access to local 911 emergency telephone systems imposed on direct sellers.

7. Enforcement, including audits, of the collection and remittance of local charges by direct sellers pursuant to the ordinance.

8. The local jurisdiction shall be the sole necessary party defendant on whose behalf the local charge is collected in any action seeking to enjoin collection of a local charge by a seller, in any action seeking declaratory relief concerning a local charge, in any action seeking a refund of a local charge, or in any action seeking to otherwise invalidate a local charge. There shall be no recovery from the State for the imposition of any unconstitutional or otherwise invalid local charge that is collected under the Local Act.

9. Entering into an agreement with the Board to perform the functions incident to the collection of the local charges imposed on sellers that are not direct sellers.

10. Submitting an executed Certification to the Board, certifying that:

(a) the local jurisdiction's ordinance applies the local charge to prepaid mobile telephony services;

(b) the amount of the rate charged for access to local 911 emergency telephone systems or access to communications services complies with the requirements of section 42102.5; and/or applies the tiered rate for the utility user tax, as identified in section 42102.

(c) The local jurisdiction shall further certify that it agrees to indemnify and to hold harmless the Board, its officers, agents, and employees for any and all liability for damages that may result from the Board's collection pursuant to this Agreement.

11. Submitting signed documents to the Board to include agreement(s), certification, copy of ordinance(s), and resolution(s).

12. Providing payment to the Board of the local jurisdiction's pro rata share of the Board's cost of collection and administration as established pursuant to subdivision (e) of section 42020.

**ARTICLE IV
LOCAL CHARGES**

A. Local Charges – Timeliness – This part shall remain in effect until proposed California Code of Regulations, title 18, section 2460 is adopted by the Board and approved by the Office of Administrative Law.

1. Ordinances in effect as of September 1, 2015.

On or after January 1, 2016, a local charge imposed by a local jurisdiction on prepaid mobile telephony services shall be collected from the prepaid consumer by a seller at the same time and in the same manner as the prepaid MTS surcharge is collected under Part 21 (commencing with section 42001) provided that, on or before September 1, 2015, the local jurisdiction enters into a contract with the Board pursuant to section 42101.5. Thereafter, all subsequently enacted local charges, increases to local charges, or other changes thereto, shall become operative pursuant to paragraphs (2), (3), and (4).

2. New charges. When a local jurisdiction adopts a new local charge after September 1, 2015, the local jurisdiction shall enter into a contract with the Board, pursuant to section 42101.5, on or before December 1st, with collection of the local charge to commence April 1st of the next calendar year.

3. **Increases in local charges.** When a local jurisdiction increases an existing local charge after September 1, 2015, the local jurisdiction shall provide the Board written notice of the increase, on or before December 1st, with collection of the local charge to commence April 1st of the next calendar year.

4. **Inaccurate rate posted on the Board’s website.** When a local jurisdiction notifies the Board in writing that the rate posted on the Board’s Internet Web site (posted rate) for a local charge imposed by that local jurisdiction is inaccurate, including scenarios where the local charge was reduced or eliminated, the recalculated rate applicable to the local jurisdiction shall become operative on the first day of the calendar quarter commencing more than 60 days from the date the Board receives the local jurisdiction’s written notification that the posted rate is inaccurate.

A. Local Charges – Timeliness – This part shall take effect and supersede the above “Local Charges – Timeliness section when California Code of Regulations, title 18, section 2460 is adopted by the Board and approved by the Office of Administrative Law.

1. Ordinances in effect as of September 1, 2015. On or after January 1, 2016, a local charge imposed by a local jurisdiction on prepaid mobile telephony services shall be collected from the prepaid consumer by a seller at the same time and in the same manner as the prepaid MTS surcharge is collected under Part 21 (commencing with section 42001) provided that, on or before September 1, 2015, the local jurisdiction enters into a contract with the Board pursuant to section 42101.5.

In the event a local jurisdiction does not enter into a contract with the Board by September 1, 2015, the local jurisdiction may enter into a contract with the Board, pursuant to section 42101.5, on or before December 1st, with collection of the local charge to commence April 1st of the next calendar year. Thereafter, all subsequently

enacted local charges, increases to local charges, or other changes thereto, shall become operative pursuant to paragraphs (2), (3), (4) and (5) of this subdivision.

2. New charges. When a local jurisdiction adopts a new local charge after September 1, 2015, the local jurisdiction shall enter into a contract with the Board, pursuant to section 42101.5, on or before December 1st, with collection of the local charge to commence April 1st of the next calendar year.

3. Increases in local charges. When a local jurisdiction increases an existing local charge after September 1, 2015, the local jurisdiction shall provide the Board written notice of the increase, on or before December 1st, with collection of the local charge to commence April 1st of the next calendar year.

4. Advance written notification. When a local charge is about to expire or decrease in rate, the local jurisdiction imposing the local charge shall notify the Board in writing of the upcoming change, not less than 110 days prior to the date the local charge is scheduled to expire or decrease. The change shall become operative on the first day of the calendar quarter commencing after the specified date of expiration or decrease in rate.

If advance written notice is provided less than 110 days prior to the specified date of expiration or decrease in rate, the change shall become operative on the first day of the calendar quarter commencing more than 60 days after the specified date of expiration or decrease.

5. Inaccurate Rate Posted on the Board's Web site. When a local jurisdiction notifies the Board in writing that the rate posted on the Board's Internet Web site (posted rate) for a local charge imposed by that local jurisdiction is inaccurate, including scenarios where the local charge was reduced or eliminated and the local jurisdiction failed to provide advance written notice pursuant to paragraph 4 of this subdivision, the recalculated rate applicable to the local jurisdiction shall become operative on the first day of the calendar quarter commencing more than 60 days from the date the Board receives the local jurisdiction's written notification that the posted rate is inaccurate. The local jurisdiction shall promptly notify the Board in writing of any such discrepancies with the posted rate that are known or discovered by the local jurisdiction.

ARTICLE V COMPENSATION

The local jurisdiction agrees to pay the Board its pro rata share of the Board's cost of collection and administration of the local charges, as established pursuant to section 42020, subdivision (e). Such amounts shall be deducted from the local charges collected by the Board for the local jurisdiction.

ARTICLE VI MISCELLANEOUS PROVISIONS

A. Communications. Communications and notices may be sent by first-class United States Mail. A notification is complete when deposited in the mail. Communications and notices to be sent to the Board shall be addressed to:

State Board of Equalization
P.O. Box 942879 MIC: 27
Sacramento, California 94279-0001

Attention: Supervisor,
Local Revenue Allocation Unit

Communications and notices to be sent to the local jurisdiction shall be addressed to:

B. Term. The date of this Agreement is the date on which it is approved by the Department of General Services. The Agreement shall take effect on the first day of the calendar quarter next succeeding the date of such approval, but in no case before the operative date of the local jurisdiction’s ordinance, nor on a day other than the first day of a calendar quarter. This Agreement shall be renewed automatically from year to year until January 1, 2020, when the Local Charge Act is repealed, unless a statute enacted prior to that date extends that date. In such event, this Agreement will continue to renew automatically from year to year to the date authorized by statute.

STATE BOARD OF EQUALIZATION

By _____
Administrator,
Return Analysis and Allocation Section

LOCAL
JURISDICTION _____

By _____
(Signature on this line)

(Type name here)

(Type title here)

Attachment: Agreement for State Collection and Administration of Local Charges (1606 : APPROVE RESOLUTION AUTHORIZING THE CITY



Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: RECEIPT OF QUARTERLY INVESTMENT REPORT FOR THE QUARTER ENDED JUNE 30, 2015

RECOMMENDED ACTION

Recommendation:

1. Receive and file the Quarterly Investment Report for quarter ended June 30, 2015, in compliance with the City's Investment Policy.

SUMMARY

The attached Quarterly Investment Report presents the City's cash and investments for the quarter that ended June 30, 2015. This report is in compliance with California Government Code Section 53646 regarding the reporting of detailed information on all securities, investments, and monies of the City, as well as the reporting of the market value of the investments held. All of the investments contained within the portfolio are in full compliance with the City's Investment Policy and Government Code Section 53601 as to the types of investments allowed. The City uses two asset management firms to provide professional management of the City's investment portfolio, Chandler Asset Management and Cutwater Asset Management. Each management firm employs a different portfolio strategy designed to maximize their expertise, provide diversity in the portfolio and to reduce the risk that the firms may invest in securities in the same maturity space. It is recommended that the City Council receive and file the attached Quarterly Investment Report.

DISCUSSION

California Government Code Sections 53601 and 53646 establish the types of investments allowed, the governing restrictions on these investments, the third-party custodian arrangement for certain investments, and the reporting practices related to the portfolio for local agencies. The City's Investment Policy was revised and adopted

on June 9, 2015 and is in full compliance with the requirements of both of the above-mentioned Code Sections.

The attached Quarterly Investment Report presents the City's cash and investments for the quarter that ended June 30, 2015. The report complies with California Government Code Section 53646 regarding the reporting of detailed information on all securities, investments, and monies of the City, as well as the reporting of the market value of the investments held. All of the investments contained within the portfolio are in full compliance with the City's Investment Policy and Government Code Section 53601 as to the types of investments allowed. As stated in the attached report, there is more than adequate liquidity within the portfolio for the City to meet its budgeted expenditures over the next six months.

The professional investment firms use an active investment management approach in which securities are purchased but are not necessarily held to maturity, but may be actively traded based on market conditions and the City's investment goals. The City's cash flow requirements are evaluated on an ongoing basis, with short-term needs accommodated through the City's pooled investment funds with the State Local Agency Investment Fund (LAIF). LAIF is a pool of public funds managed by the State Treasurer of California, providing 24-hour liquidity while yielding a rate of return approximately equivalent to a one-year treasury bill. With the combined use of a conservative approach to evaluating cash flow needs and LAIF liquidity, the City will not have to liquidate securities at current market rates that are intended to be held for longer-term investment.

The investments managed by Chandler Asset Management totaled \$81,816,933 at par and achieved a Yield to Maturity (YTM) for June 2015 of 1.38%. This compares to a YTM in March 2015 of 1.37% and a YTM in June 2014 of 1.39%. The investments managed by Cutwater Asset Management totaled \$54,061,403 at par and achieved a Yield to Maturity (YTM) for June 2015 of 1.08%. Since Cutwater was assigned a portion of the portfolio in December, the only comparative metric we have available is from March 2015 when the YTM on the assets they managed was 1.07%. In addition, the City maintained \$28,867,329 in the State Local Agency Investment Fund Pool (LAIF) with a YTM of .30%.

In accordance with California Government Code Section 53646, the City is properly reporting investments of all bond proceeds and Deferred Compensation Plan funds. These funds are not managed by the City Treasurer as part of the pooled investment program and were not included in the City's investment reports prior to the current legislation. Bond proceeds are held and invested by a Trustee; whereas Deferred Compensation Plan funds are held and invested by the respective plan administrators with the funds also placed in a trust separate from City funds.

ALTERNATIVES

1. Receive and file the Quarterly Investment Report for June 30, 2015.

- 2. Do not accept and file the Quarterly Investment Report and provide staff with additional direction.

Staff recommends alternative 1.

FISCAL IMPACT

Current market rates continue to hover near all-time lows. Based on recent comments from the Chair of the Federal Reserve Board, we expect to see rates to begin to move upward by the end of the year. However, ongoing issues such as the labor markets, depressed oil prices, along with weakness in other commodities and continued instability in Greece and China could impact this expectation. This volatile interest rate environment directly impacts the ability of the portfolio to generate income. The budget for fiscal year 2014-15 projected General Fund investment earnings totaling \$2 million. Year to date through June 2015, these revenues are estimated to reach \$1.7 million, which is below the projections that were included in the FY 2014-15 budget. This is a result of continuing weak interest rates and a stable (but low rate of return) market reducing the opportunity to take advantage of investment gains.

NOTIFICATION

Publication of the agenda

PREPARATION OF STAFF REPORT

Prepared By:
Brooke McKinney
Treasury Operations Division Manager

Department Head Approval:
Richard Teichert
Chief Financial Officer/City Treasurer

CITY COUNCIL GOALS

None

ATTACHMENTS

- 1. Treasurer's Cash and Investment Report - June 2015
- 2. Chandler Asset Management Bond Market Review - July 2015
- 3. Cutwater Monthly Market Review - July 2015

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/11/15 8:53 AM
City Attorney Approval	<u>✓ Approved</u>	8/18/15 4:14 PM
City Manager Approval	<u>✓ Approved</u>	8/19/15 1:51 PM

CITY OF MORENO VALLEY
Treasurer's Cash and Investments Report
June 2015

General Portfolio	Cost Value	Market Value	Par Value	Average Maturity (in years)	Average Yield to Maturity	Average Duration (in years)
Bank Accounts	4,515,143	4,515,143	4,515,143			
State of California LAIF Pool	28,867,329	28,878,183	28,867,329	0.66	0.30%	
Investments-Chandler	81,484,327	81,976,244	81,816,933	2.77	1.38%	2.50
Investments-Cutwater	54,193,862	54,256,184	54,061,403	2.00	1.08%	1.90
Total General Portfolio	169,060,661	169,625,754	169,260,808			

Bond Proceeds with Fiscal Agents	Market Value
Construction Funds	8,260,908
Principal & Interest Accounts	539,497
Debt Service Reserve Funds	3,417,524
Custody Accounts	0
Arbitrage Rebate Accounts	0
Other Accounts	220,049
Total Bond Proceeds	12,437,978

Deferred Compensation Funds	Market Value as of June 30, 2015
Nationwide	12,429,098
ICMA	5,613,887
Total Deferred Compensation Funds	18,042,985

Total Investment Portfolio 200,106,717

1. I hereby certify that the investments are in compliance with the investment policy adopted by the City Council. There are no items of non-compliance for this period.
2. The market values for the specific investments in the General Portfolio are provided by the City's investment advisor, Chandler Asset Management.
3. The market value for LAIF is provided by the State Treasurer.
4. The market values for investments held by fiscal agents and the deferred compensation plans are provided by each respective trustee or fiscal agent.
5. The City has the ability to meet its budgeted expenditures for the next six months pending any future action by City Council or any unforeseen catastrophic event.


 Richard Teichert
 City Treasurer

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

PORTFOLIO PERFORMANCE - 36 MONTH TREND

Period	Total General Portfolio (1)		Local Agency Investment Fund (LAIF)		Chandler				Cutwater			
	Asset Balance (par)	Avg YTM (2)	Balance	Yield	Asset Balance (par)	Avg YTM (2)	Rate of Return (3)		Asset Balance (par)	Avg YTM (2)	Rate of Return (3)	
							Investment Portfolio (4)	Benchmark 1-5 Gov(5)			Investment Portfolio (4)	Benchmark 1-3 Treas(5)
Jul-12	193,175,457	1.31%	20,190,538	0.363%	167,816,690	1.47%	2.90%	2.52%				
Aug-12	185,345,577	1.34%	26,440,538	0.377%	158,119,543	1.51%	2.87%	2.45%				
Sep-12	175,199,657	1.32%	20,640,538	0.348%	153,005,758	1.47%	2.78%	2.36%				
Oct-12	166,024,161	1.37%	11,543,940	0.340%	153,407,209	1.45%	2.67%	2.23%				
Nov-12	161,523,720	1.35%	11,958,940	0.324%	148,761,876	1.44%	2.68%	2.25%				
Dec-12	158,187,131	1.31%	6,808,940	0.326%	149,234,776	1.37%	2.57%	2.16%				
Jan-13	167,188,394	1.26%	15,538,247	0.300%	149,506,732	1.37%	2.46%	2.04%				
Feb-13	169,656,543	1.24%	14,038,247	0.286%	150,276,255	1.37%	2.47%	2.06%				
Mar-13	159,465,892	1.28%	8,088,247	0.285%	150,735,510	1.34%	2.41%	2.02%				
Apr-13	154,956,060	1.27%	7,722,451	0.264%	146,196,092	1.33%	2.43%	2.04%				
May-13	169,622,945	1.19%	22,352,451	0.245%	146,524,031	1.34%	2.19%	1.81%				
Jun-13	160,642,643	1.25%	11,652,451	0.244%	146,817,918	1.35%	1.97%	1.62%				
Jul-13	157,035,166	1.29%	8,901,042	0.267%	147,301,329	1.35%	2.01%	1.66%				
Aug-13	158,668,278	1.21%	14,860,042	0.271%	142,774,990	1.32%	1.89%	1.53%				
Sep-13	150,411,661	1.25%	7,060,042	0.257%	141,116,654	1.32%	1.99%	1.64%				
Oct-13	149,690,495	1.25%	11,790,903	0.266%	136,377,517	1.35%	2.04%	1.68%				
Nov-13	147,673,632	1.27%	10,460,903	0.263%	136,646,743	1.35%	2.04%	1.67%				
Dec-13	145,466,714	1.31%	5,860,903	0.264%	137,209,798	1.37%	1.88%	1.50%				
Jan-14	153,675,086	1.23%	14,867,528	0.244%	137,482,068	1.36%	1.97%	1.59%				
Feb-14	151,951,962	1.25%	13,817,528	0.236%	137,665,484	1.36%	1.98%	1.59%				
Mar-14	154,404,223	1.25%	13,117,528	0.236%	138,016,774	1.37%	1.86%	1.47%				
Apr-14	149,658,747	1.28%	8,825,043	0.233%	138,347,433	1.38%	1.89%	1.51%				
May-14	160,395,026	1.20%	25,225,043	0.228%	133,887,981	1.39%	1.95%	1.57%				
Jun-14	163,989,443	1.17%	28,875,043	0.228%	132,945,464	1.39%	1.90%	1.52%				
Jul-14	158,687,404	1.21%	23,590,023	0.244%	133,130,769	1.39%	1.81%	1.43%				
Aug-14	160,506,483	1.20%	25,565,023	0.260%	133,367,483	1.40%	1.84%	1.49%				
Sep-14	152,073,866	1.27%	16,590,023	0.246%	133,855,708	1.42%	1.77%	1.42%				
Oct-14	152,298,081	1.29%	16,278,901	0.261%	134,092,495	1.43%	1.84%	1.50%				
Nov-14	150,092,073	1.30%	14,663,901	0.261%	134,235,952	1.43%	1.87%	1.55%				
Dec-14	145,143,985		9,263,901	0.267%	80,691,698	1.47%	1.79%	1.45%	53,692,099	1.36%	1.36%	1.24%
Jan-15	171,144,833		26,173,346	0.262%	80,832,606	1.38%	1.98%	1.64%	53,730,540	1.28%	1.28%	1.24%
Feb-15	165,574,345		29,773,346	0.266%	80,993,392	1.33%	1.86%	1.72%	53,725,495	1.18%	1.26%	1.17%
Mar-15	157,317,763		21,802,285	0.278%	81,136,574	1.37%	1.90%	1.77%	53,915,294	1.07%	1.07%	1.00%
Apr-15	159,454,599		22,517,329	0.283%	81,292,994	1.36%	1.88%	1.75%	53,944,656	1.06%	1.06%	0.91%
May-15	163,652,299		27,267,329	0.290%	81,390,841	1.37%	1.86%	1.74%	54,009,777	1.06%	1.06%	1.06%
Jun-15	169,260,808		28,867,329	0.299%	81,816,933	1.38%	1.80%	1.69%	54,061,403	1.08%	1.08%	0.87%

Notes:

(1) Total General Portfolio includes all assets that comprise the City's Investment Portfolio which is LAIF as well as assets managed by Chandler and Cutwater.

(2) Yield to Maturity (YTM): The rate of return on an investment or security if it were to be held until maturity. This yield does not reflect changes in the market value of a security

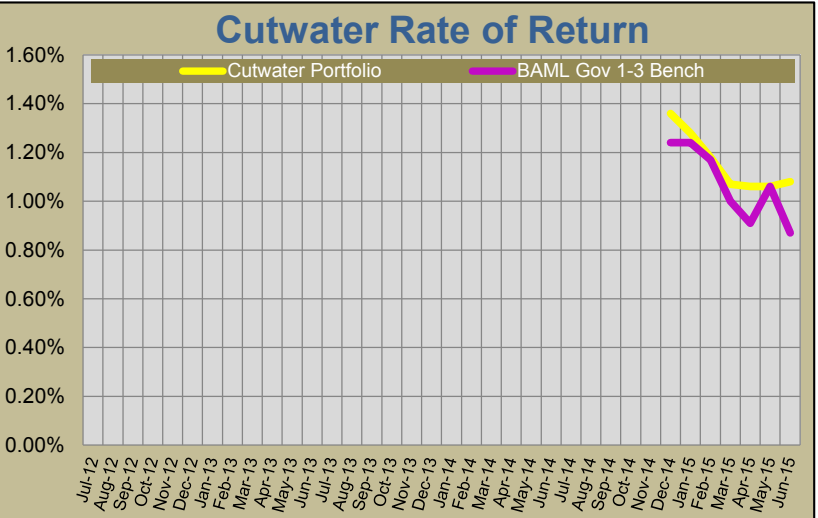
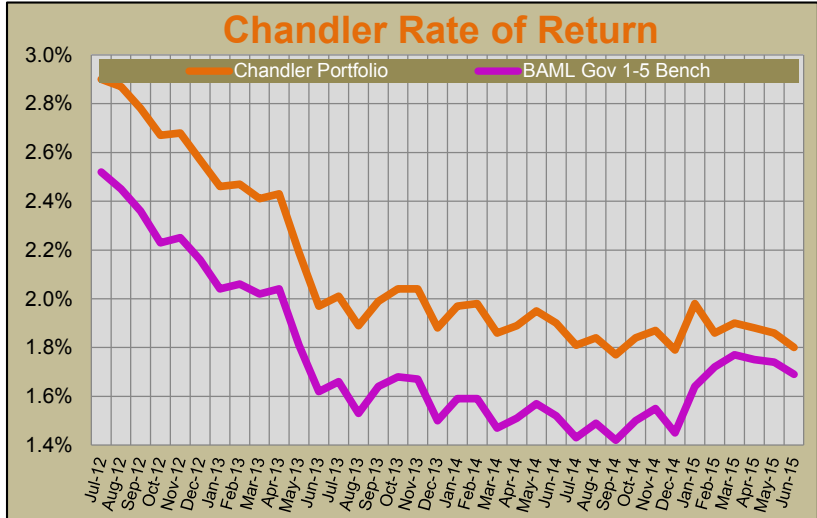
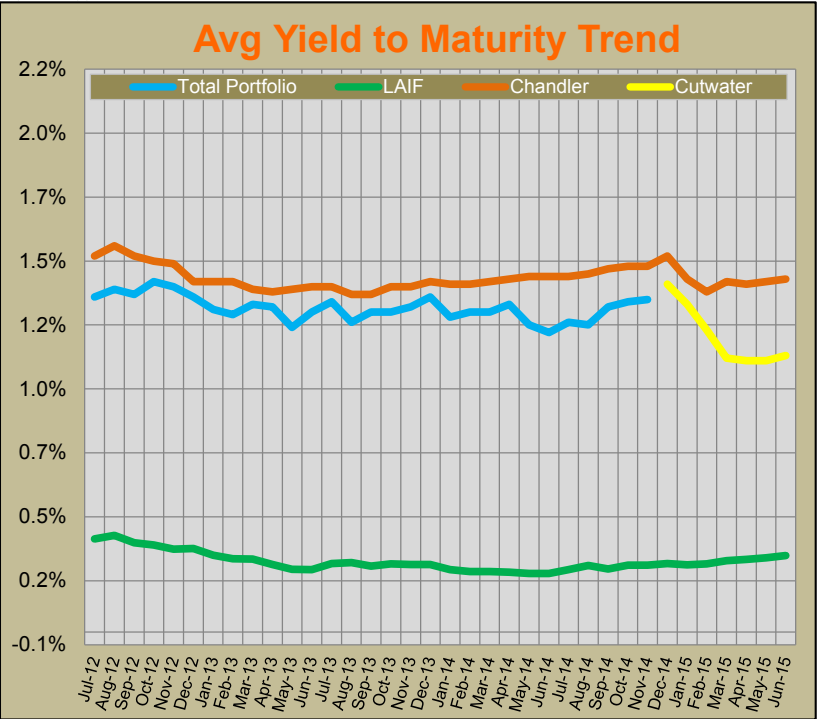
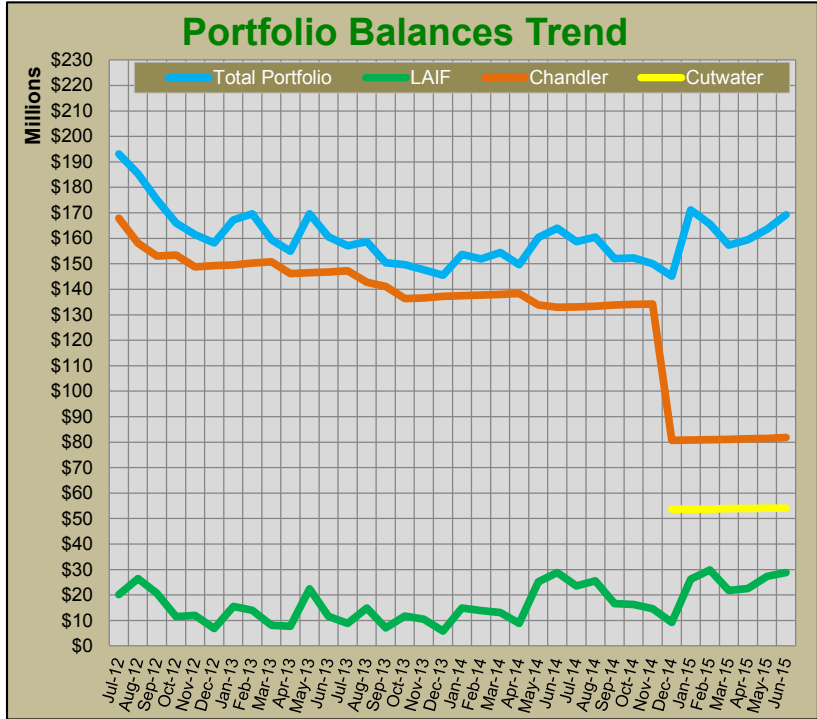
(3) Rate of Return represents the gain or loss on an investment or portfolio of investments over a specified period, expressed as a percentage of increase over the initial investment cost. Gains on investments are considered to be any income received from the security or portfolio plus an realized capital gain. This measure of return recognizes the changes in market values of a security or portfolio of securities.

(4) The Rate of Return for the investment portfolio reflects the performance of the portfolio since May 2010.

(5) The portfolio benchmarks are: Chandler-Bank of America-Merrill Lynch 1 to 5 year Government Index and Cutwater Bank of America-Merrill Lynch 1 to 5 year Treasury Index

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

PORTFOLIO PERFORMANCE - 36 MONTH TREND



PORTFOLIO CHARACTERISTICS

The portfolio invested in LAIF represents the City's immediate cash liquidity needs and is managed by City staff in a manner to fund the day to day operations of the City.

The portfolio managed by Cutwater is comprised of idle cash balances related to funds that generally expect to expend cash within the next 36 months. (Example: Gen Fund, Zone A, Measure A, NSP etc.)

The portfolio managed by Chandler is comprised of idle cash balances related to funds that generally expect to expend cash with the next 24 to 60 months. (Example: Facility & Equip Replacement, Endowments etc.)

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

BOND PROCEEDS WITH FISCAL AGENTS

Account Name	Account Number	Investment	Issuer	Purchase Date	Maturity Date	Market Value	Stated Rate	Yield	Price	% of Portfolio
Wells Fargo Community Facilities District 87-1 (IA-1)										
special tax funds	22631800	money market fund	WF Govt Fund	06/30/15	07/01/15	1,076,988	0.01%	0.01%	1.00000	8.659%
interest acct	22631801	money market fund	WF Govt Fund	06/30/15	07/01/15	94	0.01%	0.01%	1.00000	0.001%
reserve fund	22631802	money market fund	WF Govt Fund	06/30/15	07/01/15	2	0.01%	0.01%	1.00000	0.000%
reserve fund	22631804	money market fund	WF Govt Fund	06/30/15	07/01/15	1,028,690	0.01%	0.01%	1.00000	8.271%
admin exp acct	22631805	money market fund	WF Govt Fund	06/30/15	07/01/15	377	0.01%	0.01%	1.00000	0.003%
debt service acct	22631809	money market fund	WF Govt Fund	06/30/15	07/01/15	536,107	0.01%	0.01%	1.00000	4.310%
surplus acct	22631810	money market fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
special tax funds	22631900	money market fund	WF Govt Fund	06/30/15	07/01/15	400,420	0.01%	0.01%	1.00000	3.219%
interest acct	22631901	money market fund	WF Govt Fund	06/30/15	07/01/15	37	0.01%	0.01%	1.00000	0.000%
principal fund	22631902	money market fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
reserve fund	22631904	money market fund	WF Govt Fund	06/30/15	07/01/15	365,360	0.01%	0.01%	1.00000	2.937%
admin exp acct	22631905	money market fund	WF Govt Fund	06/30/15	07/01/15	758	0.01%	0.01%	1.00000	0.006%
						3,408,833				
Wells Fargo CFD # 5										
Series B Revenue	22333500	money mkt fund	WF Govt Fund	06/30/15	07/01/15	212,284	0.01%	0.01%	1.00000	1.707%
Series A Principal	22333501	money mkt fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	2.71%	1.00000	0.000%
Series B reserve	22333503	money mkt fund	WF Govt Fund	06/30/15	07/01/15	546,064	0.01%	0.01%	1.00000	4.390%
Series B admin fund	22333504	money mkt fund	WF Govt Fund	06/30/15	07/01/15	127	0.01%	0.01%	1.00000	0.001%
						758,475				
Wells Fargo 2007 Redevelopment Agency Tax Allocation Bonds Sereis A										
debt service fund	22631700	money mkt fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
interest fund	22631701	money mkt fund	WF Govt Fund	06/30/15	07/01/15	2	0.01%	0.01%	1.00000	0.000%
principal fund	22631702	money mkt fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
						2				
Wells Fargo 2007 Taxable Lease Revenue Bonds - Electric Utility										
bond fund	22277600	money mkt fund	WF Govt Fund	06/30/15	07/01/15	1	0.01%	0.01%	1.00000	0.000%
interest fund	22277601	money mkt fund	WF Govt Fund	06/30/15	07/01/15	2	0.01%	0.01%	1.00000	0.000%
principal fund	22277602	money mkt fund	WF Govt Fund	06/30/15	07/01/15	1	0.01%	0.01%	1.00000	0.000%
reserve fund	22277603	money mkt fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
construction fund	22277604	money mkt fund	WF Govt Fund	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
						4				
Wells Fargo 2013 Total Road Improvement COPs										
revenue fund	46612400	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
reserve fund	46612403	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
acquisition fund	46612407	money mkt fund	WF Advantage	06/30/15	07/01/15	8,260,908	0.01%	0.01%	1.00000	66.417%
cost of issuance	46612408	money mkt fund	WF Advantage	06/30/15	07/01/15	6,503	0.01%	0.01%	1.00000	0.052%
						8,267,411				
Wells Fargo 2013 Partial Refunding of the 2005 Lease Revenue Bonds										
revenue fund	48360700	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
interest fund	48360701	money mkt fund	WF Advantage	06/30/15	07/01/15	31	0.01%	0.01%	1.00000	0.000%
principal fund	48360702	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
cost of issuance	48360705	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
						31				
Wells Fargo 2014 Partial Refunding of the 2005 Lease Revenue Bonds										
revenue fund	83478300	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
interest fund	83478301	money mkt fund	WF Advantage	06/30/15	07/01/15	3,222	0.01%	0.01%	1.00000	0.026%
principal fund	83478302	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
redemption fund	83478303	money mkt fund	WF Advantage	06/30/15	07/01/15	0	0.01%	0.01%	1.00000	0.000%
						3,222				
Totals						<u>12,437,978</u>				

Type	Summary of Bond Proceeds with Fiscal Agents
1	Construction Funds 8,260,908
2	Principal & Interest Accounts 539,497
3	Debt Service Reserve Funds 3,417,524
4	Custody Accounts 0
5	Arbitrage Rebate Accounts 0
6	Other Accounts 220,049
Total Fiscal Agent Funds	
<u>12,437,978</u>	

DEFERRED COMPENSATION FUNDS

Nationwide

Fund	Market Value as of June 30, 2015	Fund	Market Value as of June 30, 2015	Fund	Market Value as of June 30, 2015
Liquid Savings	\$1,298,766	Nationwide US Sm Cap Val Ins Svc	5,087	Federated Kaufmann Fund	208,347
Nationwide Fixed (Part Time Employee)	458,097	American Century Balanced	43	Invesco Mid Cap Core Equity	32,294
Liquid Savings (Part Time Employees)	277,096	Am Century Growth	82,754	Nationwide Ret Inc Inst Svc	13,089
Certificates of Deposit 1 year	0	Am Century Select	162,298	Nationwide InvDes Mod Cons Fund SC	27,313
Certificates of Deposit 3 years	6,269	JP Morgan Mid Cap Value A	1,140,989	Nationwide InvDes Mod Aggr Fund	1,048,373
Certificates of Deposit 5 years	90,646	Vanguard Index 500	135,630	Nationwide InvDes Aggr Fund	117,596
Bond Fund of America	35,966	Vanguard Institutional Index	713,288	Nationwide InvDes Mod Fd	765,464
Growth Fund of America	93,447	Vanguard Wellington	22,689	Nationwide Inv Des Cons	37,711
Investment Co. of America	49,407	Vanguard Windsor II	44,553	Nationwide Large Cap Growth	54,111
Income Fund of America	75,366	Vanguard Total Bond Index	190,048	Nationwide Inter Val Inst Svc	0
Brown Cap Mgmt Inc SM Co	101,317	Washington Mutual Inv	108,247	Nationwide Dest 2015 Inst Svc	74,648
Fidelity Independence	2,899	DFA US Micro Cap Port	140,414	Nationwide Dest 2020 Inst Svc	172,492
Fidelity Equity Income	70,047	EuroPacific Growth	297,970	Nationwide Dest 2025 Inst Svc	276,520
Fidelity Magellan	255,684	Stable Fund C	2,507,487	Nationwide Dest 2030 Inst Svc	1,006
Fidelity Puritan	85,762	N B Socially Responsive Fund	45,193	Nationwide Dest 2035 Inst Svc	90,709
Fidelity Contrafund	310,079	Dtsch High Income Fund A	80,699	Nationwide Dest 2040 Inst Svc	2,990
Janus Fund	45,677	Dtsch Eq Divd A	96,470	Nationwide Dest 2045 Inst Svc	15,404
Janus Advisor Forty	22,253	Oppenheimer Global Fund A	438,394	Total Nationwide Deferred	\$12,429,098

ICMA

Fund	Market Value as of June 30, 2015	Fund	Market Value as of June 30, 2015
Aggressive Oppor.	\$103,234	VT Vantagepoint Discovery	10,607
International	292,444	VT Gold Sach Mid Cap Value	26,937
All Equity Growth	227,745	VT Fidelity Contrafund	177,944
Growth and Income	331,492	VT Vantagepoint Overseas Equity Index Fund	163,484
Broad Market	6,508	VT Fidelity Diversified International	136,648
500 Stock Index	308,474	VT Allianz NFJ Div Value	152,306
Equity Income	476,177	Vantage Growth Fund	264,992
MS Retirement Income	28,758	VT Fidelity Puritan	28,508
Core Bond	50,346	VT Vantagepoint Select Value	36,083
Cash Management	25,748	VT TR Price Growth Stock Adv	48,270
Plus Fund	1,008,150	VT Nuveen Real Estate Secs	128,271
Retirement Income Advantage	23,099	VT TR Price Small Cap Value	144,194
Conservative Growth	130,418	VT Vantagepoint MS Ret Inc	0
Traditional Growth	201,508	VT Vantagepoint Inflation Protected Securities	71,249
Long-Term Growth	484,776	VT Oppenheimer Main Street	11,417
Western Asset Core Plus Bond	58,179	VT Vantagepoint Mid/Sm Index	63,458
Milestone 2010	10,761	VT PIMCO Total Return	0
Milestone 2020	108,389	VT PIMCO High Yield	88,523
Milestone 2025	20,532	VT Harbor Mid Cap Growth	10,427
Milestone 2030	658	VT Harbor International Admi	35,989
Milestone 2035	24,912	VT TimesSquare Mid Cap Growth Admin	73,405
Milestone 2040	18,867	Total ICMA	\$5,613,887

Summary by Plan

Deferred Compensation Plan	Market Value as of June 30, 2015
Total Nationwide	\$12,429,098
Total ICMA	5,613,887
Total Deferred Compensation Plans	\$18,042,985

Summary by Investment Type

Investment Type	Market Value as of June 30, 2015
Savings Deposits and CD's	\$4,547,715
Mutual Funds	13,495,270
Total Deferred Compensation Plans	\$18,042,985



Monthly Account Statement

City of Moreno Valley

June 1, 2015 through June 30, 2015

Chandler Team

For questions about your account,
please call (800) 317-4747 or
Email operations@chandlerasset.com

Custodian

Union Bank N.A.
Tina Guzman
(619)-230-3547

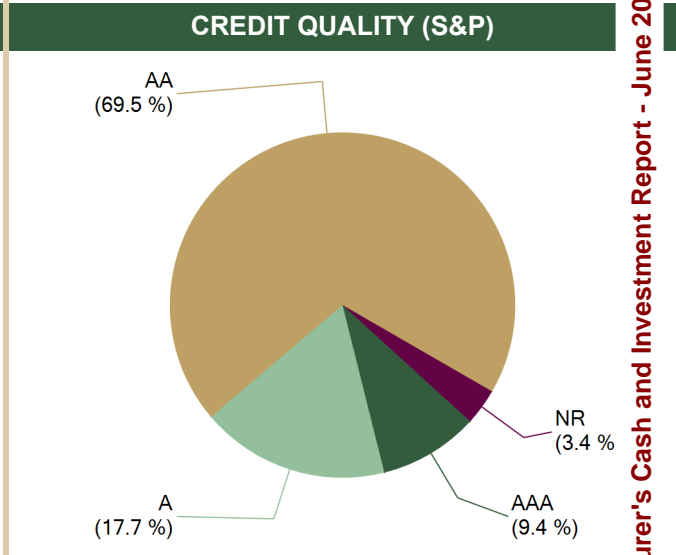
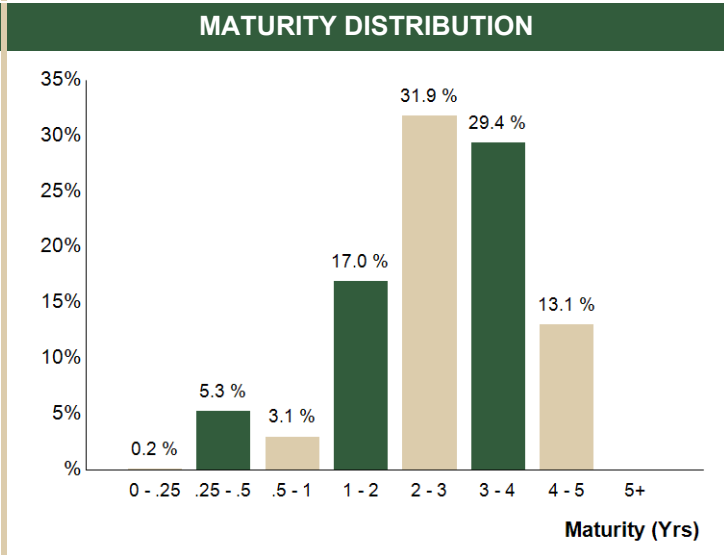
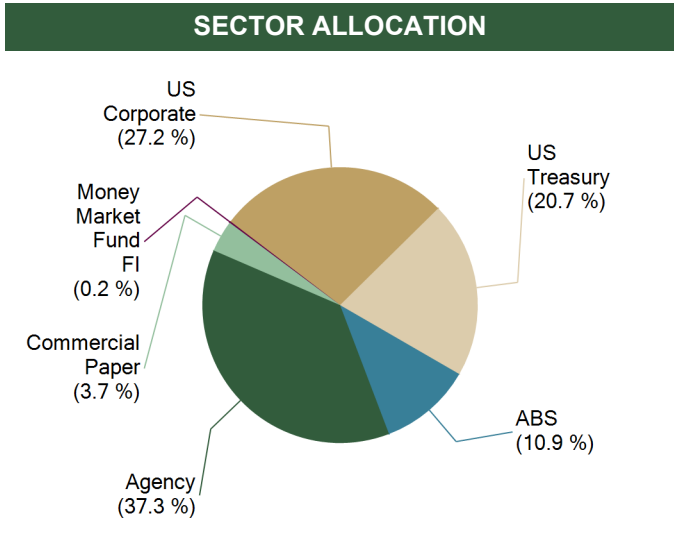
Information contained herein is confidential. We urge you to compare this statement to the one you receive from your qualified custodian. Prices are provided by IDC, an independent pricing source.



PORTFOLIO CHARACTERISTICS	
Average Duration	2.50
Average Coupon	1.29 %
Average Purchase YTM	1.38 %
Average Market YTM	1.14 %
Average S&P/Moody Rating	AA/Aa1
Average Final Maturity	2.77 yrs
Average Life	2.57 yrs

ACCOUNT SUMMARY		
	Beg. Values as of 5/31/15	End Values as of 6/30/15
Market Value	81,817,838	81,976,244
Accrued Interest	222,549	254,453
Total Market Value	82,040,387	82,230,697
Income Earned	92,754	92,248
Cont/WD		333,750
Par	81,390,841	81,816,933
Book Value	81,102,718	81,513,295
Cost Value	81,112,054	81,484,327

TOP ISSUERS	
Issuer	% Portfolio
Government of United States	20.7 %
Federal National Mortgage Assoc	16.6 %
Federal Home Loan Mortgage Corp	13.4 %
Federal Home Loan Bank	7.3 %
Honda ABS	3.7 %
John Deere ABS	3.4 %
Deere & Company	2.2 %
General Electric Co	2.2 %
	69.5 %



PERFORMANCE REVIEW										
Total Rate of Return As of 6/30/2015	Current Month	Latest 3 Months	Year To Date	1 Yr	Annualized				Since 5/31/2010	
					3 Yrs	5 Yrs	10 Yrs	5/31/2010		
City of Moreno Valley	-0.17 %	-0.05 %	0.92 %	1.39 %	1.11 %	1.66 %	N/A	1.80 %	9.48 %	
BAML 1-5 Yr US Treasury/Agency Index	-0.09 %	0.03 %	0.94 %	1.37 %	0.85 %	1.36 %	N/A	1.49 %	7.81 %	
BAML 1-5 Yr US Issuers Corp/Govt Rated AAA-A Index	-0.12 %	0.00 %	0.95 %	1.38 %	1.02 %	1.55 %	N/A	1.69 %	8.87 %	

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COMPLIANCE WITH INVESTMENT POLICY

Assets managed by Chandler Asset Management are in full compliance with State law and with the City's investment policy.

Category	Standard	Comment
Treasury Issues	No Limitation	Complies
Agency Issues	No Limitation	Complies
Municipal Securities (Local Agency/State)	No Limitation	Complies
Banker's Acceptances	40% maximum; 5% max issuer; 180 days max maturity	Complies
Commercial Paper	25% maximum; 5% max issuer; 270 days max maturity; "A-1/P-1/F-1" minimum ratings; "A" rated issuer or higher, if long term debt	Complies
Negotiable Certificates of Deposit	30% maximum; 5% max issuer; 5 years max maturity	Complies
Medium Term Notes	30% maximum; 5% max issuer; 5 years max maturity; "A" rated or better	Complies
Money Market Mutual Funds	20% maximum; AAA/Aaa or Highest rating	Complies
Collateralized Certificates of Deposit (CD)/ Time Deposit (TD)	5% max issuer; 5 years max maturity	Complies
FDIC Insured Certificates of Deposit (CD)/Time Deposit (TD)	5% max issuer; 5 years max maturity	Complies
Mortgage Pass-throughs and Asset Backed Securities	20% maximum; 5% max issuer; "AA" rated or better; "A" rated issuer	Complies
Repurchase Agreements	No limitation; 1-year max maturity	Complies
Local Agency Investment Fund - L.A.I.F.	Maximum program limitation	Complies
Prohibited Securities	Inverse floaters; Ranges notes, Interest only strips from mortgages; Reverse repurchase agreements; Futures/Option contracts	Complies
Issuer Maximum	5% per issuer for all non-government issuers and agencies	Complies
Maximum maturity	5 years	Complies
Weighted Average Maturity	3 years	Complies

Reconciliation Summary

As of 6/30/2015

BOOK VALUE RECONCILIATION	
Beginning Book Value	\$81,102,717.81
Acquisition	
+ Security Purchases	\$4,240,111.15
+ Money Market Fund Purchases	\$3,927,654.08
+ Money Market Contributions	\$333,750.00
+ Security Contributions	\$0.00
+ Security Transfers	\$0.00
Total Acquisitions	\$8,501,515.23
Dispositions	
- Security Sales	\$1,922,884.62
- Money Market Fund Sales	\$4,242,083.34
- MMF Withdrawals	\$0.00
- Security Withdrawals	\$0.00
- Security Transfers	\$0.00
- Other Dispositions	\$0.00
- Maturities	\$1,635,000.00
- Calls	\$0.00
- Principal Paydowns	\$313,229.49
Total Dispositions	\$8,113,197.45
Amortization/Accretion	
+/- Net Accretion	\$5,775.85
	\$5,775.85
Gain/Loss on Dispositions	
+/- Realized Gain/Loss	\$16,483.72
	\$16,483.72
Ending Book Value	\$81,513,295.16

CASH TRANSACTION SUMMARY	
BEGINNING BALANCE	\$128,615.69
Acquisition	
Contributions	\$333,750.00
Security Sale Proceeds	\$1,922,884.62
Accrued Interest Received	\$13,845.44
Interest Received	\$42,692.94
Dividend Received	\$1.59
Principal on Maturities	\$1,635,000.00
Interest on Maturities	\$0.00
Calls/Redemption (Principal)	\$0.00
Interest from Calls/Redemption	\$0.00
Principal Paydown	\$313,229.49
Total Acquisitions	\$4,261,404.08
Disposition	
Withdrawals	\$0.00
Security Purchase	\$4,240,111.15
Accrued Interest Paid	\$1,972.19
Total Dispositions	\$4,242,083.34
Ending Book Value	\$147,936.43

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CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Matur Durat
ABS									
47787RAC4	John Deere Owner Trust 2012-B A3 0.53% Due 7/15/2016	116,786.01	08/28/2012 0.53 %	116,782.40 116,785.04	100.00 0.56 %	116,782.62 27.51	0.14 % (2.42)	Aaa / NR AAA	1 0
89231NAC7	Toyota Auto Receivable 2012-B A3 0.46% Due 7/15/2016	222,171.93	09/18/2012 0.46 %	222,150.81 222,170.45	100.01 0.41 %	222,185.70 45.42	0.27 % 15.25	Aaa / AAA NR	1 0
43814CAC3	Honda Auto Receivables 2013-1 A3 0.48% Due 11/21/2016	820,968.72	01/16/2013 0.48 %	820,925.62 820,961.90	99.99 0.60 %	820,884.98 109.46	1.00 % (76.92)	NR / AAA AAA	1 0
161571FL3	Chase CHAIT Pool #2012-A5 0.59% Due 8/15/2017	1,680,000.00	03/19/2013 0.59 %	1,680,000.00 1,680,000.00	100.00 0.59 %	1,680,005.04 440.53	2.04 % 5.04	NR / AAA AAA	2 0
477879AC4	John Deere Owner Trust 2013-B A3 0.87% Due 8/15/2017	438,469.64	08/27/2013 0.88 %	438,409.88 438,437.46	100.13 0.64 %	439,043.60 169.54	0.53 % 606.14	Aaa / NR AAA	2 0
89231MAC9	Toyota Auto Receivables Owner 2014-A 0.67% Due 12/15/2017	1,180,000.00	03/11/2014 0.69 %	1,179,781.94 1,179,880.75	99.80 0.91 %	1,177,616.40 351.38	1.43 % (2,264.35)	Aaa / AAA NR	2 0
43814GAC4	Honda Auto Receivables 2014-2 A3 0.77% Due 3/19/2018	1,145,000.00	05/13/2014 0.78 %	1,144,862.37 1,144,913.49	99.84 0.91 %	1,143,170.29 318.37	1.39 % (1,743.20)	Aaa / AAA NR	2 1
47787VAC5	John Deere Owner Trust 2014-A A3 0.92% Due 4/16/2018	1,635,000.00	04/02/2014 0.93 %	1,634,738.07 1,634,844.55	100.07 0.85 %	1,636,188.65 668.53	1.99 % 1,344.10	Aaa / NR AAA	2 1
43814HAC2	Honda Auto Receivables 2014-3 A3 0.88% Due 6/15/2018	1,085,000.00	08/12/2014 0.89 %	1,084,790.70 1,084,852.90	100.06 0.83 %	1,085,692.23 424.36	1.32 % 839.33	NR / AAA AAA	2 1
47787AD6	John Deere Owner Trust 2014-B A3 1.07% Due 11/15/2018	620,000.00	08/26/2014 1.08 %	619,864.59 619,899.46	100.07 1.03 %	620,407.96 294.84	0.75 % 508.50	Aaa / NR AAA	3 1
Total ABS		8,943,396.30	0.76 %	8,942,306.38 8,942,746.00	0.78 %	8,941,977.47 2,849.94	10.88 % (768.53)	Aaa / AAA Aaa	2 0
AGENCY									
3136FPDC8	FNMA Callable Note 1X 3/8/2011 2% Due 3/8/2016	765,000.00	08/24/2011 1.22 %	791,285.40 768,981.67	101.17 0.29 %	773,975.75 4,802.50	0.95 % 4,994.08	Aaa / AA+ AAA	0 0
3133787M7	FHLB Note 1.05% Due 2/27/2017	1,195,000.00	02/27/2012 1.03 %	1,196,099.40 1,195,365.46	100.76 0.59 %	1,204,115.46 4,321.92	1.47 % 8,750.00	Aaa / AA+ AAA	1 1
3137EADC0	FHLMC Note 1% Due 3/8/2017	1,700,000.00	03/14/2012 1.29 %	1,676,285.00 1,691,968.97	100.63 0.62 %	1,710,708.30 5,336.11	2.09 % 18,739.33	Aaa / AA+ AAA	1 1
313378WF4	FHLB Note 1.125% Due 3/10/2017	1,800,000.00	04/24/2012 1.05 %	1,806,408.00 1,802,224.80	100.76 0.67 %	1,813,642.20 6,243.75	2.21 % 11,417.40	Aaa / AA+ AAA	1 1
3133782N0	FHLB Note 0.875% Due 3/10/2017	1,310,000.00	03/13/2013 0.70 %	1,318,894.90 1,313,775.45	100.34 0.67 %	1,314,443.52 3,534.27	1.60 % 668.07	Aaa / AA+ AAA	1 1
3137EADF3	FHLMC Note 1.25% Due 5/12/2017	1,650,000.00	05/29/2012 1.06 %	1,665,300.45 1,655,763.06	101.12 0.65 %	1,668,445.35 2,807.29	2.03 % 12,682.29	Aaa / AA+ AAA	1 1
3137EADH9	FHLMC Note 1% Due 6/29/2017	1,650,000.00	Various 0.86 %	1,660,600.20 1,654,501.82	100.55 0.72 %	1,659,053.56 91.67	2.02 % 4,551.74	Aaa / AA+ AAA	2 1
3135G0ZL0	FNMA Note 1% Due 9/27/2017	1,325,000.00	08/21/2014 1.12 %	1,320,269.75 1,321,568.58	100.38 0.83 %	1,330,045.60 3,459.72	1.62 % 8,477.02	Aaa / AA+ AAA	2 2.21

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CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Matur Durat
AGENCY									
3137EADL0	FHLMC Note 1% Due 9/29/2017	1,050,000.00	10/25/2012 0.92 %	1,053,983.70 1,051,822.07	100.24 0.89 %	1,052,473.80 2,683.33	1.28 % 651.73	Aaa / AA+ AAA	2 2
3135G0TG8	FNMA Note 0.875% Due 2/8/2018	1,450,000.00	Various 1.43 %	1,414,007.30 1,429,708.21	99.75 0.97 %	1,446,430.10 5,039.76	1.77 % 16,721.89	Aaa / AA+ AAA	2 2
3130A4GJ5	FHLB Note 1.125% Due 4/25/2018	1,625,000.00	03/20/2015 1.02 %	1,630,331.63 1,629,859.39	100.23 1.04 %	1,628,719.63 3,351.56	1.98 % (1,139.76)	Aaa / AA+ AAA	2 2
3135G0WJ8	FNMA Note 0.875% Due 5/21/2018	1,800,000.00	07/29/2013 1.54 %	1,745,109.00 1,767,021.64	99.40 1.09 %	1,789,227.00 1,750.00	2.18 % 22,205.36	Aaa / AA+ AAA	2 2
3135G0E33	FNMA Note 1.125% Due 7/20/2018	1,640,000.00	Various 1.17 %	1,637,599.65 1,637,639.91	99.92 1.15 %	1,638,755.25 1,178.75	1.99 % 1,115.34	Aaa / AA+ AAA	3 2
3135G0YM9	FNMA Note 1.875% Due 9/18/2018	950,000.00	12/23/2013 1.71 %	956,915.05 954,707.52	102.16 1.19 %	970,507.65 5,096.35	1.19 % 15,800.13	Aaa / AA+ AAA	3 3
3135G0YT4	FNMA Note 1.625% Due 11/27/2018	1,750,000.00	12/13/2013 1.71 %	1,743,035.00 1,745,195.89	101.21 1.26 %	1,771,176.75 2,685.76	2.16 % 25,980.86	Aaa / AA+ AAA	3 3
3135G0ZA4	FNMA Note 1.875% Due 2/19/2019	1,775,000.00	Various 1.65 %	1,793,583.78 1,788,615.51	101.88 1.34 %	1,808,453.43 12,203.13	2.21 % 19,837.92	Aaa / AA+ AAA	3 3
3137EADG1	FHLMC Note 1.75% Due 5/30/2019	2,125,000.00	Various 1.80 %	2,119,946.43 2,120,610.47	101.09 1.46 %	2,148,124.25 3,202.26	2.62 % 27,513.78	Aaa / AA+ AAA	3 3
3137EADK2	FHLMC Note 1.25% Due 8/1/2019	2,750,000.00	09/04/2014 1.83 %	2,674,980.00 2,687,399.42	98.94 1.52 %	2,720,781.25 14,322.92	3.33 % 33,381.83	Aaa / AA+ AAA	4 3
3135G0ZG1	FNMA Note 1.75% Due 9/12/2019	1,700,000.00	10/29/2014 1.70 %	1,703,859.00 1,703,329.42	100.80 1.55 %	1,713,620.40 9,007.64	2.09 % 10,290.98	Aaa / AA+ AAA	4 4
3135G0A78	FNMA Note 1.625% Due 1/21/2020	400,000.00	05/26/2015 1.55 %	401,417.20 401,388.02	99.86 1.66 %	399,445.60 2,888.89	0.49 % (1,942.42)	Aaa / AA+ AAA	4 4
Total Agency		30,410,000.00	1.35 %	30,309,910.84 30,321,447.28	1.04 %	30,562,144.85 94,007.58	37.28 % 240,697.57	Aaa / AA+ Aaa	2 2
COMMERCIAL PAPER									
89236B4G6	Toyota Motor Corp Interest Bearing CP 0.3% Due 10/2/2015	1,410,000.00	01/30/2015 0.30 %	1,410,000.00 1,410,000.00	100.00 0.30 %	1,410,000.00 1,786.00	1.72 % 0.00	P-1 / A-1+ F-1	0 0
06538CXT3	Bank of Tokyo Mitsubishi NY Discount CP 0.3% Due 10/27/2015	1,635,000.00	06/26/2015 0.30 %	1,633,365.00 1,633,392.25	99.90 0.30 %	1,633,392.25 0.00	1.99 % 0.00	P-1 / A-1 F-1	0 0
Total Commercial Paper		3,045,000.00	0.30 %	3,043,365.00 3,043,392.25	0.30 %	3,043,392.25 1,786.00	3.70 % 0.00	P-1 / A-1 F-1	0 0
MONEY MARKET FUND FI									
60934N104	Federated GOVT OBLIG MMF	147,936.43	06/29/2015 0.01 %	147,936.43 147,936.43	1.00 0.01 %	147,936.43 0.00	0.18 % 0.00	Aaa / AAA AAA	0 0
Total Money Market Fund FI		147,936.43	0.01 %	147,936.43 147,936.43	0.01 %	147,936.43 0.00	0.18 % 0.00	Aaa / AAA Aaa	0.00 0.00

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CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Matur Durat
US CORPORATE									
278642AB9	Ebay Inc Note 1.625% Due 10/15/2015	1,345,000.00	10/22/2010 1.66 %	1,342,646.25 1,344,862.38	100.23 0.83 %	1,348,106.95 4,614.10	1.65 % 3,244.57	A2 / A A-	0 0
24422ERL5	John Deere Capital Corp Note 2% Due 1/13/2017	1,215,000.00	09/11/2012 1.05 %	1,263,733.65 1,232,312.46	101.62 0.94 %	1,234,665.99 11,340.00	1.52 % 2,353.53	A2 / A NR	1 1
674599CB9	Occidental Petroleum Note 1.75% Due 2/15/2017	1,575,000.00	03/08/2013 1.13 %	1,612,532.25 1,590,562.15	100.91 1.19 %	1,589,261.63 10,412.50	1.95 % (1,300.52)	A2 / A A	1 1
717081DJ9	Pfizer Inc. Note 1.1% Due 5/15/2017	565,000.00	05/12/2014 1.13 %	564,502.80 564,689.70	100.29 0.94 %	566,665.06 794.14	0.69 % 1,975.36	A1 / AA A+	1 1
166764AA8	Chevron Corp. Callable Note Cont 11/5/17 1.104% Due 12/5/2017	1,500,000.00	Various 1.48 %	1,477,072.20 1,486,932.04	99.57 1.29 %	1,493,574.00 1,195.99	1.82 % 6,641.96	Aa1 / AA NR	2 2
02665WAQ4	American Honda Finance Note 1.55% Due 12/11/2017	695,000.00	12/08/2014 1.58 %	694,353.65 694,472.78	100.35 1.41 %	697,401.92 598.47	0.85 % 2,929.14	A1 / A+ NR	2 2
458140AL4	Intel Corp Note 1.35% Due 12/15/2017	1,440,000.00	12/12/2012 1.29 %	1,444,175.55 1,442,055.72	99.96 1.36 %	1,439,488.81 864.00	1.75 % (2,566.91)	A1 / A+ A+	2 2
89236TCA1	Toyota Motor Credit Corp Note 1.45% Due 1/12/2018	260,000.00	01/07/2015 1.50 %	259,643.80 259,699.05	100.10 1.41 %	260,250.12 1,769.81	0.32 % 551.07	Aa3 / AA- A	2 2
459200HZ7	IBM Corp Note 1.125% Due 2/6/2018	1,035,000.00	02/03/2015 1.23 %	1,031,843.25 1,032,260.89	99.37 1.37 %	1,028,427.75 4,689.84	1.26 % (3,833.14)	Aa3 / AA- A+	2 2
713448CR7	PepsiCo Inc Note 1.25% Due 4/30/2018	875,000.00	Various 1.26 %	874,650.00 874,669.53	99.58 1.40 %	871,360.88 1,853.30	1.06 % (3,308.65)	A1 / A A	2 2
037833AJ9	Apple Inc Note 1% Due 5/3/2018	1,400,000.00	05/22/2013 1.25 %	1,383,186.00 1,390,318.65	98.99 1.36 %	1,385,846.00 2,255.56	1.69 % (4,472.65)	Aa1 / AA+ NR	2 2
74005PBH6	Praxair Note 1.25% Due 11/7/2018	1,035,000.00	01/08/2015 1.68 %	1,018,719.45 1,020,693.20	98.69 1.65 %	1,021,412.52 1,940.63	1.24 % 719.32	A2 / A NR	3 3
24422ESF7	John Deere Capital Corp Note 1.95% Due 12/13/2018	545,000.00	12/10/2013 1.99 %	543,839.15 544,198.34	101.04 1.64 %	550,694.16 531.38	0.67 % 6,495.82	A2 / A NR	3 3
36962G7G3	General Electric Capital Corp Note 2.3% Due 1/14/2019	1,750,000.00	01/08/2014 2.32 %	1,748,286.80 1,748,786.88	101.39 1.89 %	1,774,248.00 18,671.52	2.18 % 25,461.12	A1 / AA+ NR	3 3
17275RAR3	Cisco Systems Note 2.125% Due 3/1/2019	1,305,000.00	Various 2.07 %	1,308,459.75 1,307,545.71	100.70 1.93 %	1,314,074.97 9,243.76	1.61 % 6,529.26	A1 / AA- NR	3 3
91159HHH6	US Bancorp Callable Note Cont 3/25/2019 2.2% Due 4/25/2019	1,365,000.00	Various 2.18 %	1,366,198.85 1,366,032.24	101.05 1.91 %	1,379,305.20 5,505.50	1.68 % 13,272.96	A1 / A+ AA-	3 3
06406HCW7	Bank of New York Callable Note Cont 8/11/2019 2.3% Due 9/11/2019	1,675,000.00	Various 2.29 %	1,675,650.55 1,675,543.77	99.93 2.32 %	1,673,871.05 11,771.53	2.05 % (1,672.72)	A1 / A+ AA-	4 3
94974BGF1	Wells Fargo Corp Note 2.15% Due 1/30/2020	1,050,000.00	01/26/2015 2.17 %	1,048,857.60 1,048,950.97	99.05 2.37 %	1,039,976.70 9,343.54	1.28 % (8,974.27)	A2 / A+ AA-	4 4
22160KAG0	Costco Wholesale Corp Note 1.75% Due 2/15/2020	665,000.00	02/05/2015 1.77 %	664,301.75 664,353.05	98.94 1.99 %	657,953.66 4,331.74	0.81 % (6,399.39)	A1 / A+ A+	4.63 4.39

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Holdings Report

As of 6/30/15

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Matur Durat
US CORPORATE									
747525AD5	Qualcom Inc Note 2.25% Due 5/20/2020	980,000.00	06/11/2015 2.49 %	969,146.50 969,236.95	99.49 2.36 %	974,980.44 2,511.26	1.19 % 5,743.49	A1 / A+ NR	4 4
Total US Corporate		22,275,000.00	1.70 %	22,291,799.80 22,258,176.46	1.59 %	22,301,565.81 104,238.57	27.25 % 43,389.35	A1 / A+ A+	2 2
US TREASURY									
912828PS3	US Treasury Note 2% Due 1/31/2016	1,705,000.00	05/16/2011 1.70 %	1,727,850.04 1,707,846.28	101.06 0.18 %	1,723,115.63 14,224.03	2.11 % 15,269.35	Aaa / AA+ AAA	0 0
912828TM2	US Treasury Note 0.625% Due 8/31/2017	1,300,000.00	02/26/2015 0.86 %	1,292,539.51 1,293,549.45	99.83 0.70 %	1,297,765.30 2,715.69	1.58 % 4,215.85	Aaa / AA+ AAA	2 2
912828UU2	US Treasury Note 0.75% Due 3/31/2018	1,835,000.00	Various 1.29 %	1,791,984.86 1,808,850.75	99.49 0.94 %	1,825,681.87 3,459.42	2.22 % 16,831.12	Aaa / AA+ AAA	2 2
912828VE7	US Treasury Note 1% Due 5/31/2018	1,450,000.00	01/07/2014 1.46 %	1,421,684.55 1,431,199.53	100.03 0.99 %	1,450,452.40 1,228.14	1.77 % 19,252.87	Aaa / AA+ AAA	2 2
912828WD8	US Treasury Note 1.25% Due 10/31/2018	1,005,600.00	12/13/2013 1.50 %	993,661.87 997,421.91	100.34 1.14 %	1,009,057.25 2,117.77	1.23 % 11,635.34	Aaa / AA+ AAA	3 3
912828A34	US Treasury Note 1.25% Due 11/30/2018	2,000,000.00	Various 1.71 %	1,957,160.02 1,970,133.31	100.25 1.18 %	2,005,000.00 2,117.48	2.44 % 34,866.69	Aaa / AA+ AAA	3 3
912828SD3	US Treasury Note 1.25% Due 1/31/2019	2,100,000.00	06/17/2014 1.64 %	2,063,421.09 2,071,612.34	100.03 1.24 %	2,100,655.20 10,949.59	2.57 % 29,042.86	Aaa / AA+ AAA	3 3
912828SH4	US Treasury Note 1.375% Due 2/28/2019	2,000,000.00	03/31/2014 1.72 %	1,967,741.08 1,975,940.67	100.35 1.28 %	2,007,032.00 9,191.58	2.45 % 31,091.33	Aaa / AA+ AAA	3 3
912828ST8	US Treasury Note 1.25% Due 4/30/2019	2,000,000.00	06/10/2014 1.68 %	1,960,084.82 1,968,698.80	99.77 1.31 %	1,995,468.00 4,211.96	2.43 % 26,769.20	Aaa / AA+ AAA	3 3
912828UB4	US Treasury Note 1% Due 11/30/2019	1,600,000.00	03/30/2015 1.38 %	1,572,880.35 1,574,343.70	97.81 1.51 %	1,565,000.00 1,355.19	1.90 % (9,343.70)	Aaa / AA+ AAA	4 4
Total US Treasury		16,995,600.00	1.52 %	16,749,008.19 16,799,596.74	1.06 %	16,979,227.65 51,570.85	20.71 % 179,630.91	Aaa / AA+ Aaa	3 3
TOTAL PORTFOLIO		81,816,932.73	1.38 %	81,484,326.64 81,513,295.16	1.14 %	81,976,244.46 254,452.94	100.00 % 462,949.30	Aa1 / AA Aaa	2 2
TOTAL MARKET VALUE PLUS ACCRUED						82,230,697.40			

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Transaction Ledger

5/31/15 Thru 6/30/15

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	06/01/2015	60934N104	1.59	Federated GOVT OBLIG MMF	1.000	0.01 %	1.59	0.00	1.59	0
Purchase	06/05/2015	60934N104	8,280.00	Federated GOVT OBLIG MMF	1.000	0.01 %	8,280.00	0.00	8,280.00	0
Purchase	06/08/2015	3135G0E33	1,015,000.00	FNMA Note 1.125% Due 7/20/2018	99.817	1.19 %	1,013,142.55	0.00	1,013,142.55	0
Purchase	06/08/2015	60934N104	919,007.84	Federated GOVT OBLIG MMF	1.000	0.01 %	919,007.84	0.00	919,007.84	0
Purchase	06/11/2015	60934N104	5,386.25	Federated GOVT OBLIG MMF	1.000	0.01 %	5,386.25	0.00	5,386.25	0
Purchase	06/12/2015	60934N104	1,017,722.22	Federated GOVT OBLIG MMF	1.000	0.01 %	1,017,722.22	0.00	1,017,722.22	0
Purchase	06/13/2015	60934N104	5,313.75	Federated GOVT OBLIG MMF	1.000	0.01 %	5,313.75	0.00	5,313.75	0
Purchase	06/15/2015	60934N104	9,720.00	Federated GOVT OBLIG MMF	1.000	0.01 %	9,720.00	0.00	9,720.00	0
Purchase	06/15/2015	60934N104	66,212.91	Federated GOVT OBLIG MMF	1.000	0.01 %	66,212.91	0.00	66,212.91	0
Purchase	06/15/2015	60934N104	826.00	Federated GOVT OBLIG MMF	1.000	0.01 %	826.00	0.00	826.00	0
Purchase	06/15/2015	60934N104	68,212.41	Federated GOVT OBLIG MMF	1.000	0.01 %	68,212.41	0.00	68,212.41	0
Purchase	06/15/2015	60934N104	35,622.28	Federated GOVT OBLIG MMF	1.000	0.01 %	35,622.28	0.00	35,622.28	0
Purchase	06/15/2015	60934N104	658.83	Federated GOVT OBLIG MMF	1.000	0.01 %	658.83	0.00	658.83	0
Purchase	06/15/2015	60934N104	1,253.50	Federated GOVT OBLIG MMF	1.000	0.01 %	1,253.50	0.00	1,253.50	0
Purchase	06/15/2015	60934N104	795.67	Federated GOVT OBLIG MMF	1.000	0.01 %	795.67	0.00	795.67	0
Purchase	06/15/2015	60934N104	552.83	Federated GOVT OBLIG MMF	1.000	0.01 %	552.83	0.00	552.83	0
Purchase	06/16/2015	747525AD5	490,000.00	Qualcom Inc Note 2.25% Due 5/20/2020	98.874	2.49 %	484,482.60	796.25	485,278.85	0
Purchase	06/16/2015	747525AD5	490,000.00	Qualcom Inc Note 2.25% Due 5/20/2020	98.911	2.49 %	484,663.90	796.25	485,460.15	0
Purchase	06/18/2015	60934N104	734.71	Federated GOVT OBLIG MMF	1.000	0.01 %	734.71	0.00	734.71	0
Purchase	06/22/2015	3135G0E33	200,000.00	FNMA Note 1.125% Due 7/20/2018	99.843	1.18 %	199,686.60	87.50	199,774.10	0
Purchase	06/22/2015	60934N104	144,103.29	Federated GOVT OBLIG MMF	1.000	0.01 %	144,103.29	0.00	144,103.29	0
Purchase	06/29/2015	06538CXT3	1,635,000.00	Bank of Tokyo Mitsubishi NY Discount CP 0.3% Due 10/27/2015	99.900	0.30 %	1,633,365.00	0.00	1,633,365.00	0
Purchase	06/29/2015	60934N104	8,250.00	Federated GOVT OBLIG MMF	1.000	0.01 %	8,250.00	0.00	8,250.00	0
Purchase	06/29/2015	60934N104	1,635,000.00	Federated GOVT OBLIG MMF	1.000	0.01 %	1,635,000.00	0.00	1,635,000.00	0
Purchase	06/30/2015	3135G0E33	425,000.00	FNMA Note 1.125% Due 7/20/2018	99.946	1.14 %	424,770.50	292.19	425,062.69	0
Subtotal			8,182,654.08				8,167,765.23	1,972.19	8,169,737.42	0

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Security Contribution	06/17/2015	60934N104	333,750.00	Federated GOVT OBLIG MMF	1.000		333,750.00	0.00	333,750.00	0
	Subtotal		333,750.00				333,750.00	0.00	333,750.00	0
Short Sale	06/08/2015	60934N104	-1,013,142.55	Federated GOVT OBLIG MMF	1.000		-1,013,142.55	0.00	-1,013,142.55	0
Short Sale	06/29/2015	60934N104	-1,633,365.00	Federated GOVT OBLIG MMF	1.000		-1,633,365.00	0.00	-1,633,365.00	0
	Subtotal		-2,646,507.55				-2,646,507.55	0.00	-2,646,507.55	0
TOTAL ACQUISITIONS			5,869,896.53				5,855,007.68	1,972.19	5,856,979.87	0

DISPOSITIONS										
Closing Purchase	06/08/2015	60934N104	-1,013,142.55	Federated GOVT OBLIG MMF	1.000		-1,013,142.55	0.00	-1,013,142.55	0
Closing Purchase	06/29/2015	60934N104	-1,633,365.00	Federated GOVT OBLIG MMF	1.000		-1,633,365.00	0.00	-1,633,365.00	0
	Subtotal		-2,646,507.55				-2,646,507.55	0.00	-2,646,507.55	0
Sale	06/08/2015	31331J6C2	600,000.00	FFCB Note 2.35% Due 12/22/2015	101.145	0.22 %	606,870.00	6,501.67	613,371.67	6,622
Sale	06/08/2015	60934N104	1,013,142.55	Federated GOVT OBLIG MMF	1.000	0.01 %	1,013,142.55	0.00	1,013,142.55	0
Sale	06/08/2015	912828PS3	300,000.00	US Treasury Note 2% Due 1/31/2016	101.172	0.19 %	303,514.62	2,121.55	305,636.17	2,959
Sale	06/12/2015	3136FPDC8	1,000,000.00	FNMA Callable Note 1X 3/8/2011 2% Due 3/8/2016	101.250	0.30 %	1,012,500.00	5,222.22	1,017,722.22	6,901
Sale	06/16/2015	60934N104	970,739.00	Federated GOVT OBLIG MMF	1.000	0.01 %	970,739.00	0.00	970,739.00	0
Sale	06/22/2015	60934N104	199,774.10	Federated GOVT OBLIG MMF	1.000	0.01 %	199,774.10	0.00	199,774.10	0
Sale	06/29/2015	60934N104	1,633,365.00	Federated GOVT OBLIG MMF	1.000	0.01 %	1,633,365.00	0.00	1,633,365.00	0
Sale	06/30/2015	60934N104	425,062.69	Federated GOVT OBLIG MMF	1.000	0.01 %	425,062.69	0.00	425,062.69	0
	Subtotal		6,142,083.34				6,164,967.96	13,845.44	6,178,813.40	16,483
Paydown	06/15/2015	161571FL3	0.00	Chase CHAIT Pool #2012-A5 0.59% Due 8/15/2017	100.000		0.00	826.00	826.00	0
Paydown	06/15/2015	43814HAC2	0.00	Honda Auto Receivables 2014-3 A3 0.88% Due 6/15/2018	100.000		0.00	795.67	795.67	0
Paydown	06/15/2015	477877AD6	0.00	John Deere Owner Trust 2014-B A3 1.07% Due 11/15/2018	100.000		0.00	552.83	552.83	0

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
DISPOSITIONS										
Paydown	06/15/2015	477879AC4	35,278.81	John Deere Owner Trust 2013-B A3 0.87% Due 8/15/2017	100.000		35,278.81	343.47	35,622.28	0
Paydown	06/15/2015	47787RAC4	66,132.12	John Deere Owner Trust 2012-B A3 0.53% Due 7/15/2016	100.000		66,132.12	80.79	66,212.91	0
Paydown	06/15/2015	47787VAC5	0.00	John Deere Owner Trust 2014-A A3 0.92% Due 4/16/2018	100.000		0.00	1,253.50	1,253.50	0
Paydown	06/15/2015	89231MAC9	0.00	Toyota Auto Receivables Owner 2014-A 0.67% Due 12/15/2017	100.000		0.00	658.83	658.83	0
Paydown	06/15/2015	89231NAC7	68,101.14	Toyota Auto Receivable 2012-B A3 0.46% Due 7/15/2016	100.000		68,101.14	111.27	68,212.41	0
Paydown	06/18/2015	43814GAC4	0.00	Honda Auto Receivables 2014-2 A3 0.77% Due 3/19/2018	100.000		0.00	734.71	734.71	0
Paydown	06/21/2015	43814CAC3	143,717.42	Honda Auto Receivables 2013-1 A3 0.48% Due 11/21/2016	100.000		143,717.42	385.87	144,103.29	0
		Subtotal	313,229.49				313,229.49	5,742.94	318,972.43	0
Maturity	06/29/2015	06538CTV3	1,635,000.00	Bank of Tokyo Mitsubishi NY Discount CP 0.28% Due 6/29/2015	99.902		1,635,000.00	0.00	1,635,000.00	0
		Subtotal	1,635,000.00				1,635,000.00	0.00	1,635,000.00	0
TOTAL DISPOSITIONS			5,443,805.28				5,466,689.90	19,588.38	5,486,278.28	16,483
OTHER TRANSACTIONS										
Interest	06/05/2015	166764AA8	1,500,000.00	Chevron Corp. Callable Note Cont 11/5/17 1.104% Due 12/5/2017	0.000		8,280.00	0.00	8,280.00	0
Interest	06/11/2015	02665WAQ4	695,000.00	American Honda Finance Note 1.55% Due 12/11/2017	0.000		5,386.25	0.00	5,386.25	0
Interest	06/13/2015	24422ESF7	545,000.00	John Deere Capital Corp Note 1.95% Due 12/13/2018	0.000		5,313.75	0.00	5,313.75	0
Interest	06/15/2015	458140AL4	1,440,000.00	Intel Corp Note 1.35% Due 12/15/2017	0.000		9,720.00	0.00	9,720.00	0
Interest	06/29/2015	3137EADH9	1,650,000.00	FHLMC Note 1% Due 6/29/2017	0.000		8,250.00	0.00	8,250.00	0
		Subtotal	5,830,000.00				36,950.00	0.00	36,950.00	0
Dividend	06/01/2015	60934N104	128,615.69	Federated GOVT OBLIG MMF	0.000		1.59	0.00	1.59	0
		Subtotal	128,615.69				1.59	0.00	1.59	0

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Transaction Ledger

5/31/15 Thru 6/30/15

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
TOTAL OTHER TRANSACTIONS			5,958,615.69				36,951.59	0.00	36,951.59	0

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Cutwater Asset Management
1331 17th Street, Suite 602
Denver, CO 80202
Tel: 303 860 1100
Fax: 303 860 0016

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CITY OF MORENO VALLEY

Report for the period June 1, 2015 - June 30, 2015

Please contact Accounting by calling the number above or email camreports@cutwater.com with questions concerning this report.

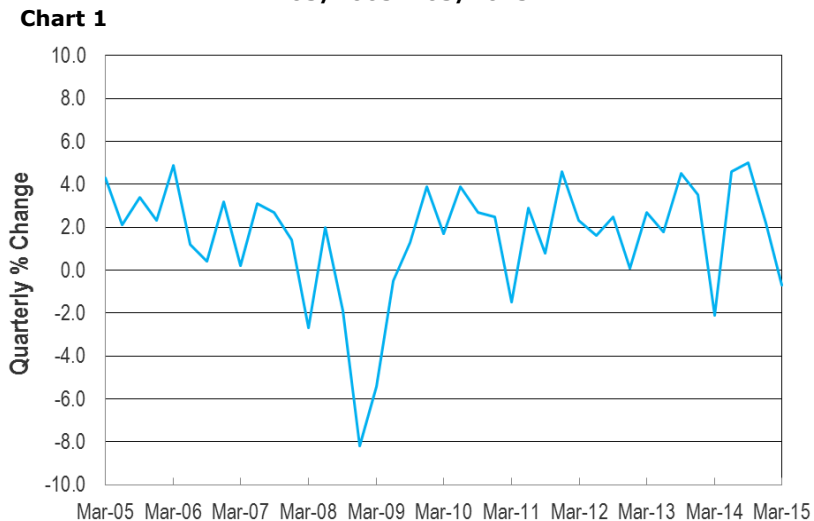
(This report was prepared on July 6, 2015)

➤ A BNY MELLON COMPANYSM

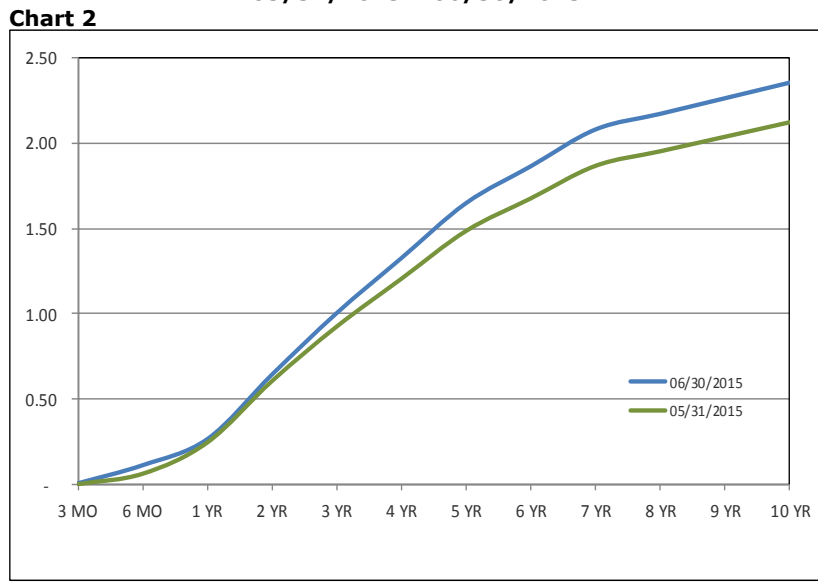


Fixed Income Market Review June 30, 2015

Gross Domestic Product
03/2005 – 03/2015



Treasury Yield Curves
05/31/2015 – 06/30/2015



Economic Indicators & Monetary Policy – The third estimate of Gross Domestic Product (GDP) was revised upward, bringing the final calculation of first quarter 2015 GDP to negative 0.2 percent. (See Chart 1) While the economy shrunk in the first quarter, the downturn was much less severe than originally expected. 2015 may follow the 2014 pattern of a weak first quarter followed by a strong rebound in the second quarter. Transitory factors negatively impacting GDP were the strength of the dollar, which led to weaker imports, as well as harsh weather and low energy costs. At this time economic forecasts for GDP in 2015 show growth of 2.2 percent.

The employment numbers improved and new job creation was strong, as 280,000 jobs were added in May, exceeding analyst estimates of 226,000. Driving the job growth were local government agencies, retailers and automakers. While the unemployment rate increased to 5.5 percent from 5.4 percent, the participation rate also increased to 62.9 percent from 62.8 percent indicating that more Americans entered the workforce.

Inflation, one of the Federal Open Market Committee’s (FOMC) key metrics, showed improvement in May following a stretch of weak months as a result of the decreased cost of energy. The Producer Price Index (PPI) on a month-over-month basis including food and energy increased 0.5 percent. The core PPI, which excludes food and energy, increased 0.1 percent on a month-over-month basis. The Consumer Price Index (CPI) on a month-over-month basis including food and energy increased 0.4 percent, while the month-over-month core CPI also increased 0.1 percent. The Personal Consumption Expenditures index including food and energy, the preferred inflation indicator of the FOMC, increased 0.3 percent on a month-over-month basis.

May was a better month for housing in the U.S. as existing home sales increased 5.1 percent, and new home sales increased 2.2 percent. Housing purchases and mortgage applications continue to be strong as the prospect of increased mortgage rates in the future looms over potential home buyers.

The FOMC concluded its most recent meeting on June 17th. The Committee voted to maintain the target Fed funds rate at zero to 0.25 percent, however the members of the FOMC have not denied a potential increase in interest rates in 2015. Chair Janet Yellen repeated the importance of a slow and steady trajectory when interest rates begin to rise.

Yield Curve & Spreads - At the end of May, the 3-month Treasury bill yielded 0.01 percent, the 6-month Treasury bill yielded 0.11 percent, the 2-year Treasury note yielded 0.64 percent, the 5-year Treasury note yielded 1.65 percent, and the 10-year Treasury note yielded 2.35 percent (See Chart 2).

Important Disclosures June 30, 2015

The information contained herein has been obtained from sources believed to be reliable; however, no representation is made regarding its accuracy or completeness. The value of investments and any income from them will fluctuate and is not guaranteed (this may partly be due to exchange rate changes) and investors may not get back the amount invested.

Neither Cutwater Asset Management nor its subsidiaries provide tax or legal advice to its clients and all investors are strongly urged to consult their tax and legal advisors regarding any potential strategy or investment.

You may request, without charge, additional information about Cutwater. Moreover, specific information relating to Cutwater and/or its strategies, including investment advisory fees, may be obtained from the Form ADV Part 2A of both Cutwater Asset Management Corp. and Cutwater Investor Services Corp., which is available without charge upon request.

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On January 5, 2015, it was announced that The Bank of NY Mellon Corporation (“BNY Mellon” or “Bank”) successfully acquired Cutwater Holdings, LLC, parent of Cutwater Asset Management Corp. and Cutwater Investor Services Corp. Cutwater now operates as a wholly owned subsidiary of BNY Mellon Investment Management, one of the world's leading investment management organizations and one of the top U.S. wealth managers, with \$1.6 trillion in assets under management. BNY Mellon Investment Management encompasses BNY Mellon's affiliated investment management firms, wealth management services, and global distribution companies. Cutwater now works closely with Insight Investment, one of BNY Mellon's subsidiary leading investment management boutiques.

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**City of Moreno Valley
Activity and Performance Summary
for the period June 1, 2015 - June 30, 2015**

<u>Amortized Cost Basis Activity Summary</u>	
Beginning Amortized Cost Value	54,024,800.94
Additions	
Contributions	2,706.63
Interest Received	62,203.14
Accrued Interest Sold	146.06
Gain on Sales	1,175.69
Total Additions	66,231.52
Deductions	
Withdrawals	0.00
Fees Paid	2,706.63
Accrued Interest Purchased	8,594.86
Loss on Sales	0.00
Total Deductions	(11,301.49)
Accretion (Amortization) for the Period	(5,903.48)
Ending Amortized Cost Value	54,073,827.49
Ending Fair Value	54,256,183.69
Unrealized Gain (Loss)	182,356.20

<u>Detail of Amortized Cost Basis Return</u>				
	Interest Earned	Accretion (Amortization)	Realized Gain (Loss)	Total Income
Current Holdings				
Cash and Equivalents	1.75	0.00	0.00	1.75
U.S. Treasury	8,270.70	1,830.84	0.00	10,101.54
U.S. Instrumentality	25,071.47	(1,571.09)	0.00	23,500.38
Corporate	20,039.83	(6,178.09)	0.00	13,861.74
Sales and Maturities				
U.S. Treasury	37.36	7.33	800.18	844.87
U.S. Instrumentality	305.56	7.53	375.51	688.60
Total	53,726.67	(5,903.48)	1,175.69	48,998.88

<u>Annualized Comparative Rates of Return</u>			
	Twelve Month Trailing	Six Month Trailing	One Month
Fed Funds	0.11 %	0.12 %	0.13 %
Overnight Repo	0.13 %	0.15 %	0.17 %
3 Month T-Bill	0.01 %	0.01 %	0.00 %
6 Month T-Bill	0.05 %	0.06 %	0.06 %
1 Year T-Note	0.18 %	0.24 %	0.28 %
2 Year T-Note	0.56 %	0.61 %	0.69 %
5 Year T-Note	1.55 %	1.49 %	1.68 %

<u>Summary of Amortized Cost Basis Return for the Period</u>		
	Total Portfolio	Excl. Cash Eq.
Interest Earned	53,726.67	53,724.92
Accretion (Amortization)	(5,903.48)	(5,903.48)
Realized Gain (Loss) on Sales	<u>1,175.69</u>	<u>1,175.69</u>
Total Income on Portfolio	48,998.88	48,997.13
Average Daily Historical Cost	54,172,121.20	53,955,287.38
Annualized Return	1.10%	1.10%
Annualized Return Net of Fees	1.04%	1.04%
Annualized Return Year to Date Net of Fees	1.19%	1.19%
Weighted Average Effective Maturity in Days	706	707

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Activity and Performance Summary
for the period June 1, 2015 - June 30, 2015**

<u>Fair Value Basis Activity Summary</u>	
Beginning Fair Value	54,265,809.88
Additions	
Contributions	2,706.63
Interest Received	62,203.14
Accrued Interest Sold	146.06
Total Additions	65,055.83
Deductions	
Withdrawals	0.00
Fees Paid	2,706.63
Accrued Interest Purchased	8,594.86
Total Deductions	(11,301.49)
 Change in Fair Value for the Period	 (63,380.53)
Ending Fair Value	54,256,183.69

<u>Detail of Fair Value Basis Return</u>			
	Interest Earned	Change in Fair Value	Total Income
Current Holdings			
Cash and Equivalents	1.75	0.00	1.75
U.S. Treasury	8,270.70	(7,631.49)	639.21
U.S. Instrumentality	25,071.47	(16,285.95)	8,785.52
Corporate	20,039.83	(41,960.05)	(21,920.22)
Sales and Maturities			
U.S. Treasury	37.36	(539.04)	(501.68)
U.S. Instrumentality	305.56	3,036.00	3,341.56
Total	53,726.67	(63,380.53)	(9,653.86)

<u>Annualized Comparative Rates of Return</u>			
	Twelve Month Trailing	Six Month Trailing	One Month
Fed Funds	0.11 %	0.12 %	0.13 %
Overnight Repo	0.13 %	0.15 %	0.17 %
3 Month T-Bill	0.03 %	0.03 %	-0.01 %
6 Month T-Bill	0.17 %	0.24 %	0.24 %
1 Year T-Note	0.24 %	0.42 %	0.26 %
BAML 1-3 Yr Tsy Index	0.87 %	1.34 %	0.31 %
BAML 1-5 Yr Tsy Index	1.38 %	1.91 %	-1.18 %

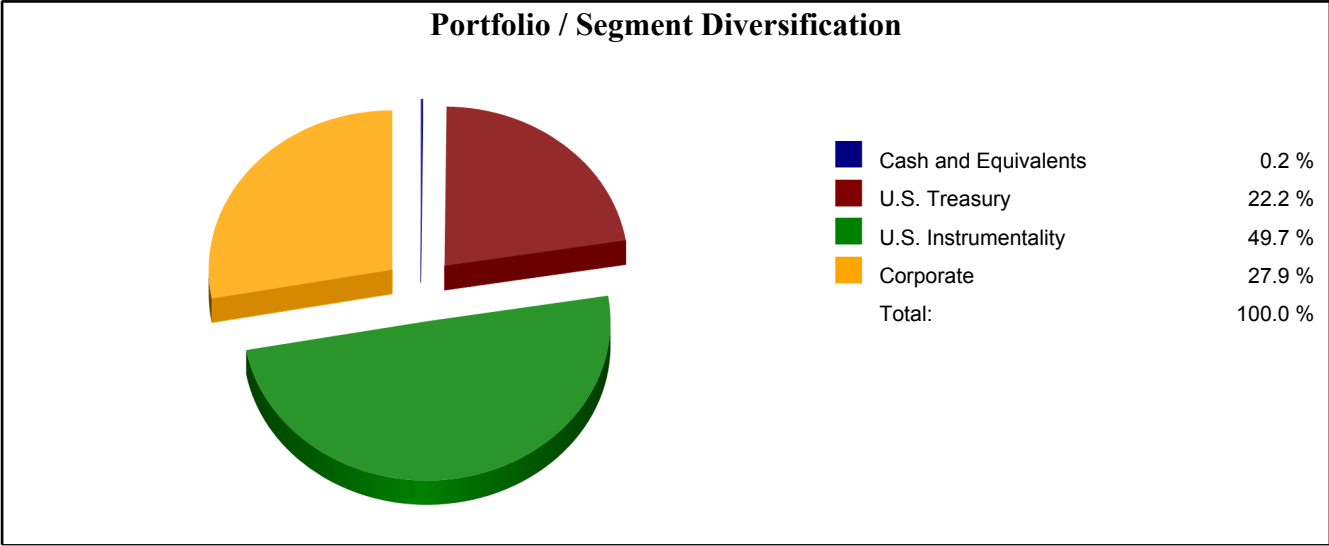
<u>Summary of Fair Value Basis Return for the Period</u>		
	Total Portfolio	Excl. Cash Eq.
Interest Earned	53,726.67	53,724.92
Change in Fair Value	<u>(63,380.53)</u>	<u>(63,380.53)</u>
Total Income on Portfolio	(9,653.86)	(9,655.61)
Average Daily Historical Cost	54,172,121.20	53,955,287.38
Annualized Return	(0.22%)	(0.22%)
Annualized Return Net of Fees	(0.28%)	(0.28%)
Annualized Return Year to Date Net of Fees	1.70%	1.71%
Weighted Average Effective Maturity in Days	706	707

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Recap of Securities Held
June 30, 2015**

	Historical Cost	Amortized Cost	Fair Value	Unrealized Gain (Loss)	Weighted Average Final Maturity (Days)	Weighted Average Effective Maturity (Days)	% Portfolio/Segment	Weighted Average Yield *	Weighted Average Market Duration (Yea
Cash and Equivalents	96,403.33	96,403.33	96,403.33	0.00	1	1	0.18	0.01	0.
U.S. Treasury	12,056,826.49	12,103,055.22	12,158,289.55	55,234.33	810	810	22.25	1.02	2.
U.S. Instrumentality	26,924,665.65	26,825,402.00	26,966,887.48	141,485.48	661	633	49.68	1.08	1.
Corporate	15,115,966.70	15,048,966.94	15,034,603.33	(14,363.61)	758	755	27.89	1.13	2.
Total	54,193,862.17	54,073,827.49	54,256,183.69	182,356.20	720	706	100.00	1.08	1.

* Weighted Average Yield is calculated on a "yield to worst" basis.

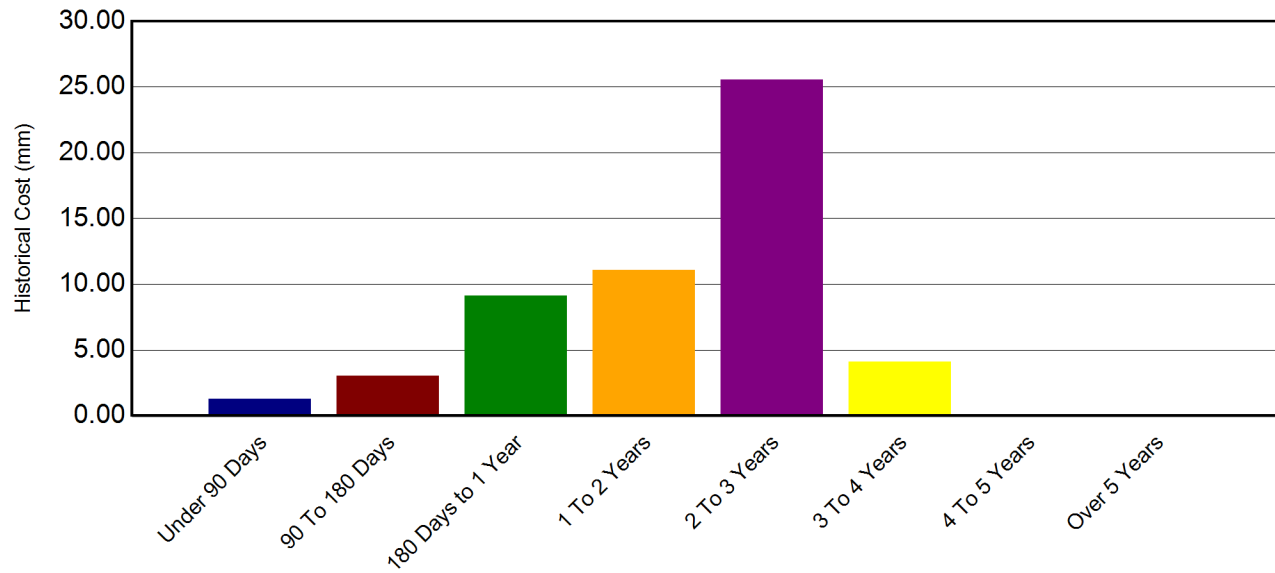


Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Maturity Distribution of Securities Held
June 30, 2015**

Maturity	Historical Cost	Percent
Under 90 Days	1,294,616.53	2.39 %
90 To 180 Days	3,037,133.05	5.60 %
180 Days to 1 Year	9,119,419.40	16.83 %
1 To 2 Years	11,085,852.21	20.46 %
2 To 3 Years	25,552,522.34	47.15 %
3 To 4 Years	4,104,318.64	7.57 %
4 To 5 Years	0.00	0.00 %
Over 5 Years	0.00	0.00 %
	54,193,862.17	100.00 %

Maturity Distribution



Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Securities Held
June 30, 2015**

CUSIP/ Description	Purchase Date	Rate/ Coupon	Maturity/ Call Date	Par Value/ Shares	Historical Cost/ Accrued Interest Purchased	Amortized Cost/ Accretion (Amortization)	Fair Value/ Change In Fair Value	Unrealized Gain (Loss)	Interest Received	Interest Earned	Total Accrued Interest	% Port Cost	Yield
<u>Cash and Equivalents</u>													
Federated Govt Oblig	06/30/15	0.011V		96,403.33	96,403.33	96,403.33	96,403.33	0.00	3.43	1.75	1.74	0.18	0.01
					0.00	0.00	0.00						
TOTAL (Cash and Equivalents)				96,403.33	96,403.33	96,403.33	96,403.33	0.00	3.43	1.75	1.74	0.18	
					0.00	0.00	0.00						
<u>U.S. Treasury</u>													
912828PJ3	05/16/11	1.375	11/30/15	1,050,000.00	1,038,273.05	1,048,925.56	1,055,660.55	6,734.99	0.00	1,183.40	1,222.85	1.92	1.63
T-Note					0.00	212.06	(738.15)						
912828SC5	06/20/12	0.875	01/31/17	1,710,000.00	1,723,298.31	1,714,574.74	1,719,485.37	4,910.63	0.00	1,239.98	6,241.26	3.18	0.70
T-Note					0.00	(236.63)	(400.14)						
912828TG5	02/25/13	0.500	07/31/17	3,100,000.00	3,069,373.67	3,085,586.50	3,089,100.40	3,513.90	0.00	1,284.53	6,465.47	5.66	0.73
T-Note					0.00	568.21	241.80						
912828TS9	03/25/13	0.625	09/30/17	1,700,000.00	1,693,099.45	1,696,562.27	1,694,952.70	(1,609.57)	0.00	870.91	2,670.77	3.12	0.72
T-Note					0.00	125.46	(797.30)						
912828TS9	05/23/13	0.625	09/30/17	1,175,000.00	1,167,660.19	1,171,207.84	1,171,511.43	303.59	0.00	601.95	1,845.97	2.15	0.77
T-Note					0.00	138.40	(551.07)						
912828UU2	07/29/13	0.750	03/31/18	1,000,000.00	976,018.98	985,886.90	994,922.00	9,035.10	0.00	614.76	1,885.25	1.80	1.28
T-Note					0.00	421.70	(937.00)						
912828WD8	12/13/13	1.250	10/31/18	1,700,000.00	1,679,818.19	1,686,213.44	1,705,844.60	19,631.16	0.00	1,732.34	3,580.16	3.10	1.50
T-Note					0.00	339.57	(2,920.60)						
912828A34	12/27/13	1.250	11/30/18	725,000.00	709,284.65	714,097.97	726,812.50	12,714.53	0.00	742.83	767.59	1.31	1.71
T-Note					0.00	262.07	(1,529.03)						
TOTAL (U.S. Treasury)				12,160,000.00	12,056,826.49	12,103,055.22	12,158,289.55	55,234.33	0.00	8,270.70	24,679.32	22.25	
					0.00	1,830.84	(7,631.49)						
<u>U.S. Instrumentality</u>													
3133EADW5	04/27/12	0.550	08/17/15	1,200,000.00	1,198,213.20	1,199,930.42	1,200,576.00	645.58	0.00	550.00	2,456.67	2.21	0.60
FFCB					0.00	44.41	(566.40)						
3133ECB12	12/24/12	0.430	11/16/15	2,000,000.00	1,998,860.00	1,999,851.16	2,001,812.00	1,960.84	0.00	716.67	1,075.00	3.69	0.45
FFCB					0.00	32.35	(1,000.00)						
313372YS7	07/07/11	2.450	03/30/16	2,150,000.00	2,206,631.00	2,158,946.91	2,182,712.25	23,765.34	0.00	4,389.58	13,315.07	4.07	1.87
FHLB					0.00	(983.18)	(3,091.70)						
313373SZ6	07/19/11	2.125	06/10/16	725,000.00	737,702.00	727,450.89	736,769.65	9,318.76	7,703.13	1,283.86	898.70	1.36	1.75
FHLB					0.00	(213.12)	(1,206.40)						
313373SZ6	08/29/11	2.125	06/10/16	1,150,000.00	1,196,563.50	1,159,195.43	1,168,669.10	9,473.67	12,218.75	2,036.46	1,425.52	2.21	1.25
FHLB					0.00	(799.60)	(1,913.60)						

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Securities Held
June 30, 2015**

A.7.a

CUSIP/ Description	Purchase Date	Rate/ Coupon	Maturity/ Call Date	Par Value/ Shares	Historical Cost/ Accrued Interest Purchased	Amortized Cost/ Accretion (Amortization)	Fair Value/ Change In Fair Value	Unrealized Gain (Loss)	Interest Received	Interest Earned	Total Accrued Interest	% Port Cost	Yield
313373SZ6 FHLB	11/21/11	2.125	06/10/16	900,000.00	937,440.00	907,767.17	914,610.60	6,843.43	9,562.50	1,593.75	1,115.63	1.73	1.18
					0.00	(675.40)	(1,497.60)						
3137EADC0 FHLMC	03/14/12	1.000	03/08/17	1,000,000.00	986,050.00	995,278.46	1,006,299.00	11,020.54	0.00	833.33	3,138.89	1.82	1.29
					0.00	229.94	(302.00)						
313378WF4 FHLB	04/24/12	1.125	03/10/17	1,000,000.00	1,003,560.00	1,001,235.31	1,007,579.00	6,343.69	0.00	937.50	3,468.75	1.85	1.05
					0.00	(59.96)	(417.00)						
3134G6PG2 FHLMC	Call 03/30/15	0.750	03/30/17 09/30/15	1,450,000.00	1,450,000.00	1,450,000.00	1,448,766.05	(1,233.95)	0.00	906.25	2,748.96	2.68	0.75
					0.00	0.00	237.80						
3137EADF3 FHLMC	05/29/12	1.250	05/12/17	1,000,000.00	1,009,273.00	1,003,490.83	1,011,179.00	7,688.17	0.00	1,041.67	1,701.39	1.86	1.06
					0.00	(153.78)	344.00						
313379VE6 FHLB	07/26/12	1.010	06/19/17	915,000.00	923,363.10	918,361.13	920,933.78	2,572.65	4,620.75	770.12	308.05	1.70	0.82
					0.00	(140.25)	(202.21)						
3137EADH9 FHLMC	07/27/12	1.000	06/29/17	1,500,000.00	1,510,875.00	1,504,409.27	1,508,230.50	3,821.23	7,500.00	1,250.00	83.33	2.79	0.85
					0.00	(181.46)	(1,423.50)						
3133EAY28 FFCB	09/18/12	0.830	09/21/17	1,645,000.00	1,645,000.00	1,645,000.00	1,660,002.40	15,002.40	0.00	1,137.79	3,792.64	3.04	0.85
					0.00	0.00	(924.49)						
3135G0RT2 FNMA	02/22/13	0.875	12/20/17	1,850,000.00	1,845,264.00	1,847,572.87	1,848,370.15	797.28	8,093.75	1,348.96	494.62	3.40	0.95
					0.00	80.64	(1,324.60)						
3134G6PM9 FHLMC	Call 03/30/15	1.050	12/29/17 12/29/15	1,000,000.00	1,000,600.00	1,000,396.35	1,000,134.00	(262.35)	2,595.83	874.99	58.33	1.85	0.97
					0.00	(65.69)	(295.00)						
3137EADN6 FHLMC	05/10/13	0.750	01/12/18	1,500,000.00	1,491,378.00	1,495,325.54	1,492,530.00	(2,795.54)	0.00	937.50	5,281.25	2.75	0.88
					0.00	151.44	(2,122.50)						
3137EADN6 FHLMC	12/13/13	0.750	01/12/18	350,000.00	341,897.85	344,968.08	348,257.00	3,288.92	0.00	218.75	1,232.29	0.63	1.35
					0.00	163.02	(495.25)						
3135G0TG8 FNMA	06/11/13	0.875	02/08/18	1,500,000.00	1,475,430.00	1,486,250.61	1,496,307.00	10,056.39	0.00	1,093.75	5,213.54	2.72	1.24
					0.00	432.82	(2,296.50)						
3135G0VC4 FNMA	06/12/15	1.130	02/28/18	2,000,000.00	2,001,040.00	2,001,020.08	2,007,034.00	6,013.92	0.00	1,067.22	7,596.11	3.69	1.11
					6,528.89	(19.92)	5,994.00						
3135G0WJ8 FNMA	07/29/13	0.875	05/21/18	1,000,000.00	969,505.00	981,689.11	994,015.00	12,325.89	0.00	729.16	972.22	1.79	1.55
					0.00	520.68	(1,108.00)						
3135G0YT4 FNMA	12/13/13	1.625	11/27/18	1,000,000.00	996,020.00	997,262.38	1,012,101.00	14,838.62	0.00	1,354.16	1,534.72	1.84	1.71
					0.00	65.97	(2,675.00)						
TOTAL (U.S. Instrumentality)				26,835,000.00	26,924,665.65	26,825,402.00	26,966,887.48	141,485.48	52,294.71	25,071.47	57,911.68	49.68	
					6,528.89	(1,571.09)	(16,285.95)						

Corporate

38259PAC6	11/15/12	2.125	05/19/16	1,315,000.00	1,377,186.90	1,330,680.23	1,334,623.75	3,943.52	0.00	2,328.64	3,260.10	2.54	0.76
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Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Securities Held
June 30, 2015**

CUSIP/ Description	Purchase Date	Rate/ Coupon	Maturity/ Call Date	Par Value/ Shares	Historical Cost/ Accrued Interest Purchased	Amortized Cost/ Accretion (Amortization)	Fair Value/ Change In Fair Value	Unrealized Gain (Loss)	Interest Received	Interest Earned	Total Accrued Interest	% Port Cost	Yield
Google					0.00	(1,456.36)	(1,113.80)						
949746QU8	02/09/15	3.676	06/15/16	1,600,000.00	1,663,296.00	1,645,027.64	1,643,571.20	(1,456.44)	0.00	4,901.33	17,318.04	3.07	0.73
Wells Fargo					0.00	(3,859.51)	(5,320.00)						
46623EJY6	01/21/15	1.350	02/15/17	1,000,000.00	1,003,660.00	1,002,880.56	1,000,873.00	(2,007.56)	0.00	1,125.00	5,100.00	1.85	1.17
JP Morgan Chase					0.00	(145.23)	(2,848.00)						
24422ERN1	03/16/15	1.400	03/15/17	800,000.00	807,064.00	806,028.59	807,589.60	1,561.01	0.00	933.34	3,297.78	1.49	0.95
John Deere Capital C					31.11	(290.30)	79.20						
36962G7J7	Call 01/21/15	1.250	05/15/17	1,000,000.00	1,005,930.00	1,004,755.67	1,002,275.00	(2,480.67)	0.00	1,041.66	1,597.22	1.86	0.98
GE Capital			04/13/17		0.00	(218.82)	(2,728.00)						
717081DJ9	03/16/15	1.100	05/15/17	1,000,000.00	1,003,800.00	1,003,285.97	1,002,947.00	(338.97)	0.00	916.67	1,405.56	1.85	0.92
Pfizer Inc					0.00	(144.12)	(1,913.00)						
913017BU2	05/24/12	1.800	06/01/17	170,000.00	169,853.80	169,944.12	172,476.73	2,532.61	1,530.00	255.00	255.00	0.31	2.02
United Technologies					0.00	2.39	(276.25)						
713448CB2	06/12/15	1.250	08/13/17	500,000.00	501,065.00	501,039.48	500,830.00	(209.48)	0.00	329.86	2,395.83	0.92	1.15
PEPSICO Inc					2,065.97	(25.52)	(235.00)						
0258MODR7	03/30/15	1.550	09/22/17	740,000.00	745,379.80	744,828.18	742,410.92	(2,417.26)	0.00	955.83	3,154.25	1.38	1.25
American Express Cre					254.89	(177.94)	(1,128.50)						
68389XAN5	03/30/15	1.200	10/15/17	1,000,000.00	1,003,020.00	1,002,718.00	1,000,002.00	(2,716.00)	0.00	1,000.00	2,533.33	1.85	1.08
ORACLE CORP					0.00	(97.42)	(3,069.00)						
458140AL4	12/12/12	1.350	12/15/17	500,000.00	501,300.00	500,638.27	499,822.50	(815.77)	3,375.00	562.50	300.00	0.93	1.30
INTEL CORP					0.00	(21.33)	(3,127.50)						
459200HZ7	02/11/15	1.125	02/06/18	1,000,000.00	998,600.00	998,779.65	993,650.00	(5,129.65)	0.00	937.50	4,531.25	1.84	1.17
IBM Corp					156.25	38.50	(4,193.00)						
24422ESB6	02/12/15	1.300	03/12/18	1,000,000.00	998,550.00	998,729.31	997,739.00	(990.31)	0.00	1,083.33	3,936.11	1.84	1.35
John Deere Capital C					0.00	38.70	(3,288.00)						
191216BA7	03/13/15	1.150	04/01/18	1,000,000.00	995,110.00	995,592.42	994,749.00	(843.42)	0.00	958.33	2,875.00	1.84	1.31
Coca Cola					0.00	131.57	(2,144.00)						
931142DF7	04/04/13	1.125	04/11/18	1,130,000.00	1,128,960.40	1,129,424.33	1,125,683.40	(3,740.93)	0.00	1,059.37	2,825.00	2.08	1.27
Wal-Mart					0.00	17.01	(2,823.87)						
037833AJ9	05/22/13	1.000	05/03/18	500,000.00	493,995.00	496,553.85	494,945.00	(1,608.85)	0.00	416.67	805.56	0.91	1.25
Apple Inc					0.00	99.69	(603.50)						
91159HHE3	Call 02/12/14	1.950	11/15/18	215,000.00	215,455.80	215,321.14	216,938.23	1,617.09	0.00	349.38	535.71	0.40	1.90
US Bancorp			10/15/18		0.00	(8.02)	(1,283.33)						
17275RAR3	02/27/14	2.125	03/01/19	500,000.00	503,740.00	502,739.53	503,477.00	737.47	0.00	885.42	3,541.67	0.93	2.15
CISCO SYSTEMS INC					0.00	(61.38)	(5,944.50)						
TOTAL (Corporate)				14,970,000.00	15,115,966.70	15,048,966.94	15,034,603.33	(14,363.61)	4,905.00	20,039.83	59,667.41	27.89	
					2,508.22	(6,178.09)	(41,960.05)						

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Securities Held
June 30, 2015**

GRAND TOTAL	54,061,403.33	54,193,862.17	54,073,827.49	54,256,183.69	182,356.20	57,203.14	53,383.75	142,260.15	100.00
		9,037.11	(5,918.34)	(65,877.49)					

V = variable rate, current rate shown, average rate for Cash & Equivalents

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

**City of Moreno Valley
Transaction Report
for the period June 1, 2015 - June 30, 2015**

Date	CUSIP	Transaction	Sec Type	Description	Maturity	PAR Value/Shares	Principal	Interest	Transaction Total	Balance
06/01/2015		Maturity	CE	Int Receivable	06/01/2015	11,750.00	11,750.00	0.00	11,750.00	11,750.00
06/01/2015		Bought	CE	Federated Govt Oblig		13,283.43	13,283.43	0.00	(13,283.43)	(1,533.43)
06/01/2015		Interest	CE	Federated Govt Oblig		433,027.43	0.00	3.43	3.43	(1,530.00)
06/01/2015	913017BU2	Interest	COR	United Technologies	06/01/2017	170,000.00	0.00	1,530.00	1,530.00	0.00
06/10/2015		Bought	CE	Federated Govt Oblig		29,484.38	29,484.38	0.00	(29,484.38)	(29,484.38)
06/10/2015	313373SZ6	Interest	INS	FHLB	06/10/2016	2,775,000.00	0.00	29,484.38	29,484.38	0.00
06/12/2015		Bought	CE	Federated Govt Oblig		70,218.00	70,218.00	0.00	(70,218.00)	(70,218.00)
06/12/2015		Sold	CE	Federated Govt Oblig		475,795.24	475,795.24	0.00	475,795.24	405,577.24
06/12/2015	3134G5QM0	Call	INS	FHLMC	12/12/2016	2,000,000.00	2,000,000.00	0.00	2,000,000.00	2,405,577.24
06/12/2015	3134G5QM0	Interest	INS	FHLMC	12/12/2016	2,000,000.00	0.00	5,000.00	5,000.00	2,410,577.24
06/12/2015	3135G0VC4	Bought	INS	FNMA	02/28/2018	2,000,000.00	2,001,040.00	6,528.89	(2,007,568.89)	403,008.35
06/12/2015	713448CB2	Bought	COR	PEPSICO Inc	08/13/2017	500,000.00	501,065.00	2,065.97	(503,130.97)	(100,122.62)
06/12/2015	912828WD8	Sold	TSY	T-Note	10/31/2018	100,000.00	99,976.56	146.06	100,122.62	0.00
06/15/2015		Bought	CE	Federated Govt Oblig		3,375.00	3,375.00	0.00	(3,375.00)	(3,375.00)
06/15/2015	458140AL4	Interest	COR	INTEL CORP	12/15/2017	500,000.00	0.00	3,375.00	3,375.00	0.00
06/19/2015		Bought	CE	Federated Govt Oblig		4,620.75	4,620.75	0.00	(4,620.75)	(4,620.75)
06/19/2015	313379VE6	Interest	INS	FHLB	06/19/2017	915,000.00	0.00	4,620.75	4,620.75	0.00
06/20/2015	3135G0RT2	Interest	INS	FNMA	12/20/2017	1,850,000.00	0.00	8,093.75	8,093.75	8,093.75
06/22/2015		Bought	CE	Federated Govt Oblig		8,093.75	8,093.75	0.00	(8,093.75)	0.00
06/29/2015		Bought	CE	Federated Govt Oblig		10,095.83	10,095.83	0.00	(10,095.83)	(10,095.83)
06/29/2015	3134G6PM9	Interest	INS	FHLMC	12/29/2017	1,000,000.00	0.00	2,595.83	2,595.83	(7,500.00)
06/29/2015	3137EADH9	Interest	INS	FHLMC	06/29/2017	1,500,000.00	0.00	7,500.00	7,500.00	0.00
Portfolio Activity Total										0.00

Net Contributions:	2,706.63
Net Withdrawals:	0.00

Fees Charged:	2,706.63
Fees Paid:	2,706.63

Attachment: Treasurer's Cash and Investment Report - June 2015 [Revision 1] (1605 : RECEIPT OF

BOND MARKET REVIEW

A MONTHLY REVIEW OF
FIXED INCOME MARKETS



WHAT'S INSIDE

- Market Summary 1
 - Yield Curve
 - Current Yields

- Economic Round-Up..... 2
 - Credit Spreads
 - Economic Indicators

Since 1988, Chandler Asset Management has specialized in the management of fixed income portfolios. Chandler's mission is to provide fully customizable, client-centered portfolio management that preserves principal, manages risk and generates income in our clients' portfolios.

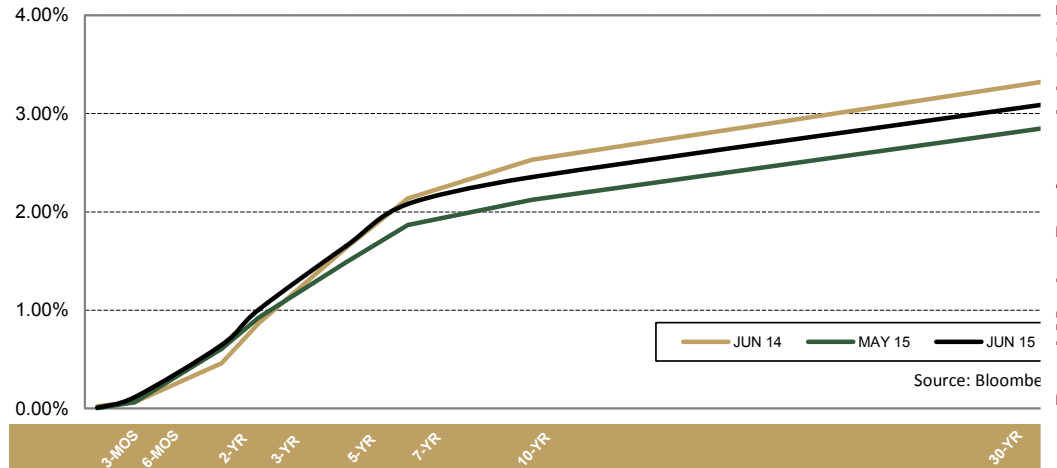
Market Summary

The June employment report was softer than expected. Nonfarm payrolls rose by 223,000, slightly lower than the consensus forecast of 230,000. April and May payrolls were also revised downward a total of 60,000. The unemployment rate declined to 5.3% in June from 5.5% in May, but participation rate also dropped to 62.6% from 62.9%. Wages were flat on a month-over-month basis in June, and declined to 2.0% from 2.3% on a year-over-year basis. The economy continues to add jobs but there is still excess slack in the labor market. Meanwhile, inflation pressures remain subdued. Personal Consumption Expenditures price index (PCE) was up just 0.2% in May on a year-over-year basis, well below the Fed's 2.0% target. Notably, the housing sector and consumer spending trends appear to be strengthening, but manufacturing data remains weak. Overall, domestic economic data is mixed, leaving the outlook for monetary policy unclear.

As expected, the Federal Open Market Committee (FOMC) left policy rates unchanged at its June 16-17 meeting without any dissenting votes. The FOMC continued to emphasize that monetary policy changes will be data-dependent. The Committee expects to see further improvement in the labor market and needs to be confident that inflation will move back toward its 2% target before they raise rates. The Fed also discussed increased risk tied to Greece and China. At this point, we still believe the first fed funds rate hike will be near the end of this year. However, we believe ongoing slack in the labor market, depressed oil prices and weakness in other commodities, and increased instability in Greece and/or China, could potentially push out the Fed's timeline. Ongoing uncertainty about the timing of the first fed funds rate hike will likely continue to fuel financial market volatility.

The yield on the two-year Treasury note declined slightly in June. Global bond yields have been volatile due to diverging global central banks' monetary policies, along with increased instability tied to financial conditions in Greece and China.

THE YIELD CURVE STEEPENED IN JUNE



The yield curve continued to steepen in June. Overall, financial market volatility fueled by diverging global central banks' monetary policies (both conventional and unconventional), concerns about potential sovereign bond default in Greece, and technical supply factors have influenced global interest rates. Meanwhile, domestic economic data remains soft, and the timing of the first fed funds rate hike remains unclear. The European Central Bank continues to execute its bond-buying program and other global central banks are pursuing highly accommodative monetary policies.

TREASURY YIELDS	6/30/2015	5/31/2015	CHANGE
3 Month	0.01	0.00	0.01
2 Year	0.65	0.61	0.04
3 Year	1.01	0.93	0.08
5 Year	1.65	1.49	0.16
7 Year	2.08	1.87	0.21
10 Year	2.35	2.12	0.23
30 Year	3.12	2.88	0.24

Source: Bloomberg

Economic Roundup

Consumer Prices

In May, overall Consumer Price Index (CPI) inflation was flat on a year-over-year basis after being -0.2% in April. Headline inflation remained low due to a precipitous decline in energy prices. The year-over-year Core CPI (CPI less food and energy) declined slightly to 1.7% in May from 1.8% in April.

Retail Sales

Following a string of disappointing monthly retail sales reports, the May retail sales report was strong, signaling a long-awaited pick-up in consumer spending. In May, retail sales rose 2.7% on a year-over-year basis, following a 1.5% gain in April. On a month-over-month basis, retail sales rose 1.2% in May after inching up just 0.2% in April.

Labor Market

The June employment report was modestly below expectations as nonfarm payrolls rose by 223,000, below the consensus estimate of 233,000. The prior two months saw net downward revisions totaling 60,000 jobs. Private payrolls rose by 223,000 and manufacturing payrolls rose by 4,000, both slightly below consensus forecasts. The unemployment rate ticked down 0.2% to 5.3%; however, the decline in the participation rate to 62.6%, the lowest since the 1970's, is indicative of the impact of changing demographics and continued slack in the economy. Wages were flat on the month, following a revised 0.2% increase in May. On a 3-month basis ending in June, payrolls rose by an average of 221,000 per month compared to the trailing 6-month average of 208,000.

Housing Starts

Housing starts fell 11.1% in May following a 22.1% gain in April. However, the annual rate of housing starts remained strong in May at 1.03 million. Single-family starts fell 5.4% in May while multi-family starts fell 20.2%. Notably, permits were much stronger than expected in May up 11.8%. Overall, activity in the housing sector has recently picked up.

Credit Spreads Widened in June

CREDIT SPREADS	Spread to Treasuries (%)	One Month Ago (%)	Change
3-month top-rated commercial paper	0.15	0.16	(0.01)
2-year A corporate note	0.63	0.51	0.12
5-year A corporate note	0.82	0.74	0.08
5-year Agency note	0.17	0.16	0.01

Source: Bloomberg

Data as of 6/30/2015

Economic Data Has Softened But Remains Indicative of Modest Growth

ECONOMIC INDICATOR	Current Release	Prior Release	One Year Ago
Trade Balance	(41.9) \$Bln MAY 15	(40.7) \$Bln APR 15	(42.1) \$Bln MAY 14
GDP	(0.2)% MAR 15	2.2% DEC 14	(2.1)% MAR 14
Unemployment Rate	5.3% JUN 15	5.5% MAY 15	6.1% JUN 14
Prime Rate	3.25% JUN 15	3.25% MAY 15	3.25% JUN 14
CRB Index	227.17 JUN 15	223.18 MAY 15	308.22 JUN 14
Oil (West Texas Int.)	\$59.47 JUN 15	\$60.30 MAY 15	\$105.37 JUN 14
Consumer Price Index (y/o/y)	0.0% MAY 15	(0.2)% APR 15	2.1% MAY 14
Producer Price Index (y/o/y)	(3.0)% MAY 15	(4.4)% APR 15	2.5% MAY 14
Dollar/EURO	1.11 JUN 15	1.10 MAY 15	1.37 JUN 14

Source: Bloomberg

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JULY 2, 2015

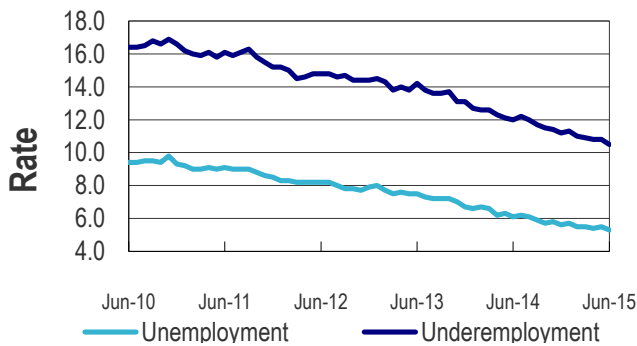
Unemployment Rate Decreases as Participation Rate Falls to 38 Year Low

223,000 jobs were created in June, underperforming analyst estimates of 233,000 new jobs, and new jobs in May were revised downward to 254,000 from 280,000. Although fewer jobs were created than expected, the unemployment rate dropped to 5.3 percent from 5.5 percent as Americans left the workforce. The labor force participation rate dropped to 62.6 percent, its lowest since October, 1977. The underemployment rate, which dropped to 10.5 percent, and the unemployment rate both fell to pre-recession levels. Wage growth also decreased to 2.0 percent from 2.3 percent in May.

Source: Bloomberg Finance LP.

UNEMPLOYMENT AND UNDEREMPLOYMENT

6/2010 – 6/2015



Source: Bureau of Labor Statistics

SELECTED CURRENT ECONOMIC DATA

Data	Period	
GDP QoQ	Q1 '15	-0.2%
GDP YoY	Q1 '15	2.9%
PPI YoY	May '15	-1.1%
CPI YoY	May '15	0.0%
Jobless Rate	Jun '15	5.3%
Fed Funds Target	Jun '15	0 - 0.25%

Source: Bloomberg Finance LP.

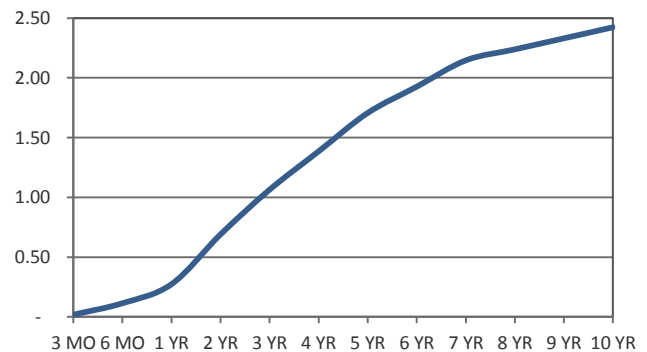
UPCOMING KEY ECONOMIC DATA

July 6: ISM Non-Manufacturing
July 9: Initial Jobless Claims

PLEASE SEE THE REVERSE SIDE FOR IMPORTANT DISCLOSURES AND ADDITIONAL INFORMATION.



TREASURY YIELD CURVE 07/01/15



Source: Bloomberg Finance LP.

TREASURY YIELDS

Term	7/1/15	6/25/15	Change
3-Month	0.02%	0.01%	0.01%
6-Month	0.11%	0.06%	0.05%
1-Year	0.27%	0.28%	-0.01%
2-Year	0.69%	0.69%	0.00%
5-Year	1.70%	1.71%	-0.01%
10-Year	2.42%	2.41%	0.01%
30-Year	3.20%	3.18%	0.02%

Source: Bloomberg Finance LP.

AGENCY YIELDS

Term	7/1/15	6/25/15	Change
3-Month	0.09%	0.06%	0.03%
6-Month	0.16%	0.16%	0.00%
1-Year	0.37%	0.34%	0.03%
2-Year	0.73%	0.80%	-0.07%
5-Year	1.73%	1.85%	-0.12%
10-Year	2.62%	2.71%	-0.09%

Source: Bloomberg Finance LP.

COMMERCIAL PAPER YIELDS (A-1/P-1 DEALERS)

Term	7/1/15	6/25/15	Change
1-Month	0.15%	0.15%	0.00%
3-Month	0.24%	0.24%	0.00%
6-Month	0.39%	0.38%	0.01%
9-Month	0.56%	0.56%	0.00%

Source: Bloomberg Finance LP.

WEEKLY ECONOMIC UPDATE

JULY 2, 2015

A.7.c

IMPORTANT DISCLOSURES:

The information contained herein has been obtained from sources believed to be reliable; however, no representation is made regarding its accuracy or completeness. The value of investments and any income from them will fluctuate and is not guaranteed (this may partly be due to exchange rate changes) and investors may not get back the amount invested.

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Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: APPROVAL OF RENEWABLE ENERGY RESOURCES
PROCUREMENT PLAN UPDATE FOR FISCAL YEAR
2015/2016

RECOMMENDED ACTION

Recommendation:

1. Approve the Renewable Energy Resources Procurement Plan Update for Fiscal Year 2015/2016.

SUMMARY

This report recommends approval of the Renewable Energy Resources Procurement Plan 2015 update that reflects a revised load forecast for MVU.

California Senate Bill X 1-2 (SB X 1-2) was passed in April 2011 establishing targets for renewable energy that applied to all utilities in California, including municipally owned utilities. On June 11, 2013, the City Council approved Resolution No. 2013-37 adopting a Renewable Energy Resources Procurement Plan for Moreno Valley Utility (MVU) pursuant to SB X 1-2. The Procurement Plan describes how targets for the purchase of renewable energy resources will be achieved by December 31, 2020.

The Renewable Energy Resources Procurement Plan was presented to and approved by the Utilities Commission on May 15, 2015.

DISCUSSION

SB X 1-2 requires all publicly owned utilities to adopt a Renewable Portfolio Standard (RPS) program with targets for buying eligible renewable energy resources. The targets are based on a percentage of retail sales. The targets are separated into three compliance periods as follows:

- Compliance period one: 20% by December 31, 2013
- Compliance period two: 25% by December 31, 2016
- Compliance period three: 33% by December 31, 2020

The Procurement Plan describes how much eligible renewable energy MVU will have to buy to meet the prescribed targets, which are calculated as a percentage of forecasted retail sales. The Procurement Plan also includes a cost limitation provision which was established in consideration of the following: (1) minimize rate impacts to MVU customers to ensure compliance with the City's policy to keep MVU rates at parity with SCE; (2) allow MVU to build reserves; and (3) provide MVU with the financial means to comply with other regulatory obligations such as Resource Adequacy. The cost limitation is currently 2.5% of total annual revenues from electricity sales to retail customers will be used to purchase renewable sourced energy, to be reviewed on an annual basis and revised as necessary.

This 2015 update to the Procurement Plan reflects the revised load forecast for MVU that is included in the utility's 2015 Integrated Resource Plan.

Status of RPS Efforts

Compliance Period 1

SB X 1-2 was effective on December 10, 2011, at the end of the first year of Compliance Period 1. The California Energy Commission (CEC), the agency charged with ensuring compliance with SB 2-1X for all publicly owned utilities, did not adopt the regulations the utilities must follow to comply with SB X 1-2 until August 2013, towards the end of the second year of Compliance Period 1. To demonstrate a good faith effort, MVU purchased renewable energy credits in 2012 from wind facilities and executed agreements in 2013 for the purchase of geothermal energy and energy from hydroelectric facilities in an amount equal to the cost limitation provision. At the end of Compliance Period 1, approximately 8% of MVU's resources came from renewable energy sources.

Compliance Period 2

In 2013, a three-year agreement was executed for the purchase of 50,000 MWh of wind energy from a facility located in the Tehachapi Mountains. A new solicitation for the purchase of renewable energy will commence in the next few months to help meet the 25% target by December 31, 2016. It is estimated that an additional 43,078 MWh of renewable energy must be procured before December 2016 based upon the revised load forecast.

Compliance Period 3

On June 24, 2014, the City Council approved a 20-year fixed price power purchase agreement for the purchase of 2 MW of solar energy from the Astoria 2 Project, located in Kern County. In addition, a 20-year fixed price power purchase agreement for the purchase of 4.5 MW of solar energy from the Whitney Point Solar Project was approved

by the City Council on February 10, 2015. Long-term agreements are looked upon favorably and encouraged by the CEC as it demonstrates a good faith effort and commitment to the purchase of renewable energy. It is expected that future purchases of renewable energy will be required to meet the target for Compliance Period 3 based upon the revised load forecast.

ALTERNATIVES

1. Approve the Renewable Energy Resources Procurement Plan 2015 update. *The updated Procurement Plan provides guidelines for the City’s utility regarding the purchase of renewable energy to comply with SB X 1-2.* Staff recommends this alternative.

2. Do not approve the Renewable Energy Resources Procurement Plan 2015 update. *The updated plan would not properly reflect the revised renewable energy purchase requirements.* Staff does not recommend this alternative.

FISCAL IMPACT

There is no cost associated with the adoption of the Renewable Energy Procurement Plan 2015 update.

NOTIFICATION

Publication of the Agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Jeannette Olko
Electric Utility Division Manager

Department Head Approval:
Richard Teichert
Chief Financial Officer

CITY COUNCIL GOALS

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

ATTACHMENTS

1. Renewal Energy Resources Procurement Plan

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/17/15 9:56 AM
City Attorney Approval	<u>✓ Approved</u>	8/19/15 11:01 AM
City Manager Approval	<u>✓ Approved</u>	8/19/15 1:50 PM

Renewable Energy Resources Procurement Plan

This Renewable Energy Resources Procurement Plan (“RPS Procurement Plan”) shall apply to the City of Moreno Valley operating through its municipal electric utility (“City”).

Section 1: Definitions

The definitions set forth in Public Resources Code (“PRC”) § 25741 and Public Utilities Code (“PUC”) § 399.12 are incorporated herein. Capitalized terms in this RPS Procurement Plan, as first identified in parentheses, shall have the meaning given to such term in the body of this RPS Procurement Plan

Section 2: Previous Adoption of the RPS Enforcement Program

As required in Senate Bill 2 in the 2011-2012 First Extraordinary Session (“SB X1-2”) with respect to California’s renewables portfolio standard (“RPS”), the City Council adopted the Renewable Energy Resources Enforcement Program (“RPS Enforcement Program”) on January 10, 2012. Through the RPS Enforcement Program, the City Council established three compliance periods consistent with SB X1-2, adopted RPS-eligible procurement goals for each of the three compliance periods and described the framework for how the City would implement the requirements and measures in SB X1-2 with respect to the RPS program. Section 10 of the RPS Enforcement Program directed the City Manager to develop and present an RPS Procurement Plan to the City Council.

Section 3: Purpose

This document comprises the City’s RPS Procurement Plan. This RPS Procurement Plan describes how the City will achieve its RPS procurement targets consistent with optional compliance measures specified in SB X1-2 and applicable to the City’s status as a small publicly owned utility (“POU”).

Section 4: Specified RPS Procurement Targets

SB X1-2 has the purpose of meeting the State’s RPS requirements of 33% for all utilities by 2020. In the RPS Enforcement Program, the City Council adopted general RPS procurement targets for each of the three Compliance Periods. Pursuant to PUC § 399.30(b) and (c), the City Council adopts and further specifies the RPS procurement targets, as follows:

Compliance Period 1

As of the date of adoption of this RPS Procurement Plan the City has procured Eligible Renewable Energy Resources (as defined under the CEC Enforcement Procedures for the RPS for Local Publicly Owned Utilities) in an amount which satisfies approximately 25% of its total projected RPS procurement obligation for the three-year period beginning January 1, 2011 and ending December 31, 2013 (“Compliance Period 1”). The City will act in good faith to purchase and schedule the maximum amount of Eligible Renewable

Energy Resources that can be obtained through the end of Compliance Period 1; provided, however, that the additional costs incurred due to procurement of Eligible Renewable Energy Resources, determined as the difference in the projected cost of conventional energy resources and the projected cost of Eligible Renewable Energy Resources (“Incremental RPS Procurement Cost”) shall not exceed \$400,000, which, in addition to costs already incurred prior to approval of this RPS Procurement Plan, is the amount adopted by the City Council as the cost limitation for Compliance Period 1 as described hereunder in Section 7. The following table provides additional detail regarding the City’s Compliance Period 1 procurement targets with regard to each of the Portfolio Content Category products that have been described in the RPS.

Compliance Period 1
January 1, 2011 – December 31, 2013

	2011	2012	2013
Actual/Forecasted* Retail Sales (Net of Energy Efficiency and Distributed Generation, MWh)	106,430	108,078	123,101
Planned RPS Purchases (% of Total)	20%	20%	20%
RPS Procurement Obligation (MWh)	21,286	21,616	24,620
Minimum Procurement of Portfolio Content Category 1 (MWh)	10,643	10,808	12,310
Residual Procurement from Portfolio Content Category 2 Resources (MWh)	5,322	5,404	6,155
Maximum Procurement of Portfolio Content Category 3 (Certificates)	5,322	5,404	6,155

Compliance Period 2

For the three-year period beginning January 1, 2014 and ending December 31, 2016 (“Compliance Period 2”) the City will act in good faith to procure and schedule sufficient Eligible Renewable Energy Resources to equal the sum of the following: (20 percent of 2014 retail sales) + (20 percent of 2015 retail sales) + (25 percent of 2016 retail sales) provided, however, that the Incremental RPS Procurement Cost shall not exceed the applicable cost limitations described in Section 7. The following table provides

additional detail regarding the City’s Compliance Period 2 procurement targets with regard to each of the Portfolio Content Category products.

Compliance Period 2
January 1, 2014 – December 31, 2016

	2014	2015	2016
Actual/Forecasted* Retail Sales (Net of Energy Efficiency and Distributed Generation, MWh)	141,080	185,703	211,644
Planned RPS Purchases (% of Total)	20%	20%	25%
RPS Procurement Obligation (MWh)	28,216	23,614	41,248
Minimum Procurement of Portfolio Content Category 1 (MWh)	18,340	23,614	34,392
Residual Procurement from Portfolio Content Category 2 Resources (MWh)	5,643	0	6,856
Maximum Procurement of Portfolio Content Category 3 (Certificates)	4,232	0	0

Compliance Period 3

For the four-year period beginning January 1, 2017 and ending December 31, 2020 (“Compliance Period 3”), the City will act in good faith to procure sufficient Eligible Renewable Energy Resources to equal the sum of the following: (27 percent of 2017 retail sales) + (29 percent of 2018 retail sales) + (31 percent of 2019 retail sales) + (33 percent of 2020 retail sales); provided, however, that the Incremental RPS Procurement Cost shall not exceed applicable cost limitations described in Section 7. The following table provides additional detail regarding the City’s Compliance Period 3 procurement targets with regard to each of the Portfolio Content Category products.

Compliance Period 3
January 1, 2017 – December 31, 2020

	2017	2018	2019	2020
Actual/Forecasted* Retail Sales (Net of Energy Efficiency and Distributed Generation, MWh)	241,939	267,795	282,870	295,081
Planned RPS Purchases (% of Total)	27%	29%	31%	33%
RPS Procurement Obligation (MWh)	61,248	64,319	66,933	70,945
Minimum Procurement of Portfolio Content Category 1 (MWh)	48,993	58,245	65,767	70,945
Residual Procurement from Portfolio Content Category 2 Resources	9,799	6,073	1,166	0
Maximum Procurement of Portfolio Content Category 3 (Certificates)	2,457	0	0	0

Subsequent Annual Compliance Periods

For each subsequent annual compliance period, the City will act in good faith to procure sufficient Eligible Renewable Energy Resources to equal an average of 33 percent of retail sales; provided, however, that the Incremental RPS Procurement Cost shall not exceed the applicable cost limitations described in Section 7.

Section 5: Status of RPS Procurement Efforts

The City's renewable energy targets, procurement activities, and resources under contract are detailed within MVU's Integrated Resource Plan. The Integrated Resource Plan is updated on a biannual basis in parallel with the City's budgeting process, and in turn, each update provides the most current renewable energy contracting targets and market prices for the various RPS products.

Section 6: Application of Banking Rules

Pursuant to PUC § 399.30(d)(1), and consistent with Section 8 of the RPS Enforcement Program, the City Council adopts the following rules for excess procurement:

- A. The City may apply excess procurement in one compliance period to a subsequent compliance period, subject to the following limitations: Electricity products that exceed the maximum limit for Portfolio Content Category 3, as specified in PUC § 399.16(c), must be subtracted from the calculation of excess procurement.
- B. The City may begin accruing excess procurement as of January 1, 2011.
- C. Excess procurement meeting these requirements may be applied to any future compliance period and shall not expire.

Section 7: Application of Flexible Compliance Mechanisms

A. Cost Limitation

1. *Relevant Factors.* The following factors are relevant to the City's adoption of cost limitations and potential application of cost limitations to reduce the amount of Eligible Renewable Energy Resources that the City may procure to meet its RPS obligation:
 - i. The City is one of the smallest POUs in California and has been in operation since 2004. The City incurred significant start up costs, including payment of exit fees to Southern California Edison, and the City may not be able to procure Eligible Renewable Energy Resources in volumes sufficient to satisfy its RPS targets without imposing disproportionate rate impacts on the City's customers.
 - ii. The City's rates cannot exceed those of Southern California Edison without creating a disproportionate rate impact on the City's customers.
 - iii. The City has conducted cost of service studies, and has adopted a resource adequacy policy. The City is beginning to establish financial reserves and rate stabilization funds consistent with prudent utility practices. Procuring Eligible Renewable Energy Resources in amounts which exceed cost limitations described below in Sections 7.A.3 and 7.A.4 could compromise the City's ability to accrue reserves and/or meet other procurement obligations focused on grid reliability and sufficiency of supply (such as Resource Adequacy).
2. *Information Reviewed* – Pursuant to PUC § 399.30(d)(3), and consistent with Section 9 of the RPS Enforcement Program, the City Council has relied on the following information to establish a limitation on the Incremental RPS Procurement Costs for all Eligible Renewable Energy Resources: (i) the information on cost and availability of Eligible Renewable Energy Resources which is

contained in this RPS Procurement Plan and which was obtained through MVU's Integrated Resource Plan and various renewable energy procurement solicitations; (ii) the expected cost of building, owning and operating an Eligible Renewable Energy Resource, as described in Section 5; and (iii) the potential that some planned resource additions may be delayed or cancelled.

3. *Establishment of Initial Cost Limitation* – The City Council hereby establishes a limitation on the Incremental RPS Procurement Costs for Compliance Period 1 of \$400,000 plus the cost of Renewable Energy Credits purchased to meet a portion of the City's Compliance Period 1 obligation ("Initial Cost Limitation"). For Compliance Period 1, the City is not obligated to expend any funds on RPS procurement in excess of the Initial Cost Limitation.
4. *Establishment of Cost Limitation for Compliance Period 2 and Compliance Period 3 and thereafter* – The City Council hereby establishes a cost limitation on the Incremental RPS Procurement Cost as follows:
 - i. The lesser of 2.5% of total annual revenues from electricity sales to retail customers (not including public goods charges and taxes); or the total renewable energy procurement costs assuming current market prices under the current RPS regime.
 - a. If the 2.5% of total annual revenue from retail electricity sales is the lesser cost, then assuming current market prices, the City will first procure to fulfill the Portfolio Content Category 1 ("PCC1") under the current RPS regime requirements.
 - i. If the total cost of PCC1 doesn't exceed the total cost containment (2.5% of total retail sales), then the City will procure to fulfill the Portfolio Content Category 2 ("PCC2") under the current RPS regime requirements.
 - ii. If the total cost of PCC1 and PCC2 doesn't exceed the total cost containment, then the City will procure to fulfill the Portfolio Content Category 3 ("PCC3") under the current RPS regime requirements.
 - b. If total renewable energy procurement costs, assuming current market prices, under the current RPS regime is the lesser cost, then the City will procure all of its RPS derived PCC1, PCC2, and PCC3 requirements.

- ii. Current market prices for PCC1, PCC2, and PCC3 products will be updated annually in order to keep the cost containment estimates up to date.
- iii. In no event shall the purchase of renewable energy volumes required to ensure the City’s compliance with applicable RPS procurement guidelines result in customer rate impacts that would lead to the City’ electric rates exceeding those of Southern California Edison.

5. *Modifications to Cost Limitation* – The City will review the cost limitations annually as part of its budget process to determine whether (i) the cost limitations continue to assure that there are no disproportionate rate impacts between the City’s customers and those of Southern California Edison in the City of Moreno Valley; (ii) the cost limitations are not unreasonably restricting the City in pursuing longer term, lower risk investment in Eligible Renewable Energy Resources, and (iii) the City is able to continue to demonstrate good faith in pursuing the objectives of SB X1-2 and meeting the State’s overall RPS goals. In approving contracts for the purchase of Eligible Renewable Energy Resources, the City reserves the right to exceed cost limitations if the contract provides offsetting benefits to the electric customers of the City.

B. Modification of the Portfolio Content Category Requirements

Consistent with PUC § 399.16(e), and as described in Section 6 of the RPS Enforcement Program, the City Council may modify the minimum and maximum requirements in PUC § 399.16(c) for the various portfolio content categories (“PCC Requirements”) if the City demonstrates that it cannot comply with the PCC Requirements because of: (a) conditions beyond the control of the City due to any of the conditions set forth in PUC § 399.15(b)(5), PUC § 399.15(c), or other conditions adopted by the City Council based on facts reasonably found by the City Council to be consistent with the intent of PUC § 399.15(b)(5), PUC § 399.15(c), or PUC § 399.18 and the unique circumstances facing the City as a small POU.

Section 8: Document Revision History

Version	Approval Date	Description of Changes
1.0	June 11, 2013	Initial Policy
2.0	June 09, 2015	Updated Policy



Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: APPROVAL OF RESOURCE ADEQUACY PROGRAM UPDATES FOR FISCAL YEAR 2015/2016

RECOMMENDED ACTION

Recommendation:

1. Approve the Resource Adequacy Program updates for Fiscal Year 2015/2016

SUMMARY

This report recommends updates to the Resource Adequacy Program required by the California Independent System Operator (CAISO). On December 11, 2012, the City Council approved Resolution No. 2012-99 adopting a Resource Adequacy Program for Moreno Valley Utility (MVU) to comply with the requirements of the CAISO at that time. The changes to the Program include updates to comply with recent changes to the CAISO tariff which ensure continued MVU compliance with CAISO requirements.

The California Independent System Operator (CAISO) is the agency responsible for the reliable operation of the electric transmission system in California that it manages and controls. CAISO requires documentation that electric utilities are contracted to buy sufficient capacity and energy to serve their customers. This is necessary to ensure reliable operation of the transmission system.

The Resource Adequacy Program was presented to and approved by the Utilities Commission on July 17, 2015.

DISCUSSION

The CAISO's Reliability Requirement Tariff requires utilities to maintain a capacity reserve margin that is equal to 115% of their monthly forecasted peak. The tariff also

requires the submittal of monthly and annual Resource Adequacy Plans to the CAISO that identifies the resources that will satisfy the requirements of the tariff.

MVU's Resource Adequacy Program as adopted in 2012 phases in the purchase of capacity over a five-year period to minimize costs and potential rate impacts to MVU's customers. MVU is currently in year three of the five year phase-in plan, which sets the purchase of capacity resources at 69% of the forecasted monthly peak load. Beginning in January 2017, MVU will be at 115% of the forecasted monthly peak load.

The updates to the Program reflect the following changes: (1) due date of the annual report to the CAISO changes from September 30 to October 31 per the CAISO tariff; (2) the Local Capacity Area Resources requirement is eliminated; and (3) in the event that the CAISO imposes any additional capacity resource obligations on the City, the Electric Utility Division Manager is authorized to procure the additional required capacity resources to ensure compliance with the tariff. All other components of the Program remain the same.

ALTERNATIVES

1. Approve the Moreno Valley Utility Resource Adequacy Program Updates for Fiscal Year 2015/2016. *The updated Resource Adequacy Program provides guidelines for the City's utility regarding the purchase of capacity to comply with the CAISO tariff.* Staff recommends this alternative.
2. Do not approve the Moreno Valley Utility Resource Adequacy Program Updates for Fiscal Year 2015/2016. *The current program would not properly reflect requirements of the CAISO tariff.* Staff does not recommend this alternative.

FISCAL IMPACT

There is no additional cost associated with the adoption of the Resource Adequacy Program Fiscal Year 2015/2016 updates.

NOTIFICATION

Publication of the Agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Jeannette Olko
Electric Utility Division Manager

Department Head Approval:
Richard Teichert
Chief Financial Officer

CITY COUNCIL GOALS

None

ATTACHMENTS

1. Resource Adequacy Program

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/17/15 9:52 AM
City Attorney Approval	<u>✓ Approved</u>	8/18/15 2:18 PM
City Manager Approval	<u>✓ Approved</u>	8/19/15 1:45 PM

RESOURCE ADEQUACY PROGRAM
CITY OF MORENO VALLEY

This Resource Adequacy (RA) Program shall apply to the City of Moreno Valley, operating through its municipal electric utility (City).

1. RESOURCE ADEQUACY PLANS

Moreno Valley Electric Utility (MVU) shall be responsible for developing RA Plans to guide the procurement of capacity resources adequate to serve the requirements of the City’s customers consistent with Good Utility Practice and applicable reliability requirements. The RA Plans shall identify resources as defined by the California Independent System Operator Corporation (CAISO), that MVU will rely upon to satisfy the requirements set forth below.

1.1 Annual Resource Adequacy Plan: MVU shall prepare an annual RA Plan each year for the following year. The Annual Resource Adequacy Plan shall identify capacity resources owned or contracted for by the City sufficient to meet 90% of the following target Reserve Margins:

<u>RA Compliance Year</u>	<u>Reserve Margin</u>
2013	23% of forecast monthly peak loads ¹
2014	46% of forecast monthly peak loads
2015	69% of forecast monthly peak loads
2016	92% of forecast monthly peak loads
2017 and subsequent years	115% of forecast monthly peak loads

MVU shall present the annual RA Plan to the City Council by October 1 of each year and shall send the approved plan to the CAISO by October 31 of each year or as otherwise required by the CAISO Tariff and/or applicable CAISO Business Practice Manuals.

¹ The monthly peak load shall be derived based upon the Demand Forecast described in Section 2 below.

1.2 Monthly Resource Adequacy Plan: MVU shall prepare a monthly RA Plan by no later than the last business day of the second month prior to the month covered by the Plan (e.g., by February 28 for the month of April) or such earlier time as may be required by the CAISO Tariff and/or applicable CAISO Business Practice Manuals. The monthly RA Plan shall identify capacity resources owned or contracted for by the City sufficient to meet the following Reserve Margins:

<u>RA Compliance Year</u>	<u>Reserve Margin</u>
2013	23% of forecast monthly peak loads
2014	46% of forecast monthly peak loads
2015	69% of forecast monthly peak loads
2016	92% of forecast monthly peak loads
2017 and subsequent years	115% of forecast monthly peak loads

The monthly RA Plan shall identify all resources that MVU will rely upon to satisfy the applicable month's peak hour Demand of MVU as determined by the Demand Forecasts developed in accordance with Section 2 below and the applicable Reserve Margin. MVU shall provide each Monthly Resource Adequacy Plan to the CAISO in the format and to the extent required by the CAISO Tariff and/or applicable CAISO Business Practice Manuals.

2. DEMAND FORECASTS

MVU shall be responsible for developing and providing to the California Energy Commission or the CAISO, as applicable, information necessary to develop Demand Forecasts, consistent with Good Utility Practice and applicable reliability requirements.

3. CRITERIA FOR QUALIFYING CAPACITY

3.1 Qualifying Capacity Criteria: MVU shall utilize the criteria established by the California Public Utilities Commission (CPUC) to determine and verify the Qualifying

Capacity of all RA Resources. MVU shall apply these criteria to any contract to supply MVU with RA capacity.

3.2 General Qualifications for Supplying Net Qualifying Capacity: RA Resources included in MVU's RA Plans must satisfy the general requirements set forth in Section 40.4.3 of the CAISO Tariff, as may be amended from time to time, and/or applicable CAISO Business Practice Manuals.

4. AVAILABILITY OF RESOURCE ADEQUACY RESOURCES TO THE CAISO

The RA Capacity identified in MVU's monthly RA Plan shall be made available to the CAISO on a Day-Ahead basis as described in the CAISO Tariff and/or applicable Business Practice Manuals. To the extent that RA Resources have received an Integrated Forward Market Schedule for Energy or Ancillary Services or a Real-Time Unit Commitment Schedule, such scheduled RA Capacity must remain available to the CAISO through Real-Time for Trading Hours for which the schedule was received in accordance with the CAISO Tariff and/or applicable CAISO Business Practice Manuals.

5. ENFORCEMENT

MVU must report promptly to the City Council and the CAISO, to the extent required by the CAISO Tariff, any failure to comply with the requirements of this program. Such report must identify clearly the incident or incidents of non-compliance, describe in detail the actions MVU will take to re-establish full compliance with this program, and set forth a timeline for such actions.

6. CHANGES TO CAISO RESOURCE ADEQUACY REQUIREMENTS

In the case that the CAISO imposes additional resource adequacy obligations on the City, MVU's Electric Utility Division Manager has the authority to procure the required capacity resources in order to ensure monthly and annual compliance with the CAISO.



Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: AUTHORIZATION OF ANNUAL TECHNOLOGY
SOFTWARE AND HARDWARE MAINTENANCE
PAYMENTS AND WAIVING FORMAL BID

RECOMMENDED ACTION

Recommendations:

1. Waive the formal bidding requirements for technology annual maintenance payments.
2. Waive the insurance requirements for technology annual maintenance payments that do not require on-site maintenance.
3. Authorize the City Manager to make technology annual maintenance payments to various vendors for an aggregate amount not-to-exceed \$982,931 during Fiscal Year 2015-16.

SUMMARY

This report requests Council's approval to delegate the authority to the City Manager to make payments for annual maintenance and support agreements for the wide range of software used throughout the City.

Consistent with the City's ongoing commitment to transparency and accountability, a schedule of technology related annual maintenance payments is presented for the City Council's approval. The right to continue to use technology is typically tied to the continuation of annual maintenance payments for that technology. While all technology purchases requiring City Council approval include annual maintenance costs, these costs may continue beyond the initial purchase contract term if the City continues to use the software. Therefore, the requested authorizations make such payments transparent to all interested parties. Due to the unique requirements of technology annual

maintenance payments, staff also seeks authorization to waive the formal bidding and insurance requirements associated with these technology payments.

DISCUSSION

The City's Purchasing Ordinance allows for exceptions to the normal bidding process for materials, supplies, equipment, and services. Sections 3.12.080 and 3.12.250-270 recognize that the City's best interests are served by waiving formal bidding requirements under certain circumstances. The annual maintenance for Technology Services (TS) software, hardware, and off-site maintenance services falls into this category.

There are two reasons why TS annual maintenance payments should be exempt from bidding. Annual maintenance payments are negotiated or purchased as part of the initial equipment or service purchase, per the City's Purchasing Ordinance, but they are budgeted and paid each year. The City does not fund multi-year maintenance payments in advance when the equipment or service does not have a foreseeable termination date. It is not in the City's best interests to attempt to bid such payments annually.

Additionally, many vendors are the sole providers of the support for their products (e.g. software, hardware, and professional services). Many of these sole source providers do not sell directly to customers; they have outsourced all sales functions to Distributors. Thus, technology software, equipment, and maintenance services may appear to have multiple sources but that is an artifact of the manufacturer having outsourced its sales functions. Therefore, the vendors listed in the attached schedule (Attachment 1) should be declared sole source providers per Section 3.12.080 of the City's Purchasing Ordinance.

Waiving the normal insurance requirements for these payments is also requested for two reasons. The first reason is that applicable insurance requirements have already been met for the initial purchase of the software, equipment, and maintenance. Re-occurring payments should not trigger additional insurance requirements; although any insurance requirements necessary for the initial purchase will be kept current. In addition, annual maintenance payments are a continuation of existing software or equipment use, or maintenance services that do not involve vendors coming on-site. Furthermore, none of the vendors listed below stores assets or information for the City so there is no risk of them losing or damaging City assets. Thus the City's usual insurance requirements are not applicable to these payments.

ALTERNATIVES

1. Waive the formal bidding requirements for technology annual maintenance payments.
2. Waive the insurance requirements for technology annual maintenance payments.

- 3. Authorize the City Manager to make technology annual maintenance payments to various vendors for an aggregate amount not-to-exceed \$982,931 during Fiscal Year 2015-16.
- 4. Do not waive the formal bidding and insurance requirements nor authorize the technology annual maintenance payments. *This action would cause the City to cease using its communications, radio, and computer technology.*
- 5. Provide staff with further direction.

Staff recommends Alternatives 1, 2 and 3.

FISCAL IMPACT

Funding for all technology annual maintenance payments is available in the Technology Services operating budget accounts (1010-30-39-25410-625010, 1010-30-39-25411-625010, 1010-30-39-25412-625010, 1010-30-39-25412-625099, 1010-30-39-25413-625010, 1010-60-65-40010-620930, and 1010-60-65-40010-625010) due to the City Council’s approval of the FY 2015-16 budget.

NOTIFICATION

N/A

PREPARATION OF STAFF REPORT

Prepared By:
Steve Hargis
Technology Services Division Manager

Department Head Approval by:
Richard Teichert
Chief Financial Officer

Concurred By:
Rix Skonberg
Purchasing Division Manager

CITY COUNCIL GOALS

None

ATTACHMENTS

- 1. Schedule of Annual Technology Software and Hardware Maintenance Payments

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/17/15 10:06 AM
City Attorney Approval	<u>✓ Approved</u>	8/19/15 11:53 AM
City Manager Approval	<u>✓ Approved</u>	8/19/15 2:01 PM

VENDOR NAME	DESCRIPTION	APPROX. COST THIS FISCAL YEAR
A. M. Best Company, Inc.	Insurance Rating software for Risk Management	\$566
Accela	Permitting software	\$101,000
Active Network	Parks & Cashiering software	\$18,997
Advantage Business Equip.	Check Signer for Finance	\$629
Airmagnet	Wireless Analysis	\$600
Airtight Networks	Wireless Security monitoring	\$2,005
American Towers	Box Springs Communications Site	\$10,000
AppDev/Learn Now	Software developers toolkit	\$1,047
APWA Paver	Street Paving software	\$550
AutoTurn MAP	Transoft Solutions	\$1,463
Barracuda	City Hall & Senior Center Web filter	\$3,800
Centurion	PC lockdown software for ERC	\$300
Cisco	24x7 Maintenance all Cisco Equip	\$18,500
Commvault City Hall	Backup software, City Hall & PD	\$11,245
CompuCom - Adobe	Acrobat, Photoshop, Contribute, Premier Pro	\$2,750
CompuCom - Microsoft	MS Enterprise Agreement	\$153,000
Data Ticket	Parking Ticket software/service	\$1,134
Digital Telecom Corp	AVST Voicemail system	\$15,000
DLT Solutions	AutoCAD	\$13,387
DNSStuff	DNS tools website	\$200
Dynamic Communities	MS CRM User Group	\$700
Eagle Aerial Map Co.	GIS imagery and data files	\$15,000
ESET	Workstation antivirus	\$5,395
ESI Acquisition, Inc.	WebEOC - EOC Situation software & mapping	\$14,190
ESRI	GIS software	\$26,840
Exclaimer	Email signature line software	\$900
Firgen Log Analyzer	ASA log analyzer	\$500
Global Software	Spreadsheet Server/Executive Dash	\$22,181
Halo	IT Training Subscription	\$3,770
HDL Coren & Cone	Property Tax software	\$19,500
HDL Software, LLC	Business Licensing & False Alarm software	\$13,660
Hitachi Data Systems	Maintenance and support services. First year included - no charge	\$112,000
HLP, Inc. (Chameleon)	Animal Control software	\$17,626
Hostway	External website hosting	\$572
HP SAN Support	Citywide file storage	\$18,000
Hyland Software	Imaging & EDMS software	\$34,788
iBoss Web filter	Web filter site license 3 year	\$4,000
Iron Mountain	Offsite tape storage	\$14,400
Jam Fire Protection Svc's	EOC Equipment Room	\$2,000

VENDOR NAME	DESCRIPTION	APPROX. COST THIS FISCAL YEAR
Latitude Geographic	GIS hosting, GeoCortex & annual support	\$22,540
MatrikonOPC	OPC Tunneller/Client for SCADA	\$1,010
Mitchell1	City Yard Fleet Maintenance	\$951
MPulse	Facilities Online Request System	\$4,300
NEAD/MyCivic	City Smartphone App	\$6,000
Nessus Professional Feed	Nessus security scanning software subscription	\$1,460
New World Systems	Logos Support	\$143,334
Nexus IS	NEC PBX and Power Supply Maint.	\$10,500
Nobel Systems	GIS Conversion	\$12,840
Nth Generation	VMware Support	\$5,713
ONSSI	Video Surveillance EOC	\$2,500
Qualys	External security audit provider	\$2,140
Quantum Scalar 24	Tape Libraries City Hall & PD	\$3,210
REI Mathew Bender & Co.	Time Matters software for City Attorney	\$1,881
Riverside County GIS Data Agreement	City Centerline, Parcel Digital Landbase & VPN access	\$6,140
Rowekampt	SimpleSigns/SimpleSync/Rowemap	\$915
San Bernardino & RS County Fire Equipment	Bi-annual FM-200 Testing	\$1,400
Shavlik	PC patch updates	\$3,760
Socrata	Open Data Portal	\$12,555
Solarwinds	Kiwi Syslog Software for Cisco equipment	\$100
SolarWinds	Orion, Engineer Edition network monitoring and tools & HelpDesk	\$4,224
Sonicwall Aventail	VPN for remote access	\$1,024
Sourcefire IPS	Intrusion Prevention System	\$2,895
TeleMate.Net	Call Accounting Software support	\$1,500
Thawte	Server Cert for OWA	\$349
TrustWave	ERC M86 webfilter	\$400
TW Telecomm	ISP 50MB and 10MB Connections	\$27,600
Webfortis	MS Dynamics CRM Support	\$15,500
WildPackets	OmniPeek Network Analysis	\$3,996



Report to City Council

TO: Mayor and City Council

FROM: Chris Paxton, Administrative Services Director

AGENDA DATE: August 25, 2015

TITLE: LIST OF PERSONNEL CHANGES

RECOMMENDED ACTION

Recommendation:

1. Ratify the list of personnel changes as described.

DISCUSSION

The attached list of personnel changes scheduled since the last City Council meeting are presented for City Council ratification.

FISCAL IMPACT

All position changes are consistent with appropriations previously approved by the City Council.

PREPARATION OF STAFF REPORT

Prepared By:
Chris Paxton
Administrative Services Director

Department Head Approval:
Chris Paxton
Administrative Services Director

CITY COUNCIL GOALS

None

ATTACHMENTS

1. List of Personnel Changes

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/19/15 4:34 PM
City Attorney Approval	<u>✓ Approved</u>	8/20/15 10:40 AM
City Manager Approval	<u>✓ Approved</u>	8/20/15 3:26 PM

City of Moreno Valley Personnel Changes

New Hires

August 1, 2015

Ruben Reyes, Maintenance Worker I, Public Works Department

August 3, 2015

Jose Ramirez, Applications Analyst, Financial & Management Services Department

August 17, 2015

Nicholas Rens, Maintenance Worker I, Public Works Department

James Gutierrez, Maintenance Worker I, Public Works Department

Matthew Mahaffey, Emergency Operations & Volunteer Services Program Specialist

Promotions

August 1, 2015

Joseph Mattox, Vehicle/Equipment Technician, Public Works Department

To: Fleet Maintenance Supervisor, Public Works Department

Separations

Mark Sambito, Engineering Division Manager, Public Works Department

The following transfers are noted for budget implementation only. The actions were previously approved as part of the 2015/16 fiscal year budget:

July 1, 2015

Clement Jimenez, Senior Engineer, P.E.

From: Public Works/Capital Projects

To: Public Works/Electric Utility

Larry Gonzales, Senior Engineer, P.E.

From: Public Works/Capital Projects

To: Public Works/Land Development

Michael Lloyd, Senior Engineer, P.E.

From: Public Works/Transportation

To: Public Works/Capital Projects

Rene Herbert, Management Aide

From: Public Works/Capital Projects

To: Public Works/Special Districts

Launa Jimenez, Management Analyst
 From: Police Department
 To: Administrative Services Department

Kandace Baptiste, Executive Assistant I
 From: Police Department
 To: Financial & Management Services Department

Shanna Palau, Management Analyst
 From: City Manager's Office
 To: City Clerk's Office

Robert Roseen, Cable TV Producer
 From: City Manager's Office
 To: Financial & Management Services Department

Robert Lorch, Cable TV Producer
 From: City Manager's Office
 To: Financial & Management Services Department

Timothy Carroll, Media & Production Supervisor
 From: City Manager's Office
 To: Financial & Management Services Department

Larry Jaime, Senior Graphics Designer
 From: City Manager's Office
 To: Financial & Management Services Department

Daniel Monto, Landscape Services Supervisor
 From: Financial & Management Services Department
 To: Public Works Department

Daniel Cover, Landscape Services Inspector
 From: Financial & Management Services Department
 To: Public Works Department

Valin Gray, Landscape Services Inspector
 From: Financial & Management Services Department
 To: Public Works Department

Candace Cassel, Special Districts Division Manager
 From: Financial & Management Services Department
 To: Public Works Department

Margaret Williams, Senior Administrative Assistant
 From: Financial & Management Services Department
 To: Public Works Department

Sharon Goodale-Sharp, Senior Management Analyst
From: Financial & Management Services Department
To: Public Works Department

Jennifer Terry, Senior Management Analyst
From: Financial & Management Services Department
To: Public Works Department

Mosallam Almasri, Construction Inspector
From: Public Works Department
To: Financial & Management Services Department

Jeannette Olko, Electric Utility Division Manager
From: Public Works Department
To: Financial & Management Services Department

Tanya Dunlap, Senior Administrative Assistant
From: Public Works Department
To: Financial & Management Services Department

Priscilla Rasso, Senior Financial Analyst
From: Public Works Department
To: Financial & Management Services Department

August 1, 2015

Kandace Baptiste, Executive Assistant I
From: Financial & Management Services Department
To: Economic Development Department

Karyn Kiefer, Executive Assistant I
From: Economic Development Department
To: Financial & Management Services Department



Report to City Council

TO: Mayor and City Council

FROM: Richard Teichert, Chief Financial Officer

AGENDA DATE: August 25, 2015

TITLE: PAYMENT REGISTER - JUNE 2015

RECOMMENDED ACTION

Recommendation:

1. Receive and file the Payment Register.

SUMMARY

The Payment Register is an important report providing transparency of financial transactions and payments for City activity for review by the City Council and the residents and businesses in Moreno Valley. The report is posted to the City's website as soon as it is available. The report is included in the City Council agenda as an additional means of distributing the report.

The payment register lists in alphabetical order all checks and wires in the amount of \$25,000 or greater, followed by a listing in alphabetical order of all checks and wires less than \$25,000. The payment register also includes the fiscal year-to-date (FYTD) amount paid to each vendor.

PREPARATION OF STAFF REPORT

Prepared By:
Dena Heald
Financial Operations Division Manager

Department Head Approval:
Richard Teichert
Chief Financial Officer

CITY COUNCIL GOALS

None

ATTACHMENTS

1. June 2015 Payment Register

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	7/14/15 12:22 PM
City Attorney Approval	<u>✓ Approved</u>	8/20/15 10:37 AM
City Manager Approval	<u>✓ Approved</u>	8/20/15 3:21 PM



City of Moreno Valley
Payment Register
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CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
ALBERT A. WEBB ASSOCIATES	15257	06/22/2015	152532	CONSULTANT, EDGEMONT WATER SYSTEM RPLCMNT	\$36,881.94
	15323	06/29/2015	151657	CONSULTANT - EDGEMONT WATER SYSTM	\$167,862.38
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$433,394.16
ATHALYE CONSULTING ENGINEERING SERVICES	15260	06/22/2015	MV-Nason-12	CONSULTING - NASON CACTUS TO FIR	\$31,276.02
Remit to: LAKE FOREST, CA					<u>FYTD:</u> \$321,839.61
COMPUCOM	225339	06/15/2015	62749377	COMPUCOM MS LICENSING TRUEUP-FY14/15	\$25,898.08
Remit to: CITY OF INDUSTRY, CA					<u>FYTD:</u> \$156,927.18
COUNTY OF RIVERSIDE FIRE DEPT	15362	06/30/2015	232027	FIRE SVCS CONTRACT-3RD QTR (FPARC-MV,232027,14-15,Q3)	\$3,810,356.48
Remit to: PERRIS, CA					<u>FYTD:</u> \$13,582,948.39
COUNTY OF RIVERSIDE SHERIFF	15208	06/15/2015	SH0000026018	CONTRACT LAW ENF. BILLING #10 (3/5-4/1/15)	\$2,320,863.94
	15269	06/22/2015	SH0000026196	FACILITY EXPENSES BILLING-FY2014/15	\$1,770,464.26
		06/22/2015	SH0000026130	CONTRACT LAW ENF. RATE ADJUSTMENT FROM BP #1 TO BP #10	
	225418	06/22/2015	SH0000026236	RMS/CLETS FEES BILLING 7/1/14-6/30/15	\$318,309.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$38,059,086.96
DMS FACILITY SERVICES	15103	06/01/2015	RC-L104191	JANITORIAL SERVICES-TRANSP. TRAILER-MAY15	\$26,730.95
		06/01/2015	RC-L104183	JANITORIAL SERVICES-MARCH FIELD PARK COMM. CTR.-MAY15	
		06/01/2015	L37903	SPECIAL CLEANING AT PUBLIC SAFETY BLDG.-APR15	
		06/01/2015	L37912	SPECIAL CLEANINGS FOR APR. EVENT RENTALS AT COTTONWOOD GOLF CTR.	
		06/01/2015	RC-L104190	JANITORIAL SERVICES-TOWNGATE COMM. CTR.-MAY15	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
DMS FACILITY SERVICES	15103	06/01/2015	L37902	SPECIAL CLEANINGS FOR APR. EVENT RENTALS AT SENIOR CTR.	\$26,730.95
		06/01/2015	RC-L104181	JANITORIAL SERVICES-GANG TASK FORCE OFFICE-MAY15	
		06/01/2015	RC-L104189	JANITORIAL SERVICES-SUNNYMEAD ELEMENTARY-MAY15	
		06/01/2015	L37911	SPECIAL CLEANINGS FOR APR. 19-30 EVENT RENTALS AT CRC	
		06/01/2015	RC-L104194	JANITORIAL SERVICES-23571 SUNNYMEAD PD SUBSTATION-MAY15	
		06/01/2015	RC-L104185	JANITORIAL SERVICES-RAINBOW RIDGE-MAY15	
		06/01/2015	RC-L104175	JANITORIAL SERVICES-ANNEX 1-MAY15	
		06/01/2015	RC-L104182	JANITORIAL SERVICES-LIBRARY-MAY15	
		06/01/2015	RC-L104179	JANITORIAL SERVICES-EOC-MAY15	
		06/01/2015	RC-L104178	JANITORIAL SERVICES-CRC-MAY15	
		06/01/2015	RC-L104177	JANITORIAL SERVICES-CITY YARD-MAY15	
		06/01/2015	RC-L104192	JANITORIAL SERVICES-COTTONWOOD GOLF CTR.-MAY15	
		06/01/2015	RC-L104176	JANITORIAL SERVICES-CITY HALL-MAY15	
		06/01/2015	L37900	SPECIAL CLEANINGS FOR APR. 3-18 EVENT RENTALS AT CRC	
		06/01/2015	RC-L104187	JANITORIAL SERVICES-SENIOR CENTER-MAY15	
		06/01/2015	CN-RCL103573	CREDIT JANITORIAL SVCS. FOR 2 DAYS OF NO SHOW-SUNNYMEAD MIDDLE	
		06/01/2015	RC-L104184	JANITORIAL SERVICES-PUBLIC SAFETY BLDG.-MAY15	
		06/01/2015	L37901	SPECIAL CLEANINGS FOR APR. EVENT RENTALS AT TOWNGATE COMM. CTR.	
		06/01/2015	RC-L104180	JANITORIAL SERVICES-EMP. RESOURCE CTR.-MAY15	
Remit to: MONROVIA, CA					FYTD: \$325,744.05
E. AVICO, INC	15146	06/08/2015	1064274	CONSTRUCTION - FIRE STATION #48	\$72,949.07

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: LOS ANGELES, CA					FYTD: \$471,227.31
EASTERN MUNICIPAL WATER DISTRICT	225267	06/08/2015	APR-15 6/8/15	WATER CHARGES	\$25,331.87
		06/08/2015	MAY-15 6/8/15	WATER CHARGES	
	225343	06/15/2015	MAY-15 6/15/15	WATER CHARGES	\$42,407.33
	225419	06/22/2015	MAY-15 6/22/15	WATER CHARGES	\$30,440.95
		06/22/2015	JUN-15 6/22/15	WATER CHARGES	
	225474	06/29/2015	JUN-15 6/29/15	WATER CHARGES	\$35,619.01
		06/29/2015	MAY-15 6/29/15	WATER CHARGES	
Remit to: PERRIS, CA					FYTD: \$1,683,062.68
EMPLOYMENT DEVELOPMENT DEPARTMENT	15190	06/12/2015	2015-00000465	CA TAX - STATE TAX WITHHOLDING	\$31,817.34
	15312	06/26/2015	2015-00000483	CA TAX - STATE TAX WITHHOLDING*	\$36,940.08
Remit to: SACRAMENTO, CA					FYTD: \$921,636.19
EXELON GENERATION COMPANY, LLC	15214	06/15/2015	MVEU-00015A	POWER PURCHASE-ELECTRICITY	\$654,359.92
Remit to: BALTIMORE, MD					FYTD: \$6,177,929.81
FS CONSTRUCTION	225421	06/22/2015	1712a	CONTRACTOR - CYCLE 3	\$31,400.92
Remit to: SYLMAR, CA					FYTD: \$499,859.75
GRIFFITH COMPANY	225422	06/22/2015	8	CONTRACTOR - PERRIS WIDENING	\$379,425.31
	225481	06/29/2015	3-Cactus	CONSTRUCTION - CACTUS AVE WIDENING	\$259,836.87

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: BREA, CA					FYTD: \$3,786,877.40
HABITAT FOR HUMANITY RIVERSIDE	15153	06/08/2015	DRAW NO. 25	NSP3-8 SINGLE FAMILY HOMES-24265 MYERS AVE	\$98,703.86
		06/08/2015	DRAW NO. 26	NSP3-8 SINGLE FAMILY HOMES-24265 MYERS AVE	
	15218	06/15/2015	DRAW NO. 24	NSP3-8 SINGLE FAMILY HOMES-24265 MEYRS AVE	\$73,697.97
		06/15/2015	01/OCT-DEC 2014	MOBILE HOME REPAIR PROGRAM	
		06/15/2015	02/JAN-MAR 2015	MOBILE HOME REPAIR PROGRAM	
Remit to: RIVERSIDE, CA					FYTD: \$1,380,511.42
HILLCREST CONTRACTING, INC	15335	06/29/2015	PB 23333	CONTRACTOR - HEACOCK SAN MICHELE	\$618,852.16
		06/29/2015	PB 23389	CONSTRUCTION - NASON CACTUS TO FIR	
Remit to: CORONA, CA					FYTD: \$5,636,813.20
INTERNAL REVENUE SERVICE CENTER	15192	06/12/2015	2015-00000467	FED TAX - FEDERAL TAX WITHHOLDING*	\$124,459.41
	15318	06/26/2015	2015-00000491	FED TAX - FEDERAL TAX WITHHOLDING*	\$146,396.06
Remit to: OGDEN, UT					FYTD: \$3,497,591.17
KEYSTONE BUILDERS, INC	15156	06/08/2015	4	CONSTRUCTION - CORPORATE YARD	\$247,958.07
	15338	06/29/2015	5	CONSTRUCTION - CORP YARD	\$391,806.12
Remit to: LOS ANGELES, CA					FYTD: \$1,084,989.10
LIBRARY SYSTEMS & SERVICES, LLC	225350	06/15/2015	14973	I.T. SERVICES FOR JUNE 2015	\$119,417.58
		06/15/2015	14972	LIBRARY SERVICES & MATERIALS-JUN15	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: GERMANTOWN, MD					<u>FYTD:</u> \$1,431,960.96
MARIPOSA HORTICULTURAL ENTERPRISES, INC.	15286	06/22/2015	68972	LANDSCAPE MAINT.-CITY HALL-MAY15	\$30,230.06
		06/22/2015	68974	LANDSCAPE MAINT.-ANNEX 1-MAY15	
		06/22/2015	68838	LANDSCAPE MAINT.-SD LMD ZN 02-MAY 2015	
		06/22/2015	68943	LANDSCAPE MAINT. EXTRA WORK-SD LMD ZN 02 MAY15-REPAIR IRRIGATION	
		06/22/2015	68975	LANDSCAPE MAINT.-VETERAN'S MEMORIAL-MAY15	
		06/22/2015	68874	LANDSCAPE MAINT.-ZONE D-MAY 2015	
		06/22/2015	68939	LANDSCAPE MAINT. EXTRA WORK-ZONE D MAY 2015-REPAIR IRRIGATION	
		06/22/2015	68940	LANDSCAPE MAINT. EXTRA WORK-ZONE D MAY 2015-REPAIR IRRIGATION	
		06/22/2015	68941	LANDSCAPE MAINT. EXTRA WORK-ZONE D MAY 2015-REPAIR IRRIGATION	
		06/22/2015	68942	LANDSCAPE MAINT. EXTRA WORK-ZONE D MAY 2015-REPAIR IRRIGATION	
		06/22/2015	68973	LANDSCAPE MAINT.-FIRE STATIONS-MAY15	
		06/22/2015	68944	LANDSCAPE MAINT. EXTRA WORK-SD LMD ZN 02 MAY15-REPAIR IRRIGATION	
		06/22/2015	68945	LANDSCAPE MAINT. EXTRA WORK-SD LMD ZN 02 MAY15-REPAIR FENCE	
Remit to: IRWINDALE, CA					<u>FYTD:</u> \$632,064.71
MORENO VALLEY UTILITY	225353	06/15/2015	JUN-15 6/15/15	ELECTRICITY	\$62,787.75
		06/15/2015	7013411-01/MAY15	ELECTRICITY-UTILITY FIELD OFFICE	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: HEMET, CA					<u>FYTD:</u> \$951,935.33
NATIONWIDE RETIREMENT SOLUTIONS CP	15196	06/12/2015	2015-00000471	8010 - DEF COMP 457 - NATIONWIDE*	\$26,284.90
	15317	06/26/2015	2015-00000489	8010 - DEF COMP 457 - NATIONWIDE*	\$26,284.90
Remit to: COLUMBUS, OH					<u>FYTD:</u> \$854,621.97
NEW WORLD SYSTEMS, CORP	15160	06/08/2015	042093	NWS ANNUAL SOFTWARE MAINTENANCE 6/1/15-5/31/16	\$148,248.73
		06/08/2015	042296	TRAVEL EXPENSES FOR FM & HR SERVICES	
		06/08/2015	042567	MB INVOICE IMPORT (AMOUNT DUE UPON DELIVERY OF SOFTWARE)	
Remit to: TROY, MI					<u>FYTD:</u> \$173,272.49
NOBLE AMERICAS ENERGY SOLUTIONS	15229	06/15/2015	151610004531027	ELECTRICITY POWER PURCHASE FOR MV UTILITY	\$211,718.09
Remit to: PASADENA, CA					<u>FYTD:</u> \$4,273,581.09
NTH GENERATION COMPUTING, INC.	225354	06/15/2015	26808H REVISED	STORAGE AREA NETWORK (SAN) REPLACEMENT	\$122,533.96
Remit to: SAN DIEGO, CA					<u>FYTD:</u> \$170,025.71
PERS HEALTH INSURANCE	15185	06/09/2015	W150601	EMPLOYEE HEALTH INSURANCE	\$183,550.43
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$2,234,128.24
PERS RETIREMENT	15188	06/05/2015	P150522	PERS RETIREMENT DEPOSIT - CLASSIC	\$223,219.64
	15252	06/19/2015	P150605	PERS RETIREMENT DEPOSIT - CLASSIC	\$224,973.31

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Remit to: SACRAMENTO, CA					FYTD: \$6,160,703.71
PROACTIVE ENGINEERING CONSULTANTS, INC.	15119	06/01/2015	2601	DESIGN & CONST. SUPPORT - CACTUS AVE. WIDENING	\$39,306.75
	15295	06/22/2015	2624	CONSULTANT - NASON CACTUS TO FIR	\$46,428.00
		06/22/2015	2623	CONSULTANT - NASON CACTUS TO FIR	
	15348	06/29/2015	2460	CONSULTANT - NASON CACTUS TO FIR	\$39,319.66
		06/29/2015	2461	CONSULTANT - NASON CACTUS TO FIR	
Remit to: CORONA, CA					FYTD: \$417,073.41
RBF CONSULTING, INC.	15296	06/22/2015	905684	CONSULTANT - SR-60 THEODORE	\$500,758.33
Remit to: IRVINE, CA					FYTD: \$687,606.02
RIVERSIDE HOUSING DEVEL CORP	15232	06/15/2015	22877 ALLIES	MULTI FAMILY AFFORDABLE HOUSING-CONSTRUCTION DRAW 1 & 2	\$177,156.48
Remit to: RIVERSIDE, CA					FYTD: \$542,954.44
SOUTHERN CALIFORNIA EDISON 1	225288	06/08/2015	7500540205	WDAT CHARGES-24417 NANDINA AVE. SUBSTATION	\$80,169.73
		06/08/2015	7500540202	WDAT CHARGES-SUBSTATION 115KV INTERCONNECTION	
		06/08/2015	7500523296	WDAT CHARGES-24417 NANDINA AVE. SUBSTATION	
		06/08/2015	7500524286	WDAT CHARGES-24417 NANDINA AVE. SUBSTATION	
		06/08/2015	7500540201	WDAT CHARGES-FREDERICK AVE. LOCATION	
		06/08/2015	7500540946	RELIABILITY SERVICE-DLAP_SCE_SEES_HV	
		06/08/2015	7500540200	WDAT CHARGES-NANDINA AVE. LOCATION	
		06/08/2015	7500540197	WDAT CHARGES-IRIS AVE. LOCATION	
		06/08/2015	7500524285	WDAT CHARGES-24417 NANDINA AVE. SUBSTATION	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
SOUTHERN CALIFORNIA EDISON 1	225288	06/08/2015	7500540199	WDAT CHARGES-GLOBE ST. LOCATION	\$80,169.73
		06/08/2015	7500540198	WDAT CHARGES-GRAHAM ST. LOCATION	
	225362	06/15/2015	MAY-15 6/15/15	ELECTRICITY	\$116,365.43
		06/15/2015	721-3449/MAY-15	IFA CHARGES-SUBSTATION	
	225434	06/22/2015	MAY-15 6/22/15	ELECTRICITY	\$58,804.19
		06/22/2015	587-9520/MAY-15	ELECTRICITY-FERC CHARGES	
		06/22/2015	707-6081/MAY-15	ELECTRICITY	
Remit to: ROSEMEAD, CA					<u>FYTD:</u> \$3,181,946.21
STANDARD INSURANCE CO	15125	06/01/2015	150601a	LIFE & DISABILITY INSURANCE	\$25,034.48
Remit to: PORTLAND, OR					<u>FYTD:</u> \$323,575.16
TENASKA ENERGY, INC	15173	06/08/2015	1342-MAY-15-01	RESOURCE ADEQUACY-MV UTILITY	\$26,800.00
Remit to: OMAHA, NE					<u>FYTD:</u> \$190,710.00
TGP ENERGY MANAGEMENT, LLC	225292	06/08/2015	WREGIS05182015X	RENEWABLE ENERGY - RESOURCE ADEQUACY	\$288,281.64
		06/08/2015	WREGIS05182015XI	RENEWABLE ENERGY - RESOURCE ADEQUACY	
Remit to: NEW YORK, NY					<u>FYTD:</u> \$288,281.64
THE ADVANTAGE GROUP/ FLEX ADVANTAGE	15174	06/08/2015	201506	JUNE 2015 RETIREE MEDICAL BENEFIT BILLING	\$34,405.08
Remit to: TEMECULA, CA					<u>FYTD:</u> \$288,286.99
THINK TOGETHER, INC	15235	06/15/2015	111-14/15-10	ASES PROGRAM MANAGEMENT SERVICES	\$501,461.34
		06/15/2015	7933	THINK TOGETHER SERVICES RE: FIELD TRIPS FOR FY14/15	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: SANTA ANA, CA					FYTD: \$4,955,446.61
TRANSPORTATION & ENERGY SOLUTIONS, INC	15304	06/22/2015	MOV-002-05-26-15	CONSULTANT - DYNAMIC MESSAGE BOARDS	\$33,136.25
		06/22/2015	MOV-001-05-26-15	CONSULTANT - ITS PHASE IB	
Remit to: YORBA LINDA, CA					FYTD: \$84,396.03
TRUGREEN LANDCARE	15127	06/01/2015	7919535	INSTALL MEDIUM GRIND MULCH TO ALL BARE PLANTER AREAS-ZONE M	\$29,491.76
		06/01/2015	7926166	LANDSCAPE MAINT.-ZONES E-7, SD LMD ZN 01, 01A, & 08-APR. 2015	
		06/01/2015	7926165	LANDSCAPE MAINT.-ZONE M-APR. 2015	
		06/01/2015	7921235	IRRIGATION REPAIRS-ZONE M-MAR 2015	
		06/01/2015	7926168	LANDSCAPE MAINT.-SD LMD ZN 04-APR. 2015	
		06/01/2015	7926171	LANDSCAPE MAINT.-ZONE S-APR. 2015	
	15305	06/22/2015	7940983	LANDSCAPE MAINT.-ZONES E-7, SD LMD ZN 01, 01A & 08 -MAY 2015	\$27,273.18
		06/22/2015	7940982	LANDSCAPE MAINT.-ZONE M-MAY 2015	
		06/22/2015	7940985	LANDSCAPE MAINT.-SD LMD ZN 04-MAY 2015	
		06/22/2015	7940988	LANDSCAPE MAINT.-ZONE S-MAY 2015	
		06/22/2015	7949741	IRRIGATION REPAIRS-SD LMD ZN 01A-MAY 2015	
		06/22/2015	7949742	IRRIGATION REPAIRS-SD LMD ZN 04-MAY 2015	
		06/22/2015	7949748	IRRIGATION REPAIRS-ZONE M-MAY 2015	
Remit to: RIVERSIDE, CA					FYTD: \$511,458.70
U.S. BANK/CALCARDS	15176	06/08/2015	05-27-15	PAYMENT FOR MAY 2015 CALCARD ACTIVITY	\$240,798.85

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: ST. LOUIS, MO					<u>FYTD:</u> \$2,281,481.49
WASTE MANAGEMENT	225440	06/22/2015	061815	SOLID WASTE DELINQUENCIES LESS FRANCHISE FEES	\$1,181,580.29
Remit to: CORONA, CA					<u>FYTD:</u> \$3,294,022.72
WELLS FARGO CORPORATE TRUST	15247	06/11/2015	W150604	DEBT SERVICE-SPECIAL TAXES	\$909,066.85
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$9,165,340.07
WESTERN PACIFIC HOUSING, INC.	225409	06/15/2015	PA07-0078	RELEASE OF GRADING & EROSION CONTROL SECURITY DEPOSITS-TR. 32505	\$58,300.00
Remit to: CORONA, CA					<u>FYTD:</u> \$58,300.00
WRCOG WESTERN RIVERSIDE CO. OF GOVTS.	225373	06/15/2015	MAY-15 TUMF	TUMF FEES COLLECTED FOR 5/1-5/31/15	\$69,391.35
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$5,133,846.07
TOTAL AMOUNTS OF \$25,000 OR GREATER					\$17,673,624.36

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CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
3SI SECURITY SYSTEMS	225329	06/15/2015	388047	MONETARY TRACKER SERVICE	\$2,040.00
Remit to: NEW YORK, NY					<u>FYTD:</u> \$2,040.00
A. M. BEST COMPANY, INC	15197	06/15/2015	3053085	2015 BEST KEY RATING GUIDE	\$567.75
Remit to: PHILADELPHIA, PA					<u>FYTD:</u> \$1,127.00
ABILITY COUNTS, INC	15319	06/29/2015	ACI11731	LANDSCAPE MAINT-CFD#1-MAY15	\$2,065.00
Remit to: CORONA, CA					<u>FYTD:</u> \$24,780.00
ABRASIVE BLASTING SERVICE	225330	06/15/2015	6851	STRIPE REMOVAL SERVICES	\$15,266.25
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$27,713.75
ACE CASH EXPRESS INC	225380	06/15/2015	ACCT 01898	OVERPAYMENT FOR ACCT 01898	\$55.40
Remit to: IRVING, TX					<u>FYTD:</u> \$55.40
ADDICTION MEDICINE CONSULTANTS, INC.	15254	06/22/2015	12M15	RANDOM DRUG TESTING SERVICES	\$2,100.00
	15320	06/29/2015	12M15-FULL PYMT	RAMDOM DRUG TESTING SERVICES	\$150.00
Remit to: REDLANDS, CA					<u>FYTD:</u> \$2,250.00
ADLERHORST INTERNATIONAL INC.	15198	06/15/2015	30524	DOG FOOD FOR K-9 IVAN	\$108.00
	15255	06/22/2015	52828	MONTHLY K-9 TRAINING-JUN15	\$425.01
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$5,984.14
ADMINSURE	225256	06/08/2015	8629	WORKERS' COMP CLAIMS ADMINISTRATION-JUN15	\$2,175.00
Remit to: DIAMOND BAR, CA					<u>FYTD:</u> \$28,275.00

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
ADVANCE REFRIGERATION & ICE SYSTEMS, INC	15134	06/08/2015	3284-39932	REPAIR SERVICES ON GVBR FREEZER-CRC	\$484.00
Remit to: RIVERSIDE, CA					FYTD: \$25,198.99
ADVANCED ELECTRIC	225257	06/08/2015	11329	ELECTRICAL SERVICES-EOC	\$2,704.00
		06/08/2015	11332	ELECTRICAL SERVICES-LIBRARY	
		06/08/2015	11320	ELECTRICAL SERVICES-LIBRARY	
		06/08/2015	11322	ELECTRICAL SERVICES-PSB	
		06/08/2015	11318	ELECTRICAL SERVICES-ANIMAL SHELTER	
		06/08/2015	11323	ELECTRICAL SERVICES-PSB	
		06/08/2015	11321	ELECTRICAL SERVICES-SENIOR CTR	
		06/08/2015	11324	ELECTRICAL SERVICES-CITY HALL	
	225331	06/15/2015	11268	ELECTRICAL WORKS-FAIRWAY PARK	\$18,794.00
		06/15/2015	11317	ELECTRICAL WORKS-COTTONWOOD HVAC	
		06/15/2015	11333	ELECTRICAL WORKS-GOLF COURSE	
Remit to: RIVERSIDE, CA					FYTD: \$172,233.83
ADVANTAGE GRAPHICS AND PROMOTIONS	15098	06/01/2015	11617	MVP NOTICE OF PARKING VIOLATIONS	\$1,232.28
Remit to: CAPISTRANO BEACH, CA					FYTD: \$6,032.67
AECOM TECHNICAL SERVICES INC	15321	06/29/2015	3756659	CONSULTANT - PERRIS WIDENING	\$6,372.03
Remit to: ONTARIO, CA					FYTD: \$168,522.92
AEROTEK, INC.	15135	06/08/2015	OP05692077	TEMPORARY STAFF SERVICES 5/11-5/14/15	\$1,252.08
		06/08/2015	OP05679071	TEMPORARY STAFF SERVICES 5/4-5/8/15	

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AEROTEK, INC.	15199	06/15/2015	OP05704975	TEMPORARY STAFF SERVICES 5/18-5/22/15	\$621.60
	15256	06/22/2015	OP05731685	TEMPORARY STAFF SERVICES-CODE 6/2-6/5/15	\$1,074.48
		06/22/2015	OP05718301	TEMPORARY STAFF SERVICES-CODE 5/26-5/29/15	
	15322	06/29/2015	OP05744421	TEMPORARY STAFF SERVICES-CODE 6/8-6/12/15	\$692.64
Remit to: CHICAGO, IL					<u>FYTD:</u> \$10,953.72
AGUILAR, MARTHA	225515	06/29/2015	R15-086709	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$19.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$19.00
AIR EXCHANGE INC	225332	06/15/2015	35991	PLYMOVENT MAINT & REPAIR-FS#99	\$353.30
Remit to: FAIRFIELD, CA					<u>FYTD:</u> \$5,228.51
AKM CONSULTING ENGINEERS, INC	225463	06/29/2015	8251	CONSULTANT - SAN TIMOTEO FOOTHILL SD	\$22,635.00
Remit to: IRVINE, CA					<u>FYTD:</u> \$191,403.68
ALL AMERICAN ASPHALT, INC.	225258	06/08/2015	166429	CONSTRUCTION - ALESSANDRO MEDIAN/INDIAN TO PERRIS	\$6,650.00
Remit to: CORONA, CA					<u>FYTD:</u> \$4,229,961.49
ALLSTAR CABLE PRODUCTS, INC.	15136	06/08/2015	40796	UNDERGROUND SIGNAL CABLE	\$2,470.50
Remit to: SANTA FE SPRINGS, CA					<u>FYTD:</u> \$11,734.74
AMERICAN FORENSIC NURSES	15200	06/15/2015	66412	PHLEBOTOMY SERVICES	\$1,235.00
		06/15/2015	66387	PHLEBOTOMY SERVICES	
	15258	06/22/2015	66443	PHLEBOTOMY SERVICES	\$1,140.00
		06/22/2015	66468	PHLEBOTOMY SERVICES	

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Remit to: PALM SPRINGS, CA					<u>FYTD:</u> \$29,680.00
AMERICAN TOWERS	15201	06/15/2015	1945555	RADIO EQUIPMENT TOWER LEASE-JUN15	\$3,291.75
Remit to: CHARLOTTE, NC					<u>FYTD:</u> \$39,075.75
AMERICAN TRAFFIC PRODUCTS	225410	06/22/2015	15-14071	YELLOW THERMOPLASTIC EXTRUSION	\$1,296.00
Remit to: FONTANA, CA					<u>FYTD:</u> \$5,568.27
AMS PAVING, INC	225464	06/29/2015	15310ASP-1	REPAIR (ASPHALT, SEAL & STRIPE) VARIOUS PARKING LOTS IN PARKS	\$11,595.00
Remit to: FONTANA, CA					<u>FYTD:</u> \$11,595.00
AMTECH ELEVATOR SERVICES	225213	06/01/2015	DVB05044315	ELEVATOR ROUTINE MAINT-CITY HALL-MAR15	\$494.98
		06/01/2015	DVB05046315	ELEVATOR ROUTINE MAINT-EOC-MAR15	
		06/01/2015	DVB05046415	ELEVATOR ROUTINE MAINT-EOC-APR15	
		06/01/2015	DVB05044415	ELEVATOR ROUTINE MAINT-CITY HALL-APR15	
Remit to: PASADENA, CA					<u>FYTD:</u> \$5,830.11
ANIMAL EMERGENCY CLINIC, INC.	15259	06/22/2015	146AI	AFTER HOURS EMERGENCY VET SVCS	\$140.00
		06/22/2015	146AH	AFTER HOURS EMERGENCY VET SVCS	
Remit to: GRAND TERRACE, CA					<u>FYTD:</u> \$1,192.00
ANIMAL HEALTH AND SANITARY SUPPLY	225465	06/29/2015	34521	MISC. KENNEL SUPPLIES	\$977.98
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$6,457.68
ANIMAL PEST MANAGEMENT SERVICES, INC.	15137	06/08/2015	141181	PEST CONTROL SVCS-CELEBRATION PARK	\$175.00

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ANIMAL PEST MANAGEMENT SERVICES, INC.	15324	06/29/2015	141486	PEST CONTROL SVCS-CFD #1	\$1,525.50
		06/29/2015	141390	PEST CONTROL SVCS-MARB/CHILD CARE GRNDS/BALLFIELDS	
		06/29/2015	141391	PEST CONTROL SVCS-MARCH FIELD CNTR	
		06/29/2015	141389	PEST CONTROL SVCS-SCE ESMNT/AQDCT/BIKEWAY	
		06/29/2015	141502	PEST CONTROL SVCS-GOLF COURSE	
		06/29/2015	141388	PEST CONTROL SVCS-CITY PARKS	
Remit to: CHINO, CA					FYTD: \$19,606.00
AQUIRRE, CYNTHIA	225381	06/15/2015	R15-086377	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$3.00
Remit to: MORENO VALLEY, CA					FYTD: \$3.00
ARAGBAYE, BISI	225538	06/29/2015	1257543	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
ARC OF RIVERSIDE COUNTY, THE	15138	06/08/2015	3/JAN-MAR 2015	REIMB-MV RESOURCE CTR-CDBG	\$2,250.00
Remit to: RIVERSIDE, CA					FYTD: \$8,265.38
ARIAS, ELIZABETH	225445	06/22/2015	1189831	REFUND FOR CONTRACT #27507	\$300.00
Remit to: MORENO VALLEY, CA					FYTD: \$300.00
ARROWHEAD WATER	15139	06/08/2015	05E0029115177	WATER PURIF. UNITS RENTAL-ANIMAL SHELTER	\$80.97
		06/08/2015	05E0029115201	WATER PURIF. UNIT RENTAL-SENIOR CENTER	
Remit to: LOUISVILLE, KY					FYTD: \$6,423.62
ART N PAWS ANIMAL RESCUE	225382	06/15/2015	R15-086394	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00

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Remit to: MURRIETA, CA					<u>FYTD:</u> \$75.00
ASH, RON	225301	06/08/2015	R15-086383	AS REFUND-OVERPMT ON LICENSE	\$19.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$19.00
ASTORGA, DANNY	225328	06/08/2015	CK#256468	REISSUE STALE-DTD/UNCLAIMED CK	\$334.75
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$334.75
AT&T MOBILITY	225333	06/15/2015	872455379X050615	CELLULAR PHONE SVC-MCC	\$96.12
	225411	06/22/2015	872455379X040615	CELLULAR PHONE PHONE SVC-MCC	\$95.54
Remit to: CAROL STREAM, IL					<u>FYTD:</u> \$1,039.52
AT&T/MCI	225334	06/15/2015	6596343	LANDLINE PHONE SVC-GANG TASK FORCE	\$174.60
	225412	06/22/2015	6374194	LANDLINE PHONE SVC-GANG TASK FORCE	\$354.96
		06/22/2015	6484518	LANDLINE PHONE SVC-GANG TASK FORCE	
Remit to: CAROL STREAM, IL					<u>FYTD:</u> \$2,674.22
ATHALYE CONSULTING ENGINEERING SERVICES	15099	06/01/2015	MV-Nason-11	CONSULTANT - NASON/CACTUS TO FIR	\$24,735.03
Remit to: LAKE FOREST, CA					<u>FYTD:</u> \$321,839.61
AUDREY WAGNER	225466	06/29/2015	MV1542	FULL & FINAL SETTLEMENT RE: CLAIM	\$7,108.52
Remit to: PALM DESERT, CA					<u>FYTD:</u> \$7,108.52
AVERY ASSOCIATES	225335	06/15/2015	1120	EMPLOYMENT RECRUITING SERVICES	\$6,284.29
		06/15/2015	1149	EMPLOYMENT RECRUITING SERVICES	

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Remit to: LOS GATOS, CA					<u>FYTD:</u> \$22,858.39
BAA ADMINISTRATIVE SERVICES	225413	06/22/2015	212	ANNUAL TRUST ADMINISTRATION FEE	\$1,000.00
Remit to: CAMARILLO, CA					<u>FYTD:</u> \$1,000.00
BARRERA, CAROLINA	225302	06/08/2015	1249794 1249795	COTTONWOOD RENTAL REFUND DEPOSIT AND CREDIT	\$400.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$400.00
BARTEL ASSOCIATES, LLC	225336	06/15/2015	15-300	ACTUARIAL CONSULTING SVCS-OPEB EVALUATION	\$3,545.00
Remit to: SAN MATEO, CA					<u>FYTD:</u> \$6,395.00
BASHAW, DAN	225446	06/22/2015	R15-086189	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$75.00
BAYER APPRAISALS	225259	06/08/2015	05142015-4 BR	APPRAISAL OF NSP PROPERTIES-4-BDRM PLAN-24265 MYERS AV #4	\$500.00
		06/08/2015	05142015-3 BR	APPRAISAL OF NSP PROPERTIES-3-BDRM PLAN-24265 MYERS AV #4	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$500.00
BIO-TOX LABORATORIES	225414	06/22/2015	30590	BLOOD TOXICOLOGY ANALYSIS	\$6,420.54
		06/22/2015	30589	BLOOD TOXICOLOGY ANALYSIS	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$68,834.52
BIRDEN, BARBARA	225447	06/22/2015	1246977	TOWNGATE RENTAL REFUND DEPOSIT MINUS BALANCE DUE	\$175.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$175.00
BLINDS 4 LESS	15140	06/08/2015	ACCT NO. 074485	BLINDS FOR CITY HALL (2ND FLR)	\$435.84

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$435.84
BMW MOTORCYCLES OF RIVERSIDE	15100	06/01/2015	6010109	MAINT & REPAIRS-TRAFFIC MOTORCYCLES	\$1,080.05
	15202	06/15/2015	6010676	MAINT & REPAIRS-TRAFFIC MOTORCYCLES	\$1,781.43
		06/15/2015	6010485	MAINT & REPAIRS-TRAFFIC MOTORCYCLES	
		06/15/2015	6010594	MAINT & REPAIRS-TRAFFIC MOTORCYCLES	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$22,123.59
BOX SPRINGS MUTUAL WATER COMPANY	225260	06/08/2015	721-1 5/29/15	WATER USAGE ZONE 01-TOWNGATE	\$97.77
	225467	06/29/2015	189-13 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	\$256.00
		06/29/2015	80-4 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	1088-1 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	204-9 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	1084-1 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	1087-1 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	45-4 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	1086-1 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	
		06/29/2015	1085-1 5/29/15	WATER ASSESSMENT ON VACANT LOT OWNED BY THE HOUSING AUTHORITY	

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$4,211.03
BRAUN BLAISING MCLAUGHLIN	225261	06/08/2015	15499	LEGAL SERVICES-MVU-APR15	\$2,604.88
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$109,960.04
BRAZILL, STEVE	225468	06/29/2015	MV-052015	EMCEE FOR THE JULY 4TH CONCERT	\$300.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$300.00
BRUNER, CRYSTAL	225516	06/29/2015	1256948	REFUND ASKED TO LEAVE CAMP	\$136.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$136.00
BRYAN'S DOG BOARDING & TRAINING	225462	06/22/2015	MAY-2015	INSTRUCTOR SERVICES-DOG TRAINING CLASS	\$399.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$399.00
BUREAU OF OFFICE SERVICES, INC	15101	06/01/2015	86513	TRANSCRIPTION SERVICE-APR15	\$192.96
	15203	06/15/2015	86557	TRANSCRIPTION SERVICES-MAY15	\$693.21
Remit to: BURR RIDGE, IL					<u>FYTD:</u> \$939.14
BURNS & MCDONNELL ENGINEERING COMPANY, INC	225262	06/08/2015	77878-6	ELECTRIC RATE STUDY	\$13,397.71
Remit to: KANSAS CITY, MO					<u>FYTD:</u> \$31,552.71
CALGO VEBA CITY OF MORENO VALLEY	15141	06/08/2015	2015-00000435	4020 - EXEC VEBA*	\$1,950.00
	15204	06/15/2015	2015-00000455	4020 - EXEC VEBA*	\$9,272.50
	15325	06/29/2015	2015-00000472	4020 - EXEC VEBA*	\$9,984.17

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$224,231.50
CALIFORNIA SHOPPING CART RETRIEVAL CORP.	15261	06/22/2015	156594	SHOPPING CART RETRIEVAL SVCS-MAY15	\$1,800.00
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$21,600.00
CALIFORNIA STATE CONTROLLER'S OFFICE	225247	06/01/2015	REPORT YEAR 2014	REMITTANCE OF UNCLAIMED A/P CHECK	\$7,010.37
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$7,010.37
CALIFORNIA TRANSCRIPTION, LLC	15262	06/22/2015	1514	PLANNING COMMISSION TRANSCRIPTION SVCS	\$2,119.49
Remit to: JOSHUA TREE, CA					<u>FYTD:</u> \$2,119.49
CALIFORNIA WATERSHED ENGINEERING CORP.	15205	06/15/2015	15628	PLAN CHECK SVCS-PWQMP	\$3,511.66
Remit to: FULLERTON, CA					<u>FYTD:</u> \$13,349.00
CAPITAL DESIGN, INC	225248	06/01/2015	BL#29300-YR2015	REFUND OF OVERPAYMENT FOR BL#29300	\$50.00
Remit to: CORONA, CA					<u>FYTD:</u> \$50.00
CASTILLO, RAMON	225448	06/22/2015	R15-085978	AS REFUND-RABIES DEPOSIT	\$20.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$20.00
CENTRAL OCCUPATIONAL MEDICINE PROVIDERS	15142	06/08/2015	04CTY107-0341560	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	\$280.00
		06/08/2015	04CTY107-0343726	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	
		06/08/2015	04CTY107-0344522	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	
	15263	06/22/2015	04CTY107-0344778	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	\$1,027.00

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CENTRAL OCCUPATIONAL MEDICINE PROVIDERS	15263	06/22/2015	04CTY107-0345104	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	\$1,027.00
	15326	06/29/2015	01CTY107-0381406	PRE-EMPLOYMENT PHYSICAL/DRUG TESTING	\$133.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$12,067.77
CERVANTES, KRYSTA	225383	06/15/2015	1246783	REFUND FOR CANCELLATION OF BELLY DANCING	\$47.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$47.00
CHANCY, CHIZURU	225415	06/22/2015	JUN-2015	INSTRUCTOR SERVICES-HAWAIIAN/TAHITIAN DANCE CLASS & COMPETITION	\$148.20
		06/22/2015	MAY-2015	INSTRUCTOR SERVICES-HAWAIIAN/TAHITIAN DANCE CLASS & COMPETITION	
		06/22/2015	APR-2015	INSTRUCTOR SERVICES-HAWAIIAN & TAHITIAN DANCE CLASS	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,542.60
CHANDLER ASSET MANAGEMENT, INC	15264	06/22/2015	17529	INVESTMENT MANAGEMENT SVCS-MAY15	\$4,100.00
Remit to: SAN DIEGO, CA					<u>FYTD:</u> \$66,192.00
CHARLES ABBOTT ASSOCIATES, INC	15265	06/22/2015	54746	CONSULTING SVCS-NPDES/SWMP-MAY15	\$10,566.00
Remit to: MISSION VIEJO, CA					<u>FYTD:</u> \$60,552.50
CHJ INCORPORATED	15266	06/22/2015	87420	CONSULTING - NASON CACTUS TO FIR	\$360.00
Remit to: COLTON, CA					<u>FYTD:</u> \$22,846.25
CINTAS CORPORATION	15143	06/08/2015	150460604	UNIFORM RENTAL SVC.-FACILITIES STAFF	\$975.99
		06/08/2015	150471617	UNIFORM RENTAL SVC.-FACILITIES STAFF	

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CINTAS CORPORATION	15143	06/08/2015	150475319	UNIFORM RENTAL SVC.-CFD #1 STAFF	\$975.99
		06/08/2015	150475316	UNIFORM RENTAL SVC.-GRAFFITI RMVL. STAFF	
		06/08/2015	150471612	UNIFORM RENTAL SVC.-ST. SWEEPING STAFF	
		06/08/2015	150445908	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150449560	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150471610	UNIFORM RENTAL SVC.-TREE MAINT. STAFF	
		06/08/2015	150467946	UNIFORM RENTAL SVC.-CFD #1 STAFF	
		06/08/2015	150467945	UNIFORM RENTAL SVC.-TREE MAINT. STAFF	
		06/08/2015	150471615	UNIFORM RENTAL SVC.-CONCRETE MAINT. STAFF	
		06/08/2015	150467944	UNIFORM RENTAL SVC.-MECHANICS	
		06/08/2015	150475318	UNIFORM RENTAL SVC.-TREE MAINT. STAFF	
		06/08/2015	150475320	UNIFORM RENTAL SVC.-ST. SWEEPING STAFF	
		06/08/2015	150475312	UNIFORM RENTAL SVC.-PARKS MAINT. STAFF	
		06/08/2015	150475322	UNIFORM RENTAL SVC.-STREET MAINT. STAFF	
		06/08/2015	150467948	UNIFORM RENTAL SVC.-DRAIN MAINT. STAFF	
		06/08/2015	150471618	UNIFORM RENTAL SVC.-GOLF COURSE STAFF	
		06/08/2015	150471613	UNIFORM RENTAL SVC.-DRAIN MAINT. STAFF	
		06/08/2015	150475321	UNIFORM RENTAL SVC.-DRAIN MAINT. STAFF	
		06/08/2015	150471611	UNIFORM RENTAL SVC.-CFD #1 STAFF	
		06/08/2015	150464260	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150471604	UNIFORM RENTAL SVC.-PARKS MAINT. STAFF	
		06/08/2015	150467939	UNIFORM RENTAL SVC.-PARKS MAINT. STAFF	
		06/08/2015	150456920	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150467947	UNIFORM RENTAL SVC.-ST. SWEEPING STAFF	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
CINTAS CORPORATION	15143	06/08/2015	150467952	UNIFORM RENTAL SVC.-FACILITIES STAFF	\$975.99
		06/08/2015	150453265	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150471608	UNIFORM RENTAL SVC.-GRAFFITI RMVL. STAFF	
		06/08/2015	150467953	UNIFORM RENTAL SVC.-GOLF COURSE STAFF	
		06/08/2015	150442203	UNIFORM RENTAL SVC.-FACILITIES STAFF	
		06/08/2015	150467950	UNIFORM RENTAL SVC.-CONCRETE MAINT. STAFF	
		06/08/2015	150467949	UNIFORM RENTAL SVC.-STREET MAINT. STAFF	
		06/08/2015	150467943	UNIFORM RENTAL SVC.-GRAFFITI RMVL. STAFF	
		06/08/2015	150475323	UNIFORM RENTAL SVC.-CONCRETE MAINT. STAFF	
		06/08/2015	150471614	UNIFORM RENTAL SVC.-STREET MAINT. STAFF	
	15206	06/15/2015	150482736	UNIFORM RENTAL SVC.-GOLF COURSE STAFF	\$224.41
		06/15/2015	150486443	UNIFORM RENTAL SVC.-GOLF COURSE STAFF	
		06/15/2015	150479010	UNIFORM RENTAL SVC.-CFD #1 STAFF	
		06/15/2015	150479017	UNIFORM RENTAL SVC.-GOLF COURSE STAFF	
		06/15/2015	150482729	UNIFORM RENTAL SVC.-CFD #1 STAFF	
		06/15/2015	150486429	UNIFORM RENTAL SVC.-PARKS MAINT. STAFF	
		06/15/2015	150486436	UNIFORM RENTAL SVC.-CFD #1 STAFF	
		06/15/2015	150479003	UNIFORM RENTAL SVC.-PARKS MAINT. STAFF	
	15267	06/22/2015	150475317	UNIFORM RENTAL SVC.-MECHANICS	\$601.26
		06/22/2015	150471609	UNIFORM RENTAL SVC.-MECHANICS	
06/22/2015		150479014	UNIFORM RENTAL SVC.-CONCRETE MAINT. STAFF		
06/22/2015		150479013	UNIFORM RENTAL SVC.-STREET MAINT. STAFF		
06/22/2015		150482731	UNIFORM RENTAL SVC.-DRAIN MAINT. STAFF		

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CINTAS CORPORATION	15267	06/22/2015	150482733	UNIFORM RENTAL SVC.-CONCRETE MAINT. STAFF	\$601.26		
		06/22/2015	150482732	UNIFORM RENTAL SVC.-STREET MAINT. STAFF			
		06/22/2015	150479007	UNIFORM RENTAL SVC.-GRAFFITI RMVL. STAFF			
		06/22/2015	150479008	UNIFORM RENTAL SVC.-MECHANICS			
		06/22/2015	150479009	UNIFORM RENTAL SVC.-TREE MAINT. STAFF			
		06/22/2015	150479011	UNIFORM RENTAL SVC.-ST. SWEEPING STAFF			
		06/22/2015	150482730	UNIFORM RENTAL SVC.-ST. SWEEPING STAFF			
		06/22/2015	150486431	UNIFORM RENTAL SVC.-TRAFFIC SIGNAL MAINT. STAFF			
		06/22/2015	150482724	UNIFORM RENTAL SVC.-TRAFFIC SIGNAL MAINT. STAFF			
		06/22/2015	150482726	UNIFORM RENTAL SVC.-GRAFFITI RMVL. STAFF			
		06/22/2015	150482727	UNIFORM RENTAL SVC.-MECHANICS			
		06/22/2015	150482728	UNIFORM RENTAL SVC.-TREE MAINT. STAFF			
		06/22/2015	150486432	UNIFORM RENTAL SVC.-ST. SIGNS/STRIPING STAFF			
		06/22/2015	150479012	UNIFORM RENTAL SVC.-DRAIN MAINT. STAFF			
		06/22/2015	150482725	UNIFORM RENTAL SVC.-ST. SIGNS/STRIPING STAFF			
		15327	06/29/2015	150482723		UNIFORM RENTAL SVC.-PURCHASING STAFF	\$9.11
			06/29/2015	150486430		UNIFORM RENTAL SVC.-PURCHASING STAFF	
			06/29/2015	150479004		UNIFORM RENTAL SVC.-PURCHASING STAFF	
Remit to: ONTARIO, CA					FYTD: \$19,511.30		
CIVIL SOURCE, INC.	15268	06/22/2015	1041-358-1F	CONSULTANT PLAN CHECK SVCS	\$431.25		
Remit to: IRVINE, CA					FYTD: \$32,028.30		
CLARK, BRADNEY	225384	06/15/2015	1252621	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00		

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
COLONIAL SUPPLEMENTAL INSURANCE	225263	06/08/2015	7133069-0601624	SUPPLEMENTAL INSURANCE	\$6,174.64
Remit to: COLUMBIA, SC					<u>FYTD:</u> \$71,265.29
COMMUNITY ASSISTANCE PROGRAM - CAP	225441	06/22/2015	DONATION	DONATION OF FUNDS RAISED FROM CITY EMPLOYEE "JERSEY DAY" EVENT	\$1,015.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$30,340.48
COMMUNITY HEALTH CHARITIES	225215	06/01/2015	2015-00000436	8725 - CH CHARITY	\$37.00
	225337	06/15/2015	2015-00000456	8725 - CH CHARITY	\$37.00
	225469	06/29/2015	2015-00000473	8725 - CH CHARITY	\$37.00
Remit to: COSTA MESA, CA					<u>FYTD:</u> \$3,469.00
COMPETITIVE STRIDE	15207	06/15/2015	3346	SPORTS AWARDS SUPPLIES-BASKETBALL CLINIC	\$1,655.64
		06/15/2015	3344	SPORTS AWARDS SUPPLIES-FLAG FOOTBALL	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$7,654.50
COMPEX LEGAL SERVICES, INC.	225338	06/15/2015	21311196	LEGAL SERVICES-RE: DAVIS, MICHELLE	\$169.58
		06/15/2015	21309536	LEGAL SERVICES-RE: DAVIS, MICHELLE	
Remit to: TORRANCE, CA					<u>FYTD:</u> \$751.08
COMSEARCH	15328	06/29/2015	115015047	FREQUENCY PROTECTION SERVICES	\$1,365.00
Remit to: CHICAGO, IL					<u>FYTD:</u> \$1,965.00
CORONADO, JESSE	225449	06/22/2015	R15-085709	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$52.00

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Remit to: MORENO VALLEY, CA					FYTD: \$52.00
COSTCO	225264	06/08/2015	21292	SNACK SUPPLIES FOR SENIOR CTR	\$233.14
		06/08/2015	21193	SNACK SUPPLIES FOR SENIOR CTR	
	225340	06/15/2015	21853	SNACK SUPPLIES FOR A CHILD'S PLACE	\$2,383.24
		06/15/2015	21869	MISC. SUPPLIES FOR EOC	
		06/15/2015	21793	SNACK SUPPLIES FOR CELEBRATION PARK	
		06/15/2015	21041	MISC. SUPPLIES FOR EOC	
		06/15/2015	20754	MISC. SUPPLIES FOR EOC	
	225416	06/22/2015	21915	SNACK SUPPLIES FOR CAREER DEV'T. SESSION	\$123.67
		06/22/2015	21921	SNACK SUPPLIES FOR CAREER DEV'T. SESSION	
	225470	06/29/2015	21900	SNACK SUPPLIES-COTTONWOOD GOLF COURSE	\$922.25
		06/29/2015	21917	SNACK SUPPLIES-SKATE PARK	
Remit to: MORENO VALLEY, CA					FYTD: \$29,866.18
COULTER, ELSA	225517	06/29/2015	1256689 1256688	REFUND DEPOSIT REFUND PERMIT 27471	\$75.00
Remit to: MORENO VALLEY, CA					FYTD: \$75.00
COUNSELING TEAM, THE	225417	06/22/2015	29030	EMPLOYEE SUPPORT SERVICES-MAY15	\$1,250.00
Remit to: SAN BERNARDINO, CA					FYTD: \$21,050.00
COUNTY OF RIVERSIDE	225471	06/29/2015	9990085000-1505	TRAFFIC MOTOR RADIO COMMUNICATIONS/PARTS/TECH SVCS FOR PD-MAY15	\$3,563.93
Remit to: RIVERSIDE, CA					FYTD: \$547,941.90
COUNTY OF RIVERSIDE 1	225216	06/01/2015	PU0000003407	JANITORIAL SUPPLIES-SHERIFF STATION EXPLORERS	\$1,334.45

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Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$14,649.32
CREASON AND AARVIG, LLP	225341	06/15/2015	28745-APR15	LEGAL SERVICES-MV1510 (J. DOMINGUEZ)	\$2,828.29
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$3,337.20
CRIME SCENE STERI-CLEAN, LLC	15209	06/15/2015	34562	BIO HAZARD REMOVAL SERVICE	\$750.00
Remit to: RANCHO CUCAMONGA, CA					<u>FYTD:</u> \$5,400.00
CUTWATER INVESTOR SERVICES CORP	15270	06/22/2015	20058A	INVESTMENT MANAGEMENT SVCS-MAY15	\$2,699.06
Remit to: DENVER, CO					<u>FYTD:</u> \$15,461.83
D&D SERVICES DBA D&D DISPOSAL, INC.	225342	06/15/2015	92386	DECEASED ANIMAL REMOVAL SVCS-MAY15	\$745.00
Remit to: VALENCIA, CA					<u>FYTD:</u> \$8,195.00
DAILY, TAMIA	225304	06/08/2015	R15-085979	AS REFUND-TRAP DEPOSIT	\$50.00
Remit to: RIALTO, CA					<u>FYTD:</u> \$50.00
DATA TICKET, INC.	15144	06/08/2015	60905	ADMIN CITATION PROCESSING-B&S-MAR15	\$1,006.80
		06/08/2015	60905TPC	THIRD PARTY COLLECTIONS-B&S-MAR15	
	15210	06/15/2015	57729	ADMIN CITATION PROCESSING-PARKS RANGERS-SEPT14	\$2,973.30
		06/15/2015	56184	ADMIN CITATION PROCESSING-PARKS RANGERS-AUG14	
		06/15/2015	62017	ADMIN CITATION PROCESSING-PARKS RANGERS-MAR15	
		06/15/2015	62016	ADMIN CITATION PROCESSING-PARKS RANGERS-FEB15	
		06/15/2015	55872	ADMIN CITATION PROCESSING-PARKS RANGERS-APR14	
		06/15/2015	55880	ADMIN CITATION PROCESSING-PARKS RANGERS-JUL14	

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DATA TICKET, INC.	15210	06/15/2015	55871	ADMIN CITATION PROCESSING-PARKS RANGERS-JAN14	\$2,973.30
		06/15/2015	57275	ADMIN CITATION PROCESSING-PARKS RANGERS-OCT14	
		06/15/2015	55873	ADMIN CITATION PROCESSING-PARKS RANGERS-MAY14	
		06/15/2015	62018	ADMIN CITATION PROCESSING-PARKS RANGERS-APR15	
		06/15/2015	61564TPC	THIRD PARTY COLLECTIONS-A/S-APR15	
		06/15/2015	61564	ADMIN CITATION PROCESSING-A/S-APR15	
		06/15/2015	58420	ADMIN CITATION PROCESSING-PARKS RANGERS-NOV14	
	06/15/2015	55874	ADMIN CITATION PROCESSING-PARKS RANGERS-JUN14		
	15271	06/22/2015	62665	ADMIN CITATION PROCESSING-PD-MAY15	\$886.74
		06/22/2015	61534	BUSINESS INSPECTION PROCESSING-NPDES	
15329	06/29/2015	62662	ADMIN CITATION PROCESSING-A/S-MAY15	\$876.04	
		62674	ADMIN CITATION PROCESSING-PARK RANGERS-MAY15		
Remit to: NEWPORT BEACH, CA					<u>FYTD:</u> \$210,344.50
DELGADILLO, JUAN	225385	06/15/2015	R15-086514	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$53.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$53.00
DELTA DENTAL OF CALIFORNIA	15145	06/08/2015	BE001180514	EMPLOYEE DENTAL INSURANCE-PPO	\$10,086.78
Remit to: SAN FRANCISCO, CA					<u>FYTD:</u> \$121,894.47
DELTACARE USA	225265	06/08/2015	BE001181587	EMPLOYEE DENTAL INSURANCE-HMO	\$4,925.48
Remit to: DALLAS, TX					<u>FYTD:</u> \$60,416.21
DENNIS GRUBB & ASSOCIATES, LLC	15102	06/01/2015	1303	PLAN REVIEW SERVICES-ADDL. FEB 2015	\$2,395.00
		06/01/2015	1327	PLAN REVIEW SERVICES 5/1-5/15/15	

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DENNIS GRUBB & ASSOCIATES, LLC	15211	06/15/2015	1328	PLAN REVIEW SERVICES 5/16-5/31/15	\$850.00
Remit to: MIRA LOMA, CA					FYTD: \$167,620.00
DEPARTMENT OF ENVIRONMENTAL HEALTH	225472	06/29/2015	JAN-MAR 2015	VECTOR CONTROL SVCS-CODE	\$1,091.73
Remit to: Riverside , CA					FYTD: \$21,610.42
DESIGN SPACE MODULAR BUILDINGS	225266	06/08/2015	897894	RENTAL - FIRE STATION #48	\$891.06
	225473	06/29/2015	901193	MODULAR BLDG RENTAL - FS #48	\$891.06
Remit to: PASADENA, CA					FYTD: \$19,412.75
DINEFF, JULIE	225450	06/22/2015	R15-085209	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					FYTD: \$75.00
DMS FACILITY SERVICES	15272	06/22/2015	RC-L104495	JANITORIAL SERVICES-CRC-JUN15	\$24,028.65
		06/22/2015	RC-L104498	JANITORIAL SERVICES-GANG TASK FORCE OFFICE-JUN15	
		06/22/2015	RC-L104496	JANITORIAL SERVICES-EOC-JUN15	
		06/22/2015	RC-L104492	JANITORIAL SERVICES-ANNEX 1-JUN15	
		06/22/2015	RC-L104497	JANITORIAL SERVICES-EMP. RESOURCE CTR.-JUN15	
		06/22/2015	RC-L104493	JANITORIAL SERVICES-CITY HALL-JUN15	
		06/22/2015	RC-L104511	JANITORIAL SERVICES-23571 SUNNYMEAD PD SUBSTATION-JUN15	
		06/22/2015	RC-L104501	JANITORIAL SERVICES-PUBLIC SAFETY BLDG.-JUN15	
		06/22/2015	RC-L104510	JANITORIAL SERVICES-23819 SUNNYMEAD PD SUBSTATION-JUN15	
		06/22/2015	RC-L104504	JANITORIAL SERVICES-SENIOR CENTER-JUN15	

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DMS FACILITY SERVICES	15272	06/22/2015	RC-L104500	JANITORIAL SERVICES-MARCH FIELD PARK COMM. CTR.-JUN15	\$24,028.65
		06/22/2015	RC-L104509	JANITORIAL SERVICES-COTTONWOOD GOLF CTR.-JUN15	
		06/22/2015	RC-L104508	JANITORIAL SERVICES-TRANSP. TRAILER-JUN15	
		06/22/2015	RC-L104507	JANITORIAL SERVICES-TOWNGATE COMM. CTR.-JUN15	
	15330	06/22/2015	RC-L104499	JANITORIAL SERVICES-LIBRARY-JUN15	\$4,147.75
			RC-L104494	JANITORIAL SERVICES-CITY YARD-JUN15	
		06/29/2015	RC-L104503	JANITORIAL SERVICES-RED MAPLE-JUN15	
		06/29/2015	L38100	SHAMPOO & EXTRACT CARPET AREA ADJACENT TO PRO SHOP AT GOLF CTR.	
		06/29/2015	L38101	SPECIAL CLEANINGS FOR MAY 3-15 EVENT RENTALS AT CRC	
		06/29/2015	RC-L104502	JANITORIAL SERVICES-RAINBOW RIDGE-JUN15	
		06/29/2015	L38102	SPECIAL CLEANINGS FOR MAY 17-31 EVENT RENTALS AT CRC	
		06/29/2015	L38103	SPECIAL CLEANINGS FOR MAY EVENT RENTALS AT COTTONWOOD GOLF CTR.	
		06/29/2015	L38105	SPECIAL CLEANINGS FOR MAY EVENT RENTALS AT SENIOR CTR.	
		06/29/2015	L38104	SPECIAL CLEANINGS FOR MAY EVENT RENTALS AT TOWNGATE COMM. CTR.	
Remit to: MONROVIA, CA					FYTD: \$325,744.05
DUVAL, ROBERTA	15331	06/29/2015	MAY-2015	INSTRUCTOR SERVICES-CPR & FIRST AID CLASS	\$540.00
		06/29/2015	JUN-2015	INSTRUCTOR SERVICES-CPR & FIRST AID CLASS	
Remit to: MENIFEE, CA					FYTD: \$1,906.00
E.R. BLOCK PLUMBING & HEATING, INC.	15104	06/01/2015	118075	REPLACED BACKFLOW DEVICE-ZONE D	\$2,650.86
		06/01/2015	118076	REPLACED BACKFLOW DEVICE-ZONE D	

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E.R. BLOCK PLUMBING & HEATING, INC.	15104	06/01/2015	118077	REPLACED BACKFLOW DEVICE-ZONE D	\$2,650.86
	15147	06/08/2015	118185	BACKFLOW DEVICE TESTS	\$100.00
	15273	06/22/2015	118183	BACKFLOW DEVICE TESTS	\$2,045.80
		06/22/2015	118078	REPLACED BACKFLOW DEVICE-ZONE 02	
		06/22/2015	118079	REPLACED BACKFLOW DEVICE-ZONE 02	
Remit to: RIVERSIDE, CA					FYTD: \$41,567.70
EASTERN MUNICIPAL WATER DISTRICT	225217	06/01/2015	MAY-15 6/1/15	WATER CHARGES	\$7,575.84
Remit to: PERRIS, CA					FYTD: \$1,683,062.68
ECONOMIC DEVELOPMENT AGENCY	225268	06/08/2015	2010	8 TICKETS-2015 JAMIL DADA CHARACTER EXCELLENCE YOUTH AWARDS-5/15	\$1,000.00
Remit to: RIVERSIDE, CA					FYTD: \$1,000.00
ENCO UTILITY SERVICES MORENO VALLEY LLC	15105	06/01/2015	40-310B-03	CONSULTANT - HEACOCK/SAN MICHELE TO PVSD	\$1,052.66
	15148	06/08/2015	0402-MF-01672A	SOLAR METER INSTALLATION	\$1,422.00
		06/08/2015	0402-MF-01673A	SOLAR METER INSTALLATION	
	15274	06/22/2015	0402-MF-01674A	SOLAR METER INSTALLATION	\$1,422.00
		06/22/2015	0402-MF-01675A	SOLAR METER INSTALLATION	
Remit to: ANAHEIM, CA					FYTD: \$4,368,389.31
ENHANCED THE GIFT MINISTRIES	225305	06/08/2015	1249790	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
ENNIS PAINT	15212	06/15/2015	286231	THERMOPLASTIC PAINTS	\$19,683.09

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ENNIS PAINT	15212	06/15/2015	286253	THERMOPLASTIC PAINTS	\$19,683.09
Remit to: DALLAS, TX					<u>FYTD:</u> \$51,028.57
ENVIRONMENTAL & REGULATORY SPECIALST,INC	15332	06/29/2015	2649	BURROWING OWL SURVEY AT POORMAN'S RESERVOIR	\$1,305.00
Remit to: NEWPORT BEACH, CA					<u>FYTD:</u> \$2,905.00
ENVISIONING FUTURE, INC.	225386	06/15/2015	FA15-0014	REFUND-FIRE INSPECTION FEES OVERPAYMENT	\$956.00
Remit to: CORONA, CA					<u>FYTD:</u> \$956.00
ESGIL CORPORATION	15106	06/01/2015	03154206	PLAN CHECK SVCS-MAR15	\$5,699.65
		06/01/2015	04154240	PLAN CHECK SVCS-APR15	
Remit to: SAN DIEGO, CA					<u>FYTD:</u> \$31,843.78
ESI ACQUISITION, INC.	15275	06/22/2015	INV12421	WEBEOC SOFTWARE MAINTENANCE RENEWAL 2015-2016	\$14,190.00
Remit to: AUGUSTA, GA					<u>FYTD:</u> \$14,190.00
ESPINOZA, ESTRELLITA	225306	06/08/2015	RCT#394413	REFUND-SOLID WASTE PERMIT FEE	\$41.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$41.00
ESSA CELL PLANET	225249	06/01/2015	BL#27907-YR2015	REFUND OF OVERPAYMENT FOR BL#27907	\$62.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$62.00
EVANS ENGRAVING & AWARDS	15107	06/01/2015	51215-30	NAMEPLATES/BADGES FOR ARTS COMMISSIONERS	\$60.48
	15149	06/08/2015	51315-30	NAMEPLATE FOR COUNCIL MEMBER GEORGE E. PRICE	\$15.12
	15213	06/15/2015	52115-21	PLAQUE FOR ELC STUDENT MAYOR	\$32.40

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: BANNING, CA					<u>FYTD:</u> \$4,404.64
EVELAND, MARJORIE	225451	06/22/2015	R15-084834	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: BEAUMONT, CA					<u>FYTD:</u> \$75.00
EWING IRRIGATION PRODUCTS	225475	06/29/2015	9753069	IRRIGATION PARTS & SUPPLIES-CITY PARKS	\$232.53
		06/29/2015	9778828	IRRIGATION PARTS & SUPPLIES-CITY PARKS	
Remit to: PHOENIX, AZ					<u>FYTD:</u> \$21,476.58
EXCEL LANDSCAPE, INC	15150	06/08/2015	84289	IRRIGATION REPAIRS-NPDES	\$6,268.23
		06/08/2015	84102	LANDSCAPE MAINT-NPDES-MAY15	
		06/22/2015	83825	LANDSCAPE MAINT-NPDES-APR15	\$6,240.00
Remit to: CORONA, CA					<u>FYTD:</u> \$80,373.15
FAIR HOUSING COUNCIL OF RIV CO, INC.	15215	06/15/2015	MAR 2015 (LT)	LANDLORD/TENANT MEDIATION PROGRAM-CDBG	\$7,393.25
		06/15/2015	MAR 2015 (FH)	FAIR HOUSING DISCRIMINATION PROGRAM-CDBG	
		06/15/2015	APR 2015 (FH)	FAIR HOUSING DISCRIMINATION PROGRAM-CDBG	
		06/15/2015	APR 2015 (LT)	LANDLORD/TENANT MEDIATION PROGRAM-CDBG	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$57,589.29
FALCON ENGINEERING SERVICES, INC.	15333	06/29/2015	2012-26REV	CONSULTANT - SR-60 NASON OC	\$13,636.11
Remit to: CORONA, CA					<u>FYTD:</u> \$136,363.54
FAST SIGNS	225476	06/29/2015	70-35035	SIGNS FOR CFD #1	\$88.02
		06/29/2015	70-35235	SIGNS FOR CFD #1	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$6,256.11
FIRST AMERICAN CORE LOGIC, INC.	15108	06/01/2015	81447069	REAL QUEST WEB SVCS-MAR15 (ACCESS)	\$640.00
		06/01/2015	81447065	REAL QUEST WEB SVCS-MAR15 (IMAGING)	
	15277	06/22/2015	81493370	REAL QUEST WEB SVCS-MAY15 (ACCESS)	\$1,280.00
		06/22/2015	81470115	REAL QUEST WEB SVCS-APR15 (ACCESS)	
		06/22/2015	81493366	REAL QUEST WEB SVCS-MAY15 (IMAGING)	
		06/22/2015	81470042	REAL QUEST WEB SVCS-APR15 (IMAGING)	
Remit to: DALLAS, TX					<u>FYTD:</u> \$7,680.00
FIRST AMERICAN DATA TREE, LLC	225344	06/15/2015	20027760515	ONLINE SOFTWARE SUBSCRIPTION	\$9.20
Remit to: DALLAS, TX					<u>FYTD:</u> \$9.20
FITNESS 19	225218	06/01/2015	2015-00000437	8730 - GYM MEMBERSHIP*	\$94.00
	225477	06/29/2015	2015-00000474	8730 - GYM MEMBERSHIP*	\$94.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,399.50
FLORES, MIRIAM	225518	06/29/2015	R15-086276	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$19.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$19.00
FONNEGRA, ANABEL	225307	06/08/2015	MVU 7009076-09	SOLAR INCENTIVE REBATE	\$5,730.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$5,730.00
FOOTHILL CHAPTER - I.C.C.	225269	06/08/2015	F/Y 2015-16	MEMBERSHIP RENEWAL-ALLEN BROCK	\$50.00
Remit to: RIALTO, CA					<u>FYTD:</u> \$50.00

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
FORM PRINT COMPANY FPC GRAPHICS	225478	06/29/2015	91054	A/S DOOR HANGERS-15 DAY NOTICE (5,000 SETS)	\$1,074.60
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$4,759.23
FRANCE PUBLICATIONS, INC.	225420	06/22/2015	WR68617	ADVERTISING-WESTERN REAL ESTATE BUSINESS-JR. PAGE-5/1/15 ISSUE	\$6,150.00
		06/22/2015	SB68344	ADVERTISING-SHOPPING CTR BUSINESS-FULL PAGE-5/1/15 ISSUE	
Remit to: ATLANTA, GA					<u>FYTD:</u> \$18,450.00
FRANCHISE TAX BOARD	225219	06/01/2015	2015-00000438	1015 - GARNISHMENT - CREDITOR %*	\$356.66
	225345	06/15/2015	2015-00000457	1015 - GARNISHMENT - CREDITOR %*	\$367.70
	225479	06/29/2015	2015-00000475	1015 - GARNISHMENT - CREDITOR %*	\$519.81
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$17,378.75
FRANGADAKIS, STEVE MICHAEL	225540	06/30/2015	654	BAND PERFORMANCE FOR JULY 4TH, 2015 AT MT. VIEW MIDDLE SCHOOL	\$4,000.00
Remit to: LAKE BALBOA, CA					<u>FYTD:</u> \$4,000.00
FRANKLIN, L. C.	15216	06/15/2015	5/4-5/28/15	MILEAGE REIMBURSEMENT	\$259.33
	15278	06/22/2015	6/1-6/11/15	MILEAGE REIMBURSEMENT	\$109.83
Remit to: PERRIS, CA					<u>FYTD:</u> \$2,372.86
FRAZEE INDUSTRIES, INC	225270	06/08/2015	4393-6	GRAFFITI REMOVAL PRODUCTS	\$346.94
Remit to: SAN BERNARDINO, CA					<u>FYTD:</u> \$5,877.99
FREESE, MALIA	225387	06/15/2015	1250268	REFUND DRAWING CLASS CANCELED	\$37.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$37.00

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FS CONSTRUCTION	225480	06/29/2015	1712b	CONSTRUCTION - CYCLE 4	\$23,226.07
Remit to: SYLMAR, CA					<u>FYTD:</u> \$499,859.75
GAGE, LESIA	225442	06/22/2015	SPRING 2015	TUITION REIMBURSEMENT	\$276.00
Remit to: EL MONTE, CA					<u>FYTD:</u> \$690.00
GARDNER COMPANY, INC.	15151	06/08/2015	55906	HVAC OPTIMIZATION-FS#6	\$1,305.00
		06/08/2015	55908	HVAC OPTIMIZATION-FS#2	
		06/08/2015	55904	HVAC OPTIMIZATION-FS#91	
		06/08/2015	55905	HVAC OPTIMIZATION-FS#65	
Remit to: MURRIETA, CA					<u>FYTD:</u> \$33,766.52
GAUSIN, BLANCA	225308	06/08/2015	1248081	CRC RENTAL REFUND DEPOSIT	\$750.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$750.00
GENESIS SPORTS	15152	06/08/2015	MAY-2015	INSTRUCTOR SERVICES-GENESIS HOOPS BASKETBALL TRAINING	\$589.20
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$3,036.00
GERDELMAN, CHARISE	225388	06/15/2015	R15-083304	AS REFUND-S/N & RABIES DEPOSITS	\$95.00
Remit to: YUCCA VALLEY, CA					<u>FYTD:</u> \$95.00
GIPSON, CHRISTINA	225519	06/29/2015	1254192	REFUND FOR CANCELLED PICNIC SHELTER	\$39.00
Remit to: MENIFEE, CA					<u>FYTD:</u> \$39.00
GOETZ, DUSTIN	225506	06/29/2015	7/6-7/10/15	TRAVEL PER DIEM-BASIC CPTED TRAINING COURSE	\$319.50
Remit to: MORENO VALLEY, CT					<u>FYTD:</u> \$523.50

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
GOLDEN, MARIA	225389	06/15/2015	R15-086470	AS REFUND-TRAP DEPOSIT	\$50.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$50.00
GONG ENTERPRISES, INC.	15217	06/15/2015	7232	CONSULTANT PLAN CHECK SVCS-PA03-0106 (TR 31618)	\$2,995.20
Remit to: HUNTINGTON BEACH, CA					<u>FYTD:</u> \$38,965.20
GOZDECKI, DAN	15279	06/22/2015	JUN-2015 YOUTH	INSTRUCTOR SERVICES-KUNG FU/ART OF SELF-DEFENSE CLASS	\$405.00
		06/22/2015	JUN-2015 ADULT	INSTRUCTOR SERVICES-KUNG FU/ART OF SELF-DEFENSE CLASS	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$4,455.00
GRAHAM, ARNON	225452	06/22/2015	1254514	TOWNGATE RENTAL REFUND DEPOSIT MINUS BALANCE DUE	\$132.00
Remit to: RANCHO CUCAMONGA, CA					<u>FYTD:</u> \$132.00
GRAVES & KING, LLP	225346	06/15/2015	1504-0009459-09	LEGAL SERVICES-CLAIM#MV1329-CONNER, GREG & FRANCIS	\$6,790.10
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$61,058.72
GREENSTONE MATERIALS	225271	06/08/2015	24745	DISPOSAL OF ASPHALT & CONCRETE SPOILS	\$62.00
Remit to: SAN JUAN CAPISTRANO, CA					<u>FYTD:</u> \$744.00
GUTIERREZ, YXSTIAN	225375	06/15/2015	6/24-6/26/15	TRAVEL PER DIEM-LCC EXEC. FORUM & ADVANCED LEADERSHIP WORKSHOPS	\$177.50
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$608.50
H M CLEANUP CORPORATION	225520	06/29/2015	BL#18828-YR2015	REFUND OF OVERPAYMENT FOR BL#18828	\$84.57
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$84.57
HABITAT FOR HUMANITY RIVERSIDE	15334	06/29/2015	DRAW NO. 27	NSP3-8 SINGLE FAMILY HOMES-24265 MYERS AVE	\$20,771.96

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Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$1,380,511.42
HALL, TERRI	225390	06/15/2015	R15-085408	AS REFUND-S/N & RABIES DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
HARRIS & ASSOCIATES	15280	06/22/2015	28635	CONSULTANT PLAN CHECK SVCS	\$2,100.00
Remit to: CONCORD, CA					<u>FYTD:</u> \$23,834.48
HARRIS, NANCY	225309	06/08/2015	1250644 1250645	COTTONWOOD RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
HAYSLET, DARRELL	225310	06/08/2015	1250650	TOWNGATE RENTAL REFUND DEPOSIT MINUS BALANCE DUE	\$150.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$150.00
HDL/HINDERLITER DE LLAMAS & ASSOCIATES	225272	06/08/2015	0023879-IN	SALES TAX AUDIT SVCS	\$7,895.42
Remit to: DIAMOND BAR, CA					<u>FYTD:</u> \$15,874.27
HERNANDEZ, MARIA	225311	06/08/2015	1244862	CRC RENTAL REFUND DEPOSIT	\$750.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$750.00
HIGHLAND FAIRVIEW	225312	06/08/2015	1244728	CRC RENTAL REFUND DEPOSIT	\$100.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$100.00
HILL, SARENA M	225453	06/22/2015	BL#23278-YR2015	REFUND OF OVERPAYMENT FOR BL#23278	\$74.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$74.00
HILLTOP GEOTECHNICAL, INC.	15219	06/15/2015	14949r	CONSULTANT - CACTUS AVE/VETERANS TO HEACOCK	\$577.00

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Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount		
Remit to: SAN BERNARDINO, CA					FYTD: \$12,567.25		
HINTZ, DENISE	225250	06/01/2015	R15-085406	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00		
Remit to: ONTARIO, CA					FYTD: \$75.00		
HLP, INC.	15336	06/29/2015	10755	WEB LICENSE FEE-MAY15	\$42.00		
Remit to: LITTLETON, CO					FYTD: \$21,849.90		
HONDA YAMAHA OF REDLANDS	15109	06/01/2015	54069	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	\$5,386.23		
		06/01/2015	52755	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	51396	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	53094	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	53272	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	54849	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	53572	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	50794	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	54700	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		06/01/2015	52747	MAINT & REPAIRS-TRAFFIC MOTORCYCLE			
		15220	06/15/2015	55600		MAINT & REPAIRS-TRAFFIC MOTORCYCLES	\$666.72
			06/15/2015	54700-CREDIT		TO APPLY OVERPAYMENT ON INV#54700 (TIRE COUPON)	
			06/15/2015	55619		MAINT & REPAIR-TRAFFIC MOTORCYCLES	
06/15/2015	53572-CREDIT		TO APPLY OVERPAYMENT ON INV#53572 (TIRE COUPON)				
		06/15/2015	55617	MAINT & REPAIR-TRAFFIC MOTORCYCLES			
Remit to: REDLANDS, CA					FYTD: \$30,803.33		

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
HUNSAKER & ASSOCIATES IRVINE, INC	225220	06/01/2015	15040176	CONSULTANT - CACTUS/VETERANS TO HEACOCK	\$1,878.00
	225482	06/29/2015	15050178	CONSULTANT - CACTUS AVE WIDENING	\$2,709.00
Remit to: RIVERSIDE, CA					FYTD: \$67,319.25
HYUNDAI LEASE TITLING TRUST AND JUAN GARCIA	225483	06/29/2015	MV1513	FULL AND FINAL SETTLEMENT	\$530.00
Remit to: PALM DESERT, CA					FYTD: \$530.00
ICMA RETIREMENT CORP	15191	06/12/2015	2015-00000466	8030 - DEF COMP 457 - ICMA	\$9,173.84
	15313	06/26/2015	2015-00000484	8030 - DEF COMP 457 - ICMA*	\$9,923.84
Remit to: BALTIMORE, MD					FYTD: \$463,756.34
IES COMMERCIAL, INC	15154	06/08/2015	114177	PHOTO ID PRINTER & CITY BADGE TEMPLATE	\$1,570.00
		06/08/2015	114183	HR BADGING PRINTER	
Remit to: TEMPE, AZ					FYTD: \$25,640.08
INLAND EMPIRE ECONOMIC PARTNRSHP FOUNDTN	225423	06/22/2015	C-1219	ANNUAL MEMBERSHIP RENEWAL/PARTNERSHIP 3/1/15-2/29/16	\$7,500.00
Remit to: SAN BERNARDINO, CA					FYTD: \$7,500.00
INLAND OVERHEAD DOOR COMPANY	225273	06/08/2015	39048	ROLL UP DOOR PREVENTIVE MAINT--ANIMAL SHELTER	\$298.00
		06/08/2015	38944	ROLL UP DOOR PREVENTIVE MAINT-UTILITY FIELD OFFICE	
Remit to: COLTON, CA					FYTD: \$3,898.25
INSIDE PLANTS, INC.	15110	06/01/2015	55557	INSIDE PLANTS MAINT SERVICE-JUN15	\$327.00

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Remit to: CORONA, CA					FYTD: \$3,924.00
IRON MOUNTAIN, INC	15155	06/08/2015	LKH0868	OFF-SITE STORAGE OF CITY RECORDS-MAY15	\$2,402.46
	15281	06/22/2015	LLZ4656	OFF-SITE STORAGE OF CITY RECORDS-JUN15	\$1,799.22
Remit to: PASADENA, CA					FYTD: \$23,014.02
JAMAR POWER SYSTEMS	225391	06/15/2015	BL#28851-YR2015	REFUND OF OVERPAYMENT FOR BL#28851	\$44.00
Remit to: SANTEE, CA					FYTD: \$44.00
JANNEY & JANNEY ATTORNEY SVCS, INC.	225274	06/08/2015	4/30/15 STMT	MONTHLY RETAINER-DELIVERY OF COURT FILINGS	\$555.00
Remit to: RIVERSIDE, CA					FYTD: \$780.00
JARUS, SUPANAT	225313	06/08/2015	R15-086061&060	AS REFUND-OVERPMT ON LICENSE	\$26.00
Remit to: MORENO VALLEY, CA					FYTD: \$26.00
JDH CONTRACTING	15282	06/22/2015	061715-01	INSTALL ADA COUNTER AT SENIOR CENTER	\$17,997.00
		06/22/2015	060515-01	COTTONWOOD GOLF CENTER HVAC PROJECT	
Remit to: RIVERSIDE, CA					FYTD: \$176,461.20
JENKINS & HOGIN, LLP	225484	06/29/2015	23275	LEGAL SERVICES	\$11,980.00
Remit to: MANHATTAN BEACH, CA					FYTD: \$22,935.00
JIMENEZ, IMELDA	225392	06/15/2015	1250825	REFUND FOR SPANISH CLASS CANCELLATION	\$36.00
	225521	06/29/2015	1256921	REFUND UNABLE TO TAKE CLASS PER RUDY	\$60.00
Remit to: MORENO VALLEY, CA					FYTD: \$36.00

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JOE A. GONSALVES & SON	15221	06/15/2015	25286	LOBBYIST SERVICES-JUN15	\$3,045.00
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$36,180.00
JOHNSON, RAYMOND W.	225393	06/15/2015	PA13-0063	REFUND-WITHDRAWAL OF APPEAL RE: MODULAR LOGISTICS CTR PROJECT	\$750.00
Remit to: TEMECULA, CA					<u>FYTD:</u> \$750.00
JTB SUPPLY CO., INC.	15337	06/29/2015	98998	TRAFFIC SIGNAL MAINT SUPPLIES	\$2,106.00
Remit to: ORANGE, CA					<u>FYTD:</u> \$64,997.64
JUDICIAL COUNCIL OF CALIFORNIA	225522	06/29/2015	2013-0473 KIRBY	REFUND-OVERPAYMENT-CITY PROPERTY DAMAGES COSTS	\$100.00
Remit to: WEST SACRAMENTO, CA					<u>FYTD:</u> \$100.00
KAVANNAH MINISTRIES	225314	06/08/2015	1244719	CRC RENTAL REFUND DEPOSIT MINUS BALANCE DUE	\$387.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$387.00
KENASTON FLOORING	225424	06/22/2015	13960	REMOVE EXISTING FLOORING IN CRC FITNESS ROOM	\$3,525.00
Remit to: SAN BERNARDINO, CA					<u>FYTD:</u> \$3,525.00
KEYSER MARSTON ASSOCIATES, INC.	225539	06/29/2015	0028493	PROFESSIONAL SVCS-COTTONWOOD PLC REFINANCE & RESYNDICATION	\$2,997.50
Remit to: SAN FRANCISCO, CA					<u>FYTD:</u> \$2,997.50
KIEFER, KARYN	225443	06/22/2015	5-26-15 MEETING	REIMB-LUNCH FOR THE WLC MEETING	\$154.54
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$154.54
KIZLER, MELODY	225251	06/01/2015	R15-083516	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$75.00
KOA CORPORATION	225275	06/08/2015	JB44046x7	CONSULTANT - RECHE VISTA	\$3,945.70
Remit to: MONTEREY PARK, CA					<u>FYTD:</u> \$74,730.88
KOSMONT COMPANIES	225347	06/15/2015	0009/APR-15	ECONOMIC DEV'T. CONSULTING SVCS	\$7,931.10
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$51,048.18
KUSTOM SIGNALS, INC.	15222	06/15/2015	514616	PROLASER 4 BUNDLE W/ 3 YEAR WARRANTY	\$10,758.88
Remit to: KANSAS CITY, MO					<u>FYTD:</u> \$23,931.39
LACHICA, REY DANDY	15111	06/01/2015	6/1-6/4/15	TRAVEL PER DIEM & MILEAGE-TOWER CLIMBING SAFETY & RESCUE TRNG.	\$353.12
Remit to: COLTON, CA					<u>FYTD:</u> \$353.12
LATITUDE GEOGRAPHICS	225348	06/15/2015	201500542	GEOCORTEX-TECHNICAL SUPPORT HOURS	\$891.25
	225425	06/22/2015	201500220	GEOCORTEX-TECHNICAL SUPPORT HOURS	\$220.80
Remit to: VICTORIA, BC					<u>FYTD:</u> \$60,726.50
LAW OFFICES OF MARK J. PEACOCK	225485	06/29/2015	MV1440	FULL & FINAL SETTLEMENT RE: CLAIM	\$7,500.00
	225486	06/29/2015	MV1440	FULL AND FINAL CLAIM SETTLEMENT	\$7,500.00
Remit to: PALM DESERT, CA					<u>FYTD:</u> \$7,500.00
LEADING EDGE LEARNING CENTER	225221	06/01/2015	MAY-2015	INSTRUCTOR SERVICES-ESL, GED TEST, & READING RASCALS CLASSES	\$692.40
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$1,458.00

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LEAGUE OF CALIFORNIA CITIES- RIV CNTY DIV 1	225487	06/29/2015	7/27/15 GEN MTG	GENERAL MEETING ATTENDANCE	\$15.00
Remit to: MIRA LOMA, CA					FYTD: \$1,186.00
LEE, JERI	15223	06/15/2015	MAY-2015	INSTRUCTOR SERVICES-ZUMBA KIDS CLASS	\$218.40
	15283	06/22/2015	JUN-2015	INSTRUCTOR SERVICES-ZUMBA KIDS CLASS	\$168.00
Remit to: MORENO VALLEY, CA					FYTD: \$1,070.40
LEICA GEOSYSTEMS, INC.	225349	06/15/2015	900466126	HARDWARE/SOFTWARE MAINT. SUPPORT	\$21,840.00
		06/15/2015	2410191423	TO APPLY CREDIT (FOR SALES TAX)	
Remit to: ATLANTA, GA					FYTD: \$21,840.00
LEIVAS, INC. DBA. LEIVAS LIGHTING	15112	06/01/2015	236875	LANDSCAPE LIGHTING MAINT-MAR15	\$450.00
		06/01/2015	236708	LANDSCAPE LIGHTING MAINT-JAN15	
		06/01/2015	236873	LANDSCAPE LIGHTING MAINT-FEB15	
	15284	06/22/2015	236884	LANDSCAPE LIGHTING MAINT-APR15	\$12,916.58
		06/22/2015	236883	REPAIR OF IRRIGATION CONTROLLERS	
		06/22/2015	236876	LIGHTING RETROFIT-VARIOUS ZONES	
		06/22/2015	236885	LANDSCAPE LIGHTING MAINT-MAY15	
Remit to: RIVERSIDE, CA					FYTD: \$14,566.58
LI, GUANG	225315	06/08/2015	R15-083176	AS REFUND-RABIES & S/N DEPOSITS	\$95.00
Remit to: TEMPLE CITY, CA					FYTD: \$95.00
LIEBERT, CASSIDY, WHITMORE	225276	06/08/2015	1403527	LEGAL SVCS-MO140-00013	\$3,359.36
		06/08/2015	6/11/15 WORKSHOP	TRAINING FEES FOR 4 ATTENDEES	

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LIEBERT, CASSIDY, WHITMORE	225276	06/08/2015	1403528	LEGAL SVCS-MO140-00015	\$3,359.36
		06/08/2015	1403526	LEGAL SVCS-MO140-00001	
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$224,696.58
LOPEZ, MICHAEL ALAN	225444	06/22/2015	655	BAND PERFORMANCE-JULY 4TH 2015 FESTIVAL	\$1,200.00
Remit to: YUCAIPA, CA					<u>FYTD:</u> \$1,200.00
LOZANO SMITH, LLP	225351	06/15/2015	34530	LEGAL SERVICES- WLC DEVELOPMENT AGREEMENT	\$4,627.07
		06/15/2015	34529	GENERAL LEGAL MATTERS	
Remit to: FRESNO, CA					<u>FYTD:</u> \$15,248.59
LUMPKIN, KENDRA	225316	06/08/2015	1246988	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
LUNA, ISMAEL	225317	06/08/2015	1246967	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
MAGANLAL, ANKEETH	225454	06/22/2015	R15-086823	AS REFUND-RETURN ADOPTION	\$15.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$15.00
MAGNUM BREEZE II, INC/WOODCREST VEH CTR	15339	06/29/2015	15432	WELDING OF LIDAR HOLDER FOR PD	\$60.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$60.00
MANDELL MUNICIPAL COUNSELING	225277	06/08/2015	APR 2015	LEGAL SERVICES RE: CSD TRANSITIONS PROJECT	\$1,050.00
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$17,275.00

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MARCH JOINT POWERS AUTHORITY	225278	06/08/2015	0035257	GAS CHARGES-MFPCC BLDG. 823-MAR15	\$6.63
		06/08/2015	0035272	GAS CHARGES-BLDG. 938-MAR15	
	225488	06/29/2015	0035322	GAS CHARGES-MFPCC BLDG. 823-APR15	\$9,772.84
		06/29/2015	35299	CONSULTANT - HEACOCK CHANNEL	
		06/29/2015	0035326	GAS CHARGES-BLDG. 938-APR15	
Remit to: RIVERSIDE, CA					FYTD: \$166,598.70
MARCOTTE, MICHAEL	225523	06/29/2015	R15-087138	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$19.00
Remit to: MORENO VALLEY, CA					FYTD: \$19.00
MARIPOSA HORTICULTURAL ENTERPRISES, INC.	15113	06/01/2015	68485	LANDSCAPE MAINT.-SD LMD ZN 02 ADDITIONAL WORK-APR 2015	\$4,305.24
		06/01/2015	68484	LANDSCAPE MAINT.-ZONE D ADDITIONAL WORK-APR 2015	
	15340	06/29/2015	68971	LANDSCAPE MAINT.-UTILITY FIELD OFFICE-MAY15	\$11,739.00
		06/29/2015	68965	LANDSCAPE MAINT.-CITY YARD-MAY15	
		06/29/2015	68955	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY/BAY AVE. TO GRAHAM-MAY15	
		06/29/2015	68957	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY/VANDENBERG TO FAY-MAY15	
		06/29/2015	68970	LANDSCAPE MAINT.-SENIOR CENTER-MAY15	
		06/29/2015	68960	LANDSCAPE MAINT.-SOUTH AQUEDUCT A-MAY15	
		06/29/2015	68954	LANDSCAPE MAINT.-TOWNGATE AQUEDUCT BIKEWAY-MAY15	
		06/29/2015	68961	LANDSCAPE MAINT.-SOUTH AQUEDUCT B-MAY15	
		06/29/2015	68958	LANDSCAPE MAINT.-NORTH AQUEDUCT-MAY15	
		06/29/2015	68962	LANDSCAPE MAINT.-SCE & OLD LAKE DRIVE-MAY15	

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MARIPOSA HORTICULTURAL ENTERPRISES, INC.	15340	06/29/2015	68963	LANDSCAPE MAINT.-ANIMAL SHELTER-MAY15	\$11,739.00
		06/29/2015	67798	LANDSCAPE MAINT. EXTRA WORK-SPRINKLERS BROKEN DUE TO VANDALISM	
		06/29/2015	68953	LANDSCAPE MAINT.-TOWNGATE COMM. CTR.-MAY15	
		06/29/2015	68956	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY-DELPHINIUM/PERHAM TO JFK-MAY15	
		06/29/2015	68964	LANDSCAPE MAINT.-ASES ADMIN. BLDG.-MAY15	
		06/29/2015	67469	LANDSCAPE MAINT. EXTRA WORK-INSTALL PLANTS AT ELECTR. SUBSTATION	
		06/29/2015	68967	LANDSCAPE MAINT.-ELECTRIC SUBSTATION-MAY15	
		06/29/2015	68966	LANDSCAPE MAINT.-CRC-MAY15	
		06/29/2015	68959	LANDSCAPE MAINT.-PAN AM SECTION AQUEDUCT-MAY15	
		06/29/2015	68453	LANDSCAPE MAINT.-ELECTRIC SUBSTATION-APR15	
Remit to: IRWINDALE, CA					<u>FYTD:</u> \$632,064.71
MAYO, WADE	225524	06/29/2015	7011918-08	SOLAR INCENTIVE REBATE	\$13,838.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$13,838.00
MCKINNEY, BROOKE	225376	06/15/2015	REIMB. 6/15/15	REIMBURSE HOTEL, MEALS, & TRANSP/PARKING COSTS DURING GFOA CONF.	\$1,094.59
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$1,353.04
MCLAIN, PATRICK	225455	06/22/2015	R15-085305	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: TEMECULA, CA					<u>FYTD:</u> \$75.00
MEADE, AMANDA	225456	06/22/2015	R15-083438,436	AS REFUND-S/N AND RABIES DEPOSITS	\$95.00

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
MEARS, AMINAH	225352	06/15/2015	SPRING 2015	TUITION REIMBURSEMENT	\$180.00
Remit to: FONTANA, CA					<u>FYTD:</u> \$3,315.09
MEDITERRANEAN AT TOWNGATE	225525	06/29/2015	BL#29534-YR2015	REFUND OF OVERPAYMENT FOR BL#29534	\$1,196.62
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,196.62
MEEKS, DANIEL	15224	06/15/2015	053115	SPORTS OFFICIATING SERVICES-SOFTBALL	\$105.00
		06/15/2015	051715	SPORTS OFFICIATING SERVICES-SOFTBALL	
	15341	06/29/2015	061815	SPORTS OFFICIATING SERVICES-SOFTBALL	\$105.00
		06/29/2015	052115	SPORTS OFFICIATING SERVICES-SOFTBALL	
Remit to: PERRIS, CA					<u>FYTD:</u> \$3,654.00
MENGISTU, YESHIALEM	15225	06/15/2015	5/1-5/29/15	MILEAGE REIMBURSEMENT	\$221.38
	15287	06/22/2015	6/1-6/12/15	MILEAGE REIMBURSEMENT	\$103.50
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,720.16
MERCHANTS LANDSCAPE SERVICES INC	15114	06/01/2015	45351	INSTALL COVER MULCH TO BARE AREAS IN SD LMD ZN 07	\$3,000.00
	15157	06/08/2015	44904	LANDSCAPE MAINT.-SD LMD ZN 03 & 03A-FEB15	\$23,310.34
		06/08/2015	44903	LANDSCAPE MAINT.-ZONES E-8, SD LMD ZN 05, 06, & 07-FEB15	
		06/08/2015	45095	IRRIGATION REPAIRS-SD LMD ZN 06-FEB15	
		06/08/2015	45096	IRRIGATION REPAIRS-SD LMD ZN 03-FEB15	
	15288	06/22/2015	45563	LANDSCAPE MAINT.-SD LMD ZN 03 & 03A-MAY15	\$22,081.70
		06/22/2015	45715	REPLACE BROKEN SPRINKLERS-SD LMD ZN 03 TRACK # 3 & 5-MAY 2015	

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MERCHANTS LANDSCAPE SERVICES INC	15288	06/22/2015	45562	LANDSCAPE MAINT.-ZONES E-8, SD LMD ZN 05, 06, & 07-MAY15	\$22,081.70
		06/22/2015	45714	IRRIGATION REPAIRS-SD LMD ZN 03 & 03A-MAY 2015	
Remit to: MONTEREY PARK, CA					<u>FYTD:</u> \$361,314.59
MEYERS, ROBERT	15289	06/22/2015	JUN-2015	INSTRUCTOR SERVICES-PHOTOGRAPHY CLASS	\$63.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$544.00
MILAU, MICHAEL	225526	06/29/2015	R15-087039	AS REFUND-OVERPMT ON LICENSE RENEWAL	\$7.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$7.00
MILLER, CINDY A.	225507	06/29/2015	07042015	REIMBURSEMENT FOR 4TH OF JULY PARADE CANDY FOR COUNCIL MEMBERS	\$1,290.67
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,485.85
MILTON, JOI	225318	06/08/2015	R15-086058	AS REFUND-OVERPMT ON LICENSE	\$19.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$19.00
MOHAWK RESOURCES, LTD	15158	06/08/2015	T34432	PURCHASE/INSTALLATION OF TP-16 4HP VEHICLE HOIST FOR FLEET SHOP	\$18,201.41
Remit to: AMSTERDAM, NY					<u>FYTD:</u> \$68,206.22
MONTGOMERY PLUMBING INC	225222	06/01/2015	052415	INSTALLATION OF BACKFLOW CAGE & CONCRETE PAD AT EOC	\$11,924.50
		06/01/2015	052515	INSTALLATION OF BACKFLOW CAGE & CONCRETE PAD AT CITY HALL	
		06/01/2015	052015	SINK INSTALLATION-ANNEX 1 TS WAREHOUSE	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$68,687.00

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MORA, MALISA	225394	06/15/2015	1245070	REFUND FOR CANCELLED SPANISH CALSS	\$38.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$38.00
MORENO VALLEY BOWL	225223	06/01/2015	MAY-2015	INSTRUCTOR SERVICES-BOWLING CLASS (BUMPER) FOR YOUTH	\$360.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$920.00
MORENO VALLEY CHAMBER OF COMMERCE	225224	06/01/2015	4627	WAKE-UP MEETING ATTENDANCE-4/22/15	\$150.00
	225426	06/22/2015	4666	WAKE-UP MEETING ATTENDANCE-5/27/15	\$105.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$12,345.00
MORENO VALLEY CITY EMPLOYEES ASSOC.	15193	06/12/2015	2015-00000468	8710 - MVCEA EMPLOYEE DUES	\$1,238.00
	15314	06/26/2015	2015-00000486	8710 - MVCEA EMPLOYEE DUES	\$1,238.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$32,584.50
MORENO VALLEY FOLKLORICO ASSOCIATION	225395	06/15/2015	1237447	CRC RENTAL REFUND DEPOSIT	\$500.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$500.00
MORENO VALLEY HISPANIC CHAMBER OF COMMER	225225	06/01/2015	5/5/15 ADELANTE	ADELANTE MEETING ATTENDANCE	\$60.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$2,380.00
MORENO VALLEY MANAGEMENT ASSOCIATION	15115	06/01/2015	2015-00000439	8705 - MVMA EMPLOYEE DUES	\$660.00
	15226	06/15/2015	2015-00000458	8705 - MVMA EMPLOYEE DUES	\$660.00
	15342	06/29/2015	2015-00000476	8705 - MVMA EMPLOYEE DUES*	\$670.00

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Remit to: MORENO VALLEY, CA					FYTD: \$17,050.00
MORENO VALLEY NOON ROTARY	225396	06/15/2015	1249735	CRC RENTAL REFUND DEPOSIT	\$500.00
Remit to: MORENO VALLEY, CA					FYTD: \$500.00
MORENO VALLEY UNIFIED SCHOOL DISTRICT	225527	06/29/2015	RE: CK 16154558	RETURN OF SECURITY DEPOSIT FOR RENTAL OF MOBILE STAGE ON 6/9/15	\$100.00
Remit to: MORENO VALLEY, CA					FYTD: \$100.00
MORENO, DIANA	225508	06/29/2015	7/6-7/10/15	TRAVEL PER DIEM-BASIC CPTED TRAINING COURSE	\$319.50
Remit to: MORENO VALLEY, CA					FYTD: \$319.50
MUNICIPAL HOUSING SOLUTIONS	15159	06/08/2015	MHS-04	CONSULTINGS SERVICES TO REVIEW AFFORDABLE HOUSING PROGRAMS	\$7,492.50
	15343	06/29/2015	MHS-05	CONSULTING SERVICES TO REVIEW AFFORDABLE HOUSING PROGRAMS	\$4,537.50
Remit to: AZUSA, CA					FYTD: \$33,380.00
NAMEKATA, DOUGLAS	225489	06/29/2015	JUN-2015	INSTRUCTOR SERVICES- SHITO-RYU KARATE CLASSES	\$228.40
Remit to: RIVERSIDE, CA					FYTD: \$3,114.60
NAMEKATA, JAMES	225490	06/29/2015	JUN-2015	INSTRUCTOR SERVICES- SHITO-RYU KARATE CLASSES	\$228.40
Remit to: RIVERSIDE, CA					FYTD: \$2,839.40
NATIONWIDE RETIREMENT SOLUTIONS CP	15194	06/12/2015	2015-00000469	8020 - DEF COMP PST - NATIONWIDE	\$2,461.66
	15315	06/26/2015	2015-00000487	8020 - DEF COMP PST - NATIONWIDE	\$2,702.11
Remit to: COLUMBUS, OH					FYTD: \$854,621.97

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NATURE'S IMAGE, INC.	225427	06/22/2015	15-02-351	DETENTION BASIN MAINTENANCE SERVICES	\$7,962.67
Remit to: LAKE FOREST, CA					<u>FYTD:</u> \$27,869.34
NEGRETE, TERESA	225528	06/29/2015	1256949	REFUND DID NOT ATTEND CLASS	\$37.60
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$37.60
NEW WORLD SYSTEMS, CORP	15116	06/01/2015	042803	LOGOS 2015 CONFERENCE-BILLING FOR ADDTL. NIGHT'S LODGING	\$675.00
	15227	06/15/2015	042724	NWS ESCROW ACCOUNT ANNUAL ADMIN. FEE	\$1,214.00
Remit to: TROY, MI					<u>FYTD:</u> \$173,272.49
NEXUS IS, INC.	15228	06/15/2015	JC656209	IP TELEPHONES PURCHASE	\$4,866.24
Remit to: VALENCIA, CA					<u>FYTD:</u> \$47,175.69
NGUYEN, QUANG	15344	06/29/2015	MAR-MAY 2015	MILEAGE REIMBURSEMENT	\$195.50
Remit to: BUENA PARK, CA					<u>FYTD:</u> \$976.95
NIELSEN LLC, CLARITAS	225428	06/22/2015	2330544	SITEREPORTS.COM LICENSE-RENEWAL FOR TERM 5/26/15- 5/25/16	\$1,095.00
Remit to: CHARLOTTE, NC					<u>FYTD:</u> \$1,095.00
NORMAN, ALTON	225457	06/22/2015	1254527	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
NUNEX, ELVIA	225397	06/15/2015	1246612	REFUND FOR RENTAL	\$300.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$300.00
OFFICE DEPOT #627	225319	06/08/2015	ACCT 03345	OVERPAYMENT FOR FALSE ALARM	\$170.80

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Remit to: BOCA RATON , FL					FYTD: \$170.80
ORROCK, POPKA, FORTINO & BRISLIN	15345	06/29/2015	90-037M STMT 26	LEGAL DEFENSE COSTS-O. RODRIGUEZ V. CITY CASE	\$17,367.24
		06/29/2015	90-042M STMT 3	LEGAL DEFENSE COSTS-L. SPARKS V. CITY CASE	
		06/29/2015	90-041M STMT 15	LEGAL DEFENSE COSTS-M. DAVIS V. CITY CASE	
		06/29/2015	90-042M STMT 2	LEGAL DEFENSE COSTS-L. SPARKS V. CITY CASE	
		06/29/2015	90-037M STMT 25	LEGAL DEFENSE COSTS-O. RODRIGUEZ V. CITY CASE	
		06/29/2015	90-041M STMT 16	LEGAL DEFENSE COSTS-M. DAVIS V. CITY CASE	
Remit to: RIVERSIDE, CA					FYTD: \$133,886.66
OTWELL-WATSON, DIANA	225320	06/08/2015	R15-086215	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					FYTD: \$75.00
OUTDOOR CREATIONS, INC	225226	06/01/2015	4855	CONCRETE BENCH & TRASH CANS FOR LASSELLE SPORTS PARK	\$4,914.00
Remit to: ROUND MOUNTAIN, CA					FYTD: \$14,850.00
OVERLAND PACIFIC & CUTLER, INC.	15161	06/08/2015	1504054	CONSULTANT - NASON/CACTUS TO FIR	\$4,200.00
	15290	06/22/2015	1505120	CONSULTING - NASON CACTUS TO FIR	\$3,255.00
Remit to: LONG BEACH, CA					FYTD: \$47,337.50
PACIFIC ALARM SERVICE, INC	15162	06/08/2015	R 112338	BURGLAR ALARM SYSTEM RENT/SVC/MONITORING-MVU SUBSTATION-JUN15	\$244.00
Remit to: BEAUMONT, CA					FYTD: \$2,928.00
PACIFIC DEVELOPMENT VENTURES, LLC	225398	06/15/2015	CK#54767	REFUND-EMWD PLAN CK FEES PAID BY APPLICANT-LASSELLE SPORTS PRK	\$3,426.69

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: COSTA MESA, CA					<u>FYTD:</u> \$3,426.69
PACIFIC ENERGY ADVISORS, INC	15163	06/08/2015	PEA-MVU-05-2015	CONSULTING SERVICES RE: MVU 10-YEAR RESOURCE PLAN	\$1,505.00
Remit to: EL DORADO HILLS, CA					<u>FYTD:</u> \$46,016.00
PAINTING BY ZEB BODE	15346	06/29/2015	062415	REFURBISH/PAINT WALLS OF FUTURE YOC RENTAL SPACE AT THE CRC	\$8,355.00
Remit to: NORCO, CA					<u>FYTD:</u> \$49,022.79
PARKS, MELINDA	225529	06/29/2015	R15-087075	AS REFUND-RABIES DEPOSIT	\$20.00
Remit to: LA QUINTA, CA					<u>FYTD:</u> \$20.00
PARSONS BRINCKERHOFF, INC	15117	06/01/2015	590634	CONSULTANT - PERRIS WIDENING/IRONWOOD TO MANZANITA	\$24,000.00
Remit to: SAN BERNARDINO, CA					<u>FYTD:</u> \$422,013.33
PARTNERS IN DIVERSITY, INC.	15164	06/08/2015	21290	TEMP SERVICES - TRANSPORTATION	\$1,429.68
		06/08/2015	21249	TEMP SERVICES - TRANSPORTATION INFRASTRUCTURE	
	15291	06/22/2015	21378	TEMP SERVICES - TRANSPORTATION INFRASTRUCTURE	\$1,366.89
		06/22/2015	21336	TEMP SERVICES - TRANSPORTATION INFRASTRUCTURE	
Remit to: MINNEAPOLIS, MN					<u>FYTD:</u> \$25,240.56
PAYAN, NORMA	225399	06/15/2015	1252455	REFUND FOR RENTAL DEPOSIT FOR CONTRACT 27110	\$300.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$300.00
PERCEPTIVE ENTERPRISES, INC.	15292	06/22/2015	MVL-18	CONSULTANT - CAPITAL PROJECTS INFRASTRUCTURE	\$4,777.50
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$19,162.50

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PEREZ JR, HOMERO	225458	06/22/2015	R15-085184	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$75.00
PEREZ, RAINA	225321	06/08/2015	1246983	TOWNGATE RENTAL REFUND DEPOSIT MINUS BALANCE DUE	\$175.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$175.00
PERFORMANCE CONCRETE	225252	06/01/2015	BL#14266-YR2015	REFUND OF OVERPAYMENT FOR BL#14266	\$75.00
Remit to: PLACENTIA, CA					<u>FYTD:</u> \$75.00
PERMA	15230	06/15/2015	MV1344	REIMBURSEMENT-DAVIS MEDIATION FEE	\$700.00
Remit to: PALM DESERT, CA					<u>FYTD:</u> \$987,460.61
PERRIS VALLEY PRINTING CO.	15293	06/22/2015	12200	SERVICE/REPAIR REQUEST FORMS FOR FLEET SHOP	\$106.92
Remit to: HOMELAND, CA					<u>FYTD:</u> \$829.98
PERS LONG TERM CARE PROGRAM	225227	06/01/2015	2015-00000440	4720 - PERS LONG TERM CARE	\$446.65
	225355	06/15/2015	2015-00000459	4720 - PERS LONG TERM CARE	\$446.65
	225491	06/29/2015	2015-00000477	4720 - PERS LONG TERM CARE	\$446.65
Remit to: PASADENA, CA					<u>FYTD:</u> \$11,720.72
PERS RETIREMENT	15186	06/05/2015	P150508a	PERS RETIREMENT - CLASSIC FINAL	\$3,994.84
	15187	06/05/2015	P150508b	PERS RETIREMENT - PEPRA FINAL	\$8,353.85
	15189	06/05/2015	P150522P	PERS RETIREMENT	\$11,748.40
	15250	06/19/2015	P150522a	PERS RETIREMENT - CLASSIC FINAL	\$4,566.11
	15251	06/19/2015	P150522b	PERS RETIREMENT - PEPRA FINAL	\$8,334.81
	15253	06/19/2015	P150605P	PERS RETIREMENT DEPOSIT - PEPRA	\$11,840.70

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Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$6,160,703.71
PETTY CASH - FINANCE	225509	06/29/2015	MAY 2015	PETTY CASH FUND REPLENISHMENT	\$218.24
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$9,326.28
PETTY CASH -PARKS & RECREATION	225510	06/29/2015	JULY 4, 2015	START UP CHANGE FOR JULY 4TH FESTIVAL ENTRY BOOTHS	\$5,000.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$5,257.57
PIERCE , RODRIGUEZ	225459	06/22/2015	R15-083138	AS REFUND-RABIES DEPOSIT	\$20.00
Remit to: MURRIETA, CA					<u>FYTD:</u> \$20.00
PIONEER CREDIT RECOVERY, INC	225228	06/01/2015	2015-00000441	1015 - GARNISHMENT - CREDITOR %	\$223.92
	225356	06/15/2015	2015-00000460	1015 - GARNISHMENT - CREDITOR %	\$223.79
	225492	06/29/2015	2015-00000478	1015 - GARNISHMENT - CREDITOR %	\$223.92
Remit to: ARCADE, NY					<u>FYTD:</u> \$5,370.17
PIP PRINTING	15294	06/22/2015	55923	ICSC LV 2015 FLYERS/MV COLLATERAL COPIES	\$2,584.44
		06/22/2015	55977	PRINTING - CIP 15/16 BUDGET	
	15347	06/29/2015	55989	PRINTING SERVICES-PROMO COLORING BOOK COVER/SHEETS FOR FIRE DEPT	\$3,644.55
		06/29/2015	55990	PRINTING - CIP BUDGET	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$9,093.85
PITASSI ARCHITECTS, INC	15118	06/01/2015	13738	CONSULTANT - CORPORATE YARD	\$5,128.05
Remit to: RANCHO CUCAMONGA, CA					<u>FYTD:</u> \$23,371.34

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PLUMMER, TED	225511	06/29/2015	651	PORTABLE SOUND SYSTEMS FOR JULY 4TH PARADE	\$650.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$650.00
PORSCHE PRODUCTIONS, INC	225512	06/29/2015	656	BAND PERFORMANCE FOR JULY 4TH, 2015 AT MT. VIEW MIDDLE SCHOOL	\$1,200.00
Remit to: CHATSWORTH, CA					<u>FYTD:</u> \$2,200.00
POSITIVE YOUNG PEOPLE, INC.	225279	06/08/2015	FEB 2015	CDBG REIMBURSEMENT	\$411.67
		06/08/2015	DEC 2014	CDBG REIMBURSEMENT	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$3,767.22
PROFESSIONAL COMMUNICATIONS NETWORK PCN	225429	06/22/2015	150600532	LIVE ANSWERING SERVICE FOR TOW PROGRAM	\$507.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$7,165.50
PRUITT, CHERYL	15165	06/08/2015	MAY-2015	INSTRUCTOR SERVICES-COMPUTERS FOR BEGINNERS CLASS	\$270.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$602.40
PSOMAS	225229	06/01/2015	106717	CONSULTANT - HEACOCK/SAN MICHELE	\$450.00
	225357	06/15/2015	106924	CONSULTANT - ALESSANDRO/ELSWORTH	\$7,693.05
	225493	06/29/2015	107647	CONSULTANT - ALESSANDRO/ELSWORTH IS	\$2,917.49
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$125,362.14
RAMOS, ROBERTO	15349	06/29/2015	JUN-2015	INSTRUCTOR SERVICES-KINDER KARATE & TAE KWON DO CLASSES	\$751.52
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$6,682.32

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RASMUSSEN BROTHERS CONSTRUCTION	225358	06/15/2015	3-Retention	RETENTION - TRANSPORTATION MGMT CENTER	\$7,048.05
Remit to: FALLBROOK, CA					<u>FYTD:</u> \$163,011.00
RAVENS BASEBALL BOOSTERS	225322	06/08/2015	1246964	REFUND FOR GUARD SERVICES	\$60.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$60.00
RECONCILED TERMITE AND PEST CONTROL	225400	06/15/2015	BL#29487-YR2015	REFUND OF OVERPAYMENT FOR BL#29487	\$102.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$102.00
REGALADO, BLANCA E	15120	06/01/2015	MAY-2015	INSTRUCTOR SERVICES-FOLKLORIC DANCE ADULT & YOUTH CLASSES	\$417.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$3,387.00
REPUBLIC MASTER CHEFS TEXTILE RENTAL SERVICE	15166	06/08/2015	S461748	LINENS FOR SPECIAL EVENTS AT CRC	\$101.58
		06/08/2015	11577441	LINENS RENTAL FOR CRC BANQUET ROOM	
	15231	06/15/2015	11589495	LINENS RENTAL FOR CRC BANQUET ROOM	\$95.13
		06/15/2015	11584289	LINENS RENTAL FOR CRC BANQUET ROOM	
		06/15/2015	S465050	LINENS FOR SPECIAL EVENTS AT CRC	
	15297	06/22/2015	11595507	LINENS RENTAL FOR CRC BANQUET ROOM	\$22.00
	15350	06/29/2015	11600701	LINENS RENTAL FOR CRC BANQUET ROOM	\$111.60
		06/29/2015	S468394	LINENS FOR SPECIAL EVENTS AT CRC	
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$2,720.59
RICHARDSONS RV CENTERS, INC.	225230	06/01/2015	561737	MAINT. & REPAIR FOR PD MOBILE COMMAND CTR.	\$3,960.71

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Remit to: MENIFEE, CA					<u>FYTD:</u> \$3,960.71
RICK ENGINEERING COMPANY	15167	06/08/2015	42821	CONSULTANT - PERRIS WIDENING	\$3,095.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$68,900.00
RIGHTWAY SITE SERVICES, INC.	225280	06/08/2015	73366	PORTABLE RESTROOM/SVC-COTTONWOOD GOLF COURSE	\$591.70
		06/08/2015	73368	PORTABLE RESTROOM/SVC-MARCH MIDDLE SCHOOL	
		06/08/2015	73367	PORTABLE RESTROOMS/SVC-EQUESTRIAN CENTER	
	225494	06/29/2015	76850	PORTABLE RESTROOM/SVC-PSB CAR WASH AREA	\$113.90
Remit to: LAKE ELSINORE, CA					<u>FYTD:</u> \$9,542.82
RITTER, DEIRDRE	225513	06/29/2015	7/6-7/10/15	TRAVEL PER DIEM-BASIC CPTED TRAINING COURSE	\$319.50
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$523.50
RIVERSIDE COMMUNITY COLLEGE DISTRICT	225530	06/29/2015	1257553	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
RIVERSIDE CONSTRUCTION COMPANY, INC	15249	06/17/2015	W150603	RETENTION PAYABLE PER ESCROW AGREEMENT-INV# 150301	\$875.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$880,977.28
RIVERSIDE COUNTY DEPARTMENT OF HEALTH	225359	06/15/2015	IN0229126	HEALTH PERMIT FOR GRAND VALLEY BALLROOM THRU 6/30/16	\$958.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,547.00
RIVERSIDE COUNTY ECONOMIC DEV'T. AGENCY	225430	06/22/2015	2015-COMV	REGISTRATION-SPONSORSHIP-RIV CTY COLLEGE OF FOREIGN TRADE 2015	\$250.00

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Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,350.00
RIVERSIDE COUNTY FIRE DEPARTMENT	225231	06/01/2015	20150319	PERSONNEL SERVICES PROVIDED FOR MCI DRILL	\$165.80
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$165.80
RIVERSIDE COUNTY INFORMATION TECHNOLOGY (RCIT)	225281	06/08/2015	9990170000-1504	VPN CONNECTION FOR CODE ENFORCEMENT STAFF-APR15	\$28.98
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$3,054.06
RIVERSIDE COUNTY REGIONAL PARKS & OPEN-SPACE DIST.	225495	06/29/2015	06242015	FIELD TRIP FOR A CHILD'S PLACE	\$280.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$506.99
RIVERSIDE COUNTY SHERIFF CIVIL DIVISION-WEST	225232	06/01/2015	2015-00000442	1015 - GARNISHMENT - CREDITOR %	\$142.38
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$7,243.31
RMA GROUP	225233	06/01/2015	48436	CONSULTANT - CORPORATE YARD	\$10,537.50
	225431	06/22/2015	48729	CONSULTANT - CORP YARD	\$6,737.00
Remit to: RANCHO CUCAMONGA, CA					<u>FYTD:</u> \$17,274.50
ROJAS, ISA G.	225282	06/08/2015	1/22-5/7/15	MILEAGE REIMBURSEMENT FOR MEETINGS/TRAINING	\$227.07
Remit to: BREAA, CA					<u>FYTD:</u> \$227.07
ROLLICE, JENNIFER	225460	06/22/2015	1254532	TOWNGATE RENTAL REFUND DEPOSIT	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00

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ROMAN TINT, INC	225234	06/01/2015	1724	REPAIR OF WINDOW SHADES AT CRC IN GVBR	\$590.00
Remit to: RIALTO, CA					<u>FYTD:</u> \$1,608.00
ROSENOW SPEVACEK GROUP (RSG, INC.)	225283	06/08/2015	I000355	ELIGIBILITY/DOCUMENT REVIEW-12902 ROBERTS WAY (CORDERO)	\$8,529.93
		06/08/2015	I000350	ELIGIBILITY/DOCUMENT REVIEW-12919 ROBERTS WAY (NAJAR)	
		06/08/2015	I000352	ELIGIBILITY/DOCUMENT REVIEW-12914 ROBERTS WAY (HIDEY)	
		06/08/2015	I000348	ELIGIBILITY/DOCUMENT REVIEW-12923 ROBERTS WAY (DELACRUZ)	
		06/08/2015	I000349	ELIGIBILITY/DOCUMENT REVIEW-12907 ROBERTS WAY (PORTELLES)	
		06/08/2015	I000351	ELIGIBILITY/DOCUMENT REVIEW-12911 ROBERTS WAY (CUEVAS)	
		06/08/2015	I000354	ELIGIBILITY/DOCUMENT REVIEW-12915 ROBERTS WAY (MENDOZA)	
		06/08/2015	I000344	CONSULTANT SERVICES-HABITAT ELIGIBILITY REVIEW	
		06/08/2015	I000353	ELIGIBILITY/DOCUMENT REVIEW-12913 ROBERTS WAY (KEROLOS)	
	225496	06/29/2015	I000419	CONSULTANT SERVICES-HABITAT ELIGIBILITY REVIEW	\$150.00
Remit to: SANTA ANA, CA					<u>FYTD:</u> \$13,092.43
ROW TRAFFIC SAFETY, INC	225432	06/22/2015	S.O. No. 481	TRAILER MOUNT SCORPION ATTENUATOR WITH ARROW BOARD	\$19,633.67
Remit to: SAN DIMAS, CA					<u>FYTD:</u> \$19,633.67
SANDOVAL, GINA	225401	06/15/2015	1244813	REFUND ON RENTAL DEPOSIT CONTRACT 26975	\$300.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$300.00
SANDOVAL, RENEE	225402	06/15/2015	R15-086475	AS REFUND-RETURN ADOPT,LIC,VACS,CHIP	\$82.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$82.00

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SCHIEFELBEIN, LORI C.	225284	06/08/2015	MAY 2015	CONSULTANT SERVICES-ROTATIONAL TOW PROGRAM	\$742.50
Remit to: BULLHEAD CITY, AZ					<u>FYTD:</u> \$10,628.75
SCOTT FAZEKAS & ASSOCIATES, INC	225235	06/01/2015	18130	PLAN CHECK SERVICES FOR BLDG. & SAFETY DEPT.-MAR 2015	\$4,846.04
	225360	06/15/2015	18167	PLAN CHECK SERVICES FOR BLDG. & SAFETY DEPT.-APR 2015	\$4,083.43
Remit to: IRVINE, CA					<u>FYTD:</u> \$52,766.41
SECTRAN SECURITY, INC	225236	06/01/2015	15050726 - PR	ARMORED TRANSPORT SERVICES-PARKS & COMM. SVCS.-MAY15	\$477.00
		06/01/2015	15050726 - CH	ARMORED TRANSPORT SERVICES-CITY HALL-MAY15	
		06/01/2015	15050726 - ENT	ARMORED TRANSPORT SERVICES-MV UTILITY-MAY15	
	225497	06/29/2015	15060726 - CH	ARMORED TRANSPORT SERVICES-CITY HALL-JUN15	\$477.00
		06/29/2015	15060726 - ENT	ARMORED TRANSPORT SERVICES-MV UTILITY-JUN15	
		06/29/2015	15060726 - PR	ARMORED TRANSPORT SERVICES-PARKS & COMM. SVCS.-JUN15	
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$6,361.89
SECURITY LOCK & KEY	15168	06/08/2015	27114	LOCK REPAIRS & PARTS FOR ELECTRICAL ROOM DOOR AT CRC	\$936.97
		06/08/2015	27122	LOCK REPAIRS & PARTS FOR D. FLOWERS' OFFICE AT CRC	
		06/08/2015	27164	LOCK REPAIRS & DUPLICATE KEYS-COTTONWOOD GOLF CTR.	
Remit to: YUCAIPA, CA					<u>FYTD:</u> \$9,121.78
SERRANO, ERIKA	225323	06/08/2015	R15-083432	AS REFUND-RABIES & S/N DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
SHEFFIELD FORECLOSURE RENOVATION	225498	06/29/2015	MV0266	FINAL REHABILITATION COSTS FOR PROPERTY AT 12669 GORHAM	\$7,623.67

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Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$271,659.63	
SHERIDAN , JESSICA	225253	06/01/2015	R15-083151	AS REFUND-RABIES DEPOSIT	\$20.00	
Remit to: TWENTYNINE PALMS, CA					<u>FYTD:</u> \$20.00	
SHERMAN, KIAHNA	225403	06/15/2015	R15-086222	AS REFUND-RABIES DEPOSIT	\$20.00	
Remit to: EAST HIGHLAND, CA					<u>FYTD:</u> \$20.00	
SHUBIN, KATHLEEN	15121	06/01/2015	5	PREPARATION OF 5/12/15 CITY COUNCIL MEETING MINUTES	\$427.50	
		06/01/2015	4	MINUTES TRAQ AND SPECIAL PROJECT TRAINING		
	15298	06/22/2015	6	SPECIAL PROJECT WORK (IMPORTING AGENDAS)	\$390.00	
		06/22/2015	7	TRANSCRIPTION OF 5/26/15 CITY COUNCIL MEETING MINUTES		
	15351	06/29/2015	10	TRANSCRIPTION OF 6/9/15 CITY COUNCIL MEETING MINUTES	\$1,935.00	
		06/29/2015	8	SPECIAL PROJECT WORK (UPLOADING AGENDAS)		
		06/29/2015	9	SPECIAL PROJECT WORK (RECREATING & UPLOADING AGENDAS)		
	Remit to: TEMECULA, CA					<u>FYTD:</u> \$3,241.35
	SIATECH CHARTER SCHOOL	225404	06/15/2015	1249733	CRC RENTAL REFUND DEPOSIT	\$500.00
Remit to: OCEANSIDE, CA					<u>FYTD:</u> \$500.00	
SIGNS BY TOMORROW	225361	06/15/2015	15608	PUBLIC HEARING SIGN UPDATE & SITE POSTING SERVICES	\$2,309.04	
		06/15/2015	15563	PUBLIC HEARING SIGN UPDATE & POSTING SERVICES		
		06/15/2015	15730	PUBLIC HEARING SIGNS & SITE POSTING SVCS.-WLC PROJECT		
Remit to: MURRIETA, CA					<u>FYTD:</u> \$5,230.72	
SINGER & COFFIN, APC	15233	06/15/2015	4445	LEGAL SERVICES - SR-60 MORENO BEACH PHASE 1	\$216.00	

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: IRVINE, CA					<u>FYTD:</u> \$107,415.41
SKY PUBLISHING	15299	06/22/2015	15_BMV_084	1/2 PAGE MAGAZINE AD-"BEST OF MV"-APR. 30-MAY 2 ISSUE	\$857.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$50,255.00
SMART ENERGY SOLAR, INC.	225531	06/29/2015	PERMIT B1501185	REFUND 80% PERMIT FEES-CANCELLED PROJECT/25345 MAROON CREEK CT	\$146.32
Remit to: CORONA, CA					<u>FYTD:</u> \$146.32
SNEAD, BETZE	225461	06/22/2015	R15-085888	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$75.00
SOCAL OFFICE TECHNOLOGIES, INC.	15300	06/22/2015	IN46296	COPIER-BILLABLE COLOR COPIES FOR PERIOD 1/1-3/31/15	\$13,824.48
		06/22/2015	IN462962	QUARTERLY COPIER COST PER COPY LEASE-4/1/15 TO 6/30/15	
Remit to: CYPRESS, CA					<u>FYTD:</u> \$55,440.86
SOCO GROUP, INC	15169	06/08/2015	0167878-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	\$12,987.67
		06/08/2015	0165297-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		06/08/2015	0168854-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		06/08/2015	0166355-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
	15301	06/22/2015	0173938-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	\$14,528.66
		06/22/2015	0170440-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		06/22/2015	0172440-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		06/22/2015	0171005-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		06/22/2015	172440C-CM	CREDIT FOR FUEL INVOICE 0172440-IN (INVOICE REVISED & RE-BILLED)	

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SOCO GROUP, INC	15301	06/22/2015	0175363-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	\$14,528.66
		06/22/2015	172440R-DM	FUEL FOR CITY VEHICLES & EQUIPMENT	
Remit to: PERRIS, CA					<u>FYTD:</u> \$313,925.81
SOCRATA INC.	225237	06/01/2015	2856	ANNUAL PAYMENT-OPEN DATA PORTAL & OPEN EXPEND. APPLICATION-YR2	\$12,555.00
Remit to: SEATTLE, WA					<u>FYTD:</u> \$25,110.00
SOLARCITY CORPORATION	225532	06/29/2015	PERMIT B1501452	REFUND 80% PLAN CK/100% PLANNING FEES-CANC. PROJ./13631 RAMSDELL	\$132.20
Remit to: SAN MATEO, CA					<u>FYTD:</u> \$132.20
SORIANO, JESSICA	225254	06/01/2015	R15-086004	AS REFUND-OVERCHARGE ON FOSTER	\$10.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$10.00
SOSA, HUGO	15122	06/01/2015	MAY-2015	INSTRUCTOR SERVICES-TRADITIONAL KARATEDO CLASS	\$270.00
		06/22/2015	JUN-2015	INSTRUCTOR SERVICES-TRADITIONAL KARATEDO CLASS	\$330.00
Remit to: RANCHO CUCAMONGA, CA					<u>FYTD:</u> \$5,040.00
SOUTH COAST AIR QUALITY MGMT DISTRICT	225285	06/08/2015	2831772	ANNUAL OPERATING FEES-CITY HALL GENERATOR	\$467.98
		06/08/2015	2832965	EMISSIONS FEES-CITY HALL GENERATOR	
	225286	06/08/2015	2836479	AQMD "HOT SPOTS" PROGRAM FEE-CRC (7/2014-6/2015)	\$241.68
		06/08/2015	2836437	AQMD "HOT SPOTS" PROGRAM FEE-FIRE ST #99 (7/2014-6/2015)	
	225433	06/22/2015	2832956	EMISSIONS FEES-CITY YARD FUEL EQUIPMENT	\$223.89
		06/22/2015	2831761	ANNUAL OPERATING FEES-LIQUID FUEL DISPENSING EQUIPMENT-CITY YARD	

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Remit to: DIAMOND BAR, CA					FYTD: \$6,419.87
SOUTHERN CALIFORNIA EDISON 1	225238	06/01/2015	MAY-15 6/1/15	ELECTRICITY	\$1,310.24
	225287	06/08/2015	MAY-15 6/8/15	ELECTRICITY	\$5,913.58
	225499	06/29/2015	JUN-15 6/29/15	ELECTRICITY	\$21,306.63
		06/29/2015	MAY-15 6/29/15	ELECTRICITY	
Remit to: ROSEMEAD, CA					FYTD: \$3,181,946.21
SOUTHERN CALIFORNIA GAS CO.	225435	06/22/2015	MAY-2015	GAS CHARGES	\$4,370.61
Remit to: MONTEREY PARK, CA					FYTD: \$66,507.35
SOUTHERN CALIFORNIA PUBLIC POWER AUTHORITY	15303	06/22/2015	0615	SHARED COST FOR SCPPA RESTRUCTURING-JUN15	\$12,191.56
		06/22/2015	007/009/010/0515	SHARED COST FOR SCPPA RESTRUCTURING-PAST DUE INVOICES	
Remit to: GLENDORA, CA					FYTD: \$228,231.31
SPARKLETTS	15123	06/01/2015	10050036 050215	BOTTLED WATER/SVC.-EOC/ERF	\$4.50
	15170	06/08/2015	7364551 052315	BOTTLED WATER/SVC.-SUNNYMEAD ELEMENTARY "A CHILD'S PLACE"	\$42.82
		06/08/2015	7387294 050715	BOTTLED WATER/SVC.-COTTONWOOD GOLF COURSE STAFF	
	15352	06/29/2015	7387294 060715	BOTTLED WATER/SVC.-COTTONWOOD GOLF COURSE STAFF	\$5.00
Remit to: DALLAS, TX					FYTD: \$1,753.32
SPRINT	15124	06/01/2015	417544340-102	CELLULAR PHONE SERVICE FOR PD GTF	\$32.47
	15171	06/08/2015	634235346-057	CELLULAR PHONE SERVICE FOR PD SET	\$90.76
Remit to: CAROL STREAM, IL					FYTD: \$5,214.05

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STANDARD INSURANCE CO	225289	06/08/2015	150601	SUPPLEMENTAL INSURANCE	\$1,238.29
Remit to: PORTLAND, OR					<u>FYTD:</u> \$323,575.16
STANLEY CONVERGENT SECURITY SOLUTNS, INC	15172	06/08/2015	12405783	ALARM SYSTEM MONITORING SERVICES-EOC/JUN15	\$354.17
		06/08/2015	12421929	ALARM SYSTEM MONITORING SERVICES-FIRE ST. #99/JUN15	
		06/08/2015	12392328	SECURITY SYSTEM MONITORING-SUNNYMEAD & BETHUNE PARKS SNACK BARS	
Remit to: PALATINE, IL					<u>FYTD:</u> \$32,352.37
STATE BOARD OF EQUALIZATION 1	15361	06/24/2015	061515	SALES & USE TAX REPORT FOR MAY 1-JUNE 15,2015	\$3,004.00
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$29,500.00
STATE DISBURSEMENT UNIT	15195	06/12/2015	2015-00000470	1005 - GARNISHMENT - CHILD SUPPORT*	\$2,491.78
	15316	06/26/2015	2015-00000488	1005 - GARNISHMENT - CHILD SUPPORT*	\$2,571.56
Remit to: WEST SACRAMENTO, CA					<u>FYTD:</u> \$60,566.97
STATE OF CALIFORNIA DEPT. OF JUSTICE	225239	06/01/2015	099877	LIVE SCAN FINGERPRINTING APP FOR PD-JAN15	\$2,678.00
		06/01/2015	096205	LIVE SCAN FINGERPRINTING APPS FOR PD-APR15	
	225436	06/22/2015	101471	LIVE SCAN FINGERPRINTING APPS FOR PD-MAY15	\$3,797.00
		06/22/2015	105194	BLOOD ALCOHOL ANALYSIS SERVICES FOR PD-MAY15	
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$49,734.00
STONE SOUL BAND	225377	06/15/2015	652	PAYMENT FOR CONCERT IN THE PARK-6/19/15	\$1,200.00
Remit to: VALLEY VILLAGE, CA					<u>FYTD:</u> \$1,200.00

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STRADLING, YOCCA, CARLSON & RAUTH	15353	06/29/2015	296657-0000	LEGAL SERVICES-SUCCESSOR AGENCY-MAR15	\$1,699.21
		06/29/2015	297413-0000	LEGAL SERVICES-SUCCESSOR AGENCY-APR15	
Remit to: NEWPORT BEACH, CA					<u>FYTD:</u> \$56,496.64
STUDIO 33 PRODUCTIONS	225240	06/01/2015	426 - DEPOSIT	DEPOSIT FOR STADIUM CONCERT SOUND SYSTEM FOR JULY 4, 2015 EVENT	\$7,217.50
		06/29/2015	426 - BALANCE	BALANCE DUE FOR STADIUM CONCERT SOUND SYSTEM FOR JULY 4TH EVENT	\$7,217.50
Remit to: COLTON, CA					<u>FYTD:</u> \$28,190.16
SULCER, MARLA	225533	06/29/2015	1253024	REFUND CLASS CANCELLED	\$42.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$42.00
SUNNYMEAD ACE HARDWARE	225290	06/08/2015	61653	MISC. SUPPLIES FOR FIRE STATION 65	\$92.69
		06/08/2015	61214	MISC. SUPPLIES FOR FIRE STATION 58	
		06/08/2015	61568	MISC. SUPPLIES FOR FIRE STATION 99	
		06/08/2015	61428	MISC. SUPPLIES FOR FIRE STATION 48	
	225363	06/15/2015	61791	MISC. SUPPLIES FOR PD	\$6.47
	225437	06/22/2015	61882	MISC. SUPPLIES FOR PD	\$65.97
	225500	06/29/2015	60277	MISC. SUPPLIES FOR FIRE STATION	\$118.31
		06/29/2015	60439	MISC. SUPPLIES FOR FIRE STATION	
		06/29/2015	61037	MISC. SUPPLIES FOR FIRE STATION	
			06/29/2015	59800	MISC. SUPPLIES FOR FIRE STATION
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$3,009.26
TARAR, RAB	225405	06/15/2015	7010014-02	SOLAR INCENTIVE REBATE	\$6,630.75

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$6,630.75
TELEMATE.NET SOFTWARE	225291	06/08/2015	73942	SERVER MOVE/SOFTWARE UPDATES AND REMOTE TRAINING SERVICES	\$1,800.00
Remit to: NORCROSS, GA					<u>FYTD:</u> \$1,800.00
THE ADVANTAGE GROUP/ FLEX ADVANTAGE	15126	06/01/2015	2015-00000443	4511 - FSA - MED CARE REIMB 2015*	\$4,293.25
	15234	06/15/2015	87147	MAY 2015 ADMINISTRATION FEES FOR HRA, FLEX & COBRA PROGRAMS	\$5,581.00
		06/15/2015	2015-00000461	4511 - FSA - MED CARE REIMB 2015*	
	15354	06/29/2015	2015-00000479	4511 - FSA - MED CARE REIMB 2015*	\$4,293.25
Remit to: TEMECULA, CA					<u>FYTD:</u> \$288,286.99
THE HDTV OUTLET IN MORENO VALLEY	225324	06/08/2015	BL#28315-YR2015	REFUND OF OVERPAYMENT FOR BL#28315	\$62.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$62.00
THERMAL COMBUSTION INNOVATORS	225293	06/08/2015	142645	BIOHAZARDOUS MEDICAL WASTE PICKUP FROM ANIMAL SHELTER-MAY15	\$72.58
Remit to: COLTON, CA					<u>FYTD:</u> \$903.51
THOMPSON COBURN LLP	15236	06/15/2015	3103095	LEGAL SERVICES FOR MVU RE: RELIABILITY STANDARD COMPLIANCE-APR15	\$530.32
		06/15/2015	3101808	LEGAL SERVICES FOR MVU RE: NERC COMPLIANCE-APR15	
Remit to: WASHINGTON, DC					<u>FYTD:</u> \$4,929.65
TIME WARNER CABLE	225438	06/22/2015	031518001 6/1/15	CABLE TV SERVICE FOR COTTONWOOD GOLF CENTER	\$63.76

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Remit to: PITTSBURGH, PA					<u>FYTD:</u> \$7,722.40
TORRES, YOCELIN	225534	06/29/2015	1256369 1256370	REFUND ON RENTAL DEPOSIT CONTRACT 27944	\$300.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$300.00
TOTALLY GO-GO'S	225378	06/15/2015	653	PAYMENT FOR CONCERT IN THE PARK-6/26/15	\$1,000.00
Remit to: CORONA, CA					<u>FYTD:</u> \$1,000.00
TR DESIGN GROUP, INC.	15237	06/15/2015	2201	CONSULTANT - FIRE STATION #48 REMODEL	\$3,150.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$16,516.26
TRAFFIC MANAGEMENT	225241	06/01/2015	234834	STOP SIGNS WITH BLINKING LED LIGHTS, BATTERY, ETC.	\$4,093.74
Remit to: SIGNAL HILL, CA					<u>FYTD:</u> \$4,093.74
TRANK, EMMA	225535	06/29/2015	R15-086356	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: CULVER CITY, CA					<u>FYTD:</u> \$75.00
TRICHE, TARA	15238	06/15/2015	JUN-2015	INSTRUCTOR SERVICES-DANCE CLASSES	\$2,331.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$25,896.15
TRUGREEN LANDCARE	15239	06/15/2015	7940989	LANDSCAPE MOWING-CFD #1-MAY15	\$11,854.53
		06/15/2015	7940987	LANDSCAPE MOWING-ZONE A PARKS-MAY15	
	15355	06/29/2015	7919536	INSTALL MEDIUM GRIND MULCH TO BARE PLANTER AREAS-SD LMD ZN 08	\$2,170.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$511,458.70
Trujillo, Stacy	225536	06/29/2015	7013039-02	SOLAR INCENTIVE REBATE	\$14,000.00

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Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$14,000.00
TUKES, JOSHUA	15240	06/15/2015	MAY-2015	INSTRUCTOR SERVICES-WATERCOLOR TECHNIQUE CLASS	\$120.00
	15306	06/22/2015	JUN-2015	INSTRUCTOR SERVICES-WATERCOLOR TECHNIQUE CLASS	\$192.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$792.00
TURF STAR, INC.	225294	06/08/2015	2288137-00	COTTONWOOD GOLF COURSE EQUIPMENT REPAIR PARTS/LABOR	\$902.67
Remit to: SAN FRANCISCO, CA					<u>FYTD:</u> \$5,943.62
TW TELECOM HOLDINGS, INC	15175	06/08/2015	07080945	TELECOM SVCS.-LOCAL/LONG DISTANCE CALLS	\$3,894.03
		06/08/2015	07080945a	INTERNET & DATA SERVICES	
Remit to: DENVER, CO					<u>FYTD:</u> \$42,483.87
TWINING LABORATORIES OF SO. CALIFORNIA	225439	06/22/2015	57177	CONSULTANT - PERRIS WIDENING	\$9,015.50
Remit to: LONG BEACH, CA					<u>FYTD:</u> \$79,267.00
TYSON, WILLIE JAMES SR.	225406	06/15/2015	1248361	REFUND ASKED TO LEAVE COURSE	\$48.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$48.00
U.S. HEALTHWORKS MEDICAL GROUP	15128	06/01/2015	2693647-CA	EMPLOYMENT DOT EXAM	\$81.00
	15241	06/15/2015	2703586-CA	PRE-EMPLOYMENT PHYSICAL EXAMS/EMPLOYEE DOT EXAM	\$1,234.00
		06/15/2015	2707188-CA	EMPLOYMENT DRUG TESTING SERVICES	
		06/15/2015	2710857-CA	PRE-EMPLOYMENT PHYSICAL EXAM	
Remit to: VALENCIA, CA					<u>FYTD:</u> \$3,033.48

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ULTRASERV AUTOMATED SERVICES, LLC	225295	06/08/2015	3590:023485	COFFEE SVC SUPPLIES-ANIMAL SHELTER	\$683.85
		06/08/2015	3590:022819	COFFEE SVC SUPPLIES-ANNEX 1	
		06/08/2015	3590:022824	COFFEE SVC SUPPLIES-CONFERENCE & REC. CTR.	
		06/08/2015	3590:021654	COFFEE SVC SUPPLIES-ANNEX 1	
Remit to: COSTA MESA, CA					<u>FYTD:</u> \$16,028.09
UNDERGROUND SERVICE ALERT	15177	06/08/2015	420150453 (d)	DIGALERT TICKETS SUBSCRIPTION SERVICE	\$324.00
		06/08/2015	420150453 (a)	DIGALERT TICKETS SUBSCRIPTION SERVICE	
		06/08/2015	420150453 (b)	DIGALERT TICKETS SUBSCRIPTION SERVICE	
		06/08/2015	420150453 (c)	DIGALERT TICKETS SUBSCRIPTION SERVICE	
Remit to: CORONA, CA					<u>FYTD:</u> \$4,128.00
UNITED POWER GENERATION, INC.	225296	06/08/2015	3993	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-FIRE ST. #91	\$6,525.00
		06/08/2015	3990	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-CITY YARD	
		06/08/2015	3988	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-FIRE ST. #2	
		06/08/2015	3989	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-FIRE ST. #65	
		06/08/2015	3992	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-CITY HALL	
		06/08/2015	3991	GENERATOR PREVENTATIVE MAINT./LOAD BANK TEST-FIRE ST. #99	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$7,022.00
UNITED ROTARY BRUSH CORP	15178	06/08/2015	284602	STREET SWEEPER BROOM KITS/RECONDITIONING	\$5,063.16
		06/08/2015	284730	STREET SWEEPER BROOM KITS/RECONDITIONING & REPAIR PARTS	

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UNITED ROTARY BRUSH CORP	15178	06/08/2015	284322	STREET SWEEPER BROOM KITS/RECONDITIONING	\$5,063.16
		06/08/2015	284432	STREET SWEEPER BROOM KITS/RECONDITIONING	
		06/08/2015	284520	STREET SWEEPER BROOM KITS/RECONDITIONING	
	15307	06/22/2015	285137	STREET SWEEPER BROOM KITS/RECONDITIONING	\$4,123.79
		06/22/2015	284817	STREET SWEEPER BROOM KITS/RECONDITIONING & REPAIR PARTS	
		06/22/2015	285008	STREET SWEEPER BROOM KITS/RECONDITIONING & REPAIR PARTS	
		06/22/2015	284921	STREET SWEEPER BROOM KITS/RECONDITIONING & REPAIR PARTS	
	06/22/2015	285233	STREET SWEEPER BROOM KITS/RECONDITIONING		
Remit to: KANSAS CITY, MO					FYTD: \$46,716.13
UNITED SITE SERVICES OF CA, INC.	15129	06/01/2015	114-2948201	FENCE RENTAL AT ANIMAL SHELTER	\$106.65
	15242	06/15/2015	114-2967598	EQUIPMENT RENTAL - FS #48	\$1,209.63
	15308	06/22/2015	114-3010131	CONTRACTOR - UNITED SITE SERVICES	\$322.58
	15356	06/29/2015	114-3034992	FENCE RENTAL AT ANIMAL SHELTER	\$106.65
Remit to: PHOENIX, AZ					FYTD: \$13,600.80
UNITED STATES TREASURY - 4	225242	06/01/2015	2015-00000444	1001 - GARNISHMENT - IRS TAX LEVY	\$238.93
	225364	06/15/2015	2015-00000462	1001 - GARNISHMENT - IRS TAX LEVY	\$618.72
	225501	06/29/2015	2015-00000480	1001 - GARNISHMENT - IRS TAX LEVY	\$275.01
Remit to: FRESNO, CA					FYTD: \$6,062.08
UNITED WAY OF INLAND VALLEYS	15130	06/01/2015	2015-00000445	8720 - UNITED WAY	\$22.50
	15243	06/15/2015	2015-00000463	8720 - UNITED WAY	\$22.50

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UNITED WAY OF INLAND VALLEYS	15357	06/29/2015	2015-00000481	8720 - UNITED WAY	\$22.50
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$6,575.50
URBAN FUTURES, INC.	225297	06/08/2015	CD0515-030	FY 2014-15 ANNUAL DISCLOSURE SVCS. FOR 2013 T.R.I.P. BONDS	\$750.00
Remit to: ORANGE, CA					<u>FYTD:</u> \$1,500.00
USA MOBILITY/ARCH WIRELESS	15309	06/22/2015	Y6218870F	PAGER SERVICE FOR ON-CALL TRAFFIC SIG. MAINT. STAFF	\$4.69
Remit to: SPRINGFIELD, VA					<u>FYTD:</u> \$73.23
USC DEPARTMENT OF PUBLIC SAFETY	225325	06/08/2015	REGISTRATION FEE	JULY 6-10 BASIC CPTED COURSE FOR D. MORENO, D. GOETZ & D. RITTER	\$1,485.00
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$1,485.00
VACATE TERMITES & PEST ELIMINATION COMPANY	15179	06/08/2015	57879	TERMITE FUMIGATION AT LIBRARY	\$8,155.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$24,330.00
VAL VERDE UNIFIED SCHOOL DISTRICT	225365	06/15/2015	I2550	ITEMS FOR ADULT SOFTBALL (WINNING TEAMS)	\$150.00
	225379	06/15/2015	I2183 (PARTIAL)	SHIRT PURCHASE	\$48.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$14,774.25
VALLEY CITIES GONZALES FENCE CO	15131	06/01/2015	4593	STEEL FENCE FOR CELEBRATION PARK WATER PLAY FACILITY	\$18,920.00
	15358	06/29/2015	4631	INSTALL NEW FENCE AT COTTONWOOD GOLF COURSE	\$2,320.00
Remit to: NORCO, CA					<u>FYTD:</u> \$155,468.63
VARIABLE SPEEDS SOLUTIONS INC	15180	06/08/2015	12333	LABOR TO TROUBLESHOOT PUMP MOTOR OVERLOAD TRIPPING-SD LMD ZN 04	\$210.00

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



**City of Moreno Valley
Payment Register
For Period 6/1/2015 through 6/30/2015**

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: HUNTINGTON BEACH, CA					FYTD: \$7,234.23
VEHICLE REGISTRATION COLLECTIONS	225243	06/01/2015	2015-00000446	1015 - GARNISHMENT - CREDITOR %*	\$100.95
	225366	06/15/2015	2015-00000464	1015 - GARNISHMENT - CREDITOR %	\$48.63
Remit to: RANCHO CORDOVA, CA					FYTD: \$1,595.05
VERIZON	225367	06/15/2015	EQN6913105-15148	BACKBONE COMMUNICATION CHARGES	\$593.22
Remit to: TRENTON, NJ					FYTD: \$7,034.07
VERIZON CALIFORNIA	225298	06/08/2015	1258220327MAY-15	FIOS SERVICES FOR FIRE STATION 99	\$120.20
	225502	06/29/2015	1258220327JUN-15	FIOS SERVICES FOR FIRE STATION 99	\$778.12
		06/29/2015	951 UH2-7052-JUN	PHONE CHARGES - ERC	
Remit to: DALLAS, TX					FYTD: \$9,297.42
VERIZON WIRELESS	225503	06/29/2015	9747160654	CELLULAR SERVICE FOR PD TRAFFIC TICKET WRITERS	\$162.60
Remit to: DALLAS, TX					FYTD: \$2,091.30
VICTOR MEDICAL CO	225244	06/01/2015	3758606	ANIMAL MEDICAL SUPPLIES/VACCINES	\$2,127.06
	225368	06/15/2015	3764231	ANIMAL MEDICAL SUPPLIES/VACCINES	\$2,737.80
Remit to: LAKE FOREST, CA					FYTD: \$31,070.16
VISION SERVICE PLAN	15181	06/08/2015	150601	EMPLOYEE VISION INSURANCE	\$3,921.35
Remit to: SAN FRANCISCO, CA					FYTD: \$47,871.15
VORTECH PHARMACEUTICALS, LTD	225369	06/15/2015	108719	EUTHANASIA DRUG-FATAL PLUS POWDER	\$3,200.73

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



City of Moreno Valley
Payment Register
For Period 6/1/2015 through 6/30/2015

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: DEARBORN, MI					FYTD: \$3,200.73
VOYA INSURANCE AND ANNUITY COMPANY	225245	06/01/2015	2015-00000447	8792 - VOYA (FORMERLY ING) - EMPLOYEE *	\$325.00
	225504	06/29/2015	2015-00000482	8792 - VOYA (FORMERLY ING) - EMPLOYEE *	\$325.00
Remit to: DES MOINES, IA					FYTD: \$3,875.00
VOYAGER FLEET SYSTEM, INC.	15182	06/08/2015	869336602522	FUEL CARD PURCHASES	\$1,493.36
	15244	06/15/2015	869211615522	FUEL FOR CITY VEHICLES & EQUIPMENT	\$2,721.36
Remit to: HOUSTON, TX					FYTD: \$35,056.56
VULCAN MATERIALS CO, INC.	15183	06/08/2015	70768181	ASPHALTIC MATERIALS	\$5,406.85
		06/08/2015	70744599	ASPHALTIC MATERIALS	
		06/08/2015	70764914	ASPHALTIC MATERIALS	
		06/08/2015	70763054	ASPHALTIC MATERIALS	
		06/08/2015	70759323	ASPHALTIC MATERIALS	
		06/08/2015	70759322	ASPHALTIC MATERIALS	
		06/08/2015	70768179	ASPHALTIC MATERIALS	
		06/08/2015	70755738	ASPHALTIC MATERIALS	
		06/08/2015	70751639	ASPHALTIC MATERIALS	
		06/08/2015	70768180	ASPHALTIC MATERIALS	
		06/08/2015	70759321	ASPHALTIC MATERIALS	
		06/08/2015	70768178	ASPHALTIC MATERIALS	
		06/08/2015	70744600	ASPHALTIC MATERIALS	
		06/08/2015	70751638	ASPHALTIC MATERIALS	
		06/08/2015	70741694	ASPHALTIC MATERIALS	

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City of Moreno Valley
Payment Register
 For Period 6/1/2015 through 6/30/2015

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
VULCAN MATERIALS CO, INC.	15183	06/08/2015	70737478	ASPHALTIC MATERIALS	\$5,406.85
		06/08/2015	70737477	ASPHALTIC MATERIALS	
		06/08/2015	70748828	ASPHALTIC MATERIALS	
		06/08/2015	70739540	ASPHALTIC MATERIALS	
		06/08/2015	70753842	ASPHALTIC MATERIALS	
	15245	06/15/2015	70777815	ASPHALTIC MATERIALS	\$4,163.15
		06/15/2015	70777814	ASPHALTIC MATERIALS	
		06/15/2015	70775446	ASPHALTIC MATERIALS	
		06/15/2015	70780898	ASPHALTIC MATERIALS	
		06/15/2015	70773700	ASPHALTIC MATERIALS	
Remit to: LOS ANGELES, CA					FYTD: \$42,614.58
WALGREEN CO. & SUBSIDIARIES	225326	06/08/2015	UTILITY REBATE	ENERGY EFFICIENCY REBATE/INCENTIVE PAYMENT	\$1,335.00
Remit to: DEERFIELD, IL					FYTD: \$1,335.00
WAYPOINT/GI VENTURE LLC	225327	06/08/2015	OVERPAYMENT	OVERPAYMENT	\$39.00
Remit to: OAKLAND, CA					FYTD: \$39.00
WELLS FARGO CORPORATE TRUST	15248	06/17/2015	W150602	2013 TRIP COPS AUTHORITY FEE F/Y2015	\$3,000.00
Remit to: MINNEAPOLIS, MN					FYTD: \$9,165,340.07
WEST COAST ARBORISTS, INC.	15184	06/08/2015	103144	TREE TRIMMING SERVICES-SD LMD ZN 02-HS	\$2,940.00
		06/08/2015	105689	TREE TRIMMING SERVICES-ZONE D	
Remit to: ANAHEIM, CA					FYTD: \$122,890.00

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



City of Moreno Valley
Payment Register
 For Period 6/1/2015 through 6/30/2015

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
WEST PAYMENT CENTER	225299	06/08/2015	831630761	LEGAL LIBRARY PUBLICATIONS UPDATES	\$1,068.00
		06/08/2015	831812468	LEGAL LIBRARY PUBLICATIONS UPDATES	
	225370	06/15/2015	831761003	AUTO TRACK SERVICES FOR PD INVESTIGATIONS-APR15	\$1,507.96
		06/15/2015	831940107	AUTO TRACK SERVICES FOR PD INVESTIGATIONS-MAY15	
Remit to: CAROL STREAM, IL					FYTD: \$16,858.20
WEST, KATHLEEN	225407	06/15/2015	R15-085779	AS REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: PERRIS, CA					FYTD: \$75.00
WESTERN MUNICIPAL WATER DISTRICT	225371	06/15/2015	23866-018292/MY5	WATER CHARGES-SKATE PARK	\$1,516.60
		06/15/2015	24753-018620/MY5	WATER CHARGES-MARB BALLFIELDS	
		06/15/2015	23821-018257/MY5	WATER CHARGES-MFPCC LANDSCAPE	
		06/15/2015	23821-018258/MY5	WATER CHARGES-MFPCC BLDG. 938	
Remit to: ARTESIA, CA					FYTD: \$34,500.68
WILCOX, CHRISTINA	225537	06/29/2015	R15-086918	AS REFUND-CAT ADOPTION RETURN	\$15.00
Remit to: HEMET, CA					FYTD: \$15.00
WILLDAN ENGINEERING	15132	06/01/2015	002-15424	PLAN CHECK & INSPECTION SVCS FOR BLDG. & SAFETY DEPT.	\$5,480.70
Remit to: ANAHEIM, CA					FYTD: \$265,121.13
WILLDAN FINANCIAL SERVICES	15246	06/15/2015	010-27502	2015 DIF STUDY SERVICES-MAR. 2015	\$6,638.00
		06/15/2015	010-27008	2015 DIF STUDY SERVICES-FEB. 2015	
	15310	06/22/2015	010-27500	CONSULTING SERVICES RE: CFD 2014-01 AMENDMENT MAPS	\$900.00
	15359	06/29/2015	010-27791	CONSULTING SERVICES RE: LMD 2014-02 ANNUAL ADMINISTRATION	\$7,800.00

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



City of Moreno Valley
Payment Register
 For Period 6/1/2015 through 6/30/2015

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
WILLDAN FINANCIAL SERVICES	15359	06/29/2015	010-27687	CONSULTING SERVICES RE: LMD 2014-01 ANNUAL ADMINISTRATION	\$7,800.00
Remit to: TEMECULA, CA					<u>FYTD:</u> \$57,338.00
WILLIS, ROBERT H	225372	06/15/2015	053115	SPORTS OFFICIATING SERVICES-SOFTBALL	\$105.00
		06/15/2015	051715	SPORTS OFFICIATING SERVICES-SOFTBALL	
	225505	06/29/2015	052115	SPORTS OFFICIATING SERVICES-SOFTBALL	\$42.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$3,591.00
WORLD TOWN	225408	06/15/2015	BL#18003-YR2015	REFUND OF OVERPAYMENT FOR BL#18003	\$31.31
Remit to: COLTON, CA					<u>FYTD:</u> \$31.31
XEROX CAPITAL SERVICES, LLC	225246	06/01/2015	079406072	COPIER LEASE/BILLABLE PRINTS FOR GRAPHICS DEPT-APR 2015	\$937.12
		06/01/2015	079406073	COPIER LEASE FOR GRAPHICS DEPT.	
	225300	06/08/2015	079830819	COPIER LEASE FOR PARKS DEPT-MAY 2015	\$491.90
	225374	06/15/2015	079943057	COPIER LEASE/BILLABLE PRINTS FOR PARKS DEPT-MAY 2015	\$3,006.49
		06/15/2015	079830818	COPIER LEASE FOR GRAPHICS DEPT.	
		06/15/2015	079830817	COPIER LEASE/BILLABLE PRINTS FOR GRAPHICS DEPT-MAY 2015	
Remit to: PASADENA, CA					<u>FYTD:</u> \$39,081.42
XPRESSION	225255	06/01/2015	BL#27118-YR2015	REFUND OF OVERPAYMENT FOR BL#27118	\$137.12
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$137.12
ZEE MEDICAL INC	15133	06/01/2015	0140729670	FIRST AID CABINETS/KIT FOR LOCATIONS AT CITY YARD	\$596.16
Remit to: INDIANAPOLIS, IN					<u>FYTD:</u> \$596.16

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



City of Moreno Valley
Payment Register
For Period 6/1/2015 through 6/30/2015

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
TOTAL CHECKS UNDER \$25,000					\$1,429,248.98
GRAND TOTAL					\$19,102,873.34

Attachment: June 2015 Payment Register (1587 : PAYMENT REGISTER - JUNE 2015)



Report to City Council

TO: Mayor and City Council

FROM: Thomas M. DeSantis, Assistant City Manager

AGENDA DATE: August 25, 2015

TITLE: ORDINANCE NO. 899, AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, REPEALING AND REENACTING CHAPTER 11.60 OF TITLE 11 OF THE MORENO VALLEY MUNICIPAL CODE REGULATING AND AUTHORIZING ALARM SYSTEMS (RECEIVED INTRODUCTION ON JULY 14, 2015 BY A 5-0 VOTE)

RECOMMENDED ACTION

Recommendation:

1. Adopt Ordinance No. 899. An Ordinance of the City Council of the City of Moreno Valley, California, repealing and reenacting Chapter 11.60 of Title 11 of the Moreno Valley Municipal Code regulating and authorizing alarm systems.

CITY COUNCIL GOALS

None

ATTACHMENTS

1. Ordinance No. 899 - Alarm Systems

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	7/08/15 7:16 AM
City Attorney Approval	<u>✓ Approved</u>	7/08/15 11:54 AM
City Manager Approval	<u>✓ Approved</u>	7/08/15 3:22 PM

HISTORY:

07/14/15
Next: 08/25/15

City Council

FIRST READING OF ORDINANCE

Mayor Molina opened the agenda item for public comments; there being none, public comments were closed.

ORDINANCE NO. 899

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING TITLE 11 OF THE CITY OF MORENO VALLEY MUNICIPAL CODE BY REPEALING AND REENACTING CHAPTER 11.60. RELATING TO ALARM SYSTEMS.

The City Council of the City of Moreno Valley does ordain as follows: SECTION 1.

REPEAL OF PRIOR ENACTMENT:

1.1 Chapter 11.60 of the City of Moreno Valley Municipal Code is hereby repealed, the repeal to be effective only upon the effective date of the reenactment of said Chapter 11.60 as set forth in Section 2 of this Ordinance.

SECTION 2. REENACTMENT OF CHAPTER 11.60:

2.1 Chapter 11.60 of the City of Moreno Valley Municipal Code is hereby reenacted in its entirety to read as follows:

Chapter 11.60

ALARM SYSTEMS

Sections:

- 11.60.010 Definitions
- 11.60.020 Purpose
- 11.60.030 Findings .
- 11.60.040 Alarm Standards
- 11.60.050 Alarm Company Operators
- 11.60.060 Alarm Agents
- 11.60.070 Alarm System Regulations
- 11.60.080 Alarm System Notice
- 11.60.090 Confidentiality
- 11.60.100 False Alarm Response Assessment
- 11.60.110 Reimbursement for Costs Incurred in Securing Premises
- 11.60.120 Enforcement
- 11.60.130 False Alarm Appeal Process
- 11.60.140 Severability

Attachment: Ordinance No. 899 - Alarm Systems [Revision 3] (1575 : ORDINANCE NO. 899, AN ORDINANCE OF THE CITY COUNCIL OF THE

11.60.010 Definitions. For the purposes of this Chapter, the following definitions shall apply:

(a) "Alarm Agent" means any person who is self-employed or employed either directly or indirectly by an alarm business whose duties include any of the following: selling, maintaining, leasing, servicing, repairing, altering, replacing, moving, or installing an alarm system in or on any building, place or premises.

(b) "Alarm Business" means any person, firm, or corporation conducting or engaged in the business of selling, leasing, maintaining, servicing, repairing, altering, replacing, moving, installing or monitoring an alarm system in or on any building, place or premises.

(c) "Alarm System" means any device designed for the detection of an unauthorized entry on premises or for alerting others to the commission of an unlawful act or to an emergency situation not limited to fire, natural gas leak, or medical emergencies, which device, when actuated, emits a sound or transmits a signal to indicate that such situation exists.

(d) "Alarm User" means any person using an alarm system at such person's residence or place of business.

(e) "Audible Alarm" means a device designed to detect the unauthorized entry on or attempted entry into a premise or structure, alert others to the commission of an unlawful act, alert others to a fire or emergency situation not limited to fire, natural gas leak, or medical emergencies, and which, when actuated, generates an audible sound on the premises.

(f) "Business License Officer" means the person duly designated to act as such for the City as set forth in Chapter 5.02 of this Code.

(g) "City" means the City of Moreno Valley.

(h) "City Manager" means the City Manager of the City or his or her designee.

(i) "Extraordinary Public Safety Services" means those services necessarily and reasonably incurred by the City in the protection of the public's health, safety and welfare and in the protection of property which said services are in addition to police services the City would normally provide without a special charge and which have arisen because of activities or events voluntarily selected by the owner, occupier or manager of a premises.

(j) "False Alarm" means the activation of an alarm system when an

emergency situation does not exist; provided, however, that activation of alarms by natural disaster will not be considered false alarms.

(k) "Fire Chief" means the Fire Chief of the City or his or her designee.

(l) "Person" means any individual, partnership, corporation, unincorporated association, or other entity.

(m) "Police Chief" means the Chief of Police of the City or his or her designee.

(n) "Responsible Party" means any person or persons in charge of the premises or location and the person or persons responsible for the event or incident. If any of those persons are minors, the parent or guardians of such minor(s) shall be the responsible party.

11.60.020 Purpose. Notwithstanding the provisions within the National Fire Protection Association (NFPA) 72, the California Fire Code (CFC) or applicable Security Industry standards, the purpose of this ordinance is to set forth regulations governing the use of alarm systems, provide for service fees for excessive responses necessitated by false alarms, and to provide for cost recovery by service fees for violations of provisions of this ordinance. Nothing herein should be construed to limit or discourage the legitimate use of fire, burglar or other alarms.

11.60.030 Findings. Alarm systems which are not properly installed, maintained, or operated create a nuisance to the peace and safety of the community. Said alarm systems also cause excessive and unnecessary use of police and fire services in responding to assumed emergencies.

11.60.040 Alarm Standards. All alarm systems and appurtenant equipment installed and used within the City shall meet or exceed industry standards and those standards which may hereafter be established by the City Council. The Police Chief or Fire Chief may inspect any and all alarm systems installed in the City.

11.60.050 Alarm Company Operators. It shall be unlawful and a violation of this Code for any person to engage in business or accept employment within the City to install, maintain, alter, sell on premises, monitor, or service alarm systems or respond to alarm systems, unless such person holds all state and local licenses, listings, certifications or permits which may be required for such business or employment.

A. Every alarm business that has a central monitoring system to monitor police or fire alarm systems located within the city shall maintain on file a current listing of all such alarm systems, along with the address and telephone number of the

individual or individuals from whom entry to the protected premises may be obtained, and shall include the following information:

- (1) The name address, and telephone number of the property owner, if other than the alarm user.
- (2) The name of the alarm user and his or her business address and telephone number and residential address and telephone number.
- (3) The name of at least one other person responsible to respond to the alarm site and his or her business address and telephone number.

B. All alarm businesses shall ensure that an on-site inspection of the operating systems for the alarm system shall occur when requested by the Police Chief or their designee. The records of these inspections shall be made available to the Police Chief or their designee upon request.

C. The alarm business shall provide written and oral instructions to each of its alarm users in the proper use and operation of their alarm systems. Such instructions will specifically include all instructions necessary to turn the alarm system on and off and to prevent false alarms.

D. Upon the effective date of this ordinance, the alarm companies shall, on new installations or equipment replacements, use only alarm control panel(s) which meets Security Industry Association (SIA) Control Panel Standard CP-01 for security alarm systems and/ or Underwriter’s Laboratory (UL) and State Fire Marshal (SFM) listed panels and devices for fire alarm systems.

E. An alarm business shall not use automatic voice dialers which call 911 or the police department.

F. After completion of the installation of an alarm system, an alarm business employee shall review with the alarm user the customer false alarm prevention checklist established by the alarm company’s policy.

G. The alarm business shall not make an Alarm Dispatch Request of a law enforcement agency in response to a burglar alarm signal, excluding Panic, Duress and Holdup signals, during the first seven (7) days following an Alarm System installation. The Police Chief or their designee may grant an Alarm User’s request for an exemption from this waiting period based upon a determination that special circumstances substantiate the need for the exemption. This provision does not apply to fire alarm monitoring systems.

H. An alarm business shall:

(1) Attempt to verify every burglar alarm signal prior to requesting a police dispatch by making **at least two** phone calls to the responsible party or parties (Enhanced Call Verification).

a. This procedure does not apply to fire, duress or hold-up signals;

(2) Communicate alarm dispatch requests to the Moreno Valley Dispatch in a manner and form determined by NFPA 72 for fire alarms and/or by the Police Chief for security alarms or his/her respective designee;

(3) Communicate alarm response cancellations to the Moreno Valley Police Dispatch and/or Fire Department within three (3) minutes of request for dispatch and prior to the officer arriving on-scene;

(4) Ensure that all alarm users of alarm systems equipped with fire, duress, hold-up or panic alarm(s) are given adequate training as to the proper use of the fire, duress, hold-up or panic alarm(s).

a. Alarm system training should be provided to every alarm user and/or additional training provided in situations where the alarm user has established a high incident rate of false alarms resulting from unintentional or accidental activation;

(5) Communicate any available information (type of alarm, zone, north, south, front, back, floor, etc.) about the location on all alarm signals related to the alarm dispatch request;

(6) Communicate type of alarm activation (silent or audible, interior or perimeter);

(7) After an alarm dispatch request, promptly advise the Moreno Valley Police Dispatch and/or Fire Department if the monitoring company knows that the alarm user or the responder is on the way to the alarm site;

(8) Attempt to contact the alarm user or responder within twenty-four hours via mail, fax, telephone or other electronic means when an alarm dispatch request is made; and

(9) Upon the effective date of this ordinance alarm businesses must maintain for a period of at least one year from the date of the alarm dispatch request, records relating to alarm dispatch requests.

a. Records must include:

- i. name, address and telephone number of the alarm user;
- ii. alarm system zone(s) activated;
- iii. time of alarm dispatch request; and
- iv. evidence of an attempt to verify.

b. The Police and/or Fire Chief or their designee may request copies of such records for individually named alarm users.

c. If the request is made within sixty days of an alarm dispatch request, the monitoring company shall furnish requested records within three business days of receiving the request.

d. If the records are requested between sixty days to one year after an alarm dispatch request, the alarm company shall furnish the requested records within thirty days of receiving the request.

I. An alarm business that purchases alarm system accounts from another person shall notify the Fire Chief or his/her designee of such purchase and provide details as may be reasonably requested by the Fire Chief or his/her designee.

J. Each Alarm Business must designate one individual as the Alarm Response Manager (ARM) for the company who will manage alarm related issues and act as the point of contact for the Police and/or Fire Chief or their designee. The appointed individual must be knowledgeable of the general provisions of the Ordinance, as well as have the knowledge and authority to deal with false alarm issues and respond to requests from the Police and/or Fire Chief or their designee. The name, phone number, and email address of the designated ARM must be provided to the Police and/or Fire Chief or their designee.

11.60.060 Alarm Agents. It shall be unlawful and a violation of this Code for any person to engage within the City in the activities of an alarm agent without first obtaining a business license from the City and registering and filing a copy of such person's state-issued identification card with the Business License Officer.

11.60.070 Alarm System Regulations.

(a) Approval by Underwriter's Laboratories. No alarm system shall be installed or used which has not been approved by Underwriter's Laboratories or equivalent rating institution. Equivalency shall be determined by the Chief Building Official and/or Fire Marshal of the City whose decision shall be final.

(b) Automatic Deactivation. Every audible alarm system used for

security purposes shall be so designed as to automatically shut off the sound not more than 10 minutes after the alarm has started to sound. This provision shall not apply to fire alarms systems required by the CFC or NFPA 72.

(c) Automatic Dialing Prohibited. No alarm system shall be equipped with automatic dialing or recorded message to the Moreno Valley Police Department, the Moreno Valley Police Department Dispatching Center, the Riverside County Sheriff Dispatching Center, the Moreno Valley Fire Department or the Moreno Valley Fire Department Dispatching Center.

(d) Battery Backup System. No alarm system shall be installed or used at any time which is not equipped with a ready-to-function battery-operated backup system.

(e) Notification. An alarm user shall give or cause notice to be given to the Moreno Valley Police Department or the Moreno Valley Fire Department prior to any service, test, repair, maintenance, alteration or installation of an alarm system which might produce a false alarm. The alarm user and/ or contractor shall contact their monitoring company to place the system in test mode. When a contractor fails to place an alarm in test mode during maintenance, repair, etc. the contractor shall be responsible for the false alarm fee.

(f) Prohibited Sound. No alarm system shall be installed or used which emits a sound similar to that of an emergency vehicle siren or a civil defense warning system.

(g) Repairs. After each false alarm caused by a malfunction of the alarm system, the alarm user shall cause the alarm system to be adjusted or repaired as necessary to eliminate the malfunction before placing the alarm system back into operation.

11.60.080 Alarm System Notice. Every alarm system shall have a sign or notice posted on or near the audible device with the name and telephone number of at least two (2) responsible parties or the company responsible for the maintenance of the system.

11.60.090 Confidentiality. Information furnished and secured pursuant to this article shall be confidential in character and shall not be subject to public inspection and shall be kept so that the contents thereof shall not be known except to persons charged with the administration of this article.

11.60.100 False Alarm Response Assessment. To defray the cost to the City for responding to false alarms, alarm users shall satisfy such assessment as may be established by resolution of the City Council for all false alarms. The

assessment shall be satisfied by the alarm owner within fifteen days after receipt of the invoice from the City Finance Department. The invoice will be mailed to the responsible party, after the appropriate department has given notice to the Finance Department of the assessment for the extraordinary services and the grounds therefor. The amount of assessment shall be deemed a debt to the City. An action may be commenced in the name of the City in any court of competent jurisdiction for the amount of any delinquent fees.

The Police/Fire Department will notify the alarm owner by leaving a notice at the alarm site. If an alarm owner fails to remit the fees within fifteen (15) days from the date of the service of notice upon him, which shall be the date of mailing of the invoice, if notice is not accomplished in person, a penalty of twenty-five percent (25%) of the amount of the fee set forth in the notice shall be imposed, but not less than \$5.00. When imposed, the penalty shall become part of the fee herein required to be paid. In addition to such penalty, the alarm owner shall pay to the City all reasonable costs of collecting such overdue and unpaid fees, including attorney's fees and court costs, and interest at the rate of one and one-half percent (1½%) per month (18% per annum) on all assessments and penalties from the date the assessment was due.

11.60.110 Reimbursement For Costs Incurred In Securing Premises. Alarm users shall pay to the City reasonable costs, as determined and assessed by the Police Chief or Fire Chief, for expenses incurred in securing premises where a burglar alarm or fire alarm has been activated, whether or not the activation is a false alarm. The assessment shall be satisfied by the alarm user within fifteen days after the appropriate Chief has given the alarm user notice of the assessment and the grounds therefor. This Section shall apply only to instances where the alarm user has failed to reasonably respond to notification that an alarm has been activated on premises owned or under the control of the alarm user and when the City has to incur more than nominal expenses in securing the premises.

11.60.120 Enforcement. Non-payment of fees/assessments for false alarms, and repeated number of false alarms from the same location, hence said location constitutes a nuisance, will be considered a violation of this Ordinance. Every person who fails to comply with an order made pursuant to this chapter is guilty of a violation of this chapter and, upon conviction thereof shall be punished in accordance with the provisions of sections 1.01.200 through 1.01.230 of this code.

11.60.130 False Alarm Appeal Process.

(a) An alarm user who wants to appeal the validity of a false alarm determination by the Police or Fire Department may appeal to the appropriate Appeal Officer or designee. The appeal must be in writing and must be requested within ten days of the alarm user having received a notice of the false alarm. The

written appeal must contain sufficient information to determine the events surrounding the Police/Fire Department's response. Failure to contest the determination in the required time period results in a conclusive presumption that the alarm was false.

(b) The appropriate Appeal Officer or a designee will review the appeal and provide a decision based on the facts of the case. The Appeal Officer or a designee shall determine the validity of the false alarms and the appropriate Appeal Officer shall issue written findings. The reasons for waiving a false alarm notice shall not include, wind, power failure, loose animals, system malfunctions, errors committed by the monitoring service, alarm user, or personnel errors.

(c) No appeal will be granted without payment of unpaid fees, and other assessments for false alarms owed to the City, prior to filing of the request for an appeal process. If upon review of the appeal the appropriate Appeal Officer or a designee's decision is in favor of the appellant, the money will be refunded to the appellant. The decision of the appropriate Appeal Officer or a designee on such matter shall be final and conclusive.

11.60.140 Severability. If any section, subsection, sentence, clause or phrase of this Chapter is for any reason, held to be invalid, unconstitutional, or unenforceable by a final determination of a court of competent jurisdiction, such determination shall not affect the validity of the remaining portions hereof. The City Council hereby declares "it would have enacted this Chapter, and each section, subsection, sentence, clause and phrase thereof, irrespective of the fact than any one or more sections, subsections, sentences, clauses or phrases might be declared invalid or unenforceable."

SECTION 3. NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this ordinance and cause it to be posted in three public places within the city.

SECTION 4. EFFECTIVE DATES:

This ordinance shall take effect thirty days after the date of its adoption.

APPROVED AND ADOPTED this 25th day of August, 2015.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance No. 899 - Alarm Systems [Revision 3] (1575 : ORDINANCE NO. 899, AN ORDINANCE OF THE CITY COUNCIL OF THE

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. 899 had its first reading on July 14, 2015 and had its second reading on August 25, 2015, and was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 25th day of August, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)



Report to City Council

TO: Mayor and City Council Acting in its Capacity as President and Members of the Board of Directors of the Moreno Valley Community Services District (CSD)

FROM: Betsy Adams, Parks & Community Services Director

AGENDA DATE: August 25, 2015

TITLE: APPROVE FACILITY LICENSE AGREEMENT FOR MORENO VALLEY YOUTH OPPORTUNITY CENTER AT MORENO VALLEY CONFERENCE AND RECREATION CENTER

RECOMMENDED ACTION

Recommendation:

1. Approve the Facility License Agreement for the Moreno Valley Youth Opportunity Center at the Moreno Valley Conference and Recreation Center.

SUMMARY

Approval of the Facility License Agreement for the Moreno Valley Youth Opportunity Center brings a new tenant and use to the Conference and Recreation Center. It also allows the Community Services District to maintain a stable revenue source for this space in the building.

DISCUSSION

When the Conference and Recreation Center (CRC) was designed and constructed, approximately 2,400 square feet in the northwest corner of the building was designated for commercial use as a fitness center. The Community Services District (CSD) licensed the space to Fitness 19 for ten (10) years. In late 2014, Fitness 19 requested to terminate the license early. A settlement agreement was negotiated and the license terminated in early March. During this time period the CSD issued a request for letters of interest for the long-term license of this space with the evaluation criteria of (1) rent proposed, (2) experience and financial stability of respondent, and (3) compatibility of

proposed use for the space with the CSD's use of the CRC.

The Moreno Valley Youth Opportunity Center (YOC) was the entity which best met the evaluation criteria. The rent proposed by the YOC maintains the same revenue level for the space. The YOC has operated in various locations in Moreno Valley for nearly two decades. It is funded by the Riverside County Workforce Development Centers which offers specialized services to young people through six (6) Youth Opportunity Centers throughout the Riverside County, including the YOC in Moreno Valley. Effective July 1, 2015, the Moreno Valley YOC will serve young adults ages 16 through 24 due to the new requirements in the law under Workforce Innovation & Opportunity Act. The YOC provides at no cost services such as tutoring, study skills training, instruction leading to completion of secondary school, occupational skills training, paid and unpaid work experience, and leadership development are provided to youth with barriers to employment. While the YOC primarily serves at risk youth, many of the YOC's services are available to any young person between the ages of 16 and 24 who is a Moreno Valley resident. The CSD considers these services to be a very compatible use of the CRC. In addition, this new office space allows the YOC Program Director, Rosa Penalzoza, to move her office from Perris to the CRC. This may be of benefit to the City, which provides various types of support to the YOC to help maintain the program in Moreno Valley.

ALTERNATIVES

1. Approve the Facility License Agreement for the Moreno Valley Youth Opportunity Center at the Moreno Valley Conference and Recreation Center and authorize the Mayor as President of the CSD to execute the agreement. *Staff recommends this alternative.*
2. Do not approve Alternative No. 1 and provide further direction to staff. Not approving the Facility License Agreement will delay when the CSD begins to receive revenue for this space at the CRC.

FISCAL IMPACT

License Fee Agreement requires an annual License Fee of \$48,000 which can be paid in 12 monthly increments of \$4,000. The term of the agreement is five (5) years with an option to extend the agreement for an additional five (5) year period. The License Fee shall increase two percent (2%) each year on the anniversary of the commencement date of the agreement. Revenue from this agreement is already included in the CSD's budget for Fiscal Year 2015-2016 in account no. 5011-50-58-35313-463070 which is the revenue account for the CRC.

NOTIFICATION

Posting in the agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Betsy Adams
Parks & Community Services Director

Department Head Approval:
Betsy Adams
Parks & Community Services Director

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

ATTACHMENTS

- 1. MVYOC Facility License Agreement_14075 Frederick Street

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/11/15 8:44 AM
City Attorney Approval	<u>✓ Approved</u>	8/25/15 2:57 PM
City Manager Approval	<u>✓ Approved</u>	8/25/15 2:57 PM

CITY OF MORENO VALLEY
 MORENO VALLEY COMMUNITY SERVICE DISTRICT
 FACILITY LICENSE AGREEMENT FOR
 MORENO VALLEY YOUTH OPPORTUNITY CENTER AT
 MORENO VALLEY CONFERENCE AND RECREATION CENTER

This Facility License Agreement ("License") is effective as of the date signed by Licensor and is by and between the MORENO VALLEY COMMUNITY SERVICES DISTRICT (CSD), a Community Service District pursuant to California law hereinafter called "Licensor," and ARBOR E&T, LLC d/b/a RESCARE WORKFORCE SERVICES MORENO VALLEY YOUTH OPPORTUNITY CENTER, a Foreign Limited Liability Company in California, hereinafter called "Licensee."

The parties agree as follows:

1. Premises.

Licensor leases the real property legally described in Exhibit "A" hereinafter called "Property" from the City of Moreno Valley. Subject to the following terms and conditions, Licensor licenses to Licensee that portion of Licensor's Property denoted in read and labelled MV YOC in Exhibit "A," including all necessary and reasonable access for installation, operation, and maintenance of Licensee's program, equipment, and utilities (the "Premises").

2. Use.

A. The Premises may be used by Licensee for any lawful activity in connection with the provision of operating the Moreno Valley Youth Opportunity Center. The Premises shall be used for no other use or purpose.

B. Licensee shall use the Premises in compliance with all applicable laws, statutes, ordinances, rules, regulations and orders in effect.

C. Licensee's use and occupancy of the Premises shall include the non-exclusive use of restrooms, hallways, lobby and reception areas, vending machine area, and entryways available to the general public. Specifically excluded are all CSD staff office areas, child care facilities, classrooms, arts and crafts rooms, arobics room, gymnasium, banquet hall/ballroom and adjacent patios, and all storage areas. All parking, other than designated handicapped spaces, at the Property shall be on a free, non-exclusive, first come-first serve basis. If needed, Licensee may rent additional rooms available for rent at the Property for special events or programs at the applicable Moreno Valley non-profit rental rates.

D. Licensee shall be permitted, at Licensee's sole cost cost and expense, to install one (1) freestanding exterior sign adjacent to Property parking lot to denote the Moreno Valley Youth Opportunity Center is located within the Property. Sign dimensions, design and location shall be a mutually determined by Licensee and Licensor, contingent on final dimensions conforming to local codes and ordinances. Licensee shall be responsible for obtaining all requisite permits and approvals from the City of Moreno Valley.

E. Licensee shall ensure that the operation of the Moreno Valley Youth Opportunity Center is compatible with and does not hinder or interfere with the operation of the Moreno Valley Conference and Recreation Center as a whole. Licensee will be considerate of other activities occurring at the Property and will not permit loud music (definable as so loud as to generate complaints from persons engaged in activities in other parts of the facility) or allow its clients to engage in rowdy, raucous or threatening behavior.

F. Licenser agrees, at no expense to Licenser, to cooperate with Licensee, in making application for and obtaining all licenses, permits and any and all other necessary approvals that may be required for Licensee's intended use of the Premises.

G. Licenser reserves the right to use the exterior walls, floor, roof and plenum in, above and around the Premises for the repair, maintenance, use and replacement of pipes, ducts, utility lines and systems, structural elements serving the Property and for such purposes as Licenser deems necessary. In exercising its rights reserved herein, Licenser shall not unreasonably interfere with the operation of the Licensee's program in the Premises.

H. Licensee shall not voluntarily, involuntarily, or by operation of laws, sublicense or lease all or any part of the Premises or allow it to be sublicensed or leased, to any person or entity other than Licensee without the prior written approval of Licenser.

3. Term.

A. This License is binding and in effect upon full execution and delivery by Licenser and Licensee. The term of this License ("Term") shall be five (5) years commencing on the first day of the month following the date the License is fully executed. This date shall be referred to as the "Commencement Date". Licenser and Licensee acknowledge and agree that the initial License Fee payment(s) shall not be due or payable by Licensee until thirty (30) days after the Commencement Date. Licensee shall have the right to extend the Term of this License for five (5) additional years. The terms and conditions for the Renewal Term shall be the same terms and conditions of this License, except that the License Fee shall be increased as set forth in Section 4.

B. At the expiration of the Renewal Term of the License Agreement, Licenser and Licensee, at their option, may renegotiate the License Agreement.

4. License Fee.

A. In consideration of the rights granted by this License, upon the Commencement Date, License Fee ("License Fee") of \$48,000 shall be payable in twelve (12) equal monthly installments on or before the first day of the month. The License Fee shall increase at a rate of two percent (2%) each year on each

anniversary date of the Commencement Date for the duration of the term of the License or the Renewal Term stated in the License. The payment form (check, money order, etc) shall reference the site "Conference and Recreation Center – Moreno Valley Youth Opportunity Center." License Fee payments shall be made payable to The City of Moreno Valley, and sent to:

City of Moreno Valley
 Attn: Finance Department
 P.O. Box 88005
 Moreno Valley, CA 92552-0805

B. License Fee is assessed based on approximately 2400 square feet of enclosed, improved area within the Property, as referenced in Exhibit 'B.' Additionally, the License Fee includes electricity usage in the Premises.

C. If the License Fee is not received by Licensor on or before the fifteenth (15th) day following the due date, it shall be deemed delinquent. If the License Fee is not paid before delinquency, then the amount due and unpaid shall be subject to a monthly late charge at the rate of five percent (5%) of the overdue amount, without limitation to Licensor's other rights and remedies under this License.

D. Licensee shall pay Licensor \$5,000 to be held as a Security Deposit ("Security Deposit"). Licensor will refund Security Deposit to Licensee at the end of the term of the License or Renewal Term state in License if Licensee leaves premises in its original condition.

5. Access.

A. Licensor shall provide continuous access to Licensee, Licensee's employees, agents, contractors and clients to the Premises during the normal business hours for the Conference and Recreation Center which are Monday through Thursday from 7:30 am to 9:00 pm and Friday from 7:30 am to 4:30 pm. For emergency use, Licensor will provide after-hours access to Licensee's Project Director responsible for the Moreno Valley Youth Opportunity Center.

6. Repairs, Maintenance.

A. Licensor shall be entitled to enter the Premises to perform repairs or maintenance with twenty-four (24) hours of notification to Licensee. Except in the case of an emergency, Licensor shall not enter the Premises without the presence of a Licensee representative.

B. Licensee shall be responsible for maintaining the Premises in an acceptable aesthetic appearance and safe condition.

7. Intended Use.

A. It is emphasized that the primary use of the Premises is intended to be the Moreno Valley Youth Opportunity Center.

8. Termination.

A. This License shall not be revoked or terminated during the Term or any Renewal Term except as expressly stated in this License. This License may be terminated on ninety (90) days prior written notice (except where stated otherwise) by either party upon a default of any covenant, condition, or term hereof by the other party, which default is not cured within sixty (60) days of receipt of written notice of default, provided that if such default is curable, but not curable within such sixty (60) day period, then within such period of time as is reasonably necessary to accomplish such cure (in order to avail itself of this time period in excess of sixty (60) days, the defaulting party must send to the other party, within the sixty (60) day period, a written plan to cure the default, which is reasonably acceptable to the other party, and the defaulting party diligently commences and continues performance of such cure to completion according to the written plan).

B. Licensor understands that Licensee is in the business of providing workforce services. As such, Licensee relies heavily on state and local funding to provide services. If Licensee has a reduction, cancelation, restructuring, or change in budget that adversely affects Licensee and requires Licensee, in its sole discretion, to terminate or cancel this License, Licensee will be able to cancel this contract with no penalty. In lieu of a penalty, Licensee will provide Licensor with 60 days notice of termination.

C.

9. Insurance

A. Licensee shall maintain in full force and effect, at no expense to Licensor, the following insurance policies:

1. A commercial general liability insurance policy in the minimum amount of one million (\$1,000,000) dollars per occurrence, four million (\$4,000,000) dollars aggregate for death, bodily injury, personal injury, or property damage;
2. Auto Liability insurance endorsed for "any auto" with limits of liability of not less than \$1,000,000 per accident for bodily injury and property damage;
3. Employer's Liability insurance with limits of liability of not less than \$1,000,000, each accident; \$1,000,000 disease each employee; and \$1,000,000 disease policy limit

B. The insurance coverage required of the Licensee by section 12 shall also meet the following requirements:

1. The insurance shall be primary with respect to any insurance or coverage maintained by Licensor, as relates to Licensee's operations, and shall not call upon Licensor insurance or coverage for any contribution but only to the extent caused by Licensee, its agents or contractors.

2. The insurance policies shall include contractual liability and personal injury;

The insurance policies shall include the City of Moreno Valley, the Moreno Valley Housing Authority, and the Moreno Valley Community Services District (CSD), its officers, agents, employees, and volunteers, as additional insureds under the policies;

- a. For the Commercial General Liability coverage, said parties shall be named as additional insureds utilizing either:
 1. Insurance Services Office ("ISO") Additional Insured endorsement CG 20 10 (04/13); or
 2. Substitute endorsements providing equivalent coverage, approved by the City.
- b. The endorsements shall be signed by a person authorized by the insurer to bind coverage on its behalf. The coverage shall contain no special limitations on the scope of protection afforded to such additional insureds. Coverage for such additional insureds does not extend to liability to the extent prohibited by Insurance Code Section 11580.4.
- c. All policies of insurance required by the Contract Documents shall include or be endorsed to provide a waiver by the insurers of any rights of recovery or subrogation that the insurers may have at any time against the *"Moreno Valley Community Services District (CSD), the City of Moreno Valley (City), the Moreno Valley Housing Authority, and their officers, officials, employees, agents, and volunteers."*
- d. All policies and endorsements shall stipulate that the Licensee's (and its Subcontractors') insurance coverage shall be primary and noncontributory insurance as respects the *"Moreno Valley Community Services District (CSD), the City of Moreno Valley (City), the Moreno Valley Housing Authority, and their officers, officials, employees, agents, and volunteers,"* and shall be excess of the Licensee's (and its Subcontractors') insurance and shall not contribute with it.

For the primary and noncontributory coverage, said parties shall be named as additional insureds utilizing either:

1. Insurance Services Office ("ISO") Additional Insured endorsement CG 20 10 (01/13); or
2. Substitute endorsements providing equivalent coverage, approved by the City.

3. Coverage shall state that the Licensee's (and its Subcontractors') insurance shall apply separately to each insured or additional insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability. Coverage shall apply to any claim or suit brought by an additional insured against a named insured or other insured.
3. Licensee shall provide to Licensor's Attorney, (a) Certificates of Insurance evidencing the insurance coverage required herein, and (b) specific endorsements or blanket additional insured endorsements naming Licensor, its officers, employees, agents, and volunteers, as additional insureds under the policies;
4. The insurance policies shall provide that the insurance carrier shall not cancel or terminate said insurance policies, except upon thirty (30) days written notice to Licensor's Attorney.
5. If the insurance is written on a Claims Made Form, then, following termination of this License, said insurance coverage shall survive for a period of not less than two (2) years;
6. The insurance policies shall provide for a retroactive date of the placement of Licensee's Facilities coinciding with the effective date of this License;
7. The insurance shall be reasonably approved as to form and sufficiency by the Licensor's Attorney.

C. If it employs any person, Licensee shall maintain worker's compensation and employer's liability insurance, as required by the State Labor Code and other applicable laws and regulations.

10. Indemnity and Mutual Release.

Licensor and Licensee each indemnifies the other against and holds the other harmless from any and all costs (including reasonable attorney's fees) and claims of liability or loss to the extent arising from the ownership, use and/or occupancy of the Licensor's Property or Premises by the indemnifying party. This indemnity does not apply to any claims arising from the negligence or intentional misconduct of the indemnified party, breach of this License by the indemnified party, or violation of law by the indemnified party. The indemnity obligations under this Section will survive the termination of this License.

11. Attorneys' fees; Litigation costs.

A. If any action at law or in equity is brought to recover any License Fee or other sums under this License, or for or on account of any breach of or to enforce or interpret any of the covenants, terms, or conditions of this License, or for the recovery

of the possession of the Premises, the prevailing party shall be entitled to reasonable attorneys' fees, costs and other expenses, in addition to any other relief to which such party may be entitled to the extent awarded by a court of law.

B. Whenever provision is made in this License for the payment of attorney's fees, such fees shall be payable whether the legal services are rendered by a salaried employee for the party or by independent counsel and shall include such fees as are incurred in connection with any pretrial proceeding, trial or appeal of the action.

C. Any award of damages following judicial remedy or arbitration as a result of the breach of this License or any of its provisions shall include an award of prejudgment interest from the date of the breach at the lesser of (i) the maximum amount of interest allowed by law or (ii) Ten Percent (10%).

12. Waiver of Incidental and Consequential Damages.

Neither party will assert any claim whatsoever against the other party for loss of anticipatory profits or any other indirect, special, incidental or consequential damages incurred as a result of the construction, installation, operation, maintenance, or replacement of personal property owned by either party, or Licensor's or Licensee's use of the Premises or Licensor's Property, including any and all losses incurred as a result of Licensor's or Licensee's actions or defaults.

13. Miscellaneous.

A. Severability. If any provision of the License is invalid or unenforceable with respect to any party, the remainder of this License or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, shall not be affected and each provision of this License shall be valid and enforceable to the fullest extent permitted by law.

B. Notices. Any notice or demand required to be given herein shall be made by certified or registered mail, return receipt requested, or reliable overnight mail to the address of the respective parties set forth as follows:

Licensor:
Moreno Valley Community Services District

14075 Frederick Street
Moreno Valley, CA 92553
Attn: Parks & Community Services Director

Licensee:
Arbor E&T, LLC, dba ResCare Workforce
Services Moreno Valley Youth Opportunity
Center
9901 Linn Station Road
Louisville, KY 40223
Attn: Executive Vice President & Manager
Operations Officer

A copy to be sent to:
City Manager
City of Moreno Valley
P.O. Box 88005

Chief Legal Officer
9901 Linn Station Rd
Louisville, KY 40223

14177 Frederick Street
Moreno Valley, CA 92552-0805

C. Choice of Law. This License shall be governed under the laws of the State of California and applicable Federal law.

D. Survival of Terms. Terms and conditions of this License which by their sense and context survive the termination, cancellation or expiration of this License will so survive.

E. Entire Agreement. The terms of this License (including the Exhibits, all of which are hereby incorporated by reference) are intended by the parties as the final expression of their agreement with respect to such terms. The parties further intend that this License constitutes the complete and exclusive statement of its terms and no extrinsic evidence whatsoever may be introduced in any proceeding, involving this License. The language in all parts of this License will in all cases be construed as a whole and in accordance with its fair meaning and not construed for or against either party.

F. Amendments and Modifications. No amendments, modification or supplement, including those by custom, usage of trade, or course of dealing, of any provisions of this License shall be binding on any of the parties unless it is in writing and signed by the parties in interest at the time of the modification. No oral order, objection, claim, or notice by either party to the other shall affect or modify any of the terms or obligations contained in the License.

G. Venue. At Licensor's option, any action by any party to this License shall be brought in the appropriate court of competent jurisdiction within the County of Riverside, notwithstanding any other provision of law which may provide that such

action may be brought in some other location.

H. Waiver. Failure by a party to insist upon the strict performance of any of the provisions of this License by the other party, or the failure by a party to exercise its rights upon the default of the other party shall not constitute a waiver of such party's right to insist and demand strict compliance by the other party with the terms of this License thereafter.

[Signatures Appear on the Following Page]

IN WITNESS WHEREOF, Licensor and Licensee have executed this Telecommunications License Agreement as of the date and year signed by Licensor.

Licensor:
City of Moreno Valley
Moreno Valley Community Services District

Licensee:
Arbor E&T, LLC dba ResCare Workforce
Services Moreno Valley Youth Opportunity
Center

BY: _____
Mayor Jessie L. Molina
as President of the Moreno Valley
&Community Services District

BY: Patrick Kelley
Patrick Kelley
President & Manager
Arbor E&T, LLC d/b/a
ResCare Workforce Services

DATE: _____

DATE: 8-6-15

ATTEST:

City Clerk

DATE: _____

APPROVED AS TO LEGAL FORM:

City Attorney

DATE: _____

Enclosures:
Exhibit "A" – Aerial Map of the Property with Premises Identified

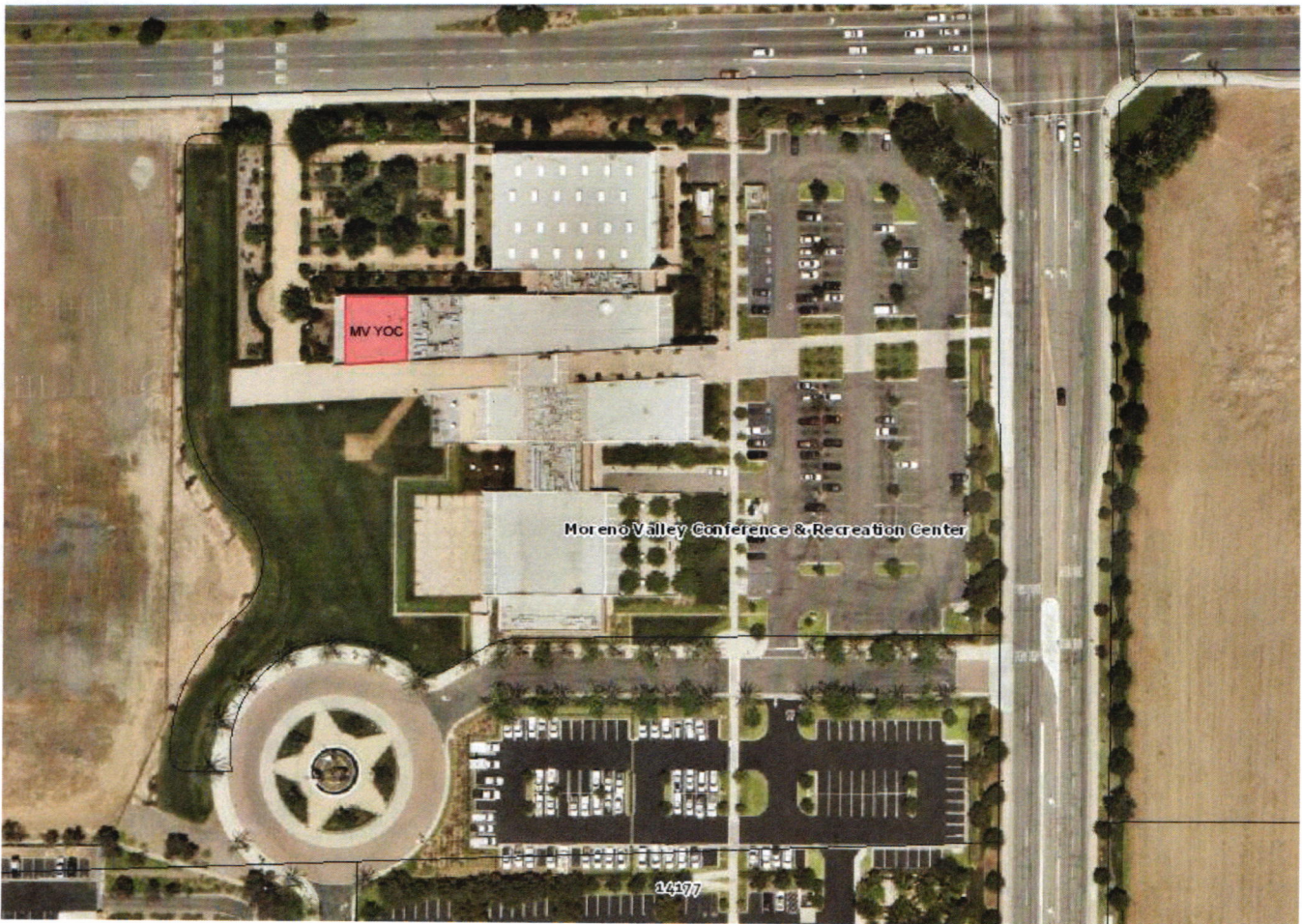
Attachment: MVYOC Facility License Agreement_14075 Frederick Street (1535 : APPROVE FACILITY LICENSE AGREEMENT FOR MORENO

EXHIBIT A

AERIAL MAP OF THE PROPERTY WITH PREMISES IDENTIFIED

Location: Moreno Valley Conference and Recreation Center
14075 Frederick Street
Moreno Valley, CA 92553

Facility Licensa Area: Approximately 2400 Square Feet
Premises Denoted in Red with MV YOC



Attachment: MVYOC Facility License Agreement_14075 Frederick Street (1535 : APPROVE FACILITY LICENSE AGREEMENT FOR MORENO



Report to City Council

TO: Mayor and City Council

FROM: Jane Halstead, City Clerk

AGENDA DATE: August 25, 2015

TITLE: APPOINTMENTS TO VARIOUS CITY COUNCIL
ADVISORY BOARD AND COMMISSIONS

RECOMMENDED ACTION

Recommendations: That the City Council:

1. Appoint those applicants who received majority vote by the City Council. Appoint Christopher Johnson to the Arts Commission as a teenage member with a term expiring three years after the effective date of appointment, or until high school graduation, whichever comes first.
2. Appoint one applicant to the Environmental and Historical Preservation Board with a term expiring June 30, 2016.
3. Appoint one applicant to the Traffic Safety Commission with a term expiring June 30, 2018.
4. If vacancies are not filled by a majority vote of the City Council, authorize the City Clerk to re-advertise the positions as vacant and carry over the current applications for reconsideration of appointment at a future date.

SUMMARY

Applications were accepted by the City Clerk's Office to fill vacancies for the Arts Commission (teenage member position), the Environmental and Historical Preservation Board, and the Traffic Safety Commission. Appropriate time frames with respect to posting notices of vacancies were followed.

As provided in the City's Municipal Code, the appointees will serve without compensation for designated terms.

DISCUSSION

The Arts Commission has two vacant teen member positions with terms expiring three years after the effective date of appointment, or until high school graduation, whichever comes first. The City Clerk's Office received one application from Christopher Johnson.

The Environmental and Historical Preservation Board has one vacant position with a term expiring June 30, 2016. The City Clerk's office received one application for this position from Arlen Henry Gaynor.

The Traffic Safety Commission has one vacant position with a term expiring June 30, 2018. The City Clerk's office received three applications for this position. Applications were submitted by Denise Flemming, Carla Thornton, and Oceal Victory.

The Arts Commission considers matters pertaining, but not limited, to the planning for the arts in the City; facilitating interaction among artists; promoting arts activities and education; and researching possible sources of funding, in addition to public funds for potential City public art projects.

The Environmental and Historical Preservation Board considers matters pertaining to the preservation of the City's heritage and cultures, including the designation of landmarks and review of all restoration, rehabilitation, alteration and demolition projects in preservation areas; and matters of environmental concern, including matters pertaining to hazardous materials and waste within or affecting the City.

The Traffic Safety Commission considers matters pertaining to traffic safety within the City; evaluates proposals for traffic control devices; and evaluates the need for striping, signing or other measures not of a regulatory nature. The Commission educates the public on traffic issues and responds to public concerns regarding traffic and pedestrian safety.

ALTERNATIVES

Members of the Council appointed boards and commissions serve in an advisory capacity to the City Council. Choosing to appoint members to the above-mentioned boards and commissions would result in increased participation from residents. This option is consistent with the City Council goal of creating a positive environment for the development of Moreno Valley's future. Therefore, staff recommends that the City Council make the recommended appointments.

FISCAL IMPACT

N/A

NOTIFICATION

1. Posting of Notices of Openings

- 2. Publication of the agenda
- 3. Report and agenda emailed to applicants

PREPARATION OF STAFF REPORT

Prepared By:
Ewa Lopez
Deputy City Clerk, CMC

Department Head Approval:
Jane Halstead
City Clerk, CMC

CITY COUNCIL GOALS

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

ATTACHMENTS

None

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/19/15 4:34 PM
City Attorney Approval	<u>✓ Approved</u>	8/20/15 10:39 AM
City Manager Approval	<u>✓ Approved</u>	8/20/15 3:31 PM



Report to City Council

TO:

FROM: Allen Brock, Community Development Director

AGENDA DATE: August 25, 2015

TITLE: INTRODUCE ORDINANCE 902. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, ADDING CHAPTER 8.40 TO TITLE 8 OF THE CITY OF MORENO VALLEY MUNICIPAL CODE ESTABLISHING THE EXPEDITED PERMITTING PROCEDURE FOR SMALL RESIDENTIAL ROOFTOP SOLAR SYSTEMS

RECOMMENDED ACTION

Recommendation: That the City Council:

1. Introduce Ordinance No. 902. An Ordinance of the City Council of the City of Moreno Valley, California, Adding Chapter 8.40 to Title 8 of the City of Moreno Valley Municipal Code Establishing the Expedited Permitting Procedure for Small Residential Rooftop Solar Systems.

SUMMARY

This report recommends adoption of an Ordinance to expedite permitting of small residential rooftop solar systems as mandated by Section 65850.5(a) of the California Government Code.

DISCUSSION

On September 21, 2014, Governor Brown signed Assembly Bill 2188 into law requiring every city and county to adopt on or before September 30, 2015, an ordinance that creates an expedited, streamlined permitting process for small residential rooftop solar energy systems. These provisions were created to address the statewide concern for consistent standards to achieve timely and cost-effective installation of solar energy

systems.

California Government Code Section 65850.5 has been amended to provide the following provisions of the Bill including:

- Accept permit applications electronically (electronic mail, internet or facsimile)
- Adopt checklist(s) for all requirements for small solar systems
- Applicant verification of standard engineering and electrical specifications
- Qualifying applications receive timely inspections
- Applications satisfying checklists shall be deemed complete and approved

The City currently expedites solar applications, versus other permits, by performing plan review in-house by Building Safety staff every Thursday. This review system keeps the process moving quicker and helps speed up the overall permit issuance process. In addition, the Building and Safety Division has recently begun to accept applications via electronic mail.

The adoption of this Ordinance will satisfy all requirements mandated by California Government Code Section 65850.5.

ALTERNATIVES

1. Adopt the proposed Ordinance as mandated by California Government Code Section 65850.5. *This alternative is recommended by staff.*
2. Do not adopt the proposed Ordinance thus violating the mandate of California Government Code Section 65850.5. *This alternative is not recommended by staff.*

FISCAL IMPACT

This Ordinance will not have a fiscal impact as permit fees will continue to be collected to recover costs for service.

NOTIFICATION

Posting of the agenda.

Prepared By:
Allen D. Brock
Community Development Director

Department Head Approval:
Allen D. Brock
Community Development Director

Concurred By:
Abdul Ahmad
Fire Chief

CITY COUNCIL GOALS

None

ATTACHMENTS

- 1. Ordinance 902_SMALL RESIDENTIAL ROOFTOP SOLAR ENERGY SYSTEM REVIEW PROCESS
- 2. Solar Permit Checklist

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/17/15 9:51 AM
City Attorney Approval	<u>✓ Approved</u>	8/18/15 3:45 PM
City Manager Approval	<u>✓ Approved</u>	8/19/15 1:40 PM

ORDINANCE NO. 902

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, ADDING CHAPTER 8.40 TO TITLE 8 OF THE MUNICIPAL CODE ESTABLISHING THE EXPEDITED PERMITTING PROCEDURE FOR SMALL RESIDENTIAL ROOFTOP SOLAR SYSTEMS

WHEREAS, Subsection (a) of Section 65850.5 of the California Government Code provides that it is the policy of the state to promote and encourage the installation and use of solar energy systems by limiting obstacles to their use and by minimizing the permitting costs of such systems; and

WHEREAS, Subdivision (g)(1) of Section 65850.5 of the California Government Code provides that, on or before September 30, 2015, every city, county, or city and county shall adopt an ordinance, consistent with the goals and intent of subdivision (a) of Section 65850.5, that creates an expedited, streamlined permitting process for small residential rooftop solar energy systems.

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1.

Moreno Valley Municipal Code, Chapter 8.40, "Small Residential Rooftop Solar Energy System Review Process," is added to read as follows:

Chapter 8.40 SMALL RESIDENTIAL ROOFTOP SOLAR ENERGY SYSTEM REVIEW PROCESS

8.40.010 Purpose.

The purpose of this Chapter is to establish an expedited permitting procedure for small residential rooftop solar systems to assist with timely and cost-effective installations.

8.40.020 Definitions.

The following definitions shall govern all terms of this Chapter and shall supersede any term otherwise defined in this Chapter:

"Electronic submittal" means the utilization of one or more of the following:

- 1. electronic mail or email,
- 2. the internet,
- 3. facsimile.

“*Small residential rooftop solar energy system*” means all of the following:

1. a solar energy system that is no larger than 10 kilowatts alternating current nameplate rating or 30 kilowatts thermal.
2. solar energy system that conforms to all applicable state fire, structural, electrical, and other building codes as adopted or amended by the city and paragraph (iii) of subdivision (c) of Section 714 of the Civil Code, as such section or subdivision may be amended, renumbered, or re-designated from time to time.
3. a solar energy system that is installed on a single or duplex family dwelling.
4. a solar panel or module array that does not exceed the maximum legal building height as defined by the authority having jurisdiction.

“*Solar energy system*” has the same meaning set forth in paragraphs (1) and (2) of subdivision (a) of Section 801.5 of the Civil Code, as such section or subdivision may be amended, renumbered, or re-designated from time to time.

8.40.030 Duties of the Building Safety Division and Building Official.

- A. All documents required for the submission of an expedited small solar energy system application shall be made available on the city’s internet website.
- B. Electronic submittal of the required permit application and documents by email shall be made available to all small residential rooftop solar energy system permit applicants.
- C. The electronic signature of an applicant, engineer, architect, or contractor shall be accepted on all forms, applications, and other documents in lieu of a wet signature.
- D. The Building and Safety Division shall develop a checklist of all requirements that small rooftop solar energy systems must comply with to be eligible for expedited review.

8.40.040 Application, Permit, and Inspection Requirements.

- A. Prior to submitting an application, the applicant shall:
 1. verify satisfaction the use of standard engineering evaluation techniques that the support structure for the small residential rooftop solar energy system is stable and adequate to transfer all wind, seismic, and dead and live loads associated with the installation and maintenance thereof; and

2. at the applicant's cost, verify to the applicant's reasonable satisfaction using standard electrical inspection techniques that the existing electrical system including existing line, load, ground and bonding wiring as well as main panel and subpanel sizes are adequately sized, based on the existing electrical system's current use, to carry all new photovoltaic electrical loads.
- B. For a project complying with the checklist for a small residential rooftop solar energy system the applicant may submit the permit application and associated documentation to the city's building safety division by personal, mailed, or electronic submittal.
 - C. An application that satisfies the information requirements in the checklist, as determined by the building official, shall be deemed complete. Upon receipt of an incomplete application, the building official shall issue a written correction notice detailing all deficiencies in the application and any additional information required to be eligible for expedited permit issuance.
 - D. Upon confirmation by the building official of the application and supporting documentation being complete and meeting the requirement of the checklist, the building official shall administratively approve the application and issue all required permits or authorizations. Such approval shall not include any necessary approval or permission by a local utility provider to connect the small residential rooftop energy system to the provider's electricity grid. The applicant is responsible for obtaining such approval or permission from the local utility provider.

SECTION 2.

Except as specifically provided herein, nothing contained in this ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 3.

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this ordinance and cause it to be posted in three public places within the city.

SECTION 4.

This ordinance shall take effect thirty days after the date of its adoption.

APPROVED AND ADOPTED this 8th day of September, 2015.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance 902_SMALL RESIDENTIAL ROOFTOP SOLAR ENERGY SYSTEM REVIEW PROCESS [Revision 2] (1598 : INTRODUCE

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. 902 had its first reading on August 25, 2015 and had its second reading on September 8, 2015, and was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 8th day of September, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)



**Community Development Department
Building Safety Division**

14177 Frederick Street, Moreno Valley, CA 92552
Office 951.413.3350 Fax 951.413.3363

**Eligibility Checklist for Expedited
Residential Solar Photovoltaic
Permitting**

This checklist is provided to determine if your application is eligible for expedited solar permit processing. If any item is checked NO, revise design, otherwise application must go through standard review process.

GENERAL REQUIREMENTS

- | | | | | |
|--|--------------------------|---|--------------------------|---|
| A. System size is 10 kW AC CEC rating or less | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| B. The solar array is roof-mounted on one- or two-family dwelling or accessory structure | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| C. The solar panel/module arrays will not exceed the maximum legal building height | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| D. Solar system is utility interactive and without battery storage | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| E. Permit application is completed and attached | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |

ELECTRICAL REQUIREMENTS

- | | | | | |
|---|--------------------------|---|--------------------------|---|
| A. No more than four photovoltaic module strings are connected to each Maximum PowerPoint Tracking (MPPT) input where source circuit fusing is included in the inverter | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| 1) No more than two strings per MPPT input where source circuit fusing is not included | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| 2) Fuses (if needed) are rated to the series fuse rating of the PV module | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| 3) No more than one non-inverter-integrated DC combiner is utilized per inverter | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| B. For central inverter systems: No more than two inverters are utilized | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| C. The PV system is interconnected to a single-phase AC service panel of nominal 120/220Vac with a bus bar rating of 225 A or less | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| D. The PV system is connected to the load side of the utility distribution equipment | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| E. A Solar PV Standard Plan and supporting documentation is completed and attached | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| F. A minimum clear space of three feet is provided on the control side of roof mounted HVAC equipment | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |

STRUCTURAL REQUIREMENTS

- | | | | | |
|--|--------------------------|---|--------------------------|---|
| A. The roof has a single roof covering without a reroof overlay | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| B. The roof structure has been verified to be structurally sound, without signs of alterations or significant structural deterioration or deflection | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |

SOLAR ARRAY REQUIREMENTS

- | | | | | |
|--|--------------------------|---|--------------------------|---|
| A. The distance between the underside of modules and the roof surface is at least two inches but not greater than 10 inches | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| B. The plane of the modules (panels) are parallel to the plane of the roof | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| C. Module layout is designed to not overhang any ridges, hips, gable ends or eaves | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| D. The weight of modules and support components weigh no more than 4 psf for photovoltaic arrays or 5 psf for solar thermal arrays | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| E. Support component manufacturer's project-specific worksheets and tables complete with relevant information identified on plans | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| F. A roof plan of modules and anchors included in plans | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |

FIRE SAFETY REQUIREMENTS

- | | | | | |
|--|--------------------------|---|--------------------------|---|
| A. Clear access pathways provided | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| B. Fire classification solar system is provided | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| C. All required markings and labels are provided | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |
| D. A diagram of the roof layout of all panels, modules, clear access pathways and approximate locations of electrical disconnecting means and roof access points is completed and attached | <input type="checkbox"/> | Y | <input type="checkbox"/> | N |

Attachment: Solar Permit Checklist [Revision 1] (1598 : INTRODUCE ORDINANCE 902. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY



Report to City Council

TO: Mayor and City Council

FROM: Allen Brock, Community Development Director

AGENDA DATE: August 25, 2015

TITLE: ORDINANCE 900. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0012 (CHANGE OF ZONE), PA12-0013 (SPECIFIC PLAN) AND PA12-0014 (PREZONING/ ANNEXATION), WHICH INCLUDE THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN, A FULL REPEAL OF THE MORENO HIGHLANDS SPECIFIC PLAN NO. 212-1, PRE-ZONING/ANNEXATION FOR 85 ACRES AT NORTHWEST CORNER OF GILMAN SPRINGS ROAD AND ALESSANDRO BOULEVARD, CHANGE OF ZONE TO LOGISTICS DEVELOPMENT (LD), LIGHT LOGISTICS (LL) AND OPEN SPACE (OS) FOR AREAS WITHIN THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY, AND A CHANGE OF ZONE TO OPEN SPACE (OS) FOR THOSE PROJECT AREAS OUTSIDE AND SOUTHERLY OF THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY (RECEIVED FIRST READING AND INTRODUCTION ON AUGUST 19, 2015 BY A 3-2 VOTE, JEMPSON AND PRICE OPPOSED)

RECOMMENDED ACTION

Recommendation: That the City Council:

1. Adopt Ordinance No. 900. An Ordinance of the City Council of the City of Moreno Valley, California, Approving PA12-0012 (Change Of Zone), PA12-0013 (Specific Plan) And PA12-0014 (Prezoning/Annexation), Which Include the Proposed World Logistics Center Specific Plan, a Full Repeal of the Moreno Highlands Specific Plan No. 212-1, Pre-Zoning/Annexation for 85 Acres at Northwest Corner of Gilman Springs Road and Alessandro Boulevard, Change of Zone to Logistics Development (LD), Light Logistics (LL) and Open Space (OS)

for Areas Within the Proposed World Logistics Center Specific Plan Boundary, and a Change of Zone to Open Space (OS) for Those Project Areas Outside and Southerly of the Proposed World Logistics Center Specific Plan Boundary

CITY COUNCIL GOALS

None

ATTACHMENTS

- 1. 7_ExhibitsABCProposedOrdinance_ChangeZone

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/20/15 11:13 AM
City Attorney Approval	<u>✓ Approved</u>	8/20/15 11:13 AM
City Manager Approval	<u>✓ Approved</u>	8/20/15 11:14 AM

ORDINANCE NO. 900

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0012 (CHANGE OF ZONE), PA12-0013 (SPECIFIC PLAN) AND PA12-0014 (PRE-ZONING/ANNEXATION), WHICH INCLUDE THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN, A FULL REPEAL OF THE MORENO HIGHLANDS SPECIFIC PLAN NO. 212-1, PRE-ZONING/ANNEXATION FOR 85 ACRES AT NORTHWEST CORNER OF GILMAN SPRINGS ROAD AND ALESSANDRO BOULEVARD, CHANGE OF ZONE TO LOGISTICS DEVELOPMENT (LD), LIGHT LOGISTICS (LL) AND OPEN SPACE (OS) FOR AREAS WITHIN THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY, AND A CHANGE OF ZONE TO OPEN SPACE (OS) FOR THOSE PROJECT AREAS OUTSIDE AND SOUTHERLY OF THE PROPOSED WORLD LOGISTICS CENTER SPECIFIC PLAN BOUNDARY

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1: RECITALS

1.1 Pursuant to the provisions of law, public hearings were held before the City of Moreno Valley Planning Commission on June 11, 25, and 30, 2015, and the City Council on July 15, 2015.

1.2 The matter was fully discussed and the public and other agencies presented testimony and documentation.

1.3 The revised Zoning Atlas map is attached hereto and incorporated herein as Exhibit A.

1.4 The pre-zoning map for the 85 acres subject to future annexation is attached hereto and incorporated herein as Exhibit B.

1.5 The Specific Plan is attached hereto and incorporated herein as Exhibit C.

SECTION 2: FINDINGS

2.1 Based upon substantial evidence presented to this City Council during the above-referenced meeting on July 15, 2015, including written and oral staff reports, and the record from the public hearing, this City Council hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed amendment to zoning, establishment of the World Logistics Center (WLC) Specific Plan, and related items are consistent with the General Plan, and its goals, objectives, policies and programs and with any applicable specific plan.

FACT: The proposed amendment to existing zoning classifications are consistent with the proposed General Plan amendments

proposed with the WLC Project including land use change to Business Park/Light industrial, all proposed zoning included in the WLC Specific Plan and areas lying outside and south of the WLC Specific Plan boundaries. Within the proposed WLC Specific Plan area (2,610 acres) 2,420 acres are proposed for logistics or industrial warehouse land uses, 74.3 acres for Open Space and 115.8 acres designated for roadway rights of way. Within the WLC Specific Plan area, up to 40.4 million square feet of future high-cube logistics uses are proposed in the Logistics Development land use designation, 200,000 square feet of warehouse and related uses are proposed in the Light Logistics land use designation. The proposed project by repeal of the Moreno Highlands Specific Plan will result in a reduction of residential zoning; however, the reduction of residential zoning is consistent with the 2014 updated General Plan Housing Element.

The proposed Pre-zoning/Annexation of an 85 acre portion of land currently in the County of Riverside into the City's boundaries by a subsequent separate action is consistent with the goals, objectives, policies and programs of the General Plan. The changes are consistent with Objective No. 42 of the City of Moreno General Plan which requires the City to maintain boundaries that are "logical in terms of service capabilities, economic development need, social and economic interdependencies, citizen desires and city costs and revenues." Policy 42.1 of the General Plan states that "the City will support and encourage the annexation of unincorporated areas within the General Plan study area for which benefits will be derived by the City upon annexation." The affected property is a logical extension of the city limits and Moreno Valley is the logical service provider. The area is currently included in the City's Sphere of Influence and additional annexation of approximately 85 acres would be within the City's service capacities.

2. **Health, Safety and Welfare** – The proposed amendment to zoning and related items will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: An Environmental Impact report (EIR) has been prepared for the overall project, including the proposed Change of Zone, General Plan amendment and WLC Specific Plan. The analysis presented in the EIR indicates that the proposed project will have certain significant unavoidable adverse impacts to Aesthetics, Air Quality Land Use, Noise, and Traffic/Circulation as described in detail within the document. All other environmental effects evaluated in the EIR are considered to be less than significant, or can be feasibly reduced with mitigation measures to less than

significant levels. A Mitigation Monitoring Program, which will ensure the completion of required mitigation measures for the project is included in the EIR.

A Statement of Overriding Considerations has been prepared in consideration of project impacts related to Aesthetics, Air Quality, Land Use, Noise, and Transportation/Traffic that cannot be mitigated to a less than significant level.

Of particular note, mitigation measures for air quality include measures such as the required inclusion of Tier 4 construction equipment, restriction of trucks that fall below 2010 engine emissions standards from entering project areas and limitation of truck idling to three (3) minutes, all in an effort to reduce air pollutant emissions. Mitigation measures for Noise include the reduction of short-term construction noise levels to include the requirement of a Noise Reduction Compliance Plan, restrictions on grading during nighttime hours, potential sound barriers, as well as measures for long term traffic and operation noise to include building specific noise studies required for individual plot plans, the potential for sound walls and maintenance of buffer areas.

3. The proposed amendment to zoning and related items are consistent with the purposes and intent of Title 9 of the City Municipal Code.

FACT: The proposed project conforms to applicable zoning regulations of the City and is consistent with modifications proposed to land use and zoning within the proposed General Plan Amendments, WLC Specific Plan, and other changes to zoning outside of the WLC Specific Plan area.

The WLC Specific Plan includes development regulations and design standards such as a circulation system that limits truck traffic access in the Plan area primarily through Theodore Street from Highway 60, and Gilman Springs Road from Alessandro Boulevard and a future street designated in the Plan as Street B, and thereby away from existing residential neighborhoods west of the project area. The Specific Plan provides special edge treatment areas surrounding the perimeter of the proposed WLC Specific Plan boundary which are consistent with aesthetic and quality community design objectives of the City.

The change of zone outside the WLC Specific Plan area includes a change to Open Space (OS) for areas to the south of the WLC Specific Plan boundary extending to the San Jacinto Wildlife Area. The change of zone is consistent with the California Department of

Fish and Wildlife land that is provided for habitat use and San Diego Gas and Electric properties which include utility uses and open space buffer areas around their property.

SECTION 3 - PREZONING

3.1 The City of Moreno Valley Official Zoning Atlas, as adopted by Ordinance No. 359, on April 14, 1992, and as amended thereafter from time to time by the City Council of the City of Moreno Valley, is further amended by placing in effect the intended zone or zone classification for the 85 acres of property at the northwest corner of Gilman Springs Road and Alessandra, as shown on the attached WLC Pre-Zoning map marked "Exhibit B" and included herein by reference, and which is contingent upon subsequent annexation action.

SECTION 4 AMENDMENT OF THE OFFICIAL ZONING ATLAS

4.1 **World Logistics Center Specific Plan** – Based on the findings contained in this ordinance, the City Council hereby amends the Official Zoning Atlas, in addition to as amended in Section 3, by including the property stated within this ordinance, and establishing a zoning classification of WLCSP-LD (World Logistics Center Specific Plan – Logistics Development) and WLCSP-LL (World Logistics Center Specific Plan – Light Logistics) for certain property as described on Exhibit A and C (included herein by reference, and on file in the office of the City Clerk).

4.2 **Areas located outside of the World Logistics Center Specific Plan** - Based on the findings contained in this ordinance, the City Council hereby amends the Official Zoning Atlas by including the property stated within this ordinance, and providing zoning classifications of OS (Open Space) for certain property as described on Exhibit A (included herein by reference, and on file in the office of the City Clerk).

4.3 **Pre-Zoning of 85 acre Annexation Site** - Based on the findings contained in this ordinance, the City Council hereby amends the Official Zoning Atlas by including the property stated within this ordinance into the City of Moreno Valley and the existing Sphere of Influence contingent upon a subsequent approval from the Riverside County Local Area Formation Commission (LAFCO), and establishing a zoning classification of WLCSP-LD (World Logistics Center Specific Plan – Logistics Development) for certain property as described in Exhibit B (included herein by reference, and on file in the office of the City Clerk).

SECTION 5: ADOPTION

5.1 Based on the foregoing recitals and findings, the City Council of the City of Moreno Valley does hereby adopt and approve the Zoning/Atlas Map, Pre-Zoning Map and Specific Plan attached hereto as Exhibits A, B and C and does hereby authorize the mayor to sign the ordinance on behalf of the City.

SECTION 6: EFFECT OF ENACTMENT:

6.1 Except as specifically provided herein, nothing contained in this ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 7: NOTICE OF ADOPTION:

7.1 Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this ordinance and cause it to be posted in three public places within the city.

SECTION 8: EFFECTIVE DATE:

This ordinance shall take effect thirty days after the date of its adoption.

APPROVED AND ADOPTED this _____ day of _____, 2015.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Proposed Ordinance No. 900 SPPre-Zoning (1636 : ORDINANCE NO. 900. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. 900 had its first reading on _____, _____ and had its second reading on _____, _____, and was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the _____ day of _____, _____, by the following vote:

AYES:

NOES:

ABSENT:

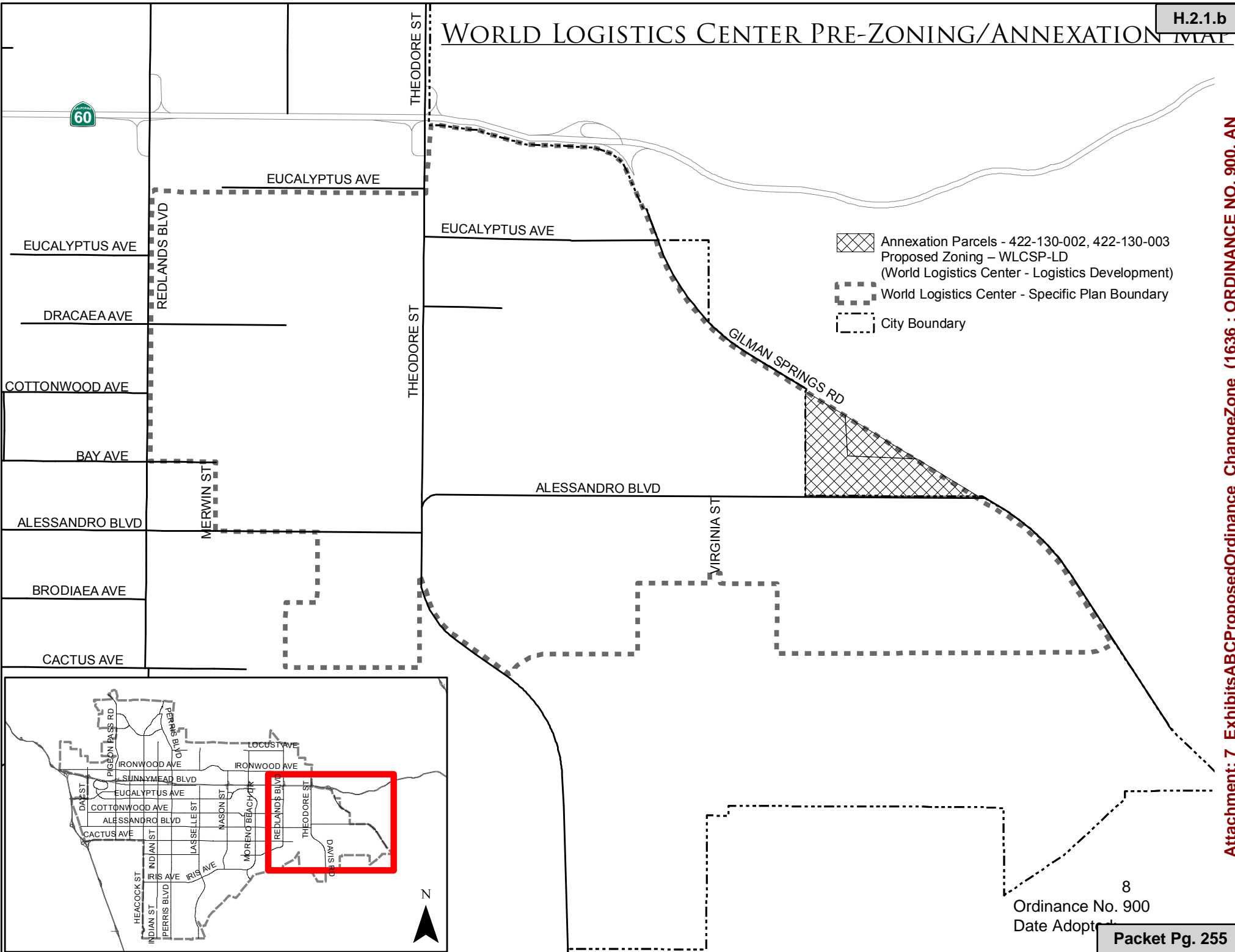
ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

WORLD LOGISTICS CENTER PRE-ZONING/ANNEXATION



Attachment: 7_ExhibitsABCProposedOrdinance_ChangeZone (1636 : ORDINANCE NO. 900. AN



THE WORLD LOGISTICS CENTER ®

SPECIFIC PLAN

September 2014

City of Moreno Valley
Riverside County, California



Adopted:

Date: _____

Ordinance # _____

9
Ordinance No. 900
Date Adopted _____



Note: The renderings, photographs and illustrations contained herein present the general vision and intent for future development. As the project progresses to actual construction, precise plans and design specifications consistent with these illustrations will be submitted to the City of Moreno Valley for review and approval prior to the issuance of construction permits.



DISCLAIMER

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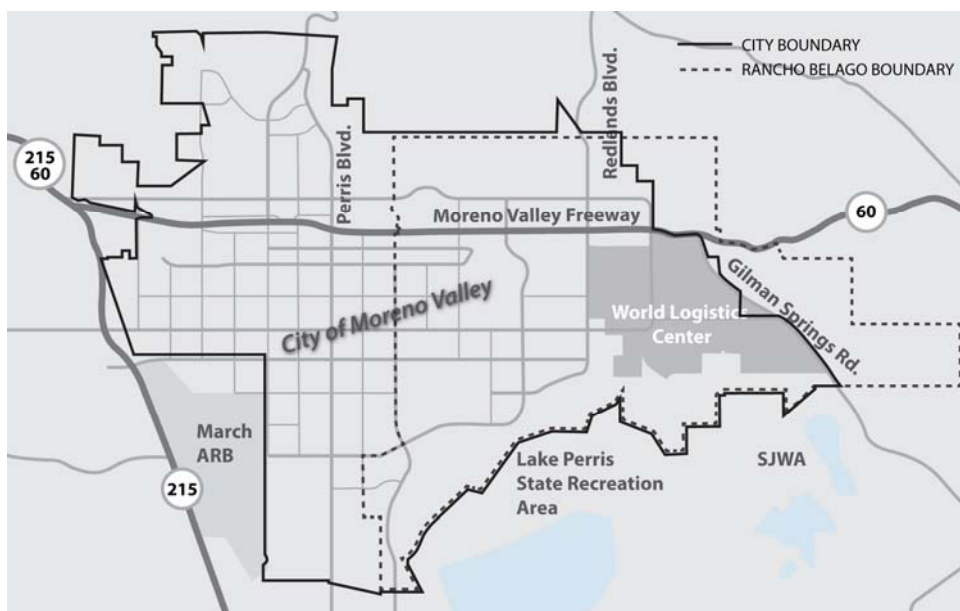
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1.0 INTRODUCTION

1.1 The World Logistics Center

The World Logistics Center is a master-planned development encompassing up to 40.6 million square feet of building area specifically designed to support large-scale logistics operations in a quality business environment.

The World Logistics Center Specific Plan covers 2,610 acres in Rancho Belago California, the eastern portion of Moreno Valley, located southerly of SR-60, between Redlands Boulevard and Gilman Springs Road northerly of the San Jacinto Wildlife Area (SJWA).



**Note* All maps and illustrations are shown enlarged in the Appendix.

Exhibit 1-1 Regional Map

1.2 Specific Plan Overview

The World Logistics Center Specific Plan will guide the orderly development of the World Logistics Center project in carrying out the City's General Plan. Within the Specific Plan, land use designations are identified and design guidelines, regulations, conditions, and programs are included to direct the systematic development of the project. This Specific Plan implements all applicable elements of the General Plan and includes detailed information about the area's infrastructure improvements such as roads, water, sewer, utilities and flood control facilities.





The World Logistics Center Specific Plan has been adopted pursuant to Government Code Section 65450 which grants authority to cities to adopt specific plans for purposes of implementing the goals and policies of their General Plans. The Government Code sets forth the minimum requirements and review procedures for specific plans including the provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures.

The Specific Plan complies with the City of Moreno Valley’s Municipal Code (Chapter 9.13) governing the content of specific plans and procedures for their adoption and enforcement.

1.3 Specific Plan Vision and Objectives

The vision for the World Logistics Center is to establish a world class corporate park environment specifically designed to support the unique logistics and operational needs of international companies and corporate users. The World Logistics Center features a clean and contemporary design aesthetic and an efficient, convenient circulation system to provide a highly functional logistics campus.

The objective of the Specific Plan is to establish the zoning criteria that will guide the orderly development of the World Logistics Center project and carry out the goals of the City’s General Plan. Included are development standards for integrated site planning, architecture, and landscaping. These standards establish a consistent design concept that produces a clear image and a sense of prestige, efficiency and integrity for the World Logistics Center and each project within.



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Exhibit 1-2 **Specific Plan Area**

1.3.1 Development Goals

The Specific Plan provides planning strategies and development standards created specifically for the property to incorporate its unique advantages, adapt to its constraints, meet the unique needs of a growing logistics industry, provide for the economic growth needs of the City, and create consistent and compatible land uses for the area in an environmentally responsible manner. Development of the World Logistics Center:

- Provides the land use designations and infrastructure plan necessary to support the City’s Economic Development Action Plan,
- Establishes Moreno Valley as a prime location for the logistics industry,
- Creates a project that will provide a balanced approach to the City’s responsibilities of fiscal viability, economic opportunity and environmental integrity,
- Provides thousands of ongoing employment opportunities,
- Provides thousands of construction job opportunities during the project’s build-out phase,
- Establishes architectural and landscape design guidelines for the project, and
- Provides appropriate transition between the project and adjacent uses.



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1.3.2 Green Building – Sustainable Development

Construction of the World Logistics Center will be in conformance with California’s “Cal-Green” building regulations, the most stringent, environmentally-friendly building code in the United States. Cal-Green is a comprehensive, far-reaching set of regulations which mandate environmentally-advanced building practices and regulations designed to conserve natural resources and reduce greenhouse gas emissions, energy consumption and water use.

In addition, all buildings in the World Logistics Center, of at least 500,000 square feet, shall be designed to meet or exceed the LEED Certified Building Standards as described in Section 12.8.

To augment its environmentally responsible building design, the project will incorporate sustainable design features to further reduce its environmental footprint, including but not limited to:

- Reduced water use for landscape irrigation,
- Street designs that harvest and channel runoff into landscape areas instead of storm drains,
- Accommodate the use of alternative means of transportation,
- Use recycled building materials to the extent feasible,
- Use local sources of building materials to the extent feasible,
- Minimize the use of impervious paved surfaces throughout the project,
- Incorporate on-site storm water capture and infiltration within landscape areas,
- Support alternative fuel use through the provision of an on-site alternative fueling site, and
- Provide for the use of roof-mounted solar systems or other alternative power systems.



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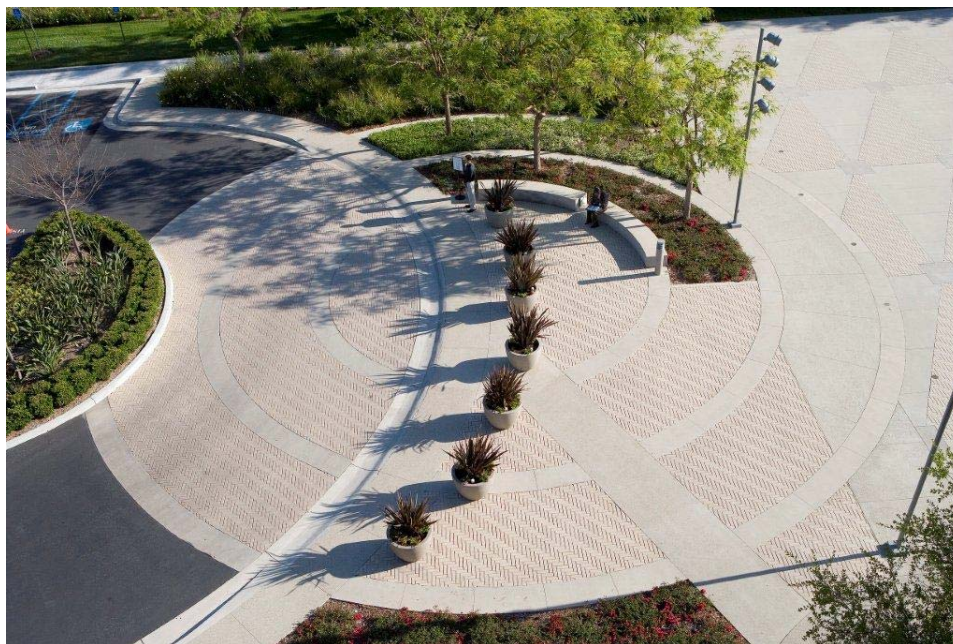
1.3.3 Sense of Place

The Specific Plan provides for the establishment of a strong and unique identity for the World Logistics Center. The Specific Plan guides the establishment of the project's sense of place by:

- Applying comprehensive, overall project design guidelines for architecture and project landscaping,
- Providing an efficient and simple circulation system specifically designed to accommodate truck circulation, and
- Using streetscapes, banners, entry monumentation, and architecture to strengthen the project identity.

1.3.4 Project Infrastructure

The Specific Plan identifies the backbone infrastructure systems needed to serve the project. Preliminary plans illustrate the proposed expansion of water, sewer, drainage and utility facilities. The infrastructure plan also provides for vehicular (car, truck and bus) and non-vehicular (bicycle and pedestrian) circulation, including a five-mile extension of the City's multi-use trail system.



The Specific Plan provides for the establishment of a strong and unique design identity for the World Logistics Center.



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1.4 Existing Setting

1.4.1 Existing Land Use

The World Logistics Center Specific Plan covers approximately 2,610 acres within Rancho Belago in eastern Moreno Valley in Riverside County, California. The project area is located southerly of SR-60, between Redlands Boulevard and Gilman Springs Road, north of the San Jacinto Wildlife Area. Existing uses include dry-farmed agricultural land, several scattered rural residential properties and a Metropolitan Water District (MWD) water distribution facility.



Exhibit 1-3 *Surrounding Land Uses*

Surrounding land uses include:

- North:** Highland Fairview Corporate Park (including Skechers), SR-60, vineyard and rural residential uses
- South:** Natural gas distribution facilities, San Jacinto Wildlife Area, Lake Perris State Recreation Area
- East:** Vacant hillside (Badlands), scattered residential uses
- West:** Suburban residential development, vacant land



1.4.2 Existing Fault Zones

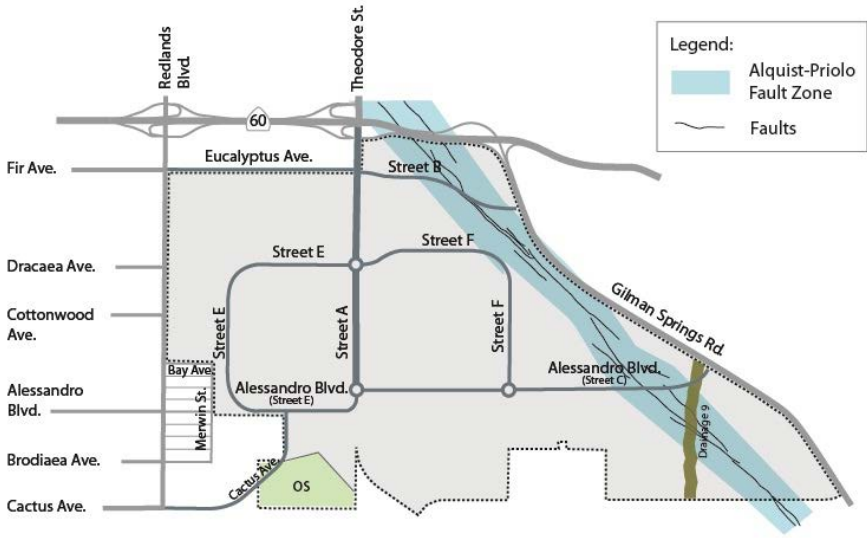


Exhibit 1-4 Existing Fault Zones

Based on preliminary geotechnical investigations conducted for the World Logistics Center property, a portion of the site is subject to geotechnical constraints that may affect the placement of future buildings on the property. Exhibit 1-4 “Existing Fault Zones” illustrates the location of the Alquist-Priolo Fault Zone on the site and shows where several concealed, inferred and known faults are believed to exist. Prior to the approval of all project-specific development proposals, detailed geotechnical investigation and analysis will be prepared and submitted to the City for review. The results of those studies will be incorporated into the detailed plans for each project.



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2.0 LAND USE PLAN

2.1 World Logistics Center Land Use Designations

The World Logistics Center Specific Plan provides for the development of a master-planned project specifically designed to support logistics uses by incorporating landscape and architectural standards, project-wide criteria for streets, drainage, public infrastructure, lighting and signage, and project features responsive to the needs of the logistics industry.

The Specific Plan includes a land use plan providing for three land use designations: Logistics Development (LD), Light Logistics (LL), and Open Space (OS).

A Circulation Plan provides a roadway network that moves cars and trucks into and through the World Logistics Center in a safe, efficient manner.

An Infrastructure Plan is included that addresses the current status of local infrastructure services such as water, sewer, storm drain, electricity and telephone/cable TV and outlines the backbone improvements necessary for these systems to serve the World Logistics Center project.

Guidelines for landscaping and architectural design are provided to ensure that a distinct consistent aesthetic theme is realized throughout the project.

Additionally, the Plan establishes an implementation program that provides the processes and procedures for the review and approval of project-specific development proposals, carrying out the purpose and intent of the Specific Plan.

All of these elements function together to create a comprehensive development program to ensure that the World Logistics Center becomes the contemporary standard for logistics campus projects.



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LAND USE PLAN

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Planning Area (PA)	Land Use	Area	Building SF
Logistics Development			
1	LD	77.8	1,100,000
2	LD	193.5	4,200,000
3	LD	120.3	1,600,000
4	LD	301.5	5,600,000
5	LD	64.2	1,100,000
6	LD	115.3	500,000
7	LD	10.3	50,000
8	LD	142.9	2,150,000
9	LD	485.8	10,400,000
10	LD	139.9	2,200,000
11	LD	500	8,000,000
12	LD	231.3	3,500,000
		2,382.8	40,400,000
Light Logistics			
20	LL	16.1	45,500
21	LL	10.5	77,250
22	LL	10.5	77,250
		37.1	200,000
Open Space			
30	OS	74.3	
		74.3	
Right of Way			
ROW		115.8	
		115.8	
Grand Total		2,610.0	40,600,000



Exhibit 2-1 Land Use Plan

LAND USE PLAN

Land Use Designations:

Logistics Development - (LD)

The LD designation provides for high-cube logistics warehouse uses consisting of buildings of 500,000 square feet or greater. Warehousing and logistics activities consistent with the storage, assembly and processing of manufactured goods and materials prior to their distribution to other facilities are permitted within this category along with facilities for the outdoor storage of trucks, trailers and shipping containers. Ancillary office, employee services and property management facilities are permitted in connection with primary uses. Development standards for the LD category are included in Section 2.2 of this Specific Plan.

Light Logistics - (LL)

The LL designation provides for warehouse uses less than 500,000 square feet in size, self-storage and vehicle storage uses. Ancillary office, employee services and property management facilities are permitted in connection with primary uses. Development standards for the LL category are included in Section 2.3 of this Specific Plan.

Open Space - (OS)

The OS designation identifies a 74.3 acre area in the southwestern portion of the site which is a portion of Mt. Russell. The intent of the OS designation is to preserve this area as a permanent Open Space. This area shall comply with the City of Moreno Valley Open Space Standards and permitted uses.



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LAND USE PLAN

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2.2 Logistics Development (LD) Category



2.2.1 Purpose and Intent

The LD category is intended to provide for the development of large, high-cube logistics warehouse buildings.

2.2.2 Permitted Uses

- a. High-cube warehouses
- b. Vehicle, equipment and container storage (as a separate use or in connection with other permitted uses)
- c. Short-term and long-term construction yards within, or immediately adjacent to approved construction sites
- d. Cellular transmission facilities and structures
- e. Public utility uses and structures
- f. Fire station (see Section 2.2.4)
- g. Logistics support (see Section 2.2.5)
- h. Property maintenance facilities (POA facilities, offices, vehicle storage, nurseries, etc.)

2.2.3 Development Standards (see Section 2.2.5 for standards applicable to logistics support)

- a. Minimum Lot Size – one acre
- b. Minimum Lot Dimensions – width – 200 feet
depth – 200 feet
- c. Minimum Building Size
 1. High-cube logistics uses: 500,000 square feet
 2. All other uses – no minimum



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- d. Floor Area Ratio (FAR)
 - 1. High-cube logistics uses – no minimum; 1.0 FAR maximum.
- e. Building Height
 - 1. Vehicle/container storage uses – maximum 25 feet
 - 2. High-cube logistics uses – maximum 60 feet or 80 feet per Exhibit 5-3
 - 3. Cell towers – refer to Municipal Code.
- f. Building Setbacks (Minimum)
 - 1. From any public street: 60 feet.
 - 2. From other property lines: no minimum
 - 3. From residentially occupied property within the WLC: all buildings shall be set back a distance equal to or greater than the height of the proposed building.
 - 4. From SJWA property: 400 feet (See Exhibit 4-16)
 - 5. From residentially zoned property: 250 feet measured from the City/County zoning boundary (See exhibits in Section 4.2.4)
 - 6. From SDG&E Compressor Station buildings: No buildings shall be located less than 1000 feet from existing buildings at the SDG&E Compressor Station. (See Exhibit 4-16)
- g. Maximum Lot Coverage – None
- h. Landscape Coverage
 - 1. High-cube logistics uses – 10% minimum
 - 2. All other uses – no minimum
 - 3. Landscape buffer - 20 feet minimum from street
- i. Accessory Structure Size – no minimum, no maximum
- j. Accessory Structure Setbacks – same as primary buildings
- k. Legal nonconforming uses: the provisions of Municipal Code Section 9.02.180 “Legal nonconforming uses, improvements and parcels” shall apply.



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LAND USE PLAN

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2.2.4 Fire Station Site

A 1.5-acre site for a future fire station will be provided in the easterly portion of the Specific Plan. The fire station will be built during Phase 1 (see Exhibit 8-1) and will be approximately 11,000 square feet in size. The exact location and configuration of the facility will be established in connection with the design and development of adjacent properties. The precise timing for the construction of a fire station will be determined by several factors, including the phasing of WLC development, the construction of other planned fire stations, and the location and size of WLC buildings. The Fire Department will review the need for a fire station with each site specific Plot Plan application.



Exhibit 2-2 Fire Station Site



2.2.5 Logistics Support



2.2.5.1 Purpose and Intent

Logistics support sites shall be located on property within the LD category. Logistics support sites provide services within the WLC including fueling facilities (including alternative fuels such as, but not limited to, LNG, CNG, biofuel, etc.) and limited commercial uses oriented to truck operators serving the World Logistics Center.

2.2.5.2 Project Location

The exact locations and configurations of the facilities will be established in connection with the design and development of adjacent properties, subject to the following criteria. The sites shall be located:

- a) Within a LD designated area
- b) With frontage on an internal collector street
- c) On sites with adequate size, access, sight distance, and grades to safely accommodate large trucks as determined through the Plot Plan process.

2.2.5.3 Permitted Uses

- a. Motor fuel sales
 - a. Any Plot Plan application for fuel sales and/or fuel storage shall include a risk assessment evaluating potential health or safety risks from the operation of such uses at the proposed sites.
- b. Retail sales when operated in connection with a primary fuel sales use
- c. Construction yards within, or immediately adjacent to approved construction sites



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- d. Cellular transmission facilities and structures
- e. Public utility uses and structures

2.2.5.4 Prohibited Uses

- a. Vehicle service/maintenance/repairs/storage
- b. Drive-thru facilities
- c. Overnight truck parking
- d. Towing services

2.2.5.5 Development Standards

- a. Minimum Lot Size – 1.0 acre
- b. Minimum Lot Dimension – width – 200 feet
depth – 200 feet
- c. Building Size – no minimum, 3,000 sq. ft. maximum not including canopy area
- d. Floor Area Ratio
 - 1. No minimum; 1.0 FAR maximum.
- e. Building Height – 25 feet maximum
- f. Setbacks (Minimum):
 - 1. 20 feet from all property lines except adjacent to any residential property where buildings shall be set back a distance equal to or greater than the height of the proposed building.
 - 2. All fueling facilities shall be a minimum of 250 feet from any residentially occupied or zoned properties.
- g. Maximum Lot Coverage – None
- h. Landscape Coverage - no minimum
 - 1. Landscape Buffer – 20 feet minimum from street
- i. Canopies – Fueling areas shall be covered.
- j. Accessory Structure Size – no minimum, no maximum
- k. Accessory Structure Setbacks – same as primary buildings
- l. Prohibited Uses –
 - 1. Vehicle service/ maintenance/ repairs/ storage
 - 2. Drive-thru facilities
 - 3. Overnight truck parking
 - 4. Towing services



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2.3 Light Logistics (LL) Category



2.3.1 Purpose and Intent

The LL “Light Logistics” designation provides for warehouse buildings and other storage uses and buildings less than 500,000 square feet in size.

2.3.2 Permitted Uses

- a. High-cube warehouses
- b. Vehicle, equipment and container storage (as a separate use or in connection with other permitted uses)
- c. Short-term and long-term construction yards within, or immediately adjacent to approved construction sites
- d. Cellular transmission facilities and structures
- e. Public utility uses and structures
- f. Fire station
- g. Property maintenance facilities (POA facilities, offices, vehicle storage, nurseries, etc.)

2.3.3 Development Standards

- a. Minimum Lot Size – one acre
- b. Minimum Lot Dimension – width – 200 feet
depth – 200 feet
- c. Minimum Building Size– None
- d. Floor Area Ratio
 1. Warehouses – no minimum; 1.0 FAR maximum.
- e. Building Height – sixty feet maximum



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- f. Building Setbacks (Minimum)
 - 1. From any public street: twenty feet.
 - 2. From other property lines: no minimum
 - 3. From residentially occupied property within the WLC: all buildings shall be set back a distance equal to or greater than the height of the proposed building.
 - 4. From residentially zoned property: 250 feet measured from the City/County zoning boundary (See exhibits in Section 4.2.4)
 - 5. Designated emergency access drives and employee/visitor parking are permitted in all setback areas.
- g. Maximum Lot Coverage – None
- h. Landscape Coverage - No Minimum
 - 1. Landscape buffer – 20 feet minimum from street
- i. Accessory Structure Size – no minimum, no maximum
- j. Accessory Structure Setbacks – same as primary buildings
- k. Legal nonconforming uses - the provisions of Municipal Code Section 9.02.180 “Legal nonconforming uses, improvements and parcels” shall apply.



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2.4 Standards and Guidelines for Open Space

All uses and development with the Open Space (OS) designation shall comply with the standards, guidelines and procedures contained in Section 9.06.030 of the Municipal Code.

The entirety of Planning Area 30 will be offered for dedication in fee to the State of California for expansion of its adjacent ownership. If the offer is not accepted, the land may be dedicated to a local conservation agency, a property owners' association or retained in private ownership.



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2.5 Special Edge Treatment Areas

The Specific Plan includes three designated areas where special setbacks, facilities, grading and landscaping will be provided to create special edge treatment areas between the World Logistics Center and adjacent, existing land uses. These edge areas are shown on Exhibit 2-3 and detailed cross sections are shown in Section 4.2.4.

2.5.1 Western Edge

The Western edge is adjacent to residentially-zoned property. This edge will feature a restricted use area in which no buildings, truck courts, loading areas, truck circulation areas, or truck or trailer storage uses are permitted. Employee/visitor parking, emergency access, landscaping, drainage facilities, and property maintenance access are permitted in this area. The restricted use area will be at least 250 feet from any residential zoning boundary.

2.5.2 SR-60 Edge

The SR-60 edge through the WLC will continue the general design established with the Highland Fairview Corporate Park project immediately to the west. Similar to the HFCP project, future development areas within the WLC will be lower than the freeway, with landscaped slopes providing screening of adjacent buildings and circulation areas. To ensure a consistent appearance of this edge, the landscape treatment of these slopes will continue the design and plant palette utilized at the HFCP project.

2.5.3 SJWA Edge

The San Jacinto Wildlife Area (SJWA) edge is along the southerly boundary of Planning Areas 10 and 12 (See Exhibit 2-1) and adjacent to state-owned open space currently in agricultural use. This edge will feature a restricted use area of at least 250 feet from these state-owned properties. No buildings, truck courts, loading areas, employee/visitor parking, truck circulation areas, or truck or trailer storage uses are permitted within this area. Emergency access, landscaping, drainage facilities, and property maintenance access are permitted. In addition to this 250 foot restricted use area, additional setback will be provided such that all buildings are a minimum of 400 feet from the SJWA boundary.

2.5.4 Gilman Springs Road Edge

The Gilman Springs Road edge will feature a restricted use area of at least 250 feet from any residential zoning boundary. No buildings, truck courts,



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loading areas, truck circulation areas, or truck or trailer storage uses are permitted within this area. Employee/visitor parking, emergency access, landscaping, drainage facilities, and property maintenance access are permitted. This restricted use area may be reduced subject to the review of project-specific air quality and noise analyses.

2.5.5 Concept Plans

Prior to approval of any subdivision or Plot Plan including or adjacent to a Special Edge Treatment Area, a concept plan for that entire edge area shall be submitted to and approved by the Planning Official. The concept plan shall include proposed grading, improvements, landscaping, drainage facilities, lighting, signage, trails, vehicular / pedestrian access, and any other proposed improvements. Site-specific projects shall be consistent with these concept plans.



Exhibit 2-3 Special Edge Treatment Areas



3.0 INFRASTRUCTURE PLAN

The Infrastructure Plan serves as a guide for the development of detailed plans for roadways, domestic water, wastewater, storm water and utilities that will serve the Specific Plan area. The conceptual infrastructure plans generally identify the location of infrastructure facilities within the project. Subsequent subdivisions and site development plans will establish the exact size and location of all such facilities.

3.1 Circulation

The Circulation Plan provides standards and guidelines that ensure the safe and efficient movement of people and vehicles into and through the World Logistics Center, addressing light trucks and passenger vehicles, heavy trucks, public transit, and non-vehicular circulation (pedestrians and bicycles). The Circulation Plan includes new streets and the extension of existing streets that will be renamed.

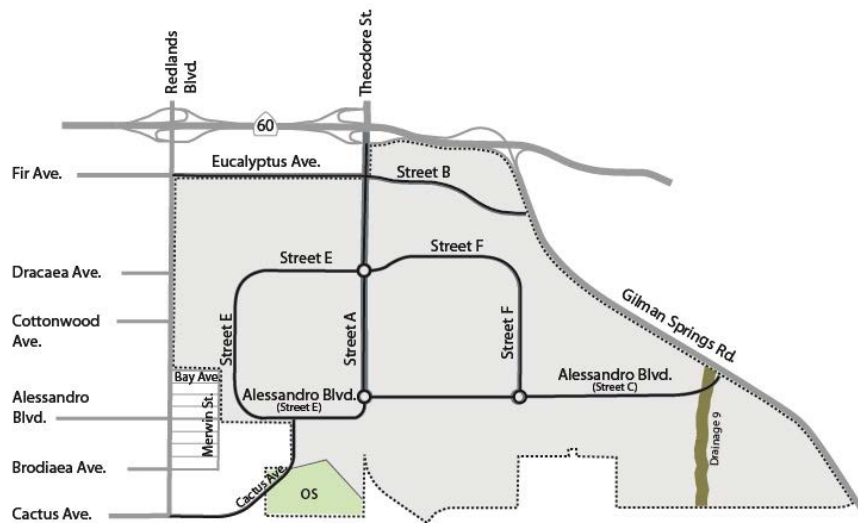


Exhibit 3-1 Circulation Plan

Five points of access bring vehicles into the World Logistics Center. The primary access to the project will be via Theodore Street, with additional accesses at Eucalyptus Avenue, Cactus Avenue and Gilman Springs Road.



3.2 Freeway

State Route 60 (SR-60) runs along the northerly border of the World Logistics Center. Existing interchanges adjacent to the project are located at Redlands Boulevard, Theodore Street and Gilman Springs Road. Theodore Street will be the primary connection to SR-60 for the World Logistics Center.

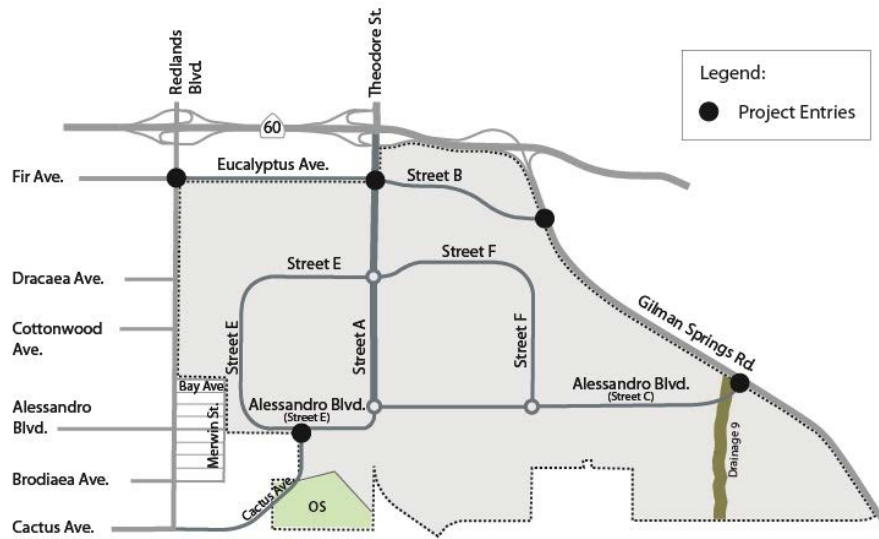


Exhibit 3-2 Project Entries

3.3 Vehicular Circulation

3.3.1 Passenger Car and Truck Circulation

The World Logistics Center is designed to provide easy vehicular access to the project via five access points around the site.

A major feature of the plan is a road system that directs all heavy truck traffic to and from SR60 and Gilman Springs Road eliminating the need to travel through residential areas to the west. Cactus Avenue and Redlands Boulevard south of Eucalyptus Avenue are not designated Truck Routes. Cactus Avenue will be designed and/or signed to prohibit use by heavy trucks.

The primary truck entry to the site is through the Theodore Street/SR60 interchange. Secondary truck access points are provided at Gilman Springs Road via intersections with Street B and Alessandro Boulevard.



Access for cars and light/medium trucks is provided via the extension of Cactus Avenue in the southwest portion of the project. No heavy trucks are allowed to use this access. Redlands Boulevard south of Eucalyptus Avenue allows only passenger vehicle and light/medium truck access as it is not a City-designated truck route.

Alessandro Boulevard is a historic roadway (per Resolution CPAB 88-2) and is subject to Special Regulations contained in Section 12.9 of this Specific Plan.

3.3.2 Street Designations

A network of arterial and collector streets serve the World Logistics Center. Their primary function is to serve traffic within the project area, but some provide regional connectivity through the project. Street sections within the project are shown on the following pages. Specific design details of these roadways will be determined in subsequent subdivision and site development approvals. Additional rights-of-way may be required for turn lanes. Turn lanes are provided in the median of all arterial streets, subject to City approval.

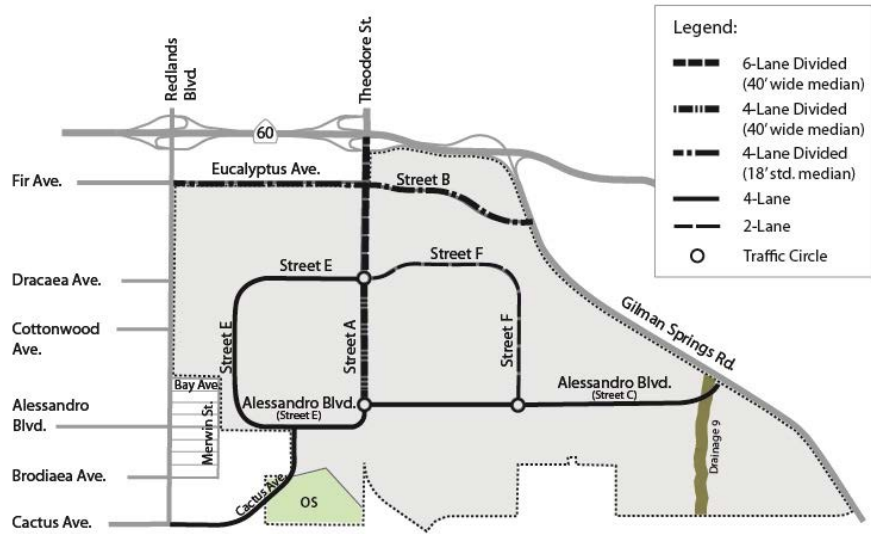


Exhibit 3-3 Street Configurations



Street A (Theodore Street)

Street A (Theodore Street) runs north-south through the World Logistics Center. It is a 6-lane and 4-lane divided arterial roadway as shown on Exhibit 3-3, with additional widening and lane improvements at its intersections with SR-60, Eucalyptus Avenue and local interior collector streets. These interior intersections will be upgraded with roundabouts, providing for more efficient traffic flow.

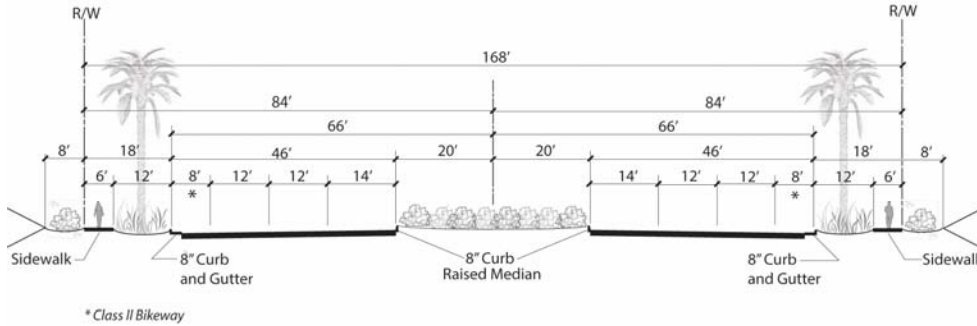


Exhibit 3-4a Street "A" (Theodore Street) North of Street "E"

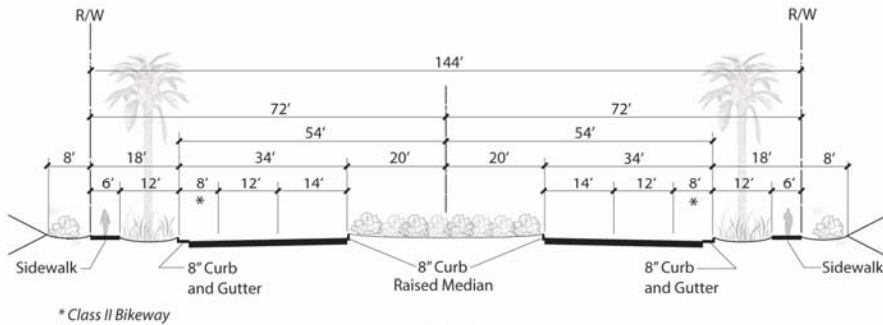


Exhibit 3-4b Street "A" (Theodore Street) South of Street "E"



Eucalyptus Avenue

Eucalyptus Avenue is a 4-lane divided arterial roadway running east-west northerly of the WLC Specific Plan area from Theodore Street on the east to Redlands Boulevard on the west. A portion of this street was constructed with the Highland Fairview Corporate Park project. The City's General Plan shows this street ultimately extending westerly across the City.

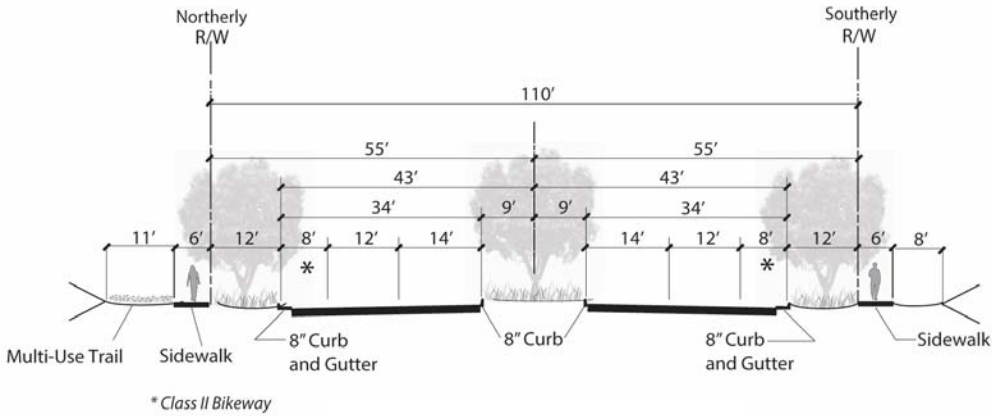


Exhibit 3-5 Eucalyptus Avenue

Street B (Eucalyptus Avenue Extension)

Street B (Eucalyptus Avenue Extension) is a 4-lane divided arterial roadway, running east-west through the northerly portion of the World Logistics Center from Gilman Springs Road on the east to existing Eucalyptus Avenue at Street A (Theodore Street) on the west. The City's General Plan shows this street ultimately extending westerly across the City.

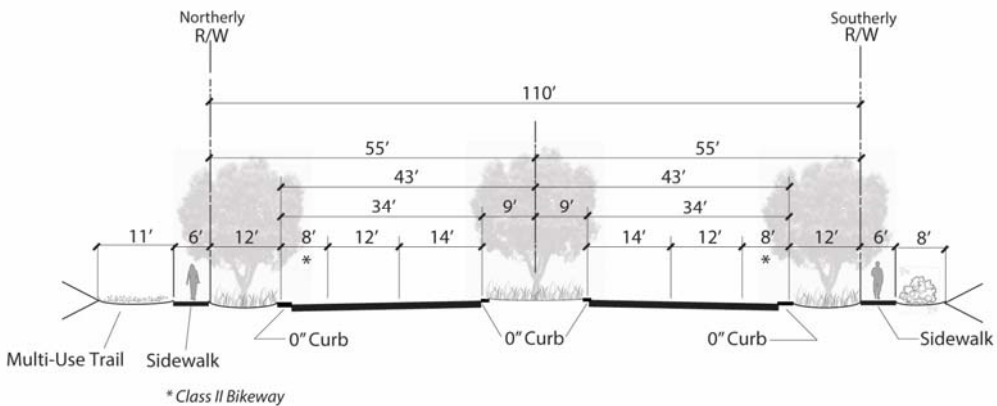


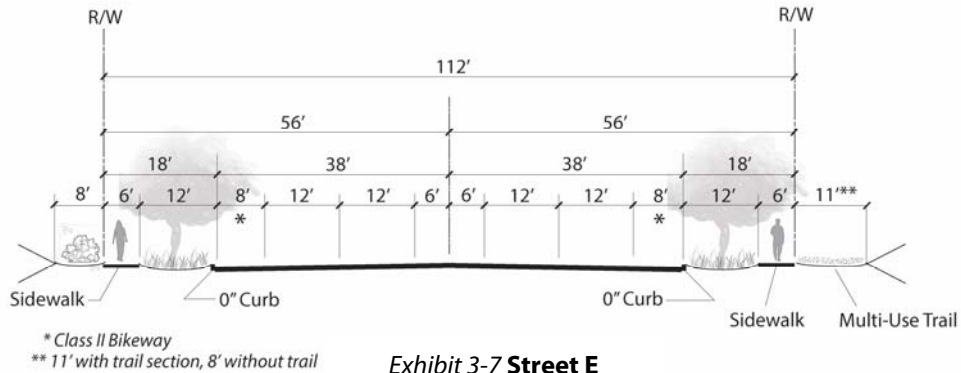
Exhibit 3-6 Street B (Eucalyptus Avenue Extension)



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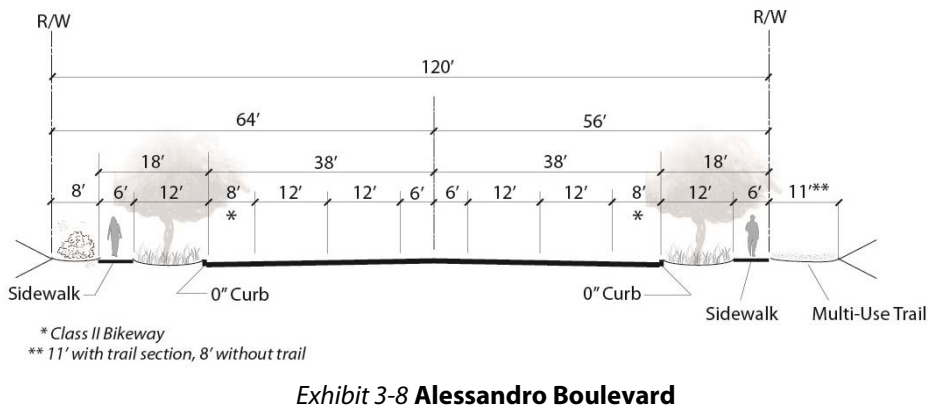
Street E

Street E is a 4-lane undivided arterial roadway providing direct access to development areas in the westerly portion of the project. A roundabout is planned at its intersection with Street A. Design details of this roadway will be determined by subsequent subdivision and site development approvals.



Alessandro Boulevard

Alessandro Boulevard is a 4-lane undivided roadway running east-west through the World Logistics Center, from Gilman Springs Road to Cactus Avenue. This roadway is a City-designated historic roadway (Resolution CPAB 88-2) and is subject to Special Regulations contained in Section 12.9 of this Specific Plan. Vehicular access will be prohibited on a portion of Alessandro Boulevard, east of Merwin Street in order to reduce through traffic and associated impacts on the residential portion of Alessandro Boulevard. Roundabouts are planned with its intersection with Street A and Street F.



Note: See special regulations applicable to Alessandro Boulevard in Section 12.9 of the Specific Plan



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Street F

Street F is a two-lane internal collector road providing direct access to development areas in the central portion of the project. It intersects with Street A (Theodore Street) at its northerly end and with Alessandro Boulevard at its southerly end. Both of these intersections will be roundabouts. Specific design details of this roadway will be determined by subsequent subdivision and site development approvals.

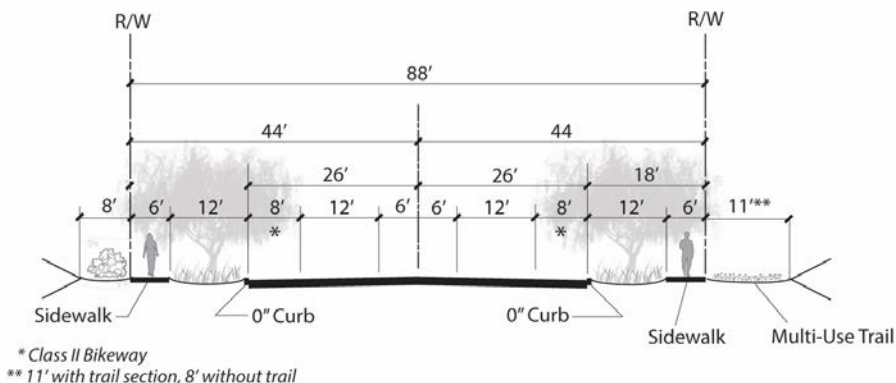


Exhibit 3-9 Street F

Cactus Avenue (Extension)

The extension of Cactus Avenue will be a 4-lane undivided minor arterial roadway connecting existing Cactus Avenue with Alessandro Boulevard and Street E. Heavy trucks will be prohibited from using Cactus Avenue to enter and exit the WLC. Special design (where possible) and signage will reinforce this restriction as established by the City.

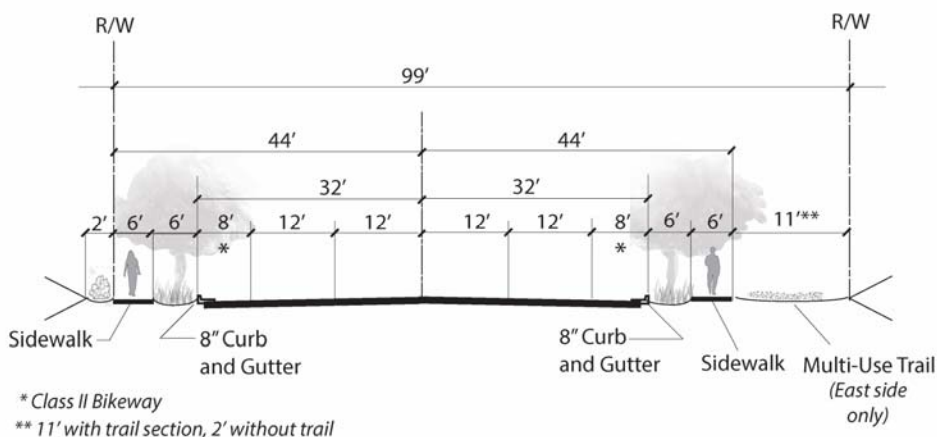


Exhibit 3-10 Cactus Avenue (Extension)



INFRASTRUCTURE PLAN

3.3.3 Truck Circulation

The efficient, safe circulation of large commercial vehicles is a major component of the World Logistics Center. The circulation system is designed to move large vehicles between the regional highway system and the businesses of the World Logistics Center while directing heavy trucks away from nearby residential neighborhoods. The World Logistics Center plan directs all heavy truck traffic to SR-60 and Gilman Springs Road and away from Redlands Boulevard (south of Eucalyptus Avenue) and Cactus Avenue. These prohibitions are incorporated in the City's Truck Route Ordinance.

Signage or road design, as determined by the City, will prohibit heavy trucks from using Cactus Avenue to enter or exit the project. The City's Truck Route Ordinance will reinforce these prohibitions.

The interior roadways of the WLC will be City-designated Truck Routes.

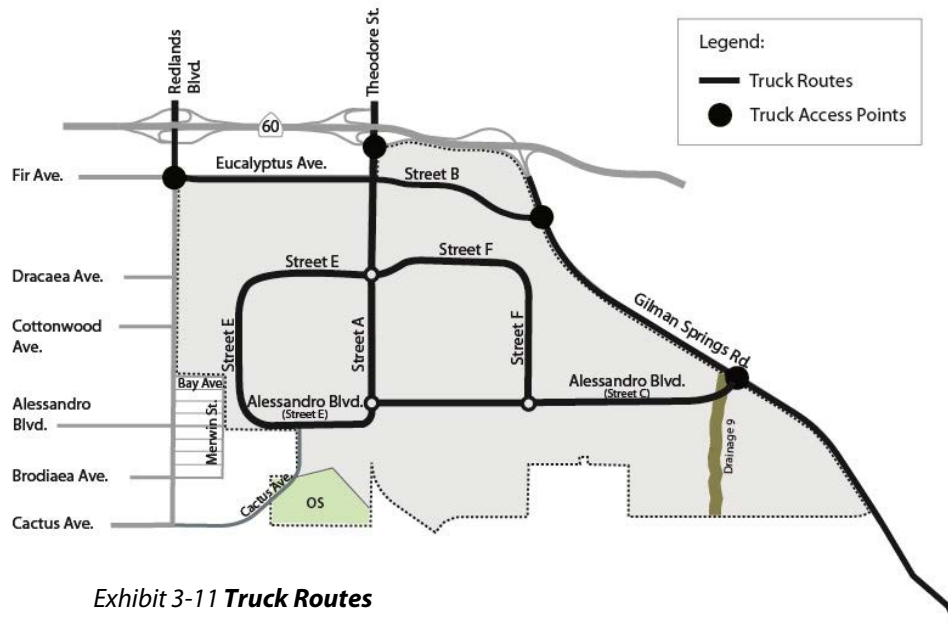


Exhibit 3-11 Truck Routes



The Plan includes three roundabouts for safe and efficient vehicular movement throughout the project. They are located at Street A (Theodore Street), Alessandro Boulevard, Street E, and Street F. The detailed design of these roundabouts will be reviewed by the City in connection with site specific design projects.

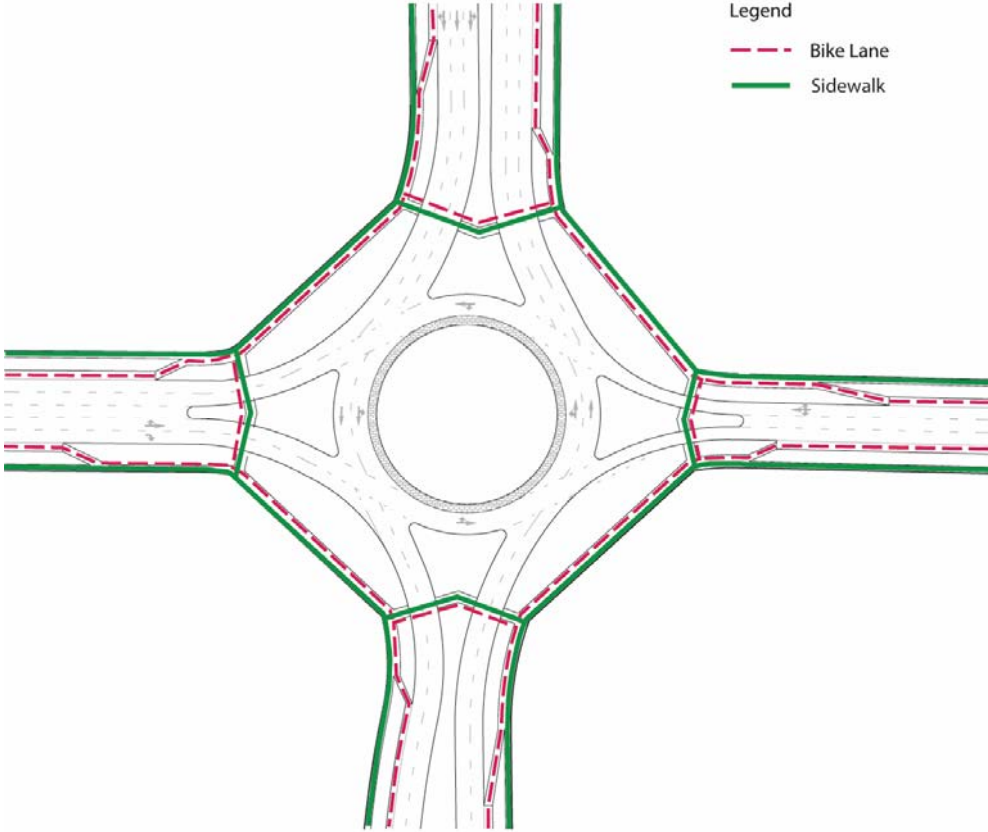


Exhibit 3-12 Roundabout Diagram



Example of Roundabout Circulation



The World Logistics Center Specific Plan prohibits parking on all streets except at designated truck parking lanes. These lanes provide parking areas for vehicles for a limited duration (no overnight parking) when access to project sites is not available. They are designed to be offset from the traffic lanes to allow for unobstructed thru-traffic and shall be located no closer than 200 feet from intersecting street curb returns. The locations and detailed designs will be reviewed in connection with subdivision and site development permits. No truck parking lanes will be located on Street A.

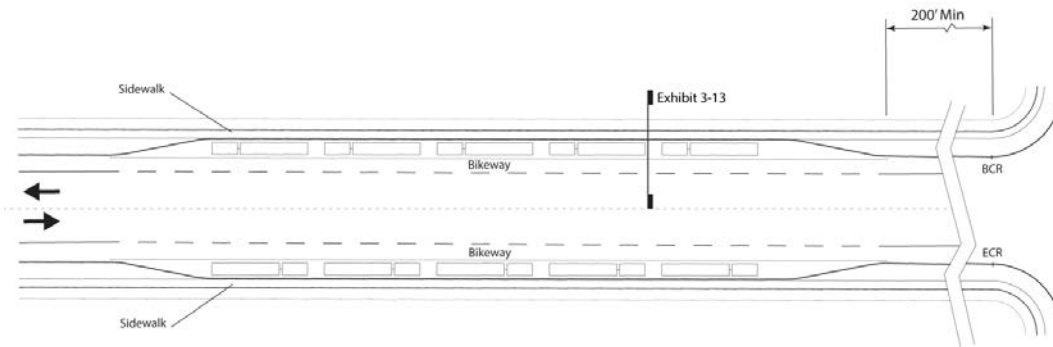


Exhibit 3-13 Truck Pullout Diagram

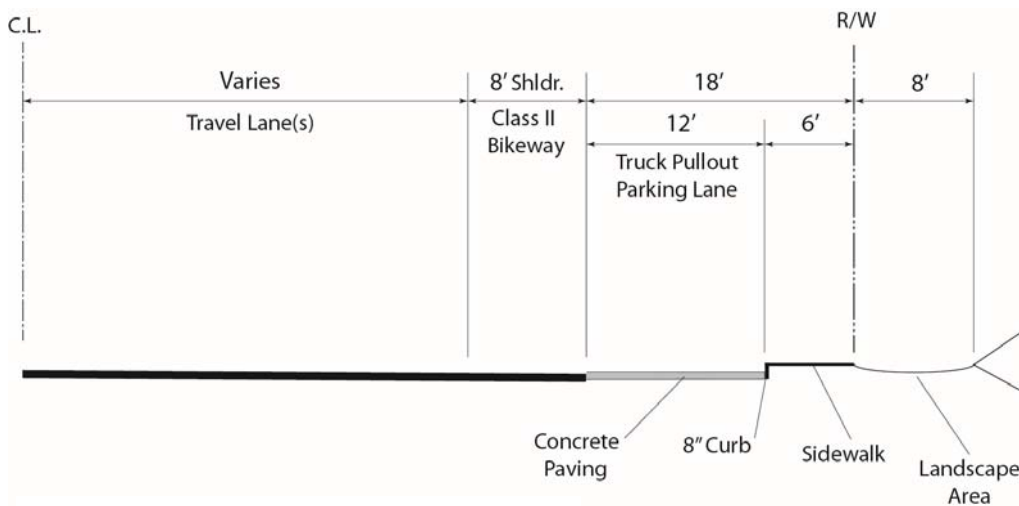


Exhibit 3-14 Truck Parking Lane Section



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3.3.4 Mass Transit Circulation

All streets in the World Logistics Center are designed to accommodate bus service. Regional bus service in Western Riverside County is provided by the Riverside Transit Agency (RTA), however they do not currently operate any routes in the immediate vicinity of the World Logistics Center. RTA will determine if and when bus service will be provided. Facilities to support future bus service to the project pursuant to RTA’s “Design Guidelines for Bus Transit” will be incorporated, as needed, into street design in connection with site-specific development proposals. Covered shelters shall be provided when bus routes are activated. A standard design for shelters shall be reviewed and approved by RTA and the City prior to installation of the first shelter.



Exhibit 3-15 Potential Bus Route

Exhibit 3-14 illustrates a potential bus route that would conveniently serve the majority of building areas within the WLC. This is only a conceptual route. The RTA will determine if and when bus service will be extended to the WLC area and its route.



3.3.5 Emergency Access

An emergency vehicular access connection will be provided from Street E to public roads to the west. This connection will also be designed to accommodate pedestrian and bicycle use to facilitate non-vehicular circulation within the WLC project. A conceptual design for an emergency access connection is shown in Figure 3-16.

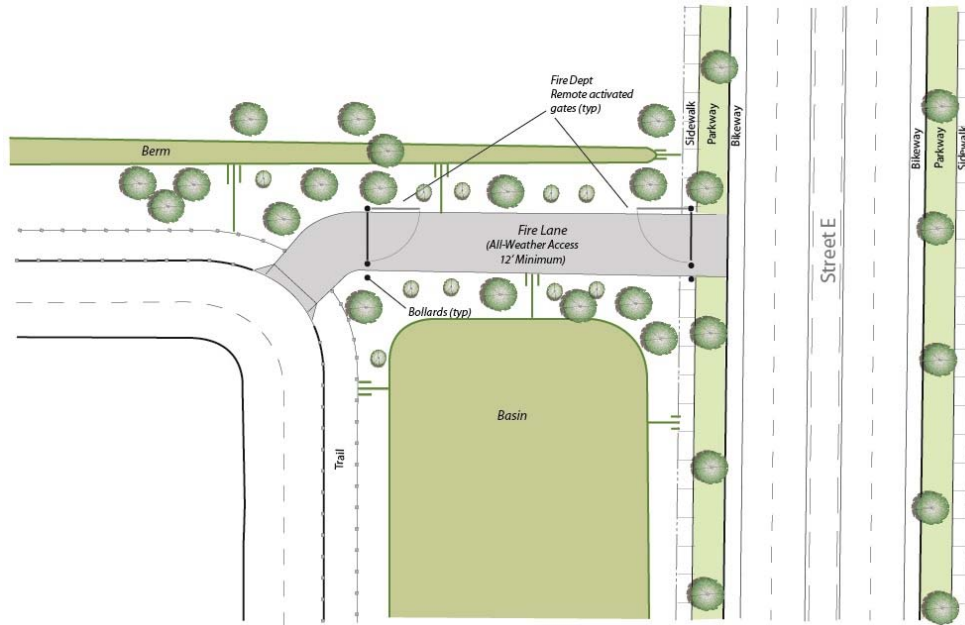


Exhibit 3-16 **Emergency Access (Conceptual)**

3.4 Non Vehicular Circulation

3.4.1 Pedestrian Circulation

The World Logistics Center provides a network of sidewalks on all project streets, as required to comply with ADA and other applicable codes, to connect all areas of the project to surrounding areas and to interconnect all buildings within the project. Details of these sidewalks will be reviewed and approved by the City in connection with subdivision and site development approvals.



3.4.2 Multi-Use Trails

To provide public trail access to the Lake Perris Recreational Area, an extension of the City’s Redlands Boulevard multi-use trail will cross Redlands Boulevard at Cottonwood Avenue and continue southerly and easterly as shown on Exhibit 3-16.

The existing multi-use trail along the north side of Eucalyptus Avenue will be extended along Street B to Gilman Springs Road and then southerly to connect with the trail head as shown in Exhibit 3-16.

In the future a connection between the trail head and SJWA may be constructed by others.

Details of these trail alignments will be established with site-specific development proposals. The multi-use trails within the World Logistics Center will comply with existing city standards and will be constructed concurrently with adjacent development projects. Once constructed, the trails and trail head will be operated and maintained by the City and funded by a special financing district.

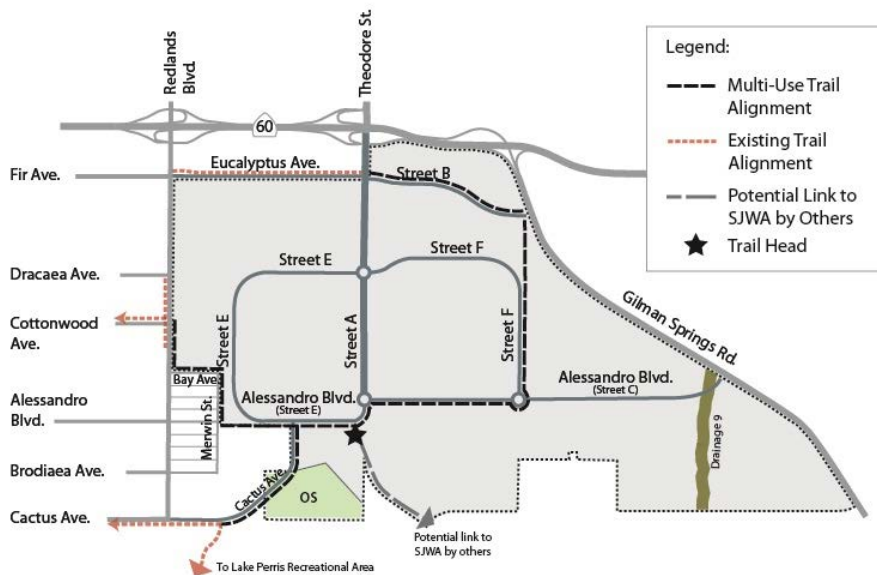


Exhibit 3-17 Multi-Use Trail Plan

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3.4.3 Bicycle Circulation

Class II bikeways are provided along all roadways within the World Logistics Center. Details of these facilities will be established with subdivision and site development approvals. All street improvement plans will include these bikeways.

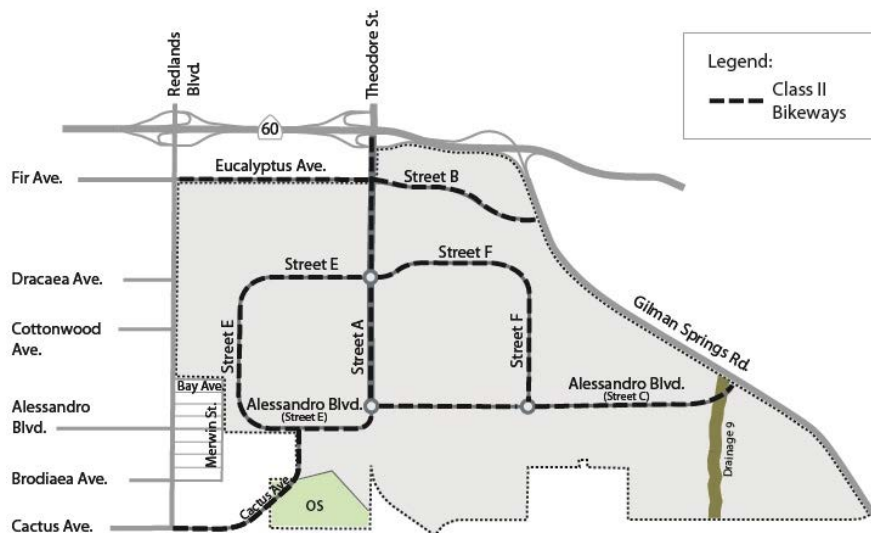


Exhibit 3-18 **Bicycle Circulation Plan**

3.5 Utilities

3.5.1 Water

Eastern Municipal Water District (EMWD) provides water service to the World Logistics Center, receiving its water from Metropolitan Water District (MWD) and local groundwater wells. The 2009 EMWD Water Facilities Master Plan (Master Plan) in conjunction with the Moreno Valley Water Pressure Zone Realignment Study (Realignment Study) evaluated the existing and future water needs and facilities required for the Moreno Valley Water System. The Master Plan and the Realignment Study analyzed the existing water system operating pressures and flows and recommended improvements to the system including realignment of the 1764 and 1900 pressures zones to 1764, 1860 and 1967 pressure zones. The area is currently served by existing pipelines in the 1764 and 1900 pressure zones that range in size from 8-inch to 21-inch diameter pipes.



The California Aqueduct/Metropolitan Water District (MWD) owns and operates a transmission line 145 inches in diameter, running north-south through the project area in Street A, and east-west in existing Eucalyptus Avenue, east of Street A.

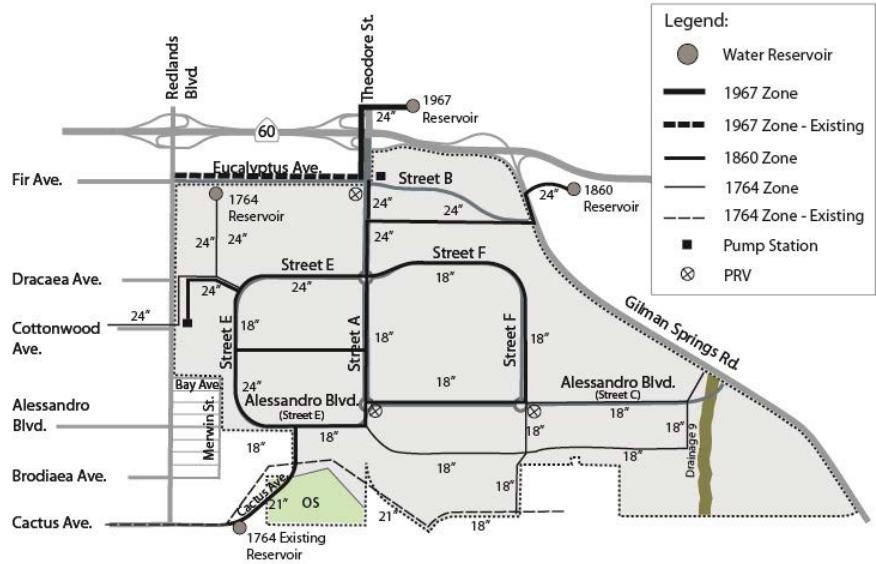
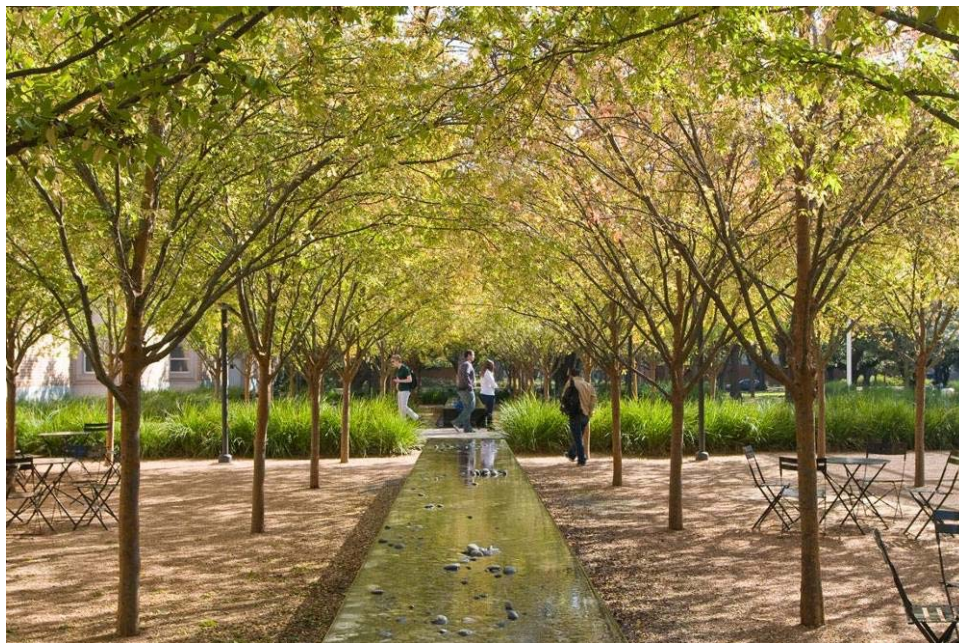


Exhibit 3-19 Water Facilities Master Plan

Development of the proposed project site will require three new water reservoirs to serve the respective water pressure zones (1967, 1860 and 1764). Two of the reservoirs are located outside of the Specific Plan boundary.

As development proceeds within the World Logistics Center, new waterlines, ranging in size from 12" to 24", will be constructed in the existing and proposed roadways to connect to future water tanks. The water system will require a new pump station. All water facilities will be constructed to EMWD standards and will be subject to a Plan of Service approval.





Minimize water infrastructure through native and drought tolerant landscapes

3.5.2 Sewer

Eastern Municipal Water District (EMWD) provides wastewater service to the World Logistics Center area. Wastewater generated from the World Logistics Center area will be treated at EMWD's Moreno Valley Regional Water Reclamation Facility (MVRWRF). The MVRWRF, located in the southwestern portion of the City near Kitching Street and Mariposa Avenue, has the capacity to treat 16 million gallons per day (MGD) of wastewater, which will accommodate the needs of the WLC project. The primary trunk sewer line serving the World Logistics Center area is located in Redlands Boulevard. This trunk sewer line continues in a southerly direction in Cactus Avenue, JFK Drive, Iris Avenue and Lasselle Streets conveying wastewater to the MVRWRF.

The proposed sewer in Street A (Theodore Street) and all lines to the west of Theodore Street form a gravity system and run generally southwest to a point of connection at Brodiaea Avenue and Redlands Boulevard. As demand requires, the existing segment of sewer in Brodiaea Avenue and Wilmot Street, west of Redlands Boulevard, will be upsized from a 15" to a 33" and 36" line respectively.



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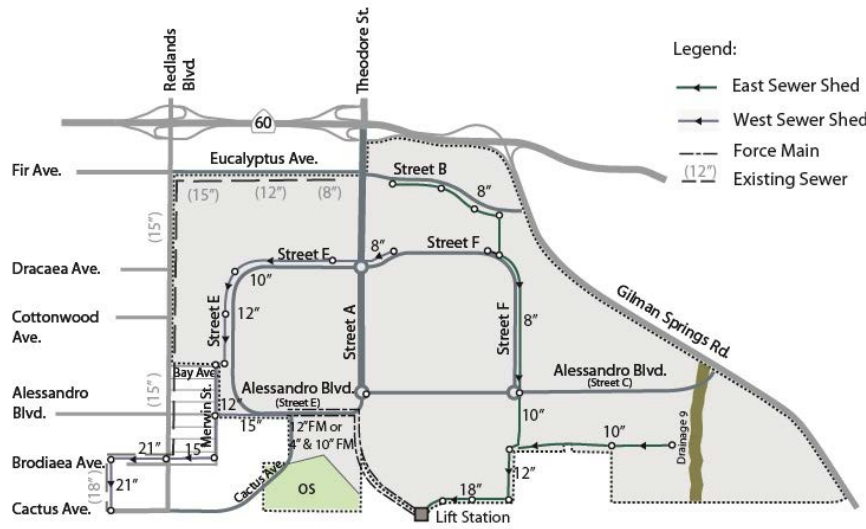


Exhibit 3-20 Wastewater Service Plan

The sewer system east of Street A (Theodore Street) will flow by gravity to a future sewer lift station at the southerly project boundary. From there, a force main will carry wastewater in a northwest direction, where it joins the gravity system west of Street A (Theodore Street) described above. Sewer lines will be located within public street rights-of-way to the greatest degree possible. Some of the buildings may require individual (private) lift stations due to building lengths, location of buildings, and phasing of improvements.

Future sewer lines will range in size between 8" and 24", and will be constructed to EMWD standards and will be subject to a Plan of Service approval.

3.5.3 Recycled Water

As stated in EMWD’s Water Supply Assessment for the World Logistics Center project, EMWD policy recognizes recycled water as the preferred source of supply for all non-potable water demands, including irrigation of recreation areas, greenbelts, open space common areas, commercial landscaping, and other water features. The proposed project is near an existing recycled water line and EMWD has indicated that in the future recycled water will be available for the project. No date has been established when recycled water will be available.



Recycled water will be used on the proposed project to the greatest extent practical. The availability, feasibility and reliability of recycled water use will be included in EMWD’s evaluation of the plan of service for the project.

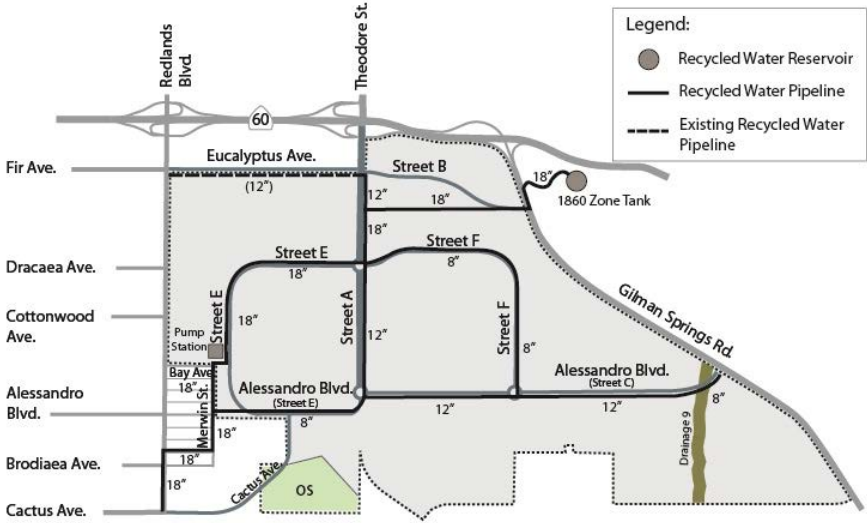


Exhibit 3-21 Recycled Water Plan

3.5.4 Storm Drain

The World Logistics Center Specific Plan area is within the San Jacinto River watershed which is part of the larger Santa Ana River watershed. The stormwater runoff from the project generally flows in a southerly direction to the San Jacinto River at an average gradient of 1 to 2 percent. A topographic divide located west of Street A (Theodore Street) separates stormwater flows to the San Jacinto River into two sub-areas. Runoff east of the divide flows to the San Jacinto Wildlife Area and the Gilman Hot Springs hydro-subarea. Runoff west of the divide is tributary to the Perris Valley Storm Drain and the Perris Valley hydro-subarea. Both hydro-subareas are tributary to the San Jacinto River, approximately 10 miles south of the project site.

The Riverside County Flood Control and Water Conservation District (RCFCWCD) is the responsible agency for the project area’s regional flood control system. The westerly portion of the project site is located within the Moreno Master Drainage Plan (MMDP). An existing 12-foot by 8-foot reinforced concrete box (RCB) owned by RCFCWCD is located east of Redlands Boulevard. This facility collects water passing under SR-60 and outlets south of Eucalyptus Avenue where it flows across agricultural land



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downstream. Further south, the agricultural land drains to a RCFCWCD earthen channel at Redlands Boulevard which flows to a greenbelt channel located north of Cactus Avenue and east of Redlands Boulevard and ultimately drains to the Perris Valley Storm Drain.

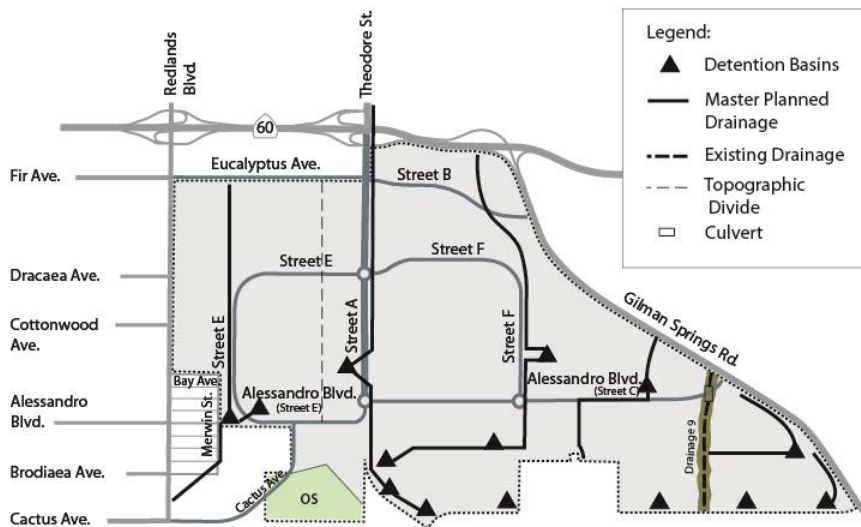


Exhibit 3-22 Storm Drain Plan

On the east side of the project site there is no master plan of drainage. The existing drainage facilities consist of open ditches along Theodore Street that convey runoff from adjacent areas and lands northerly of SR-60. A series of existing drainage culverts cross Gilman Springs Road conveying the offsite runoff from the Badlands through the World Logistics Center site.

One of these drainages is identified as Drainage 9. Its primary purpose is to convey water from the northern side of Gilman Springs Road to the SJWA on the south. Improvements will be added to enhance its drainage function. Prior to approval of any subdivision or Plot Plan including or adjacent to Drainage 9, a concept plan for the entire drainage feature shall be submitted to and approved by the City. The concept plan shall include proposed grading, improvements, landscaping, drainage facilities, signage, vehicular/pedestrian access, and any other proposed improvements. Site-specific projects shall be consistent with this concept plan.



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Based on the latest Flood Insurance Rate Map (FIRM) published by the Federal Emergency Management Agency (FEMA), the project site is not located within a 100-year floodplain.

A system of underground drainage lines and detention basins will convey the stormwater runoff and manage the increased flow due to the proposed development. At each stage of development, the peak flows at downstream discharge points at the southerly project boundary will not exceed the peak flows for the existing condition.

Along the boundary of the San Jacinto Wildlife Area, concentrated flows released from detention basins will be spread to mimic existing sheet flow patterns.

3.5.5 Utility Conditions

Existing Electrical Service

Moreno Valley Utility (MVU) is the electricity provider for the World Logistics Center. MVU has an existing underground electrical service at the intersection of Dracaea Avenue and Redlands Boulevard. An electrical substation is located west of the project area at the southwest corner of Moreno Beach Drive and Cottonwood Avenue. The substation has a current capacity to distribute 56 Megawatts (MW) of power (28MW primary facility and 28MW backup system). The substation was designed for future expansion to an ultimate capacity of 112 MW. The current peak load for this substation is 22 to 26 MW. There is currently a 4.5 MW surplus capacity available.

SCE has existing 12 kV and 115 kV overhead power lines throughout the project area. The 115 kV power lines are located along Gilman Springs Road, Street B east of Street A, Street A north of Eucalyptus Avenue and along Brodiaea Avenue/Davis Road to the south. The 12 kV power lines are located along Gilman Springs Road, Theodore Street, Alessandro Boulevard, Eucalyptus Avenue east of Theodore Street and Redlands Boulevard.

Proposed Electrical Service

Based on electrical demands provided by MVU and data from other warehouse/distribution projects, the World Logistics Center has an



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estimated peak electrical demand of 68 MW. As development proceeds, the existing electrical substation located at the southwest corner of Moreno Beach Drive and Cottonwood Avenue will be expanded to its planned 112 MW capacity. A new substation will be built within the World Logistics Center area to meet the project’s electrical demand at build-out. All MVU primary distribution conductors within the project will be installed in underground conduit and vaults in the public street right-of-way or easements as a joint trench with telephone, cable TV and natural gas.

Any SCE overhead power pole lines, less than 115kV, that need to be relocated to develop the project will be placed in underground conduits and vaults. SCE facilities 115kv or greater will remain as overhead lines.

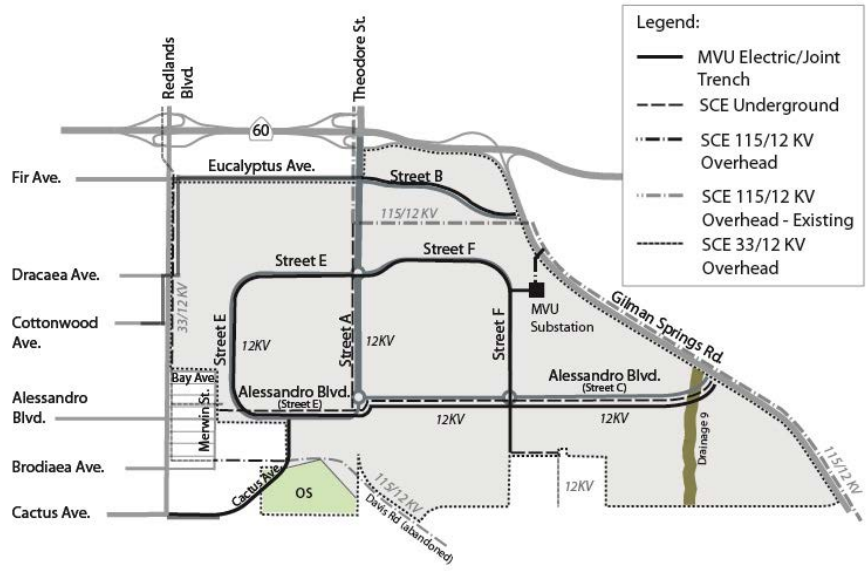


Exhibit 3-23 Electrical Utility Plan

Existing Natural Gas

Southern California Gas Company (SCGC) is the natural gas provider for the World Logistics Center. A 4” medium pressure service line runs in Redlands Boulevard. Low pressure facilities serve the residential area located west of Redlands Boulevard and southwest of Merwin Street and Bay Avenue.

Throughout the World Logistics Center, natural gas is transmitted through SDG&E underground pipelines serving the Southern California region that range in size from 16 inches to 36 inches. Two 30” diameter transmission pipelines that run in an east-west direction are located north and south of



Alessandro Boulevard. Three transmission pipelines, 16", 24" and 36" diameters run in a north-south direction along Virginia Street, south of Alessandro Boulevard. The 36" diameter line also extends east from Virginia Street parallel with the 30" line that runs south of Alessandro Boulevard.

SCGC transmission facilities within the World Logistics Center include a gas line blow-down facility and flow metering station at Alessandro Boulevard and Virginia Street.

Further south on Virginia Street, San Diego Gas & Electric (SDG&E) operates a natural gas compression station, known as the Moreno Compressor Station. It supplies gas to San Diego via 16", 30" and 36" transmission pipelines.

Questar has a 16" natural gas transmission line that runs in Alessandro Boulevard from Gilman Springs Road to Theodore Street, where it turns south to Maltby Avenue, and then turns west to Redlands Boulevard.



San Diego Gas & Electric Natural Gas Compression Station

Proposed Natural Gas Service

SCGC has indicated the 4" medium pressure service line that runs in Redlands Boulevard will be extended into the World Logistics Center to service the development. Gas service will be installed in the public street right-of-way or easements as a joint trench with telephone, cable TV and electrical services.



In connection with the development of the property, relocation of some natural gas transmission lines into public street right-of-way or easements will be necessary. SDG&E's Moreno Compressor Station will remain in place.

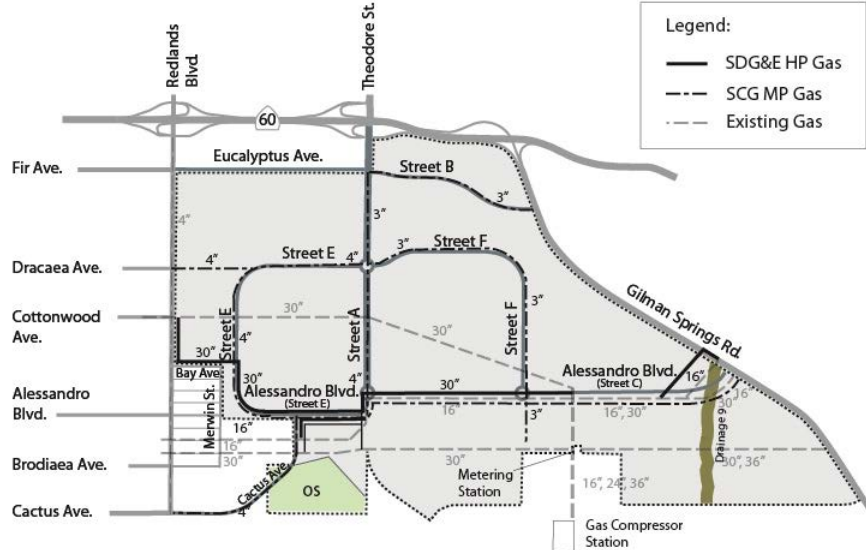


Exhibit 3-24 Gas Utility Plan

Existing Cable and Telecommunications

Telecommunications

Verizon provides telephone services to the World Logistics Center area. Underground telephone facilities are located throughout the project area and run along Alessandro Boulevard and Theodore Street. Four existing telecommunication cabinets are located northeast of the intersection of Alessandro Boulevard and Virginia Street. Overhead telecommunication lines run along Redlands Boulevard. Facilities for telephone service will be provided in every public street.

Cable Television

Time Warner Cable currently provides cable television to the World Logistics Center and vicinity. Existing overhead cable television facilities serve the residential area located west of Redlands Boulevard and southwest of Merwin Street and Bay Avenue. Within the World Logistics Center underground cable television facilities run along Alessandro Boulevard from Merwin Street to Theodore Street and overhead on Theodore Street to



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Eucalyptus Avenue. Facilities for cable will be made available to all providers.

Proposed Cable and Telecommunications

As development proceeds, cable and telecommunications facilities located west of Redlands Boulevard will be extended to serve the World Logistics Center project. These facilities will be underground and may be provided by a number of service franchises.



Telecommunication infrastructure is a vital component in supporting global connectivity.



4.0 OFF-SITE DESIGN STANDARDS

These standards shall apply to those portions of the WLC property that are not within development sites. This includes common areas, open space, public areas, streetscapes, etc.

4.1 Off-site Architecture



4.1.1 Objectives

Off-site architecture includes buildings that house infrastructure or public use facilities that serve the WLC. Architectural design should express the character of a corporate logistic center in a manner that is progressive and enduring. In order to establish a clear, unified image throughout the World Logistics Center, these structures shall follow the guidelines set forth in Section 5.0 of this Specific Plan. These support buildings shall be designed in an understated and supporting fashion for the World Logistics Center.

4.1.2 Ground-mounted Equipment

All exterior ground-mounted equipment including, but not limited to, mechanical equipment, electrical equipment, emergency generators, boilers, storage tanks, risers, electrical conduit, gas lines, cellular telephone facilities, and satellite dishes shall be screened from public view from adjacent streets. Wall-mounted equipment is not allowed.

4.1.3 Roof-mounted Equipment

All roof-mounted equipment including, but not limited to, mechanical equipment, electrical equipment, storage tanks, cellular telephone

facilities, satellite dishes, skylights, vents, exhaust fans, smoke hatches, and ducts must be below the top of the parapet or equipment screen. Roof access shall be through roof hatches, not exterior ladders. Roof hatches shall be located so that guardrails at parapets are not required.

4.2 Off-site Landscaping

4.2.1 Objectives

Landscaping is an important element contributing to the identity and unity of the World Logistics Center. As such, all landscaping for the project shall:

- Promote a pleasant, distinctive corporate environment,
- Augment internal cohesion and continuity within the World Logistics Center,
- Enhance the structured design concept of the World Logistics Center, and
- Promote water conservation.

The landscaping design concept is focused toward:

- Providing a clean, contemporary visual appearance,
- Coordinating the landscaping treatment along freeway, and surface streets to compliment the circulation system,
- Coordinating streetscapes within the World Logistics Center to unify its general appearance,
- Ensuring off-site landscaping design continuity among individual development sites within the World Logistics Center, and
- Minimizing long term maintenance.

The following guidelines present parameters for general landscape design, water conservation, and streetscapes. On-site landscaping guidelines are addressed in Section 5.4 of this Specific Plan.

4.2.2 Water Conservation Measures

The World Logistics Center employs an aggressive approach to water conservation. Every element of the landscape program has been evaluated to determine how to achieve the project's landscape goals while consuming as little water as possible. From the formulation of the overall landscape concept, through each level of the design process, to the day-to-day maintenance practices of the installed materials, conservation of limited water resources is a constant primary focus.

This approach represents a significant departure from conventional development strategies, particularly in a large-scale master-planned



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logistics campus setting. Most of the project will be designed without mechanical irrigation, relying instead on maximizing the collection and harvesting of runoff to be directed to landscape areas. This program will require the use of carefully selected plant types, complex drainage designs, intricate planting techniques, and specialized maintenance programs.

Implementation of these new design concepts will result in a landscape aesthetic that will appear different than traditional landscape treatments. At installation, plant material will be smaller and with greater spacing in order to match available water to the needs of specific plants. As landscaping gets established, coverage may take longer, certain plants will appear dry as they go through dormant periods, and in some cases supplemental watering may be necessary in periods of severe drought. At maturity, the landscaping at the WLC project will provide a strong, clean, simple design element, demonstrating the WLC's commitment to the creation of a successful logistics campus in a sustainable environment.

The landscape program will incorporate the following design elements and practices to minimize the use of limited water resources:

Project Design:

- Design project so that pads, streets and other paved areas drain to landscape areas, medians and parkways,
- Maximize water harvesting, retention and treatment techniques throughout the project
- Utilize zero-inch curb design to facilitate rainwater runoff from road surfaces
- Direct rooftop and parking area runoff to bioswales, basins or landscaped areas

Landscape Design:

- Develop watershed areas for the project areas in order to manage water harvesting and distribution
- Calculate estimated runoff from roofs and paved areas to manage water harvesting and retention practices
- Conduct site-specific analyses of seasonal weather patterns, rain patterns, soils and drainage, grades and slopes, macro and micro climates, solar exposure, prevailing wind conditions, historical evapotranspiration rates and weather station (CIMIS) data
- Design to meet peak moisture demand of all plant materials within design zones and avoid flow rates that exceed infiltration rate of soil
- Maximize the use of drought tolerant plant species



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- Select plant palettes tolerant of periodic inundation from storm water runoff
- Calculate optimum spacing of plants to avoid overcrowding and need for excessive irrigation.
- Select container plant sizes are to achieve a high root to canopy ratio; no root bound or oversized plants

Construction:

- Grade all planting areas to control high intensity rainfall and runoff episodes. Provide riprap at downspouts; create multiple watersheds to disperse water flow. Use surface mulch and straw wattles.
- Grade all planting areas to provide for the retention and infiltration of water to each plant.
- Provide soil amendment to plant pits based upon soil laboratory test results and landscape species.
- Construct planting pits to be 3-4 times the diameter of the planting container and twice as deep.
- Provide a pre-hydration program prior to planting installation to reflect climate and soil conditions.
- Cover all planting areas with a combination of organic and inorganic mulches to be used along with pre-emergent herbicide treatment to control weed growth and soil erosion.
- Install soil moisture sensors in strategic planting zones.
- Require certification that the irrigation system was installed and operates as designed, and conduct a post-installation audit of actual water consumption
- Provide for supplemental irrigation on an as-needed basis, such as supply lines and valves, quick-connect couplers or water truck service.

Maintenance:

- Establish maintenance guidelines to specify actions to replace dead plants, replenish surface mulch, and remove trash and weeds.
- Regularly monitor all landscaped areas and make adjustments as necessary to assure the health of planted materials and progress toward meeting the project's landscape goals.

Where irrigation is provided:

- Use planting zones coordinated according to plant type, climatic exposure, soil condition and slope to facilitate use of zoned irrigation systems Use reclaimed water systems if available and practical,
- Use best available irrigation technology to maximize efficient use of water, including moisture sensors, multi-program electronic timers, rain shutoff devices, remote control valves, drip systems, backflow



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preventers, pressure reducing valves and precipitation-rated sprinkler heads,

- Use gate valves to isolate and shut down mainline breaks,
- Use wind shut-off sensors for the irrigation controllers,
- Design irrigation systems to prevent discharge onto non-landscaped areas or adjacent properties,
- Restrict irrigation cycles to operate at night when wind, evaporation and activity are at a minimum

Coverage:

- At installation, plant size, density and spacing shall be as specified in approved landscape plans at 15% coverage.
- Based on these design guidelines and average annual rainfall, irrigated and non-irrigated planting groups shall achieve 70% coverage after three years. Until plant material achieves full coverage, a minimum of 3" of mulch will be maintained throughout planted area, and any growth (e.g. weeds) not included in the Specific Plan plant palette shall be removed twice per year (March and September).

All landscape plans shall be reviewed by Eastern Municipal Water District and the City of Moreno Valley.

4.2.3 Streetscapes

Landscaping along public streets is designed to provide a unified appearance along street frontages, to reinforce the street hierarchy, and to establish identities of place, particularly at intersections within the World Logistics Center.

4.2.3.1 General Design Criteria

All landscape design and maintenance within the World Logistics Center shall comply with the Landscape and Water Efficiency Requirements contained in the Municipal Code or these guidelines, whichever imposes a higher design or performance standard.

1. Trees are required along all street frontages according to the criteria for streetscapes given in the following sections.
2. All street trees are to be 24" box within street right of way, unless otherwise noted. Trees in other areas shall be 15 gallon minimum in size but 25% shall be minimum 24" box.
3. Landscaping berms along street frontages may be utilized. Maximum slopes may not exceed 2:1. City maintained areas shall not exceed 3:1.



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- 4. Shrubs along street frontages are to be utilized where possible.
(Minimum size at installation is 1 gallon. Minimum size at installation for grasses is 1 gallon.)

4.2.4 Special Edge Treatment Areas Design Criteria

There are four discrete edge treatment plans in and around the project. The areas are indicated below:

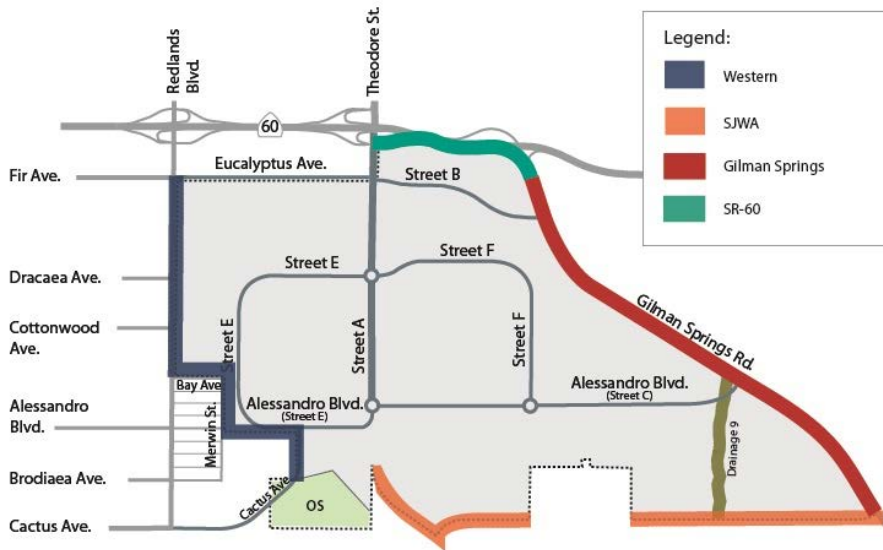


Exhibit 4-1 Special Edge Treatment Areas Design Criteria

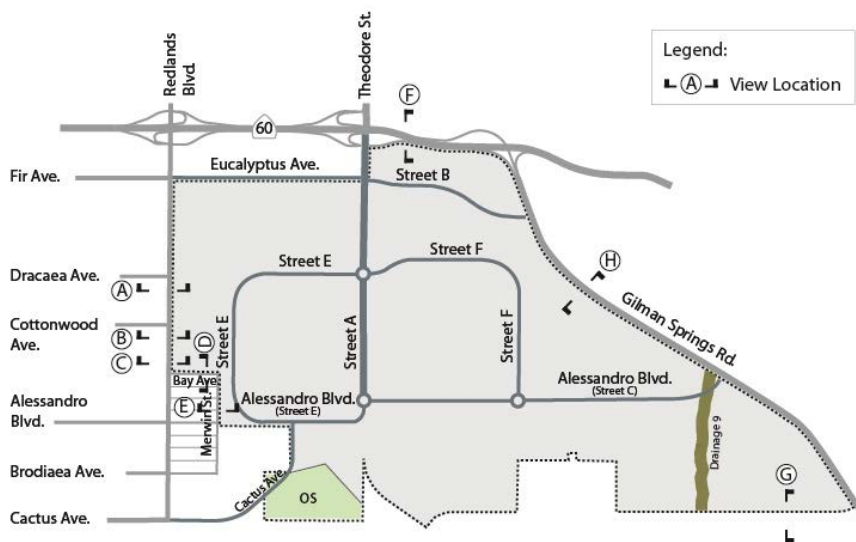


Exhibit 4-2 Edge Exhibit Map (Key map for following exhibits)



OFF-SITE DESIGN STANDARDS

4.2.4.1 Western Edge

When viewed from the sidewalk on the western side of Redlands and Merwin and the southern side of Bay, all but 15 feet of future buildings shall be screened by walls, berms, and/or landscaping.

Redlands Boulevard

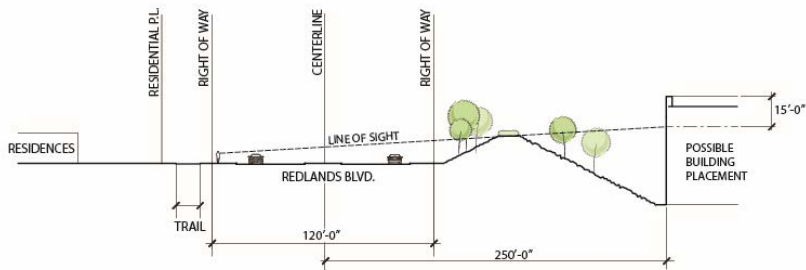


Exhibit 4-3 Redlands Blvd. Section A

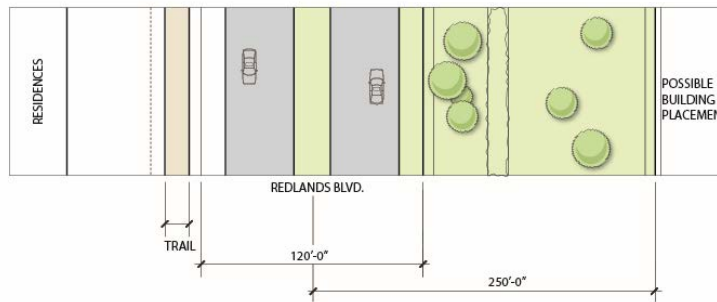


Exhibit 4-4 Redlands Blvd. Plan View A

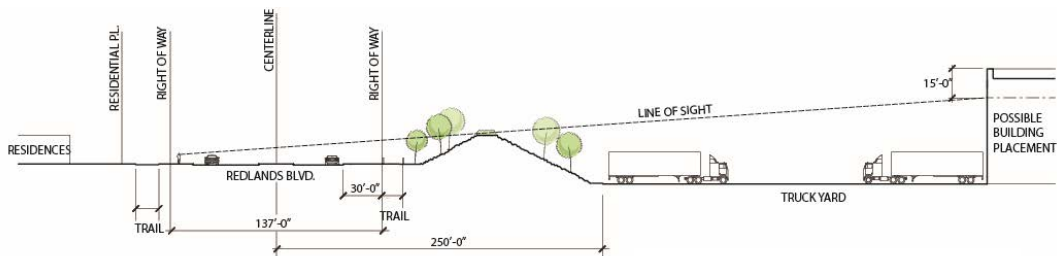


Exhibit 4-5 Redlands Blvd. Section B

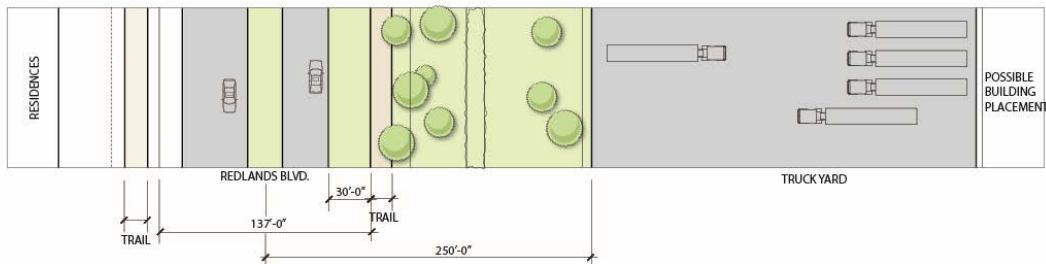


Exhibit 4-6 Redlands Blvd. Plan View B

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

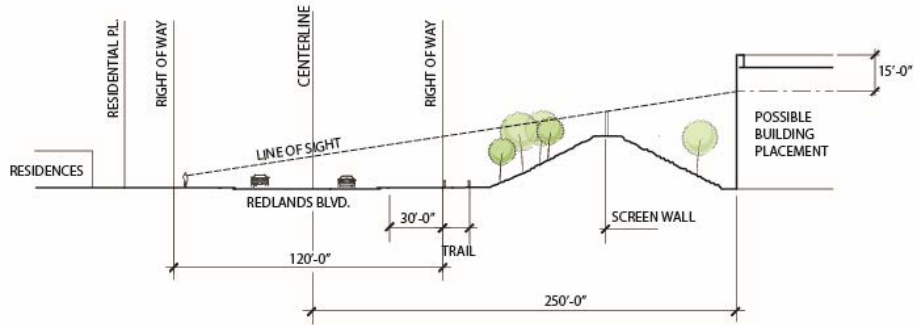


Exhibit 4-7 Redlands Blvd. Section C

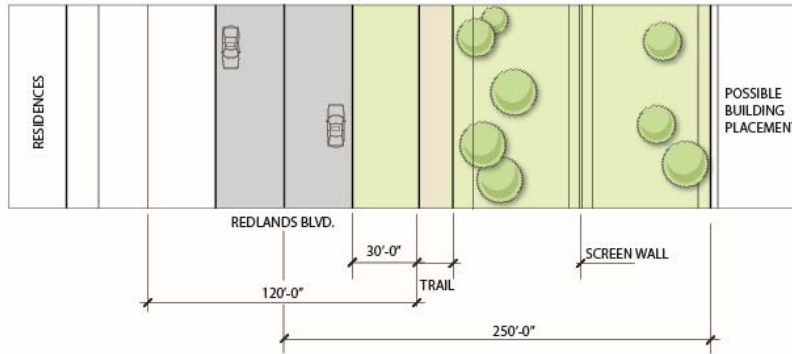


Exhibit 4-8 Redlands Blvd. Plan View C

Bay Avenue

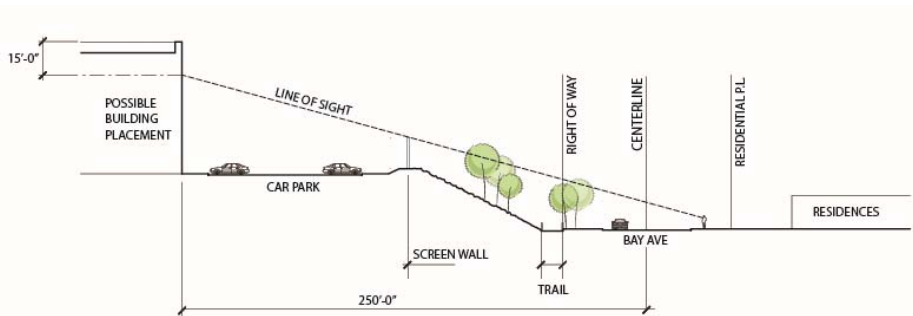


Exhibit 4-9 Bay Ave. Section D

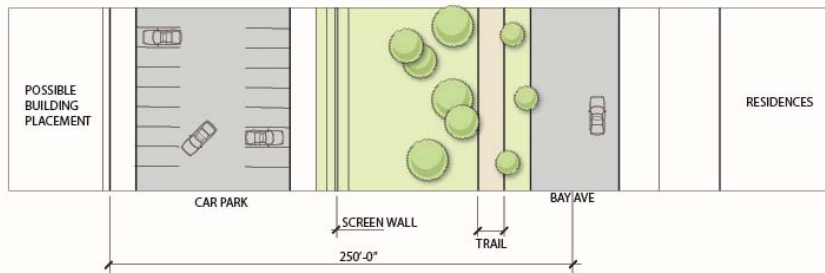


Exhibit 4-10 Bay Ave. Plan View D

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

Merwin Street

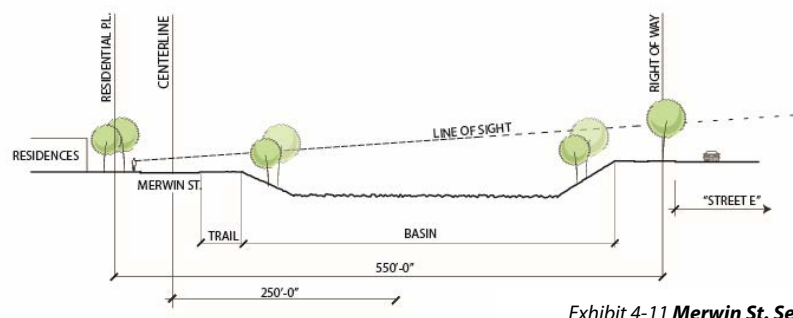


Exhibit 4-11 Merwin St. Section E

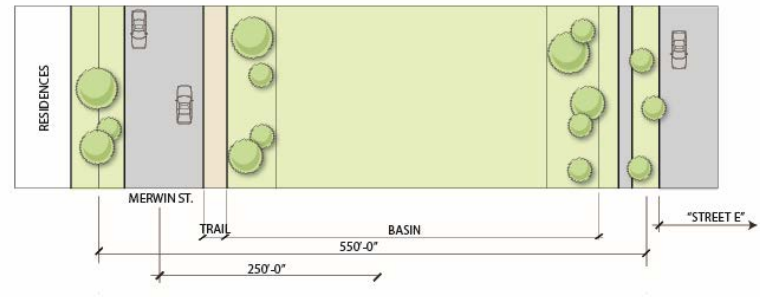


Exhibit 4-12 Merwin St. Plan View E

4.2.4.2 SR-60 Edge

SR-60 screening criteria is to screen buildings and trucking areas in a similar manner as the area south of SR60 between Redlands Blvd. and Theodore Street (Highland Fairview Corporate Park).

SR-60 between Theodore and Gilman Springs Road

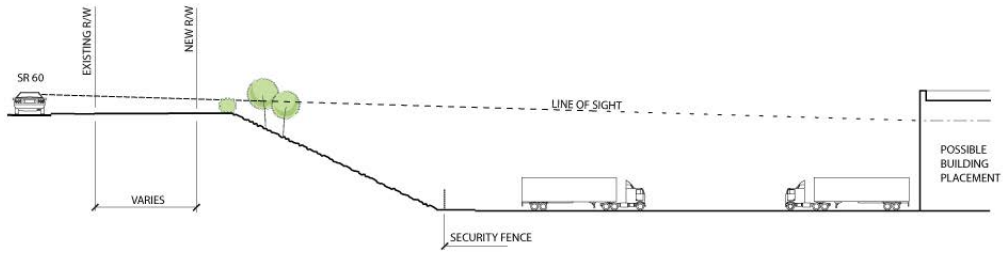


Exhibit 4-13 SR-60 Section F

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

4.2.4.3 SJWA Edge

When viewed from the southerly property line, all trucks and truck dock doors are to be screened by walls and/or landscaping.

SJWA

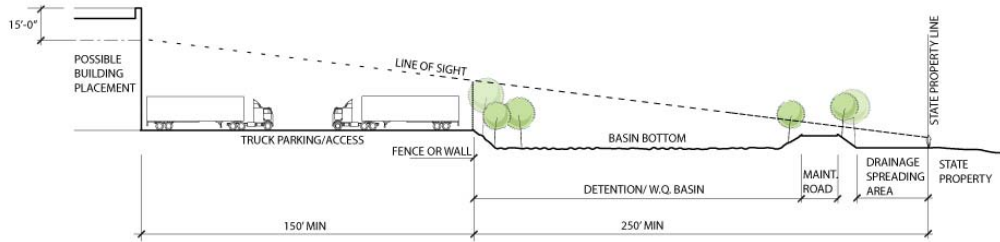


Exhibit 4-14 SJWA Section G

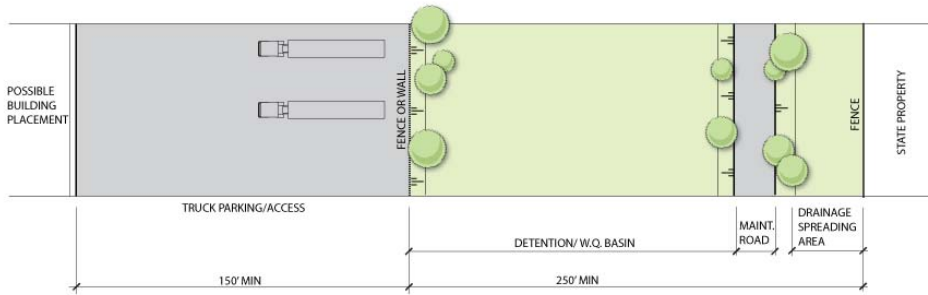


Exhibit 4-15 SJWA Plan View G

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

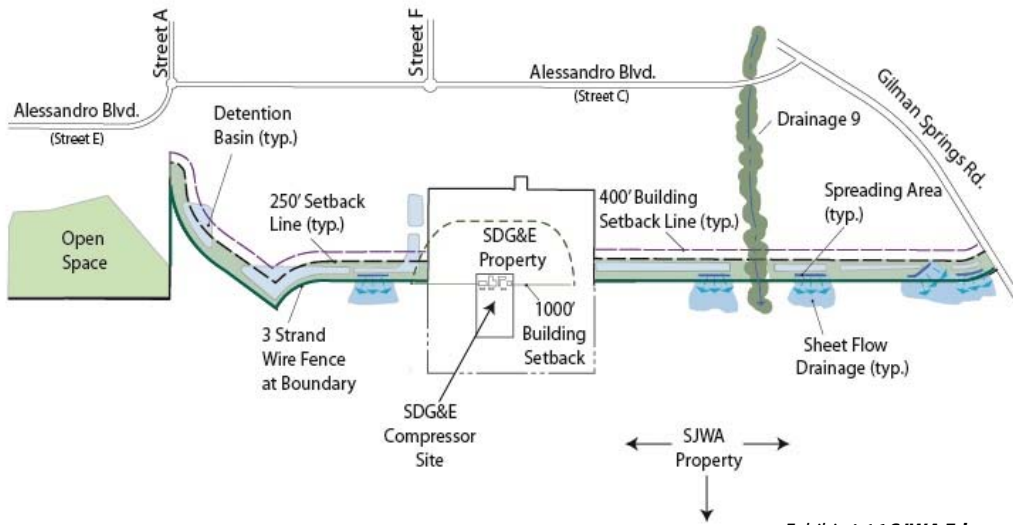


Exhibit 4-16 SJWA Edge

This is a graphic representation of the potential development of property along the project's southerly property line, adjacent to the San Jacinto Wildlife Area (SJWA). The location, configuration, and size of improvements shown are conceptual and will be refined in connection with detailed engineering plans as the project proceeds.

See Section 2.6 of the Specific Plan regarding requirements for the review and approval of a concept plan for the SJWA Edge Treatment Area.



SJWA- View Simulation from SJWA Visitor's Center



OFF-SITE DESIGN STANDARDS

4.2.4.4 Gilman Springs Road Edge

A combination of landscaping, walls, and fences will serve to screen the view from Gilman Springs Road.

Gilman Springs Road

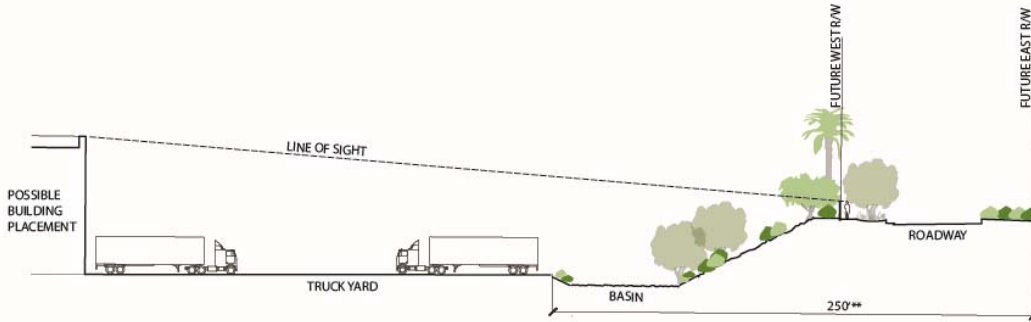


Exhibit 4-17 Gilman Springs Road Section, Downhill

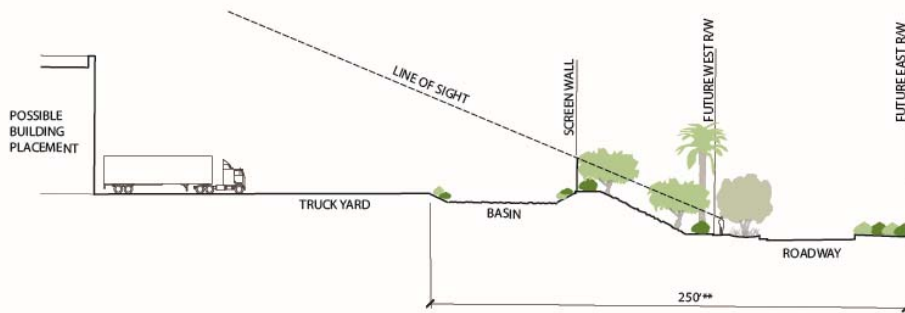


Exhibit 4-18 Gilman Springs Road Section, Uphill

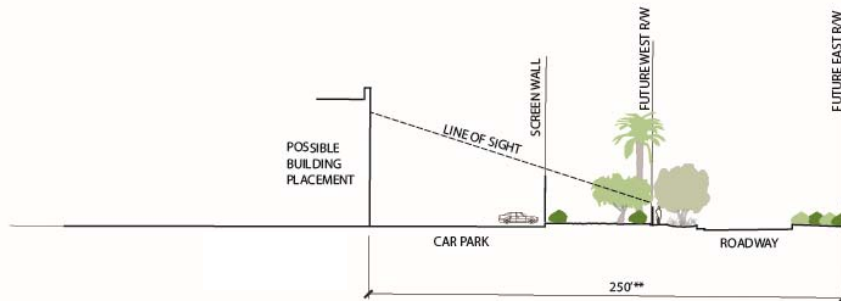


Exhibit 4-19 Gilman Springs Road Section, Flat

**Required setback to truck activity areas. A shorter setback is permitted subject to air quality and noise analyses.

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

4.2.5 Screening Criteria for All Interior Roadways

From the adjacent sidewalk, all trucks and truck dock doors are to be screened by walls and/or landscaping.

All Interior Roadways

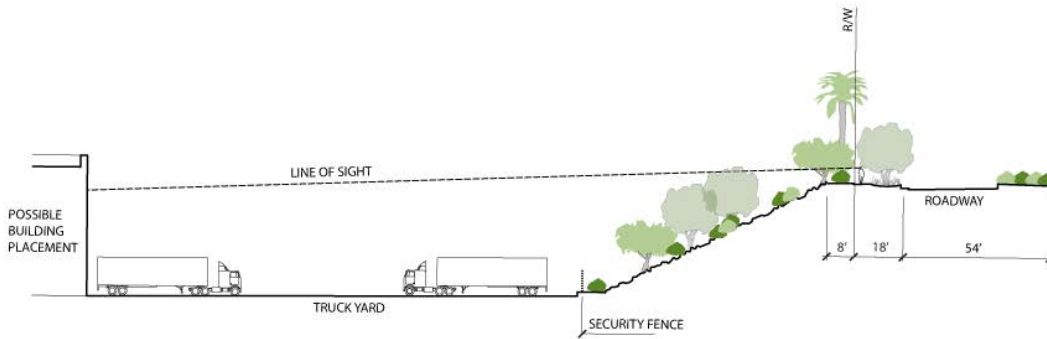


Exhibit 4-20 Section, Downhill

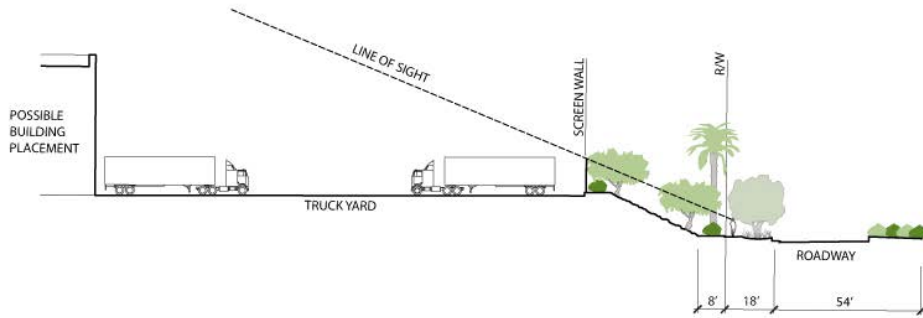


Exhibit 4-21 Section, Uphill

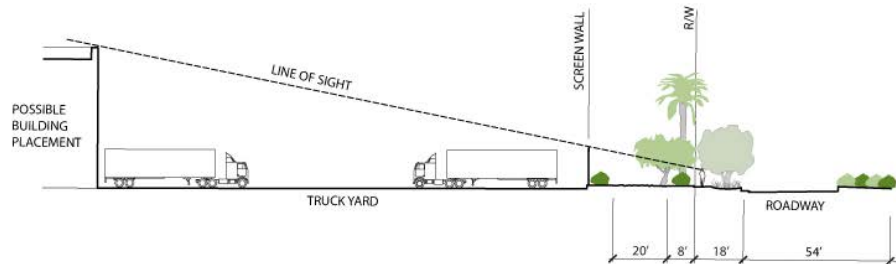


Exhibit 4-22 Section, Flat

These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.



OFF-SITE DESIGN STANDARDS

4.2.6 Perimeter Planting

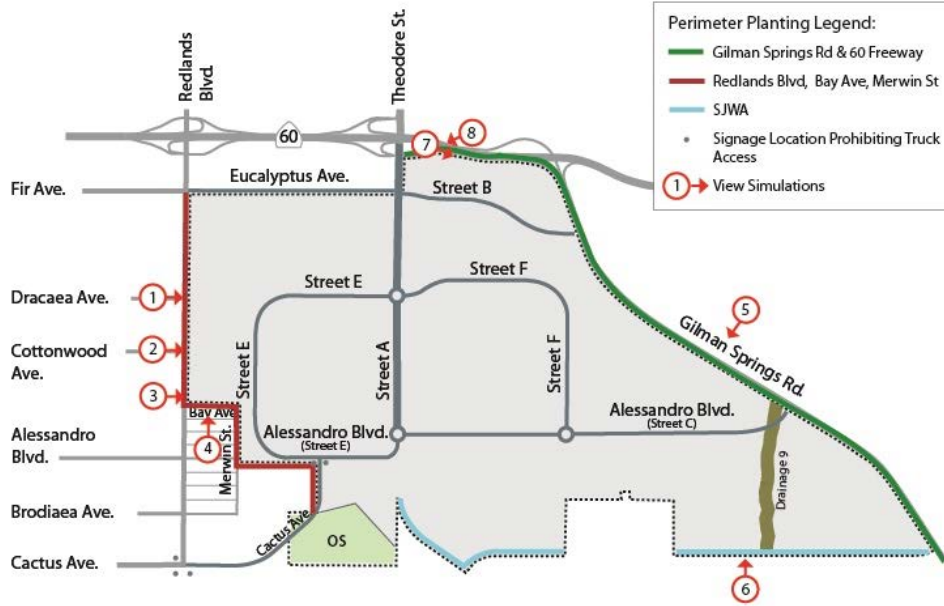


Exhibit 4-23 Perimeter Planting Map (see pages 4-15 to 4-29)



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OFF-SITE DESIGN STANDARDS

Redlands Boulevard



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (24" box minimum)

- T1. Cercidium 'Desert Museum': Desert Museum Palo Verde
- T2. Pinus eldarica: Afghan Pine or Pinus halepensis: Aleppo Pine or Schinus molle: California Pepper
- T3. Acacia farnesiana: Sweet Acacia

Shrubs / Ground Cover (1 gallon minimum)

- S1. Leucophyllum texanum: Texas Ranger
 Eleagnus pungens 'Fruitlandii': Fruitland Silverberry
- S2. Fallugia paradoxa: Apache Plume
 Justicia californica: Chuparosa
 Senna phyllodinea: Silver Cassia
 Simmondsia chinensis: Jojoba
 Baileya multiradiata: Desert Marigold
- S3. Acacia redolens 'Desert Carpet': Spreading Acacia
 Baccharis 'Starn': Coyote Bush
 Myoporum parvifolium 'Putah Creek': Creeping Myoporum
 Rosmarinus "Huntington Carpet": Rosemary



OFF-SITE DESIGN STANDARDS



Redlands Blvd. View 1 at Installation



Redlands Blvd. View 1 at Maturity

- These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.
- "Maturity" - 15 years estimated based on average rainfall and growing seasons.
- These renderings do not include street trees which will add to the screening effects.



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OFF-SITE DESIGN STANDARDS



Redlands Blvd. View 2 at Installation



Redlands Blvd. View 2 at Maturity

- These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.
- "Maturity" - 15 years estimated based on average rainfall and growing seasons.
- These renderings do not include street trees which will add to the screening effects.



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Redlands Blvd. View 3 at Installation



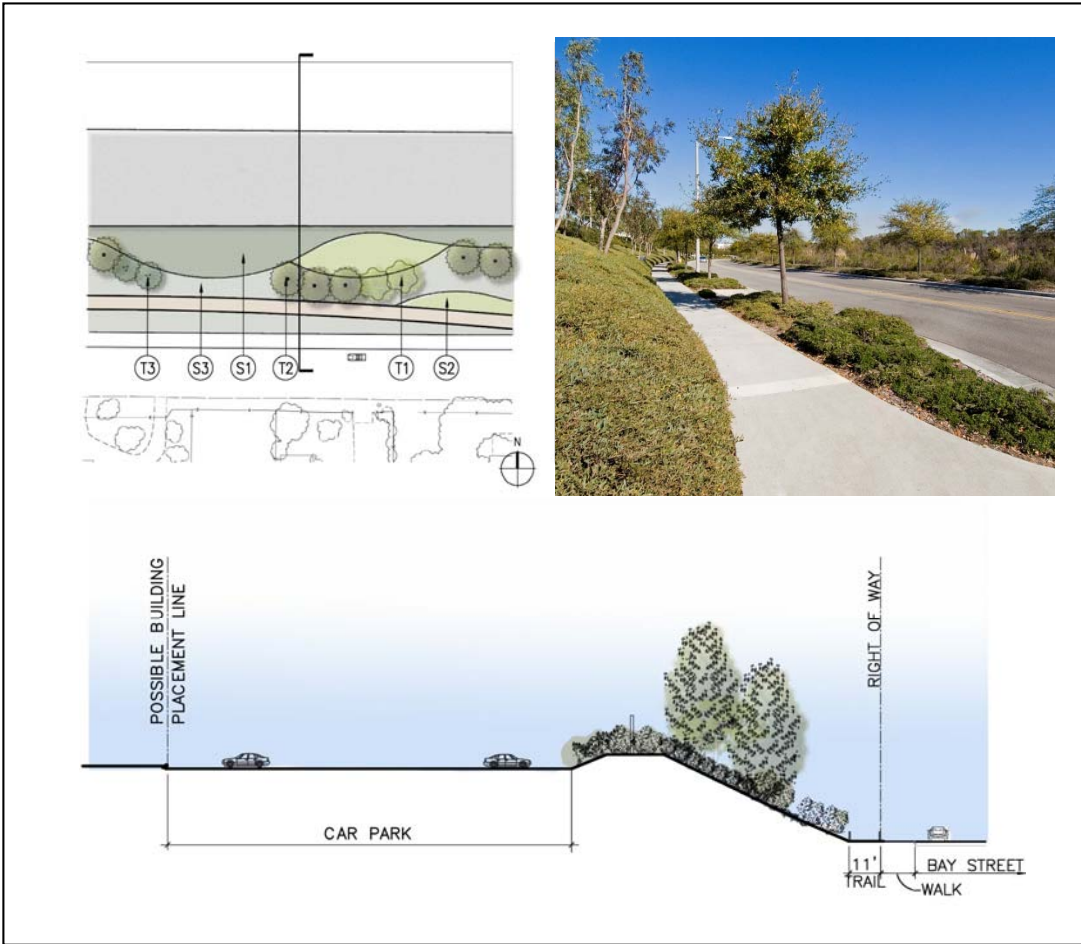
Redlands Blvd. View 3 at Maturity (15 years)

- These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.
- "Maturity" - 15 years estimated based on average rainfall and growing seasons.
- These renderings do not include street trees which will add to the screening effects.



OFF-SITE DESIGN STANDARDS

Bay Avenue



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (15 gallon minimum)

- T1. Cercidium 'Desert Museum': Desert Museum Palo Verde
- T2. Pinus eldarica: Afghan Pine or Pinus halepensis: Aleppo Pine or Schinus molle: California Pepper
- T3. Acacia farnesiana: Sweet Acacia

Shrubs / Ground Cover (1 gallon minimum)

- S1. Leucophyllum texanum: Texas Ranger Elaeagnus
Elaeagnus pungens 'Fruitlandii': Fruitland Silverberry
- S2. Fallugia paradoxa: Apache Plume
Justicia californica: Chuparosa
Senna phyllodinea: Silver Cassia
Simmondsia chinensis: Jojoba
Baileya multiradiata: Desert Marigold
- S3. Acacia redolens 'Desert Carpet': Spreading Acacia
Baccharis 'Starn': Coyote Bush
Myoporum parvifolium 'Putah Creek': Creeping Myoporum



OFF-SITE DESIGN STANDARDS



Bay Avenue View 4 at Installation



Bay Avenue View 4 at Maturity (15 years)

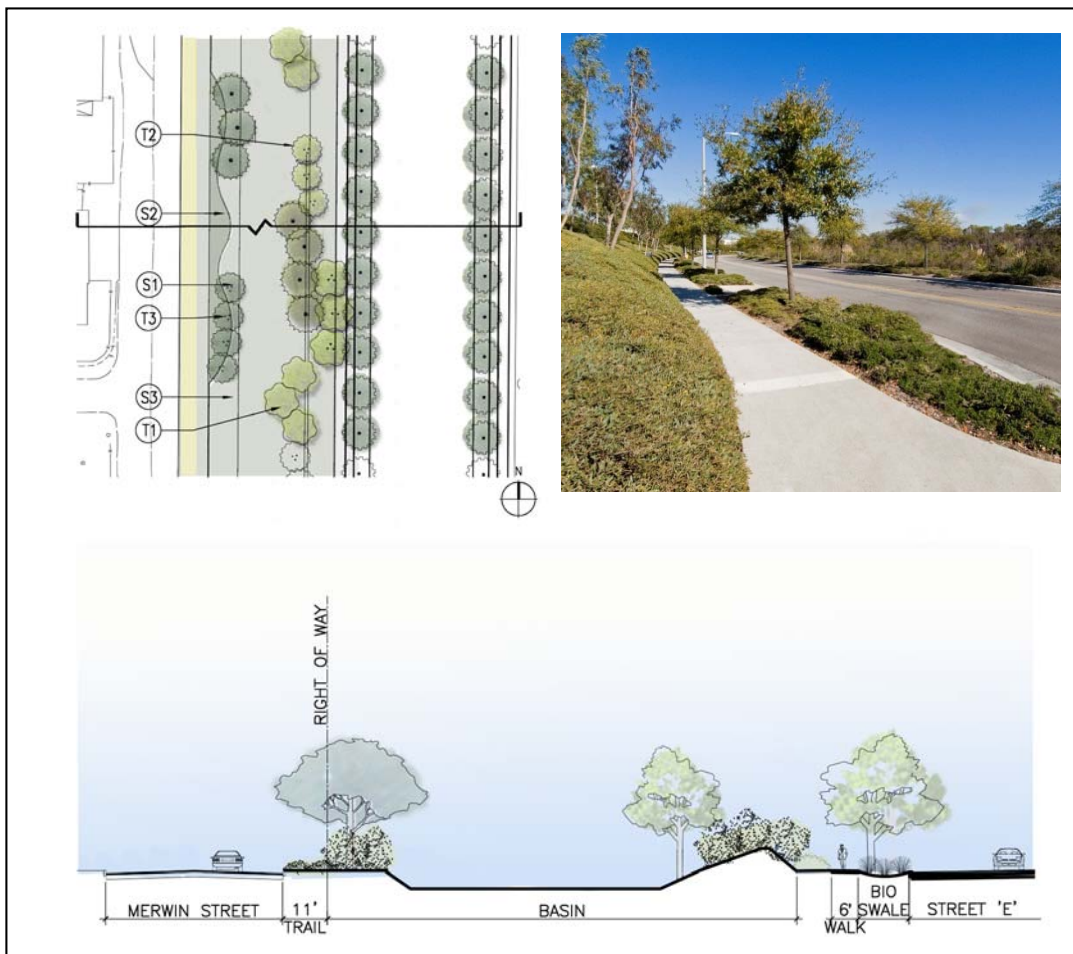
- *These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.*
- *"Maturity" - 15 years estimated based on average rainfall and growing seasons.*
- *These renderings do not include street trees which will add to the screening effects.*



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OFF-SITE DESIGN STANDARDS

Merwin Street



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (15 gallon minimum)

- T1. Cercidium 'Desert Museum': Desert Museum Palo Verde
- T2. Pinus eldarica: Afghan Pine or Schinus molle: California Pepper
- T3. Acacia farnesiana: Sweet Acacia

Shrubs / Ground Cover (1 gallon minimum)

- S1. Leucophyllum texanum: Texas Ranger
 Eleagnus pungens 'Fruitlandii': Fruitland Silverberry
- S2. Fallugia paradoxa: Apache Plume
 Justicia californica: Chuparosa
 Senna phyllodinea: Silver Cassia
 Simmondsia chinensis: Jojoba
 Baileya multiradiata: Desert Marigold
- S3. Acacia redolens 'Desert Carpet': Spreading Acacia
 Baccharis 'Starn': Coyote Bush
 Myoporum parvifolium 'Putah Creek': Creeping Myoporum
 Rosmarinus "Huntington Carpet": Rosemary

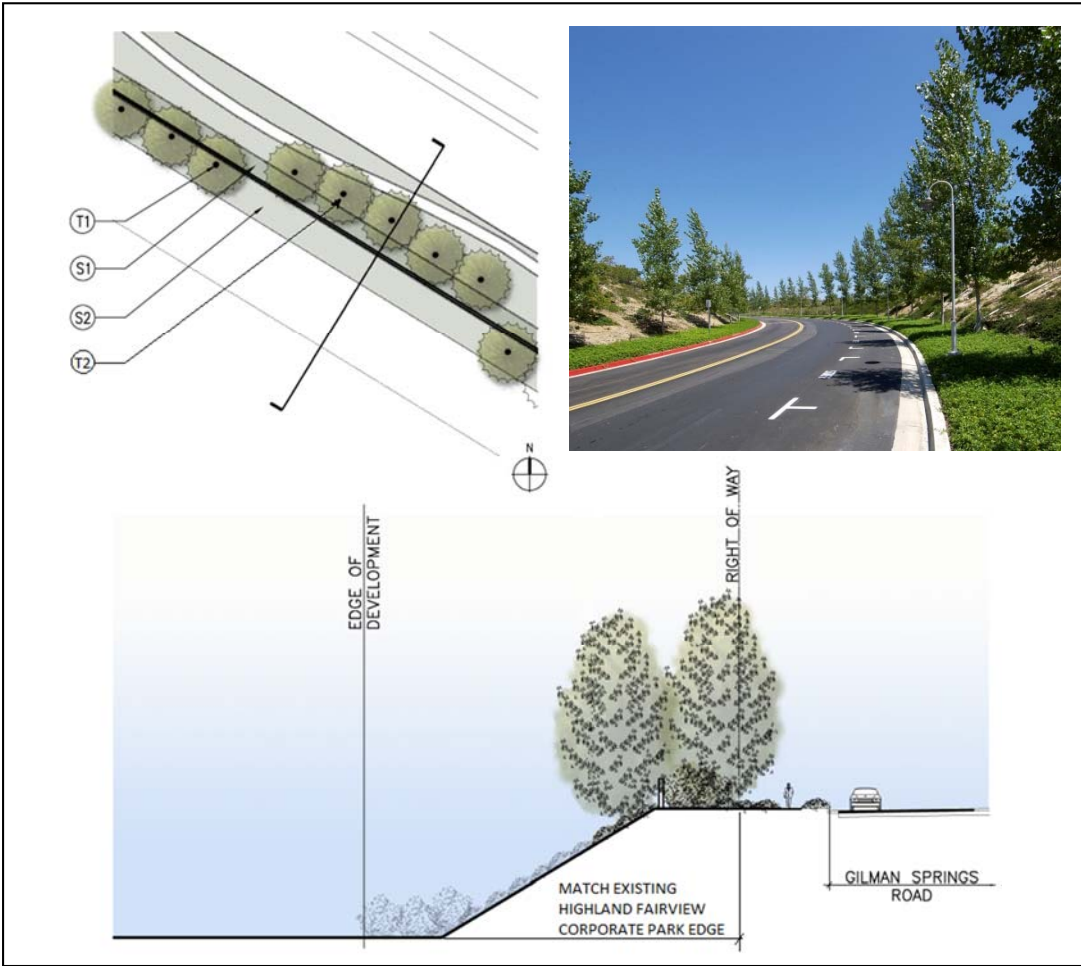


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Gilman Springs Road



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (Palms – 25’ brown trunk height, all other trees – 24” box min. – all matching)

- T1. Pinus eldarica: Afghan Pine
- T2. Washington Robusta: Mexican Fan Palm

Shrubs / Ground Cover (1 gallon minimum)

- S1. Rhus ovata: Sugar Bush
- S2. Rosmarinus officinalis ‘Prostratus’: Creeping Rosemary



OFF-SITE DESIGN STANDARDS



Gilman Springs Rd. View 5 at Installation



Gilman Springs Rd. View 5 at Maturity (15 years)

- These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.
- "Maturity" - 15 years estimated based on average rainfall and growing seasons.
- These renderings do not include street trees which will add to the screening effects.



OFF-SITE DESIGN STANDARDS



Gilman Springs Rd. Panoramic View at Maturity

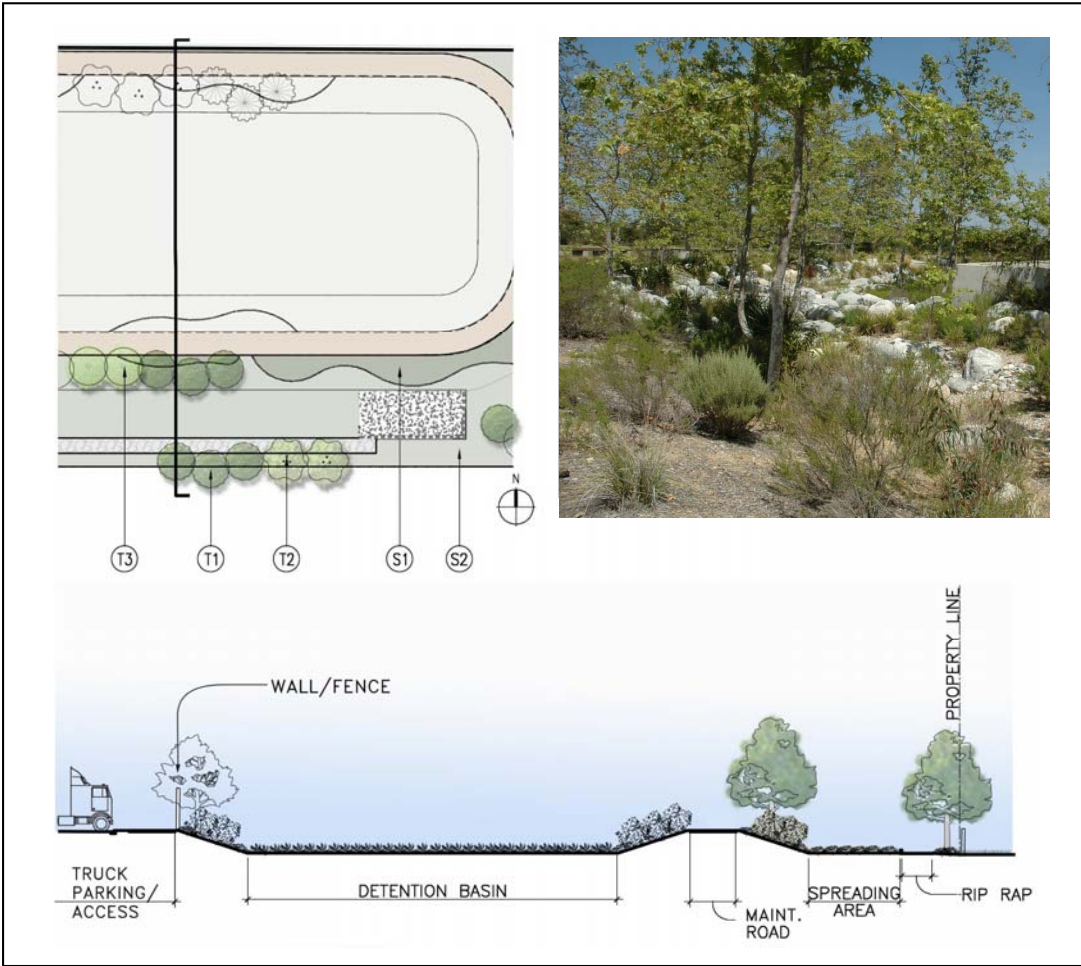


OFF-SITE DESIGN STANDARDS

4-24₈₅

Ordinance No. 900
Date Adopted

SJWA (San Jacinto Wildlife Area)



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (15 gallon minimum)

- T1. Tristania conferta: Brisbane box
- T2. Chilopsis linearis: Desert Willow
- T3. Platanus racemosa: California Sycamore
- Populus Fremontii: Cottonwood (Planted at detention basins / Well adapted to riparian regions of Moreno Valley)

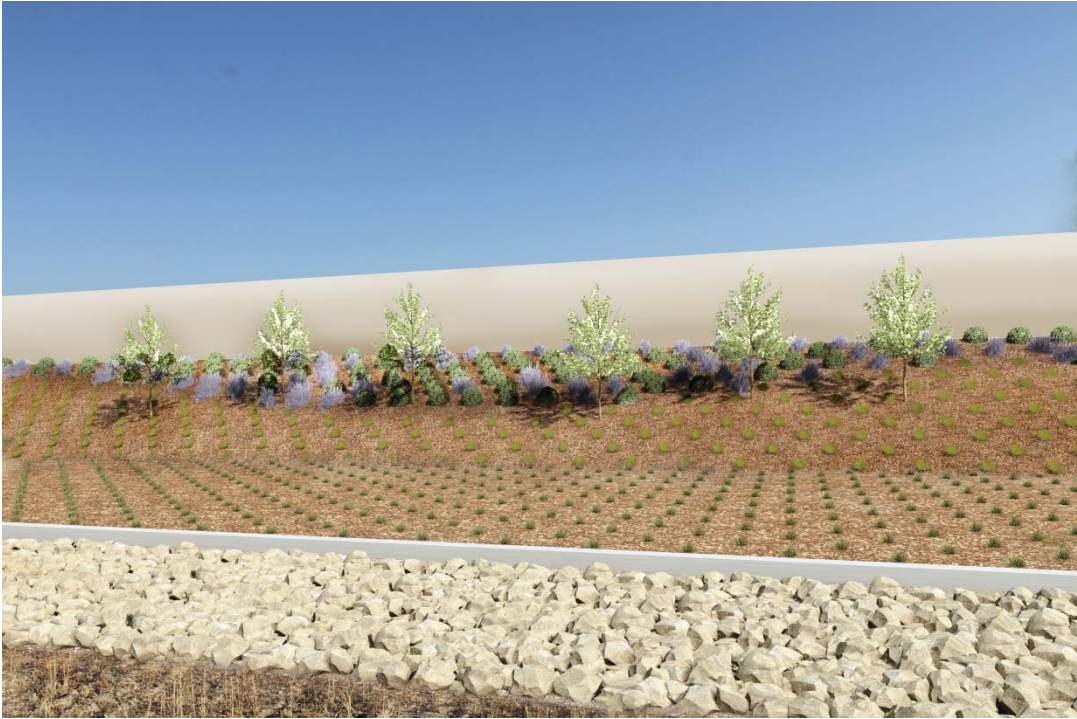
Shrubs / Ground Cover (1 gallon minimum)

- S1. Baccharis sarathroides: Desert Broom
- Leucophyllum texanum: Texas Ranger
- Simmondsia chinensis: Jojoba
- Lycium andersonii: Anderson Thornbush
- Celtis pallida: Desert Hackberry
- S2. Rosmarinus officinalis 'Prostratus': Creeping Rosemary



OFF-SITE DESIGN STANDARDS

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SJWA (San Jacinto Wildlife Area) View 6 at Installation



SJWA (San Jacinto Wildlife Area) View 6 at Maturity (15 years)

- *These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.*
- *"Maturity" - 15 years estimated based on average rainfall and growing seasons.*
- *These renderings do not include street trees which will add to the screening effects.*

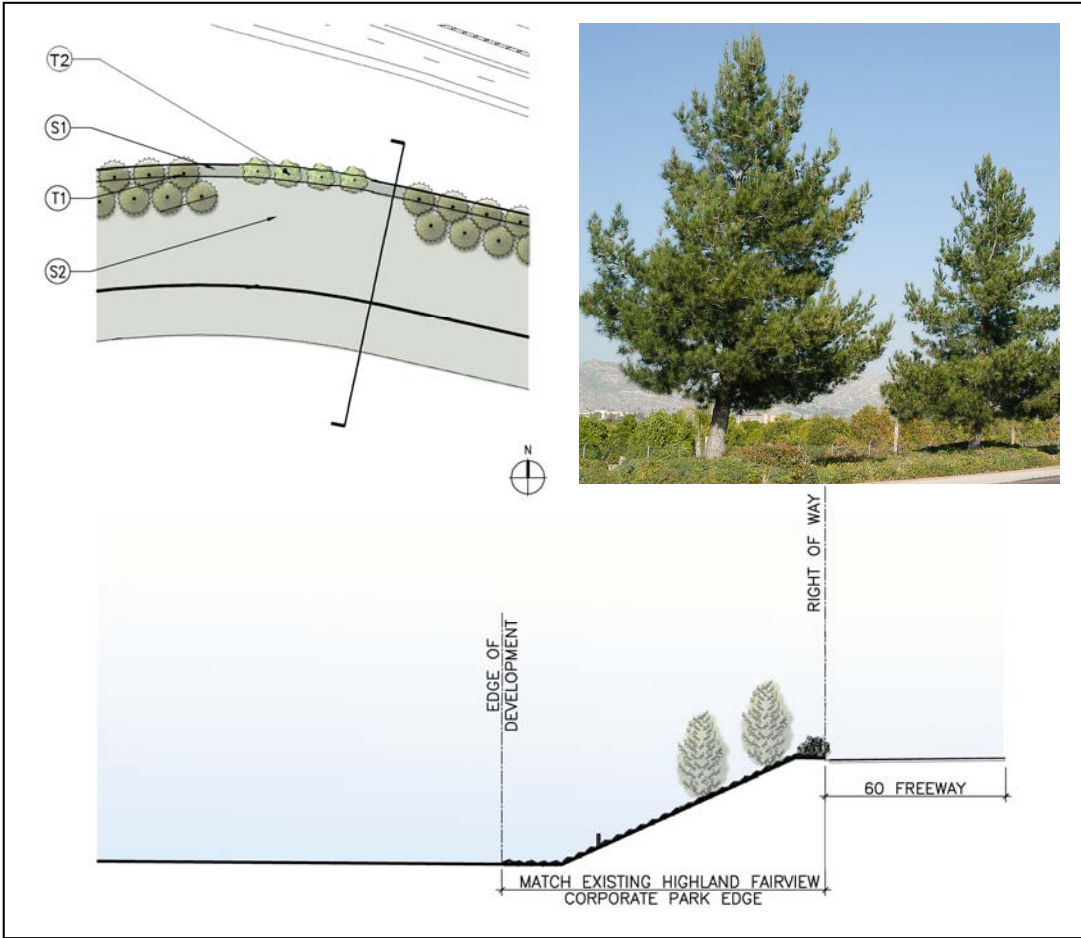


OFF-SITE DESIGN STANDARDS

4-26₈₇

Ordinance No. 900
Date Adopted

60 Freeway



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity

Trees (Palms – 25’ brown trunk height, all other trees – 36” box min. – all matching)

- T1. Pinus eldarica: Afghan Pine
- T2. Washington robusta: Mexican Fan Palm

Shrubs / Ground Cover (1 gallon minimum)

- S1. Cotoneaster lacteus: Cotoneaster
- S2. Acacia redolens ‘Desert Carpet’: Spreading Acacia
- Rosmarinus “Huntington Carpet”: Rosemary



OFF-SITE DESIGN STANDARDS



60 Freeway View 7 at Installation



60 Freeway View 7 at Maturity (15 years)

- *These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.*
- *"Maturity" - 15 years estimated based on average rainfall and growing seasons.*
- *These renderings do not include street trees which will add to the screening effects.*



OFF-SITE DESIGN STANDARDS

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60 Freeway View 8 at Installation



60 Freeway View 8 at Maturity (15 years)

- *These sections depict varying screening techniques through use of walls, berms and/or landscaping. One or more of these techniques may be used to achieve required screening.*
- *"Maturity" - 15 years estimated based on average rainfall and growing seasons.*
- *These renderings do not include street trees which will add to the screening effects.*



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OFF-SITE DESIGN STANDARDS

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4.2.7 Roundabout & Entry

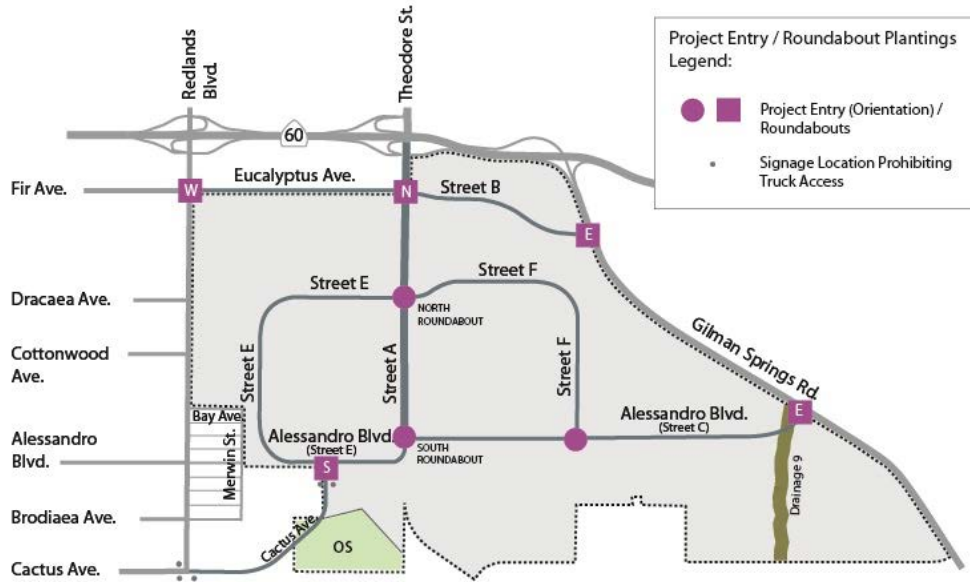
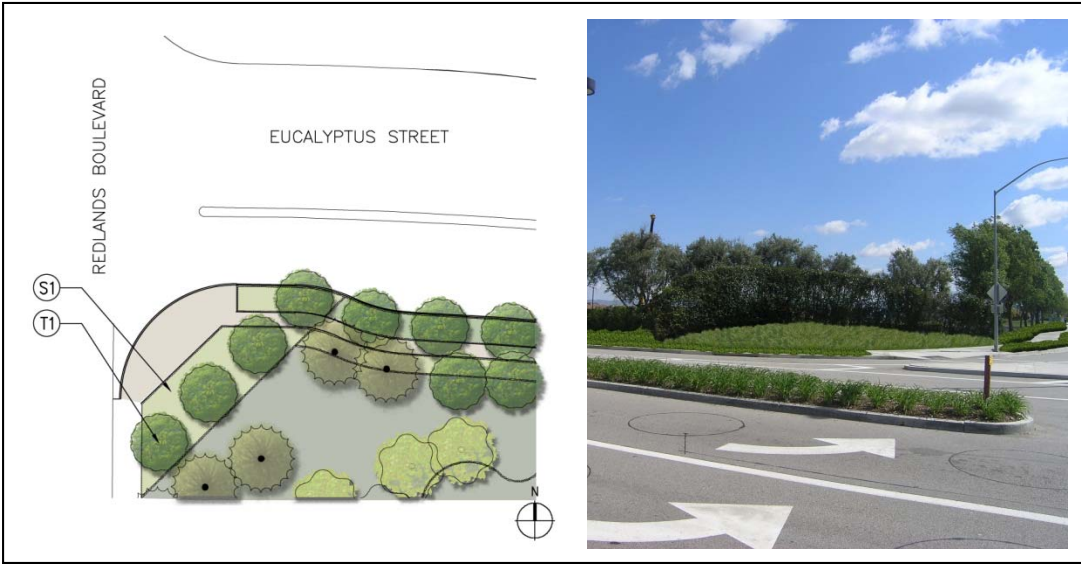


Exhibit 4-24 Roundabout & Entry Map (see pages 4-31 to 4-36)



OFF-SITE DESIGN STANDARDS

Project Entry West (Eucalyptus)



Not to scale This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

T1. *Tristania conferta*: Brisbane box

Shrubs / Ground Cover (1 gallon minimum)

S1. *Lomandra longifolia* 'Breeze': Dwarf Mat Rush



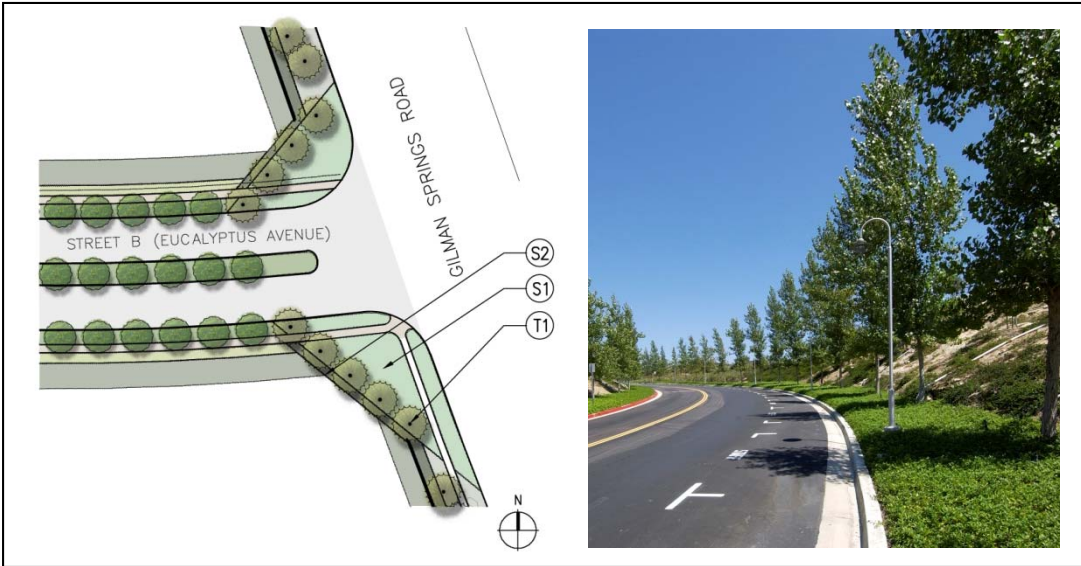
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Project Entry East (Gilman Springs Road)



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

- T1. Pinus eldarica: Afghan Pine

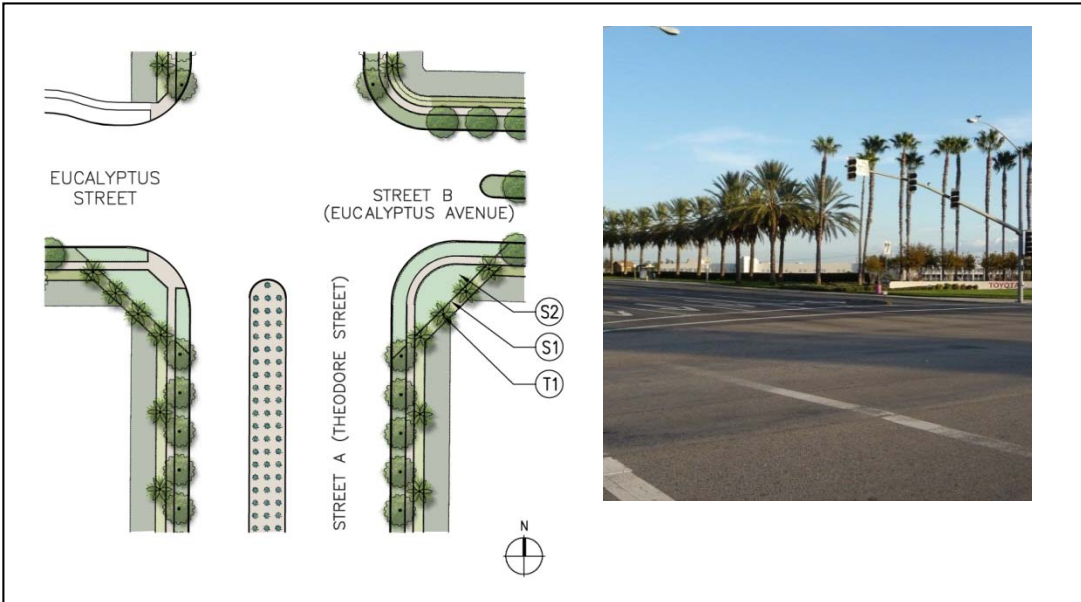
Shrubs / Ground Cover (1 gallon minimum)

- S1. Lomandra longifolia 'Breeze': Dwarf Mat Rush
- S2. Cotoneaster lacteus: Cotoneaster



OFF-SITE DESIGN STANDARDS

Project Entry North (Street A – Theodore Street)



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (25' brown-trunk height—all matching)

- T1. Washingtonia robusta: Mexican Fan Palm

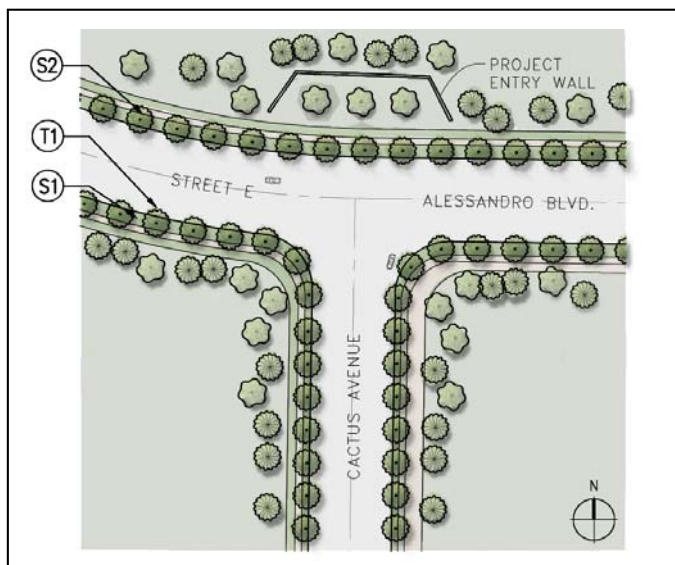
Shrubs / Ground Cover (1 gallon minimum)

- S1. Baccharis 'Starn': Coyote Bush
- S2. Lomandra longifolia: 'Breeze': Dwarf Mat Rush



OFF-SITE DESIGN STANDARDS

Project Entry South (Cactus Avenue)



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

- T1. Prosopis chilensis: Chilean Mesquite

Shrubs / Ground Cover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. Simmondsia chinensis 'Vista': Compact Jojoba

Landscape Buffer

See Section 4.2.9 for Plant Palette (page 4-40)



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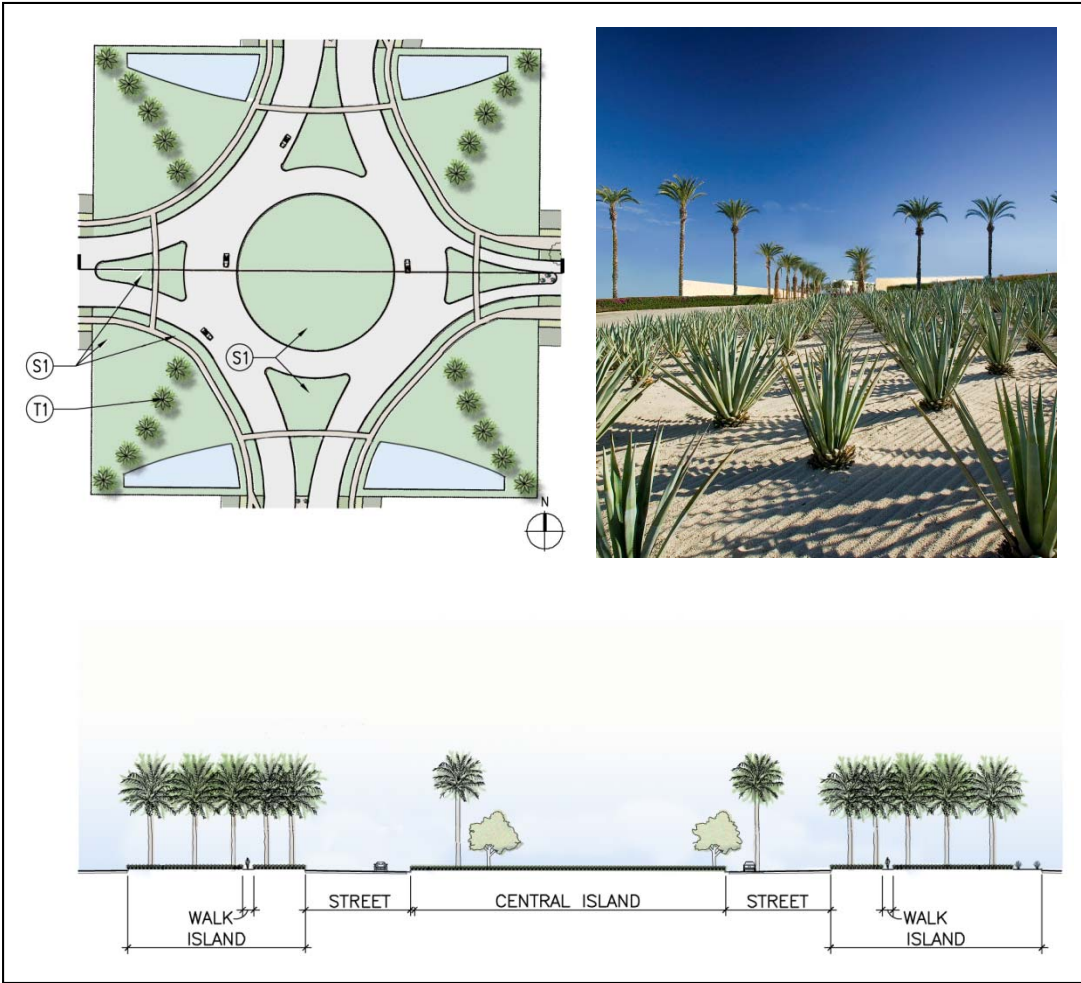
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North Roundabout



Not to scale | This exhibit is a graphic representation of a conceptual design. In connection with any development plan incorporating any or all of the roundabout, a preliminary plan for the entire roundabout shall be reviewed and approved by the City. Detailed plans will be required prior to the approval of Street Improvement Plans.

Trees (25' brown-trunk height--all matching)

T1. Phoenix dactylifera: Date Palm (to be replaced by Washington robusta: Mexican Fan Palm, in City maintained areas)

Shrubs / Ground Cover (1 gallon minimum)

S1. Lomandara longifolia 'Breeze': Dwarf Mat Rush



OFF-SITE DESIGN STANDARDS

South Roundabout



Not to scale | This exhibit is a graphic representation of a conceptual design. In connection with any development plan incorporating any or all of the roundabout, a preliminary plan for the entire roundabout shall be reviewed and approved by the City. Detailed plans will be required prior to the approval of Street Improvement Plans. Walls illustrated may or may not be a part of these plans.

Trees (25' brown-trunk height--all matching)

T1. Phoenix dactylifera: Date Palm (to be replaced by Washington robusta: Mexican Fan Palm, in City maintained areas)

Shrubs / Ground Cover (1 gallon minimum)

- S1. Lomandra longifolia 'Breeze': Dwarf Mat Rush
- S2. Baccharis 'Starn': Coyote Bush



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OFF-SITE DESIGN STANDARDS

4.2.8 Streetscape Planting

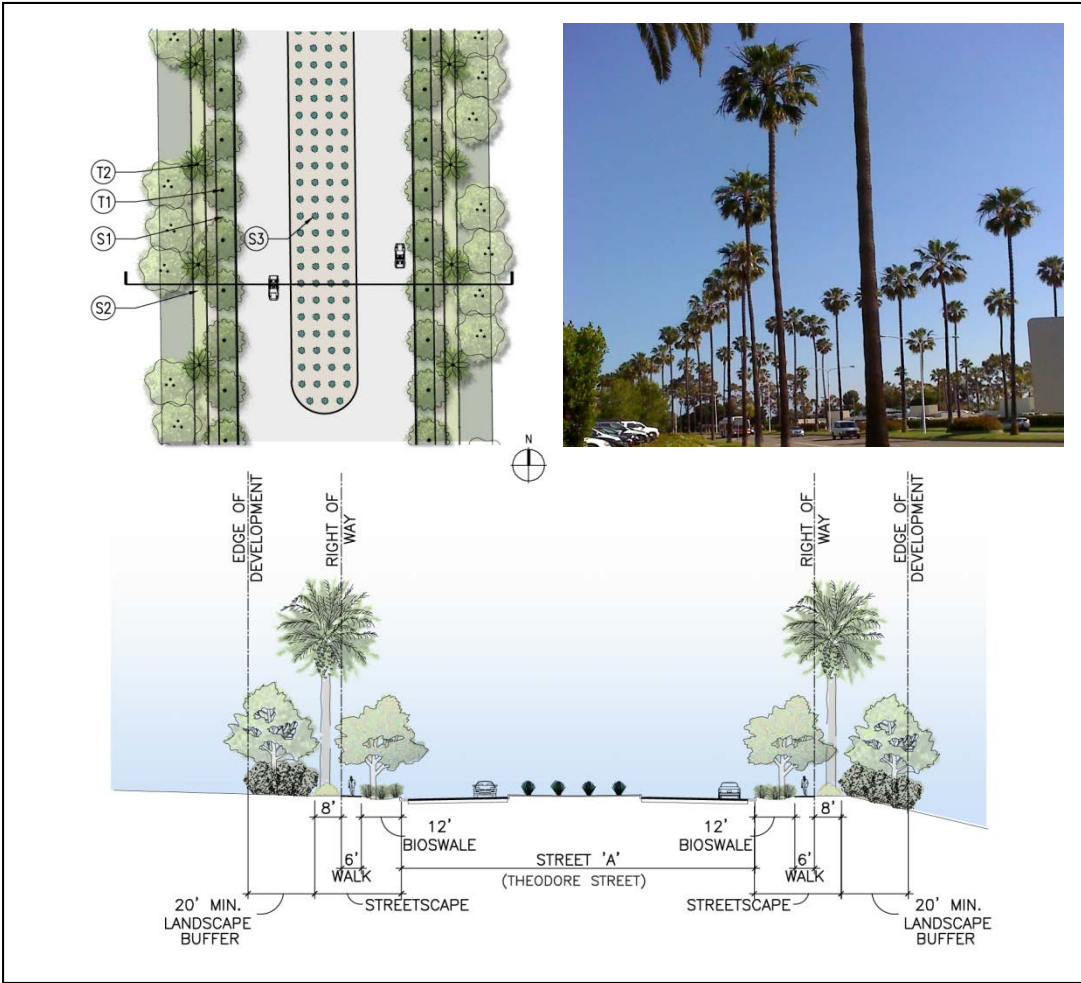


Exhibit 4-25 Streetscape Planting Map (see pages 4-38 to 4-42)



OFF-SITE DESIGN STANDARDS

Street A (Theodore Street)



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (Palms – 25’ brown trunk height, all other trees – 24” box min. – all matching)

- T1. Prosopis chilensis: Chilean Mesquite
- T2. Washingtonia robusta: Mexican Fan Palm

Shrubs / Ground Cover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. Baccharis ‘Starn’: Coyote Bush
- S3. Aloe vera: Aloe

Landscape Buffer

See Section 4.2.9 for Plant Palette (page 4-41)



OFF-SITE DESIGN STANDARDS

Eucalyptus Avenue



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (Palms – 25’ brown trunk height, all other trees – 24” box min. – all matching)

- T1. Tristania conferta: Brisbane Box
- T2. Pinus eldarica: Afghan Pine
- T3. Phoenix dactylifera: Date Palm

Shrubs / Ground Cover (1 gallon minimum)

- S1. Myoporum parvifolium ‘Putah Creek’: Creeping Myoporum
- S2. Lomandra longifolia ‘Breeze’: Dwarf Mat Rush

Landscape Buffer

See Section 4.2.9 for Plant Palette (page 4-41)



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Street B (Eucalyptus Avenue Extension)



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

- T1. Tristania conferta: Brisbane Box

Shrubs / Ground Cover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. Simmondsia chinensis 'Vista': Compact Jojoba

Landscape Buffer

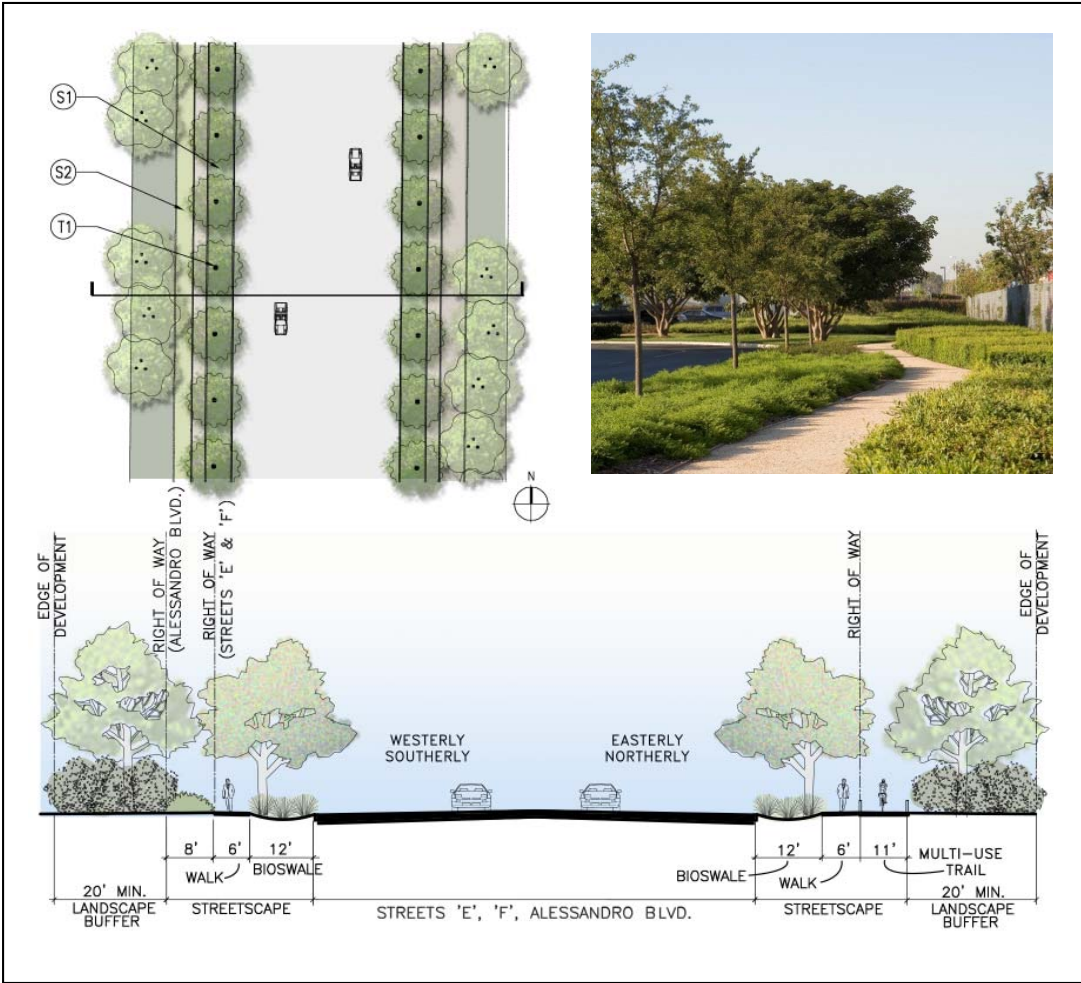
See Section 4.2.9 for Plant Palette (page 4-41)



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Street E, F and Alessandro Boulevard



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

- T1. Prosopis chilensis: Chilean Mesquite

Shrubs / Ground Cover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. Simmondsia chinensis 'Vista': Compact Jojoba

Landscape Buffer

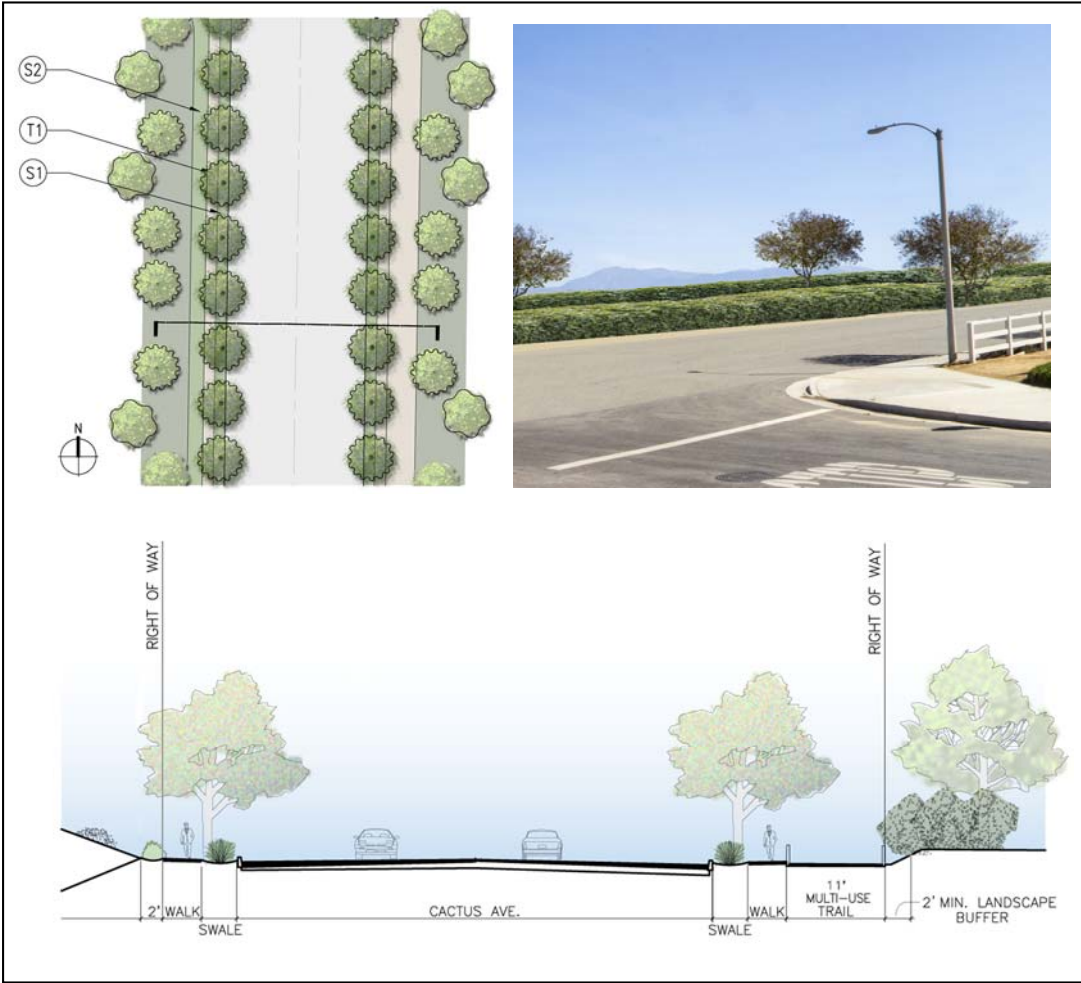
See Section 4.2.9 for Plant Palette (page 4-41)



Attachment: 7_ExhibitsABCPProposedOrdinance_ChangeZone (1636 : ORDINANCE NO. 900. AN ORDINANCE OF THE CITY COUNCIL OF THE

OFF-SITE DESIGN STANDARDS

Cactus Avenue



Not to scale | This exhibit is a graphic representation of a conceptual design.

Trees (24" box minimum – all matching)

- T1. Prosopis chilensis: Chilean Mesquite

Shrubs / Ground Cover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. Simmondsia chinensis 'Vista': Compact Jojoba

Landscape Buffer

See Section 4.2.9 for Plant Palette (page 4-41)



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4.2.9 Offsite Plant Selection

These plant selections shall apply to those portions of the WLC property that are not within development sites. This includes common areas, open space, public areas, streetscapes, etc. All trees are to be 15 gallon (minimum) unless otherwise noted.

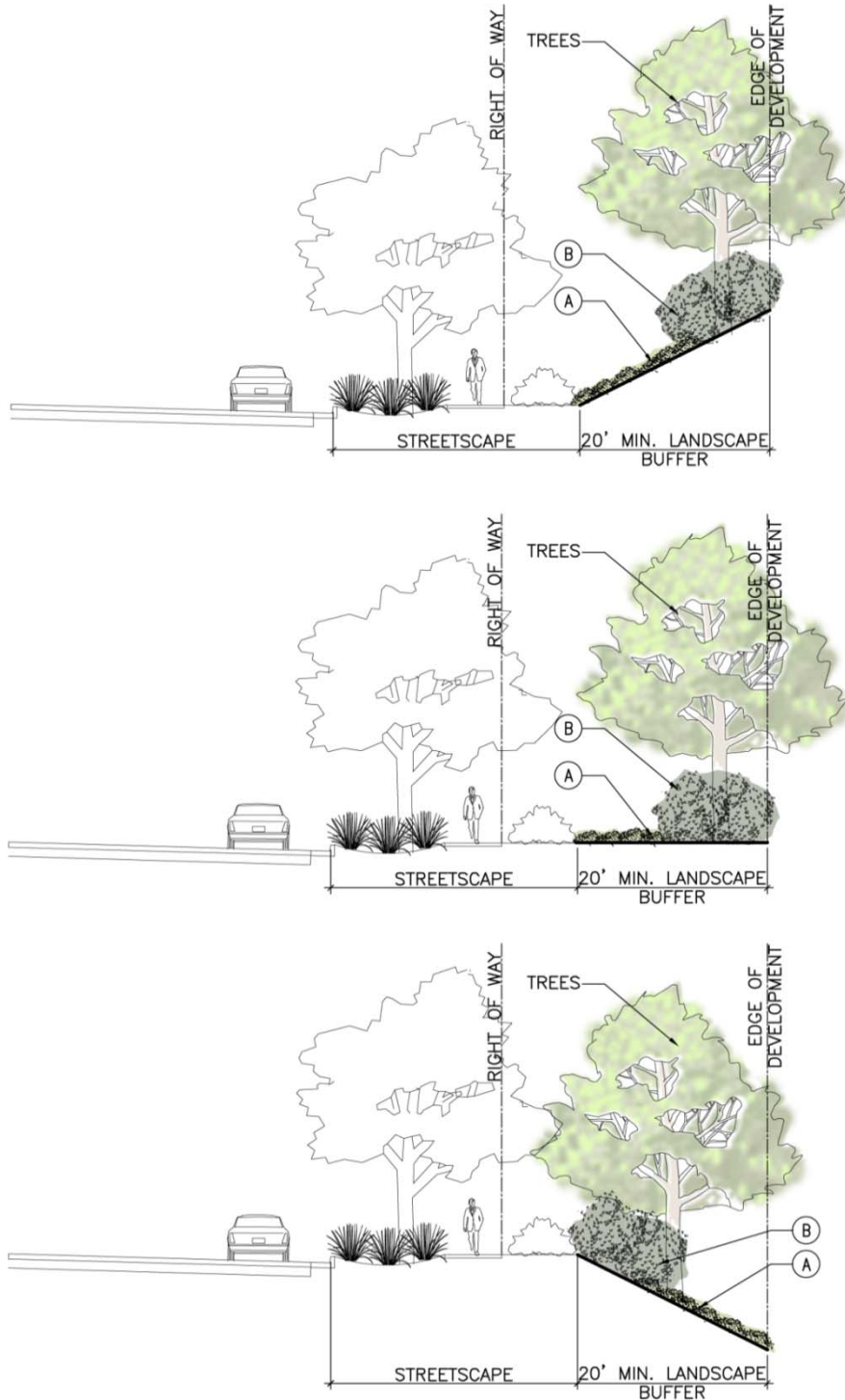


Exhibit 4-26 **Slope Planting Guideline** (From Top: Up-slope, Flat-slope, Down-slope)



OFF-SITE DESIGN STANDARDS

Landscape Buffer, Interior Slopes, and Detention Basins Plant List

Trees (15 gallon minimum)

Celtis occidentalis	Common Hackberry
Cupressus sempervirens	Italian Cypress
Ebenopsis ebano	Texas Ebony
Olea europea	Olive Tree
Pinus halepensis	Aleppo Pine
Populus Fremontii	Cottonwood
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa 'Maverick'	Thornless Texas Honey Mesquite
Schinus molle	California Pepper
Washington robusta	Mexican Fan Palm

(A) Groundcover (1 gallon minimum)

Acacia redolens 'Desert Carpet'	Spreading Acacia 'Desert Carpet'
Baccharis 'Starn'	Coyote Bush
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum

(B) Shrubs (1 gallon minimum)

Atriplex canescens	Four Wing Saltbush
Atriplex lentiformis	Quail Brush
Baccharis sarothroides	Desert Broom
Celtis pallida	Desert Hackberry
Cordia boissieri	Texas Olive
Dasyliion wheeleri	Desert Spoon
Elaeagnus Pungens 'Fruitlandii'	Fruitland Silverberry
Eriogonum fasciculatum	Common Buckwheat
Fallugia paradoxa	Apache Plume
Lycium andersonii	Anderson Lycium
Muhlenbergia rigens	Deergrass
Rhus ovata	Sugar Bush
Simmondsia chinensis	Jojoba



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OFF-SITE DESIGN STANDARDS

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4.2.10 Off-site Maintenance

Public streets (curb-to-curb), sidewalks, and trails will be maintained by the City. If the City is responsible for maintaining medians and/or curb separated parkways, funding of the maintenance will require a special financing district. These details to be established with each site specific Plot Plan application or Tentative Map.

Parkways, slopes, drainage facilities, and common areas will be maintained by a property owners' association.

4.3 Off-site Lighting

4.3.1 Objectives

Exterior lighting is to be provided to enhance the safety and security of motorists, pedestrians and cyclists.

Lighting is intended to create a night time character that reinforces the image of the World Logistics Center as a quality business location.

Lighting is an important element contributing to the identity and unity of the World Logistics Center.

To reinforce identity and unity, all exterior lighting is to be consistent in height, spacing, color and type of fixture throughout the building site and compatible throughout the World Logistics Center.

All lighting in the vicinity of the San Jacinto Wildlife Area shall be designed to confine all direct light rays to the project site and avoid the visibility of direct light rays from the wildlife area.

Street lighting on public streets shall meet the requirements of the City Standard Plans.

4.4 Off-site Utilities

4.4.1 Telephone, CATV and Similar Service Wires and Cables

All telephone, CATV and similar service wires and cables shall be installed underground.

4.4.2 Electrical Transmission Lines

Electrical transmission lines less than 115kV shall be installed underground.



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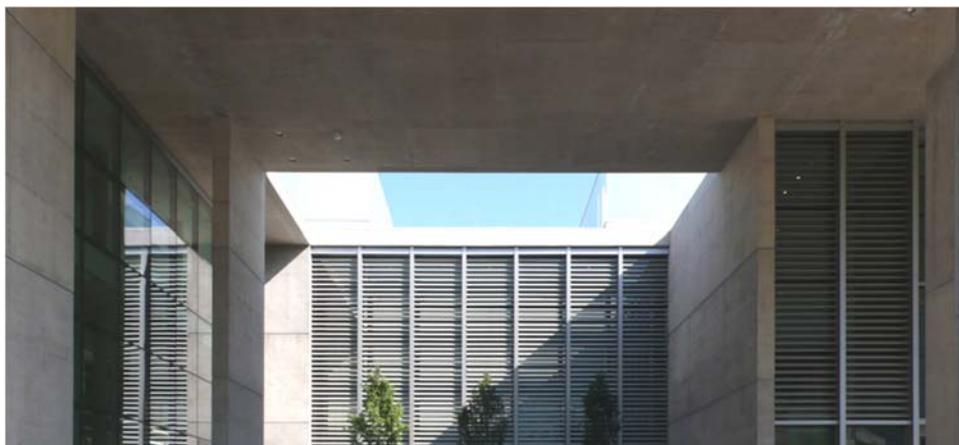
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5.0 ON-SITE DESIGN STANDARDS



5.1 On-site Design Standards And Guidelines

In order to manage the orderly and consistent development of the World Logistics Center, the following design standards and guidelines will be applied to all development in the Specific Plan area.

These Design Standards and Guidelines serve to create an eco-friendly, high-quality development and establish a distinctive character for the World Logistics Center project. In reviewing development proposals, these guidelines will be the primary tool used to evaluate proposed site design, architecture, landscaping, and other project features such as lighting and site amenities.

5.1.1 General Purpose

On-site design standards and guidelines are set forth to guide the design, construction, review and approval of all buildings within the World Logistics Center. The goal is to attain the best possible design for each site within the World Logistics Center.

5.1.2 Uses Shall Be Developed In Accordance with the Specific Plan

All properties within the World Logistics Center shall be developed in conformance with this Specific Plan.

5.1.3 Uses Shall Be Developed In Accordance With City of Moreno Valley Municipal Codes

All development will be consistent with the Specific Plan objectives and design guidelines. Details of specific development projects will be determined by subdivisions and site development plans. In the event of a



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conflict between the Specific Plan and the City of Moreno Valley Municipal Code, the Specific Plan will prevail. If the Specific Plan is silent on a particular subject, the Municipal Code will apply.

5.1.4 Subdivision Map Act

Lots created within the World Logistics Center Specific Plan area shall comply with the Subdivision Map Act and be in conformance with the Specific Plan.

5.1.5 Water Quality Management Plan

All development within the World Logistics Center shall be subject to applicable laws of the State of California regarding water quality.

5.1.6 Trash and Recyclable Materials

All development within the World Logistics Center shall provide enclosures (or compactors) for collection of trash and recyclable materials subject to water quality standards and best management practices.

5.1.7 Waste Hauling

Construction and other waste disposal shall be hauled to a city-approved facility.

5.1.8 Water Quality Site Design

5.1.8.1 General Standards

Refer to the National Pollution Discharge Elimination System (NPDES) Permit Board Order R8-2010-0033 for complete and current information on water quality management standards. Current requirements can be obtained by visiting the State Water Resource Control Board website at www.swrcb.ca.gov.

5.1.8.2 Water Quality Management Plan

Most developments are required to implement a Water Quality Management Plan (WQMP) in accordance with the NPDES Permit Board Order R8-2010-0033. The WQMP for the Santa Ana Region of Riverside County was approved by the Santa Ana Region Water Quality Control Board on October 22, 2012. Projects identified as a 'Priority Development project' are required to prepare a Project-Specific WQMP. The MS4 Permit mandates a Low Impact Development (LID) approach to stormwater treatment and management of runoff discharges. The project site should be designed to minimize imperviousness, detain



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runoff, and infiltrate, reuse or evapotranspire runoff where feasible. LID Best Management Practices (BMPs) should be used to infiltrate, evapotranspire, harvest and use, or treat runoff from impervious surfaces, in accordance with the Design Handbook for Low Impact Development Practices. The project should also ensure that runoff does not create a hydrologic condition of concern. The Regional Water Quality Control Board continuously updates impairments as studies are completed. The most current version of impairment data should be reviewed prior to preparation of the Preliminary and Final Project-Specific WQMP.



Example of Water Quality Feature



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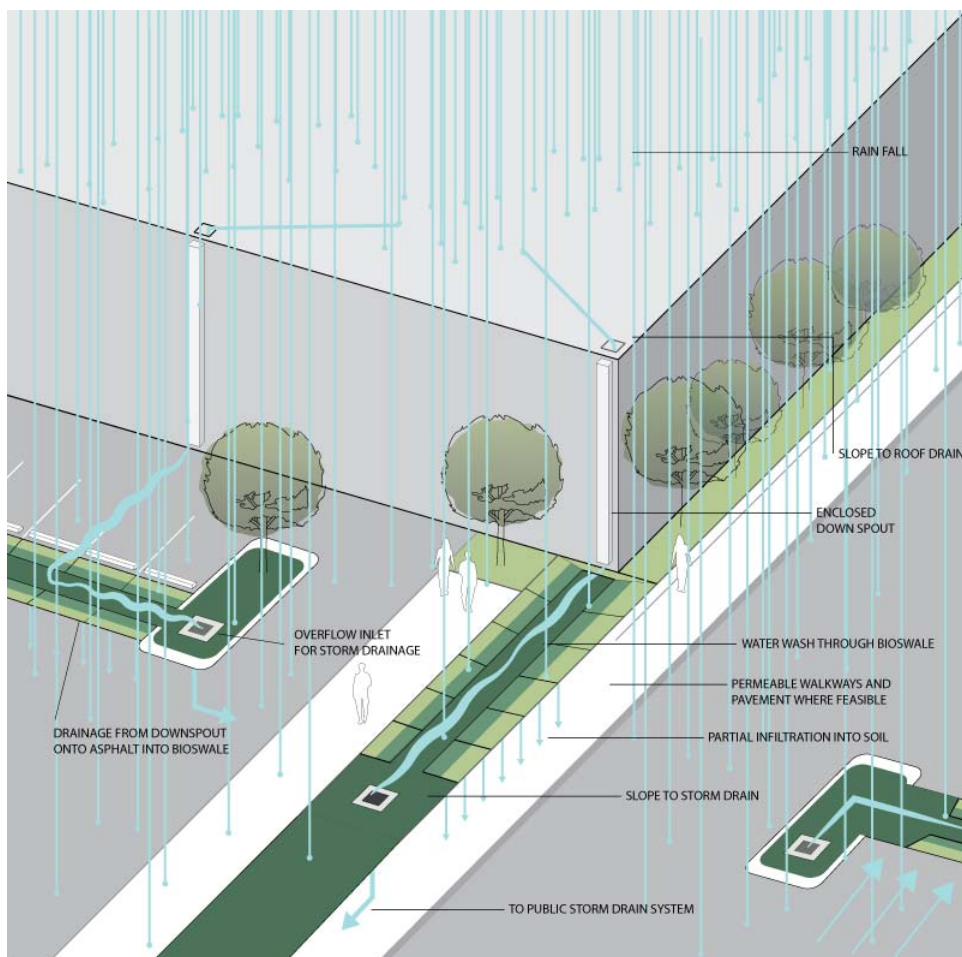


Exhibit 5-1 **Water Quality Management Diagram**



5.1.8.3 Site Design BMPs

Site Design BMPs are intended to create a hydrologically functional project design that attempts to mimic the natural hydrologic regime. In accordance with the Riverside County WQMP, project proponents shall implement Site Design concepts that achieve each of the following:

- Minimize Urban Runoff
- Minimize Impervious Footprint
- Conserve Natural Areas
- Minimize Directly Connected Impervious Areas (DCIAs)

Methods of accomplishing the Site Design concepts include:

- Maximize the permeable area.
- Incorporate landscape buffer areas between sidewalks and streets.
- Maximize canopy interception and water conservation by preserving existing native trees and shrubs, and planting additional native or drought tolerant trees and large shrubs.

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- Use natural drainage systems.
- Where soil and conditions are suitable, use perforated pipe or gravel filtration pits for low flow infiltration.
- Construct ponding areas or retention facilities to increase opportunities for infiltration consistent with vector control objectives.
- Minimize the use of impervious surfaces, such as decorative concrete, in the landscape design.
- Sites must be designed to contain and infiltrate roof runoff, or direct roof runoff to vegetative swales or buffer areas, where feasible.
- Where landscaping is proposed, drain impervious sidewalks, walkways, trails, and patios into adjacent landscaping.
- Increase the use of vegetated drainage swales in lieu of underground piping or imperviously lined swales.
- Parking areas may be paved with a permeable surface, or designed to drain into landscaping prior to discharging to the MS4.
- Where landscaping is proposed in parking areas, incorporate landscape areas into the drainage design.



Example of Water Quality Feature



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5.1.8.4 Source Control BMPs

Source Control BMPs are also required to be implemented for each project as part of the Final WQMP. Source Control BMPs are those measures which can be taken to eliminate the presence of pollutants through prevention. Such measures can be both non-structural and structural.

Non-structural Source Control BMPs include:

- Education for property owners, operators, tenants, occupants, or employees
- Activity restrictions
- Irrigation system and landscape maintenance
- Common area litter control
- Street sweeping private streets and parking lots
- Drainage facility inspection and maintenance

Structural Source Control BMPs include:

- Stenciling and signage
- Landscape and irrigation system design
- Protect slopes and channels
- Properly design fueling areas, trash storage areas, loading docks, and outdoor material storage areas

5.1.8.5 Treatment Control BMPs

The Treatment Control BMP strategy for the project is to select Low Impact Development (LID) BMPs that promote infiltration and evapotranspiration, including infiltration basins, bioretention facilities, and extended detention basins. Generally infiltration BMPs have advantages over other types of BMPs, including reduction of the volume and rate of runoff, as well as full treatment of all potential pollutants potentially contained in the stormwater runoff. It is recognized however that infiltration may not be feasible on sites with low infiltration rates, or located on compacted engineered fill. If the BMP is considered in a fill condition, and the infiltration surface of the BMP cannot extend down into native soils, or if the BMP is considered in a cut condition, and there is no practicable way to verify infiltration rates at the final BMP elevation, infiltration BMPs will not be used. Prior to final design, infiltration tests shall be performed within the boundaries of the proposed infiltration BMP and at the bottom elevation (infiltration surface) of the proposed infiltration BMP to



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confirm the suitability of infiltration. In situations where infiltration BMPs are not appropriate, bioretention and/or biotreatment BMPs (including extended detention basins, bioswales, and constructed wetlands) that provide opportunity for evapotranspiration and incidental infiltration will be considered. Harvest and use BMPs will also be considered as a Treatment Control BMP to store runoff for later non-potable uses. Ponds may be used to collect stormwater runoff for harvest and use.

5.1.8.6 Infiltration Basin

An infiltration basin is a flat earthen basin designed to capture the design capture volume. The stormwater infiltrates through the bottom of the basin into the underlying soil over a 72 hour drawdown period. Flows exceeding the design capture volume must discharge to a downstream conveyance system. Infiltration basins are highly effective in removing all targeted pollutants from stormwater runoff. The use of infiltration basins may be restricted by concerns over groundwater contamination, soil permeability, and clogging at the site. Where this BMP is being used, the soil beneath the basin must be thoroughly evaluated in a geotechnical report since the underlying soils are critical to the basin's long term performance. To protect the basin from erosion, the sides and bottom of the basin must be vegetated, preferably with native or low water use plant species.

In addition, these basins may not be appropriate for the following site conditions:

- Industrial sites or locations where spills may occur
- Sites with very low soil infiltration rates
- Sites with high groundwater tables or excessively high infiltration rates, where pollutants can affect groundwater quality
- Sites with unstabilized soil or construction activity upstream
- On steeply sloping terrain

5.1.8.7 Bioretention Facility

Bioretention facilities are shallow, vegetated basins underlain by an engineered soil media. Healthy plant and biological activity in the root zone maintain and renew the macro-pore space in the soil and maximize plant uptake of pollutants and runoff. This keeps the BMP from becoming clogged and allows more of the soil column to function as both a sponge (retaining water) and a highly effective and self-maintaining biofilter. In most cases, the bottom of a bioretention



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facility is unlined, which also provides an opportunity for infiltration to the extent that the underlying onsite soil can accommodate it. When the infiltration rate of the underlying soil is exceeded, fully biotreated flows are discharged via underdrains. Bioretention facilities therefore will inherently achieve the maximum feasible level of infiltration and evapotranspiration and achieve the minimum feasible (but highly biotreated) discharge to the storm drain system.

These facilities work best when they are designed in a relatively level area. Unlike other BMPs, bioretention facilities can be used in smaller landscape spaces on the site, such as:

- Parking islands
- Medians
- Site entrances



Example of Water Quality Feature

Landscape areas on the site can often be designed as bioretention facilities. This can be accomplished by:

- Depressing landscape areas below adjacent impervious surfaces, rather than elevating those areas
- Grading the site to direct runoff from those impervious surfaces into the bioretention facility, rather than away from the landscaping
- Sizing and designing the depressed landscape area as a bioretention facility as described in the Riverside County Low Impact Development BMP Design Handbook



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Example of Water Quality Feature

5.1.8.8 Extended Detention Basin

The extended detention basin is designed to detain the design volume of stormwater and maximize opportunities for volume losses through infiltration, evaporation, evapotranspiration, and surface wetting. Additional pollutant removal is provided through sedimentation, in which pollutants can attach to sediment accumulated in the basin through the process of settling. Stormwater enters the basin through a forebay where any trash, debris, and sediment accumulate for easy removal. Flows from the forebay enter the top stage of the basin which is vegetated with native grasses and interspersed with gravel-filled trenches which together enhance evapotranspiration and infiltration. Water that does not get infiltrated or evapotranspired is conveyed to the bottom stage of the basin. At the bottom stage of the basin, low or incidental dry weather flows will be treated through a media filter and collected in a subdrain structure. Any additional flows will be detained in the basin for an extended period by incorporating an outlet structure that is more restrictive than a traditional detention basin outlet. The restrictive outlet extends the drawdown time of the basin which further allows particles and associated pollutants to settle out before exiting the basin, while maximizing opportunities for additional incidental value losses.



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5.2 Site Planning Guidelines

5.2.1 Overview

The World Logistics Center Specific Plan has an overall, coordinated design character that emphasizes a clean, contemporary, straightforward, quality image. This image is expressed in site planning, architecture, landscaping, and lighting.

Architectural design is to be compatible in character, massing and materials throughout The World Logistics Center, while allowing for individual identity and creativity in each project. Landscaping, building design, lighting, and utilities are to be closely coordinated along roadways. Criteria for occupancy, building heights, site planning, architecture, landscaping, and lighting are given in further detail in the following sections.

5.2.2 Design Objectives

The objective of the guidelines is to promote the planned image of a quality business and logistics center. Each site will be developed in a manner that emphasizes a clean, pleasant and contemporary environment, and produces an effect that is consistent and compatible with adjacent sites and development throughout the World Logistics Center.



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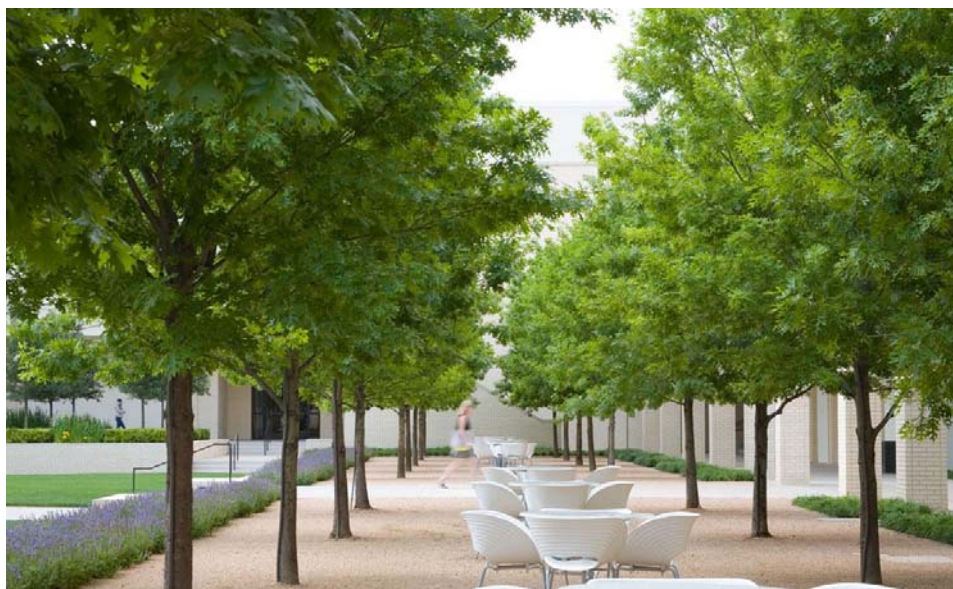
5.2.3 Sustainable Design

Building in an ecological and resource-efficient manner has many advantages for the environment as well as for building users. Sustainable design reduces pollution and conserves natural resources. The architects and engineers that make contributions to the WLC must understand this and strive to lessen the impact their designs have on the environment.

In addition, all buildings in the World Logistics Center, of at least 500,000 square feet, shall be designed to meet or exceed the LEED Certified Building Standards as described in Section 12.8.

The following sustainability goals have been set for buildings at the WLC:

- Design buildings to accommodate renewable energy systems where feasible
- Create building forms and landscape that protect patrons and employees from unpleasant climate conditions
- Use water resources responsibly with a constant effort to minimize the use of potable water
- Incorporate life cycle planning and decision making



The design of each building at the World Logistics Center will pursue these goals, by incorporating design features such as, but not limited to, the following:



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Water conservation:

- Low flow faucets and fixtures
- Rain water collection (where practical)
- Native landscape
- Direct and capture low-use irrigation and rainfall runoff to landscape areas

Energy conservation:

- Building orientation
- Glazing, overhangs, and landscaping to capture and control natural daylight
- High performance glazing
- Use of atriums, skylights and internal courtyards to provide additional daylighting

Natural resource conservation:

- Use of renewable materials where feasible
- The use of building materials with recycled content where feasible



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5.2.4 Building Location

Buildings are to be located on each site in a manner that is efficient, appropriate to site conditions, supportive of the overall architectural composition and compatible with nearby projects throughout the World Logistics Center.

5.2.4.1 Buildings shall be located to enhance project visibility and identity, while maintaining compatible relationships with adjacent projects and street views.

5.2.4.2 Buildings shall be oriented so that loading and service areas are screened from view from streets and public areas.

5.2.4.3 Buildings shall be arranged to provide convenient access to entrances and efficient on-site circulation for vehicles and pedestrians.

5.2.4.4 Buildings shall be arranged to provide landscape outdoor plazas or entries.

5.2.4.5 Visitor parking shall be convenient to public building entries, as shown below.

5.2.4.6 Indoor and outdoor break areas shall be provided convenient to major office areas.



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Example of Plaza Entry

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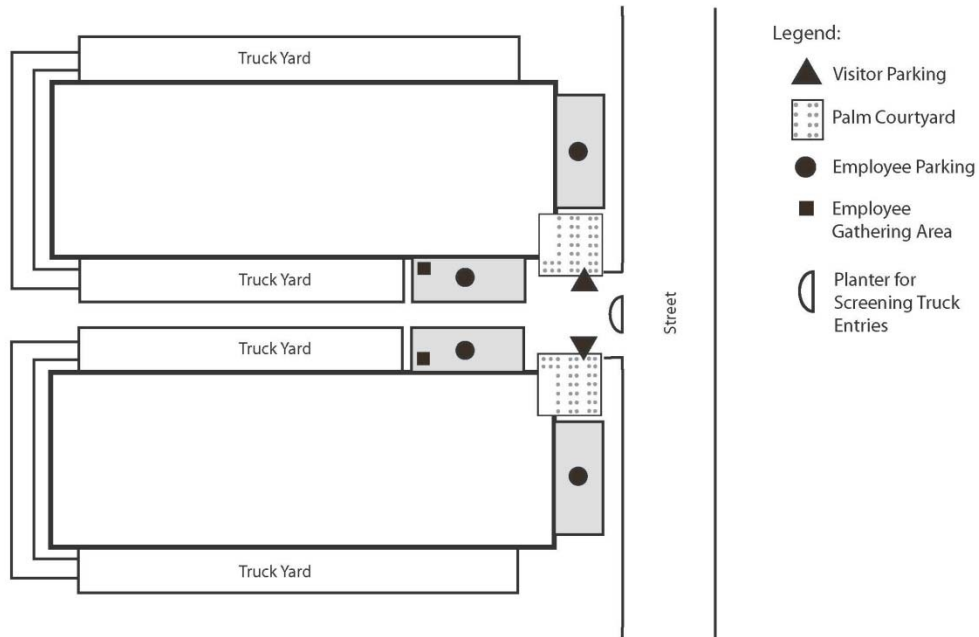


Exhibit 5-2 **Visitor Parking Plan**

5.2.5 Site Access

Vehicular access to individual sites is limited to minimize disruption of traffic flow. All access to public streets is subject to approval by the City of Moreno Valley.

5.2.6 Vehicular Circulation

Onsite vehicular circulation should be clear and direct. Dead-end parking aisles should be avoided.

5.2.7 Parking

- 5.2.7.1 Off-street parking shall be provided in accordance with the Municipal Code.
- 5.2.7.2 Off-street parking shall be provided to accommodate all vehicles associated with the permitted use of each site. On-street parking is prohibited, except in designated truck parking areas.
- 5.2.7.3 Designated spaces must be provided in convenient locations for handicap, carpool, alternate fuel vehicles, motorcycles and bicycles as required by the State of California and the City of Moreno Valley.



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- 5.2.7.4 Parking areas for motorcycles and bicycles are to be designed for orderly, uncluttered parking. Bicycle parking areas are to be provided with racks and locking capabilities.
- 5.2.7.5 The view of parking areas from public streets shall be softened by means of grading and/or landscaping.
- 5.2.7.6 Parking is prohibited in any required landscape areas.
- 5.2.7.7 Vehicle parking areas are to be landscaped to provide a shade canopy (50% coverage at maturity) and pleasant appearance. Planters must be large enough to avoid crowding of plant material and damage by vehicles.
- 5.2.7.8 Parking lots shall comply with the accessible parking standards required by the City of Moreno Valley.

5.2.8 Pedestrian Circulation

Safe, clear pedestrian circulation must be provided between buildings, parking areas and entries on all sites. Where a pedestrian walkway into the site from the public sidewalk is provided, it should be located at a driveway and in conformance with the street tree interval.



Example of Pedestrian Walkway

5.2.9 Truck Parking

All truck yards shall be screened from public view from adjacent streets per this Specific Plan.

5.2.10 Service Areas

Service, storage, maintenance, loading, refuse collection areas and similar facilities are to be located out of view of public roadways and buildings on adjacent sites, or screened by architectural barriers.



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Example of Service Structure

Service areas may not extend into required building and landscape setback zones.

Service areas should be located and designed so that service vehicles have clear and convenient access and do not disrupt vehicular and pedestrian circulation. No loading or unloading is permitted from public streets.

5.2.11 Grading and Drainage

All project grading shall conform to the Municipal Code. Site grading and drainage shall be designed so that surface drainage is collected and treated before leaving the site.

Site grading shall be designed to be compatible with streetscape grades and to minimize the need for handrails or pedestrian ramps within the site.

Concrete swales in parking lots should be located at the edge of parking spaces and/or curb. Swales are prohibited in the middle of drive aisles. Directing drainage to curb and gutters is preferred over concrete swales.

Run-off from roofs, site, and impervious areas shall be directed to planter areas to minimize run-off.



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5.2.12 Walls and Fences

Walls and fences must be designed as an integral part of the overall architectural or landscaping design concept.

Within designated edge treatment areas, proposed fencing shall be included in the required Concept Plan (see Section 2.5). Along the SJWA boundary special fencing shall be used to restrict animals from passing between the SJWA property and the project site. This fencing shall be of a durable material (metal or plastic) and shall be partially buried to resist burrowing animals.

Plot Plans shall include all site fencing details.

Materials

Walls are to be constructed of materials compatible with the overall design character of the building. Walls shall be poured in-place concrete. Fences shall be wrought iron or tubular steel. Chain link fencing is permitted only where not visible from streets, sidewalks, public parking areas or public building entries.

Design features may include:

- Varied heights, wall plane offsets, and angles.
- Pilasters or distinctive elements.
- Trim, reveals.
- Minor changes of material and finishes where appropriate.
- Trellis/vine panels, landscape pockets.



Example of Security Fence



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Walls within Streetside Landscape Setback

Low-profile parking lot screen walls or garden walls are permitted in street-side landscape area.

Height

Screen walls shall not exceed the height necessary to screen trucks and dock doors. Pilasters and distinctive elements may exceed this maximum.

Walls or fences in the streetside landscaping area visible from the street and not intended for screening purposes shall be limited to a height of 3' 0".

Refuse enclosures shall have walls not less than 6'-0" high. Planting areas for vines, shrubs, and trees shall be provided at the rear and sides of all enclosures.



Gates Visible From Public Areas

Pedestrian and vehicular access gates visible from public areas (i.e., parking lots, streets, sidewalks, etc.) shall be constructed of a durable material, such as tubular steel.

Prohibited Materials

Barbed wire, wire, integrated corrugated metal, electronically charged or plain exposed plastic vinyl, concrete/PCC fences are prohibited.



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5.3 On-site Architecture

5.3.1 Objectives

Architectural design should express the character of a corporate logistic center in a manner that is progressive and enduring. Individual creativity and identity are encouraged, but care must be taken to maintain design integrity and compatibility among all projects in order to establish a clear, unified image throughout the World Logistics Center.



Simple Form



Progressive and Enduring



Creativity and Identity



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5.3.2 Architectural Character

Architectural character should portray a high quality image in a manner that is both progressive and timeless.

Appropriate Characteristics

- Contemporary, classic, technical style
- Clean, smooth, efficient lines
- Distinctive, but compatible image



Inappropriate Characteristics

- Trendy, historical, residential styles
- Tricky, complicated, arbitrary forms
- Sharp contrast with surroundings



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5.3.3 Building Heights

To maintain consistent and compatible building mass relationships, building heights are limited to the following (unless otherwise approved):

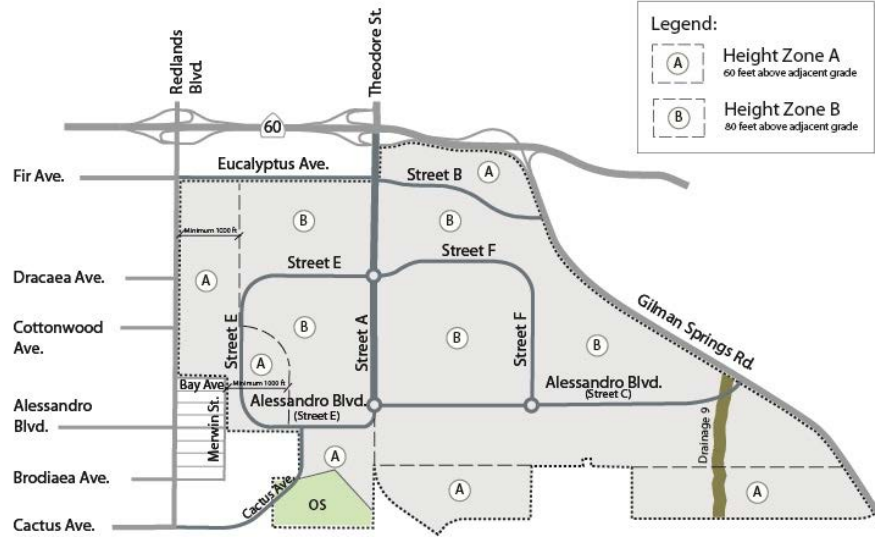


Exhibit 5-3 Building Height Plan

Area A: 60 feet above adjacent grade, including parapets, screens, and architectural features

Area B: 80 feet above adjacent grade, including parapets, screens, and architectural features

Height exceptions may be approved by the Planning Official. Exceptions up to 10 additional feet in height may be approved to accommodate special interior uses or screening of special mechanical equipment unique to these facilities. In such cases, up to twenty percent of the building footprint may exceed the height limit.



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5.3.4 Building Form and Massing

Building design should employ clean, simple, geometric forms and coordinated massing that produce overall unity, scale and interest.

Appropriate Treatment

- Straightforward geometry
- Unified composition
- Expression of floor levels and structure
- Solid parapets



Inappropriate Treatment

- Complicated forms
- Arbitrary, inconsistent composition



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5.3.5 Facades

Facades should reflect a coordinated design concept, including expression of building function, structure and scale. Buildings can be designed with a consistent, uniform facade; with the center of the facade emphasized; or with the corners of the facade emphasized.

Appropriate Treatment

- Straightforward, functional design
- Expression of structure
- Unity & scale reinforced through an integrated grid module



Inappropriate Treatment

- Arbitrary, inconsistent forms and decoration
- Uninterrupted, floating horizontals
- Wall-mounted



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5.3.6 Fenestration

Fenestration should be defined by function and structure, and should be consistent in form, pattern and color.

Appropriate Treatment

- Functional glass use and patterns
- Glazing delineation by mullions and structure
- Balance of wall and glazed surfaces
- Tinted or lightly reflecting glazing



Inappropriate Treatment

- Arbitrary, decorative glass patterns
- Uninterrupted horizontal glazing
- Highly reflective glass



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Glazing Colors

Preferred:	Silver, bronze, blue, green, blue-green ranges
Prohibited:	Black, gold, copper ranges
Other:	Requires specific approval



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Attachment: 7_ Exhibits ABC Proposed Ordinance_ChangeZone (1636 : ORDINANCE NO. 900. AN ORDINANCE OF THE CITY COUNCIL OF THE

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5.3.7 Structure

Structure should be expressed clearly and consistently.

Appropriate Treatment

- Visible vertical support
- Visible structural base
- Functional, straight-forward elements
- Columns integrated into the facade
- Proper structural scale



Inappropriate Treatment

- Floating horizontal levels
- False, decorative structure
- Undersized or oversized structural components



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5.3.8 Roofs

Rooflines should be horizontal.

Appropriate Treatment

- Visible vertical support
- Horizontal planes and parapets
- Varied but proportional parapet height
- Roofing materials hidden from off-site view



Inappropriate Treatment

- Gable, hip and mansard roof forms
- Metal, tile, shingle and shake roofing
- Arbitrary decoration



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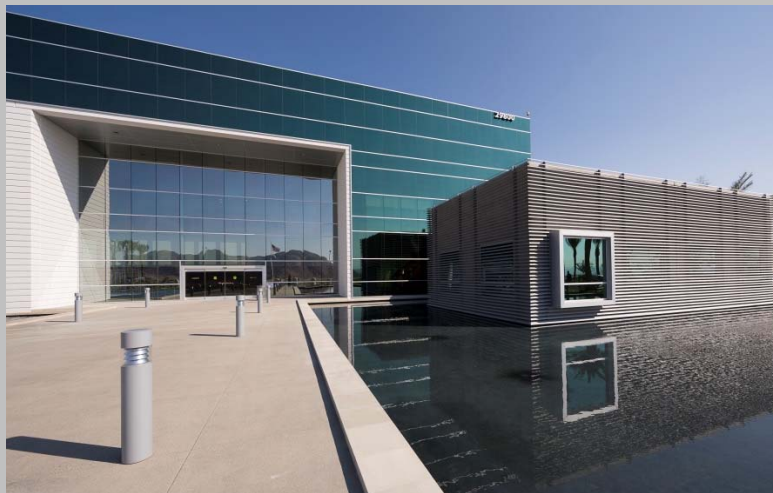
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5.3.9 Entrances

Entrances should be clearly defined and inviting.

Appropriate Treatment

- Articulation and color for identity and interest
- Light, open, inviting aspect
- Entry space sequence
- Recessed, protected doorway
- Integration with overall building form
- Coordinated landscaping



Inappropriate Treatment

- Exaggerated forms and color
- Dark, confined appearance
- Abrupt entry. Flush doorways. Tacked-on entry alcove



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5.3.10 Materials

Exterior building materials should be smooth, clean and efficient, with an appearance that is contemporary and technical.

Appropriate Materials

- Smooth, precast or tilt-up concrete
- Smooth metal panel systems
- Tinted or lightly reflective glass



Inappropriate Treatment

- Wood beams and siding, brick, Spanish tile, corrugated metal, rough concrete, or highly reflective glass
- Stucco (unless limited in use, with a smooth troweled surface detailed like concrete)



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5.3.11 Other Materials

All other materials, including Drivit[®], concrete masonry, wall tile, glass fiber reinforced concrete and new technology materials must be approved through the Plot Plan process.



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5.3.12 Exterior Colors

Exterior building colors are to be selected from the palettes below to maintain compatibility within the World Logistics Center.

Appropriate Treatment

- Concrete or stone should have light, natural finish
- Painted wall surfaces directly facing streets or public areas are to be primarily off-white or light warm shades
- Other colors are permitted on recessed or interior facing wall surfaces, or on special features, reveals or mullions
- Service doors and mechanical screens are to be the same color as the wall



Inappropriate Treatment

- Arbitrary patterns, stripes
- Garish use of color



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Primary Wall Colors

Colors for primary exterior walls are to be within the range of colors represented by the following list:

Warm Whites

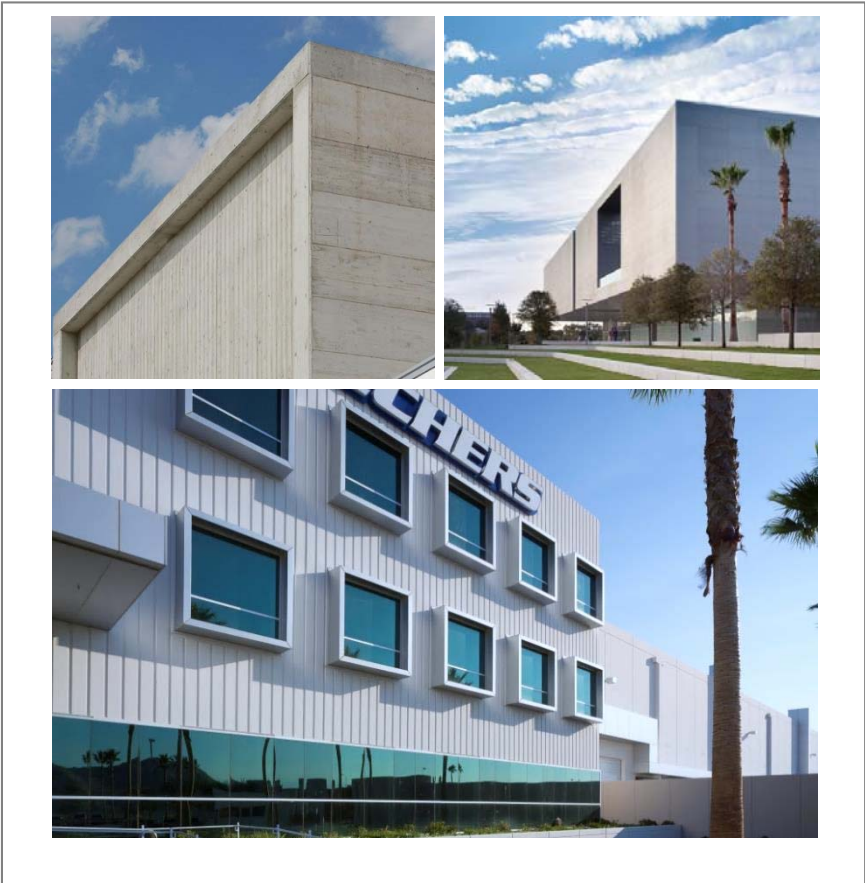
Lorette	Pantone Warm Grey 1C
Trotting	Pantone 4685C
Tracing Paper	Pantone Warm Grey 2U
Slinky	Pantone Warm Grey 1U

Cool Whites

A La Mode	Pantone 427C
Windblown	Pantone 428C
Chain Link	Pantone 434C
Carbon	Pantone 434C

Others

TBD	Pantone 7501C San Jacinto Wildlife Area Edge
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5.3.13 Design Details

Detailing should be clean, clear and straightforward. Details should reinforce overall design unity, interest and scale.

Appropriate Treatment

- Coordinated mullions and details
- Expression and alignment of structural connections
- Finishes commensurate with building materials
- Coordinated entry spaces and landscaping



Inappropriate Treatment

- Insufficient or excessive detailing
- Inadequate interface between materials
- No indication of scale
- Lack of interest



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5.3.14 Ground-mounted Equipment

All exterior ground-mounted equipment—including, but not limited to, mechanical equipment, electrical equipment, emergency generators, boilers, storage tanks, risers, electrical conduit, gas lines, cellular telephone facilities, and satellite dishes must be screened from on-site and off-site view. Wall-mounted equipment is not allowed.

Appropriate Treatment

- Ground equipment hidden by screen walls or landscaping
- Screen walls of same or similar material as building walls
- Vines, shrubs, trees on rear and sides of enclosure



Inappropriate Treatment

- Screen material contrasting with adjacent surfaces
- Wood or chain link fencing
- No planting areas for vines, shrubs, and trees, at the rear or sides of walled enclosures



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5.3.15 Roof-mounted Equipment

All roof-mounted equipment—including, but not limited to, mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, skylights, vents, exhaust fans, smoke hatches, and ducts—must be below the top of the parapet or equipment screen. Roof access shall be through roof hatches, not exterior ladders. Roof hatches shall be located so that guardrails at parapets are not required.

Appropriate Treatment

- Rooftop equipment hidden from off-site view by building parapet or equipment screen
- Rooftop screens fully integrated into architecture



Inappropriate Treatment

- Rooftop equipment extending above parapet or screen
- One-sided rooftop screens that do not hide the equipment from view from secondary streets or from adjacent sites
- Rooftop screens too close to parapet
- Rooftop screens not related to building geometry
- Wood rooftop screens



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5.3.16 Ancillary Structures

On a case by case basis, additional buildings may be required to house functions for the proper operation of the facility. The design guidelines found herein apply to all structures regardless of the time of construction, location on site, or use they contain.

5.3.17 Building Appurtenances

On a case by case basis, the proper functioning of a facility may require a piece of equipment, ductwork, shaft, conveyance mechanism, etc. to be physically added to the side of the main building. These appurtenances must comply with the guidelines stated herein to allow for aesthetic continuity.



Example of a Building Appurtenance



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5.3.18 Cameras

The location, appearance, and installation of exterior security cameras must be integrated with the architecture. The top of any roof-mounted camera must be below the top of the parapet, screened from view from the ground. Parapet-mounted cameras are not allowed. Exposed wires are not allowed. The color of the camera housing must match the color of the poles or the building wall. The color of the camera globe must be clear.

Appropriate Treatment

- Cameras mounted on poles in parking lot (preferred)
- Cameras suspended from soffits (second choice)
- Cameras mounted on building walls with the top of the camera below the top of the parapet (third choice)



Inappropriate Treatment

- Wall-mounted cameras with the top of the camera above the top of the parapet
- Black camera globes
- Exposed wires
- Parapet-mounted cameras
- Roof-mounted cameras visible from the ground
- Cameras mounted in spheres on arms projecting from building walls.



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5.4 On-site Landscaping

5.4.1 Objectives

Landscaping is an important element contributing to the identity and unity of the World Logistics Center. As such, all landscaping for the project shall:

- Promote a pleasant, distinctive, corporate environment,
- Augment internal cohesion and continuity within the World Logistics Center,
- Enhance the structured urban design concept of the World Logistics Center, and
- Promote water conservation.

The landscaping design concept is focused toward:

- Providing a clean, contemporary visual appearance,
- Coordinating the landscaping treatment along freeway and surface streets to emphasize the circulation system,
- Coordinating streetscapes within the World Logistics Center to unify its general appearance, and
- Coordinating on-site landscaping design continuity among individual development sites within the World Logistics Center.

The following guidelines present parameters for general landscape design, water conservation, streetscapes, and on-site landscaping.

5.4.2 Water Conservation Measures

The World Logistics Center employs an aggressive approach to water conservation. Every element of the landscape program has been evaluated to determine how to achieve the project's landscape goals while consuming as little water as possible. From the formulation of the overall landscape concept, through each level of the design process, to the day-to-day maintenance practices of the installed materials, conservation of limited water resources is a constant primary focus.

This approach represents a significant departure from conventional development strategies, particularly in a large-scale master-planned logistics campus setting. Most of the project will be designed without mechanical irrigation, relying instead on maximizing the collection and harvesting of runoff to be directed to landscape areas. This program will



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require the use of carefully selected plant types, complex drainage designs, intricate planting techniques, and specialized maintenance programs.

Implementation of these new design concepts will result in a landscape aesthetic that will appear different than traditional landscape treatments. At installation, plant material will be smaller and with greater spacing in order to match available water to the needs of specific plants. As landscaping gets established, coverage may take longer, certain plants will appear dry as they go through dormant periods, and in some cases supplemental watering may be necessary in periods of severe drought. At maturity, the landscaping at the WLC project will provide a strong, clean, simple design element, demonstrating the WLC's commitment to the creation of a successful logistics campus in a sustainable environment.

The landscape program will incorporate the following design elements and practices to minimize the use of limited water resources:

Project Design:

- Design project so that pads, streets and other paved areas drain to landscape areas, medians and parkways,
- Maximize water harvesting, retention and treatment techniques throughout the project
- Utilize zero-inch curb design to facilitate rainwater runoff from road surfaces
- Direct rooftop and parking area runoff to bioswales, basins or landscaped areas

Landscape Design:

- Develop watershed areas for the project areas in order to manage water harvesting and distribution
- Calculate estimated runoff from roofs and paved areas to manage water harvesting and retention practices
- Conduct site-specific analyses of seasonal weather patterns, rain patterns, soils and drainage, grades and slopes, macro and micro climates, solar exposure, prevailing wind conditions, historical evapotranspiration rates and weather station (CIMIS) data
- Design to meet peak moisture demand of all plant materials within design zones and avoid flow rates that exceed infiltration rate of soil
- Maximize the use of drought tolerant plant species
- Select plant palettes tolerant of periodic inundation from storm water runoff



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- Calculate optimum spacing of plants to avoid overcrowding and need for excessive irrigation.
- Select container plant sizes are to achieve a high root to canopy ratio; no root bound or oversized plants

Construction:

- Grade all planting areas to control high intensity rainfall and runoff episodes. Provide riprap at downspouts; create multiple watersheds to disperse water flow. Use surface mulch and straw wattles.
- Grade all planting areas to provide for the retention and infiltration of water to each plant.
- Provide soil amendment to plant pits based upon soil laboratory test results and landscape species.
- Construct planting pits to be 3-4 times the diameter of the planting container and twice as deep.
- Provide a pre-hydration program prior to planting installation to reflect climate and soil conditions.
- Cover all planting areas with a combination of organic and inorganic mulches to be used along with pre-emergent herbicide treatment to control weed growth and soil erosion.
- Install soil moisture sensors in strategic planting zones.
- Require certification that the irrigation system was installed and operates as designed, and conduct a post-installation audit of actual water consumption
- Provide for supplemental irrigation on an as-needed basis, such as supply lines and valves, quick-connect couplers or water truck service.

Maintenance:

- Establish maintenance guidelines to specify actions to replace dead plants, replenish surface mulch, and remove trash and weeds.
- Regularly monitor all landscaped areas and make adjustments as necessary to assure the health of planted materials and progress toward meeting the project's landscape goals.

Where irrigation is provided:

- Use planting zones coordinated according to plant type, climatic exposure, soil condition and slope to facilitate use of zoned irrigation systems Use reclaimed water systems if available and practical,
- Use best available irrigation technology to maximize efficient use of water, including moisture sensors, multi-program electronic timers, rain shutoff devices, remote control valves, drip systems, backflow preventers, pressure reducing valves and precipitation-rated sprinkler heads,
- Use gate valves to isolate and shut down mainline breaks,



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- Use wind shut-off sensors for the irrigation controllers,
- Design irrigation systems to prevent discharge onto non-landscaped areas or adjacent properties,
- Restrict irrigation cycles to operate at night when wind, evaporation and activity are at a minimum

Coverage:

- At installation, plant size, density and spacing shall be as specified in approved landscape plans at 15% coverage.
- Based on these design guidelines and average annual rainfall, irrigated and non-irrigated planting groups shall achieve 70% coverage after three years. Until plant material achieves full coverage, a minimum of 3" of mulch will be maintained throughout planted area, and any growth (e.g. weeds) not included in the Specific Plan plant palette shall be removed twice per year (March and September).

5.4.3 Landscape Criteria

Onsite landscaping is to be coordinated in a manner that enhances overall continuity of development in the World Logistics Center, while providing for the individual identity and needs of each project within. The design must address the following criteria.

- Landscaping should be used to reinforce site planning principles, such as using trees to define parking lots and drive aisles.
- Plant materials for on-site landscaping are to be selected from the Plant Selection List, Section 5.4.4.
- Flexibility in the choice of plant materials is limited along street frontages and site perimeters to enhance landscaping coordination along common frontages, but increases toward the site interior to accommodate individual design.
- Landscaping in parking areas shall comply with the standards contained in the Municipal Code.
- Planting areas for vines, shrubs, and trees is required at the rear and sides of walled enclosures, including trash enclosures.
- Comprehensive planting, including trees, is required along all screen walls, buildings and site perimeters.
- All projects which include designated truck loading areas shall screen such areas from view from adjacent public streets and from onsite visitor parking and building entry areas (palm courts). Such screening shall be accomplished with solid block walls and opaque metal gates.



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ON-SITE DESIGN
STANDARDS

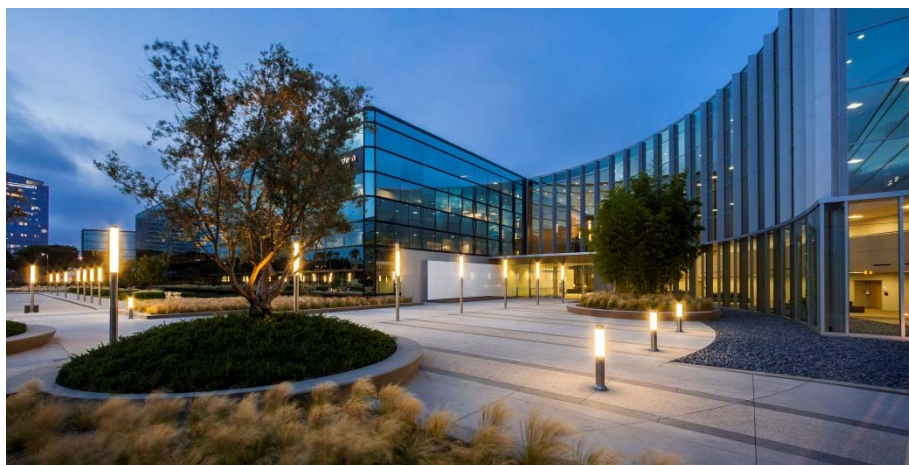
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- Landscaping within truck loading areas, not visible from public view, shall be designed to be sustainable without artificial irrigation, relying on rainfall and runoff from adjacent impervious surfaces (i.e. truck yards and building roofs). The landscape design shall also incorporate sustainable techniques to capture and direct rainfall runoff to these landscape areas. These areas may include slopes, water quality basins and drainage facilities. Rock or organic mulch shall be placed between plantings to provide coverage and erosion protection.
- Landscaping in visitor parking areas, palm courts and any other areas visible from public view shall have a higher level of landscape treatment and shall utilize an automatic irrigation system to maintain the desired level of landscape appearance. The landscape design shall incorporate sustainable design techniques to capture and direct rainfall runoff to landscape areas, reducing the need for supplemental irrigation.

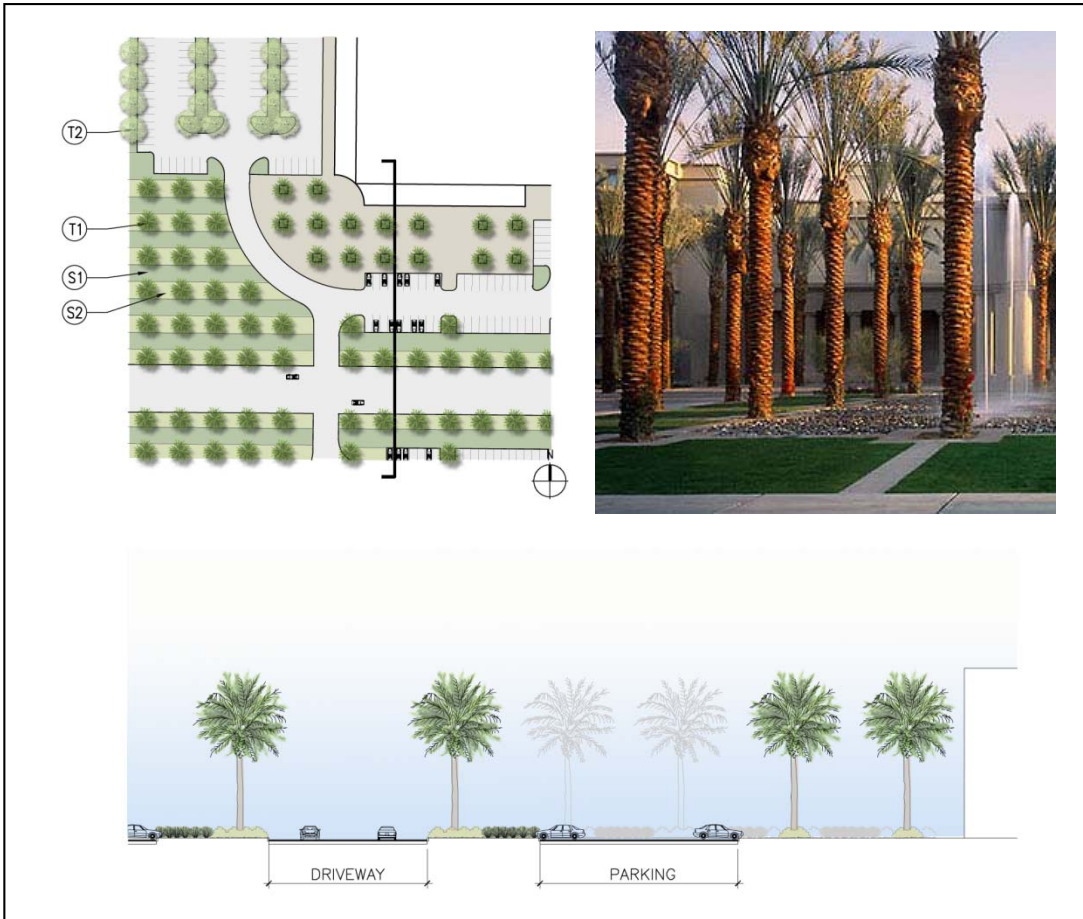


ON-SITE DESIGN STANDARDS

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Palm Court



Not to scale | This exhibit is a graphic representation of a conceptual design at maturity.

Trees (Palms – 25’ brown trunk height / All other trees – 24” box minimum)

- T1. Phoenix dactylifera: Date Palm
- T2. See section 5.4.4 for plant list

Shrubs / Groundcover (1 gallon minimum)

- S1. Muhlenbergia rigens: Deer Grass
- S2. See section 5.4.4 for plant list



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5.4.4 On-site Landscape Planting

All trees to be 15 gallon, minimum, unless otherwise noted.

Trees

- | | |
|--------------------------------|--------------------------------|
| Acacia aneura | Mulga |
| Acacia farnesiana | Sweet Acacia |
| Caesalpinia cacalaco | Cascalote |
| Celtis occidentalis | Common Hackberry |
| Cercidium 'Desert Museum' | Desert Museum Palo Verde |
| Chilopsis linearis | Desert Willow |
| Cupressus sempervirens | Italian Cypress |
| Ebenopsis ebano | Texas Ebony |
| Olea europaea | Olive |
| Phoenix dactylifera | Date Palm |
| Pinus brutia var. Eldarica | Afgan Pine |
| Pinus halepensis | Aleppo Pine |
| Populus Fremontii | Cottonweed Tree |
| Prosopis alba | Argentine Mesquite |
| Prosopis chilensis | Chilean Mesquite |
| Prosopis glandulosa | Texas Honey Mesquite |
| Prosopis glandulosa 'Maverick' | Thornless Texas Honey Mesquite |
| Schinus molle | California Pepper |
| Tristania conferta | Brisbane Box |
| Washingtonia filifera | California Fan Palm |
| Washingtonia robusta | Mexican Fan Palm |

Shrubs / Groundcover

- | | |
|---------------------------------|----------------------------------|
| Abutilon palmeri | Indian Mallow |
| Acacia greggii | Catclaw Acacia |
| Acacia redolens 'Desert Carpet' | Spreading Acacia 'Desert Carpet' |
| Aloe spp. | Aloe |
| Atriplex canescens | Four Wing Saltbush |
| Atriplex lentiformis | Quail Bush |
| Baccharis sarothroides | Desert Broom |
| Baccharis 'Stam' | Coyote Bush |
| Caesalpinia pulcherrima | Redbird of Paradise |
| Calliandra californica | Baja Fairy Duster |
| Celtis pallida | Desert Hackberry |
| Cordia boissieri | Texas Olive |
| Dasyilirion wheeleri | Desert Spoon |
| Encelia farinosa | Desert Encelia |
| Fallugia paradoxa | Apache Plume |
| Hyptis emoryi | Desert Lavender |
| Isomeris arborea | Bladderpod |
| Justicia californica | Chuparosa |
| Leucophyllum texanum | Texas Ranger |
| Lycium andersonii | Anderson Lycium |



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ON-SITE DESIGN STANDARDS

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Rhus ovata
Salvia greggii
Senna nemophila
Senna phyllodinea
Simmondsia chinensis

Sugar Bush
Autumn Sage
Desert Cassia
Silver Cassia
Jojoba

Perennials and Grasses

Asclepias subulata
Baileya multiradiada
Eriogonum fasciculatum
Penstemon eatoni
Penstemon parryi
Sphaeralcea ambigua
Muhlenbergia rigens
Nolina parryi

Desert Milkweed
Desert Marigold
Common Buckwheat
Firecracker Penstemon
Parry Penstemon
Desert Globe Mallow
Deer Grass
Parry Beargrass



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5.4.5 Minimum Landscape Areas

If parking or access drives are located between any building and a public street frontage, a 15-foot minimum landscaping area is required between the parking or drive aisle and the building. On other sides of the building, a 10-foot minimum landscaping area is required between the parking or drive aisle and the building, except in loading areas.



1. A minimum landscape zone 15 feet is required along building perimeters facing a roadway frontage.
2. A minimum landscape zone of 10 feet is required along all other building perimeters except loading areas.
3. A minimum landscape zone of 5 feet is required along all internal property lines.
4. A minimum flat landscape zone of 8 feet is required next to screen walls facing the street.

Note: If perpendicular parking spaces are located adjacent to the minimum landscape zone, then a 2'-6" minimum parking overhang is required in addition to the above measurements (17'-6", 12'-6" and 7'-6" respectively).

Trees along screen walls, buildings and site perimeters are required at a minimum average spacing of 1 tree per 30 linear feet of perimeter, planted at 15 feet or half (1/2) the tree canopy spread from the face of building.



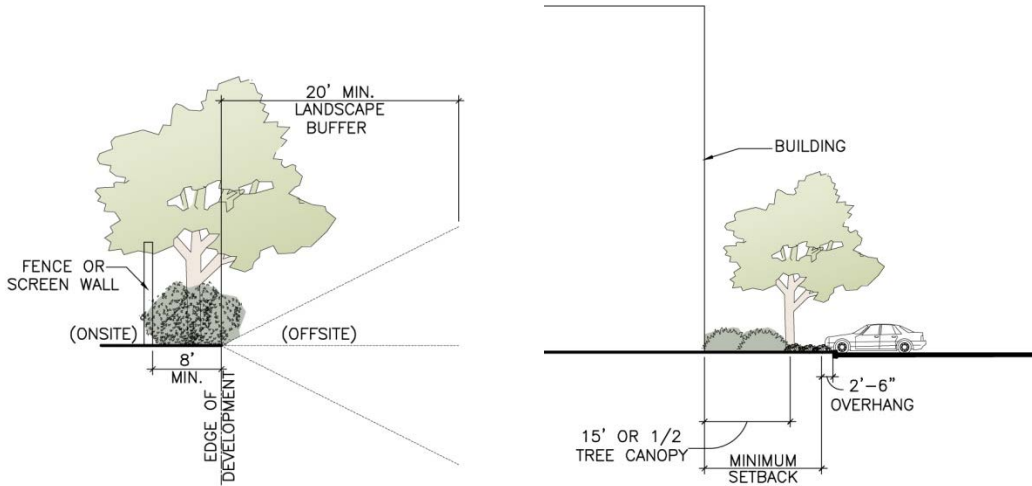
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Left: Landscape Setbacks on Slopes
 Right: Landscape Setbacks from Face of Building.

5.4.6 Furnishings

Site Furnishings

Site furnishings such as benches, tables, trash receptacles, planters, tree grates, kiosks, drinking fountains, and other pedestrian amenities should be integral elements of the building and landscape design, and placed at building entrances, open spaces and other pedestrian areas to create a pedestrian friendly environment. Site furnishings should not block pedestrian access or visibility to plazas, open space areas and/or building entrances and should be made of durable, weather-resistant materials.



Example of Site Furniture



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5.5 On-site Lighting

5.5.1 Objectives

Exterior lighting is to be provided to enhance the safety and security of motorists, pedestrians and cyclists.

Lighting is intended to create a nighttime character that contributes to the identity and unity of the World Logistics Center as a quality business location.

To reinforce identity and unity, all exterior lighting is to be consistent in height, spacing, color and type of fixture throughout the building site.

All lighting in the vicinity of the San Jacinto Wildlife Area shall be designed to confine all direct light rays to the project site and avoid the visibility of direct light rays from the wildlife area.

5.5.2 General On-site Lighting Parameters

To ensure consistency throughout the World Logistics Center, on-site lighting must conform to the overall lighting parameters for the World Logistics Center, including the following:

- 5.5.2.1 Onsite lighting includes lighting for parking areas, vehicular and pedestrian circulation, building exteriors, service areas, landscaping, security and special effects.
- 5.5.2.2 All exterior on-site lighting must be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent lots.
- 5.5.2.3 Lighting fixtures are to be of clean, contemporary design.
- 5.5.2.4 Lighting must meet all requirements of the City of Moreno Valley.
- 5.5.2.5 Tilted wall fixtures (i.e. light fixtures which are not 90 degrees from vertical) are not permitted. Lights mounted to the roof parapet are not permitted. Wall-mounted light fixtures used to illuminate vehicular parking lots are not permitted.



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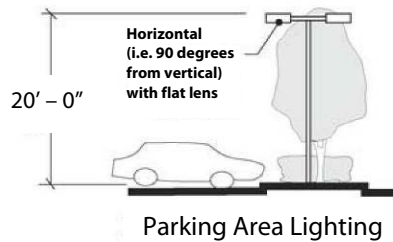
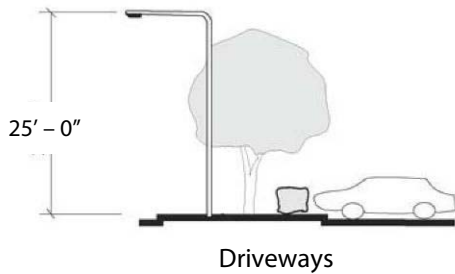
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5.5.2.6 Wall-mounted utility lights that cause off-site glare are not permitted. "Shoebox" lights are preferred.

5.5.3 Driveways and Parking Area Lighting

5.5.3.1 All driveways and parking lot lighting shall utilize cut-off fixtures (i.e. the lens is not visible from an angle). Pole height for typical lots shall be as follows:

• Driveways	25' Maximum
• Parking Area	20' Maximum

5.5.3.2 Pole bases in paved areas shall be above grade. They may be round or square. Pole bases in planting areas may be no higher than 6 inches above grade.

5.5.3.3 Both luminaires and poles are to be white.

5.5.3.4 All luminaires shall be metal halide or L.E.D.

5.5.4 Pedestrian Circulation Lighting

5.5.4.1 Pedestrian walkways and building entries will be illuminated to provide for pedestrian orientation and to clearly identify a secure route between parking areas and points of entry to the building.

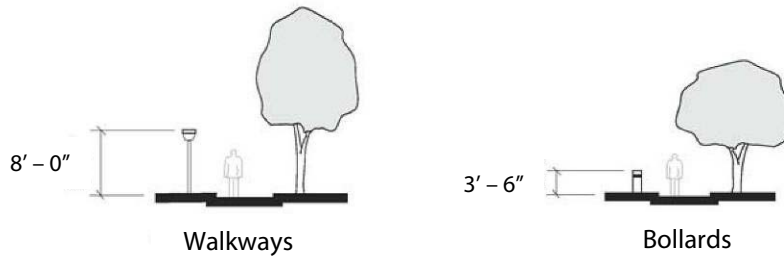
5.5.4.2 Walkway lighting must have cut-off fixtures mounted at a uniform height no more than eight (8) feet above the walkway.

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5.5.4.3 Building entries may be lit with soffit, bollard, step or comparable lighting.



5.5.4.4 Step or bollard lighting shall be used to clearly illuminate level changes and handrails for stairs and ramps.

5.5.4.5 Bollards may be used to supplement and enhance other pedestrian area lighting. Bollard height shall not exceed forty-two (42) inches.

5.5.4.6 Courtyards, arcades and seating areas shall be illuminated to promote pedestrian use and safety. A variety of lighting may be used to create interest and special effects in coordination with the character and function of the area.

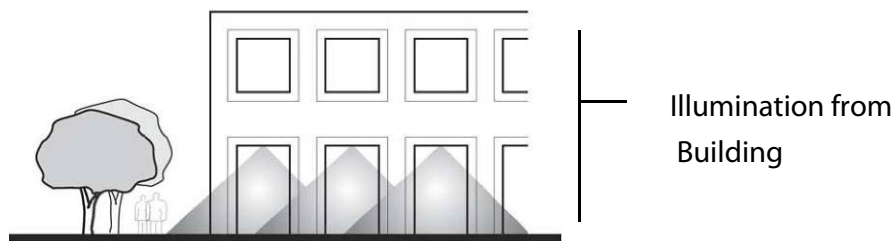
5.5.4.7 Pedestrian lighting shall be subdued warm-white Mercury or incandescent lamps.

5.5.5 Architectural Lighting

Architectural lighting effects are encouraged to promote nighttime identity and character.

5.5.5.1 All exterior architectural lighting shall utilize indirect or hidden lighting sources. Acceptable lighting includes wall washing, overhead down lighting and interior lighting that spills outside.

5.5.5.2 Building entry areas should be lit so as to provide a safe and inviting environment.

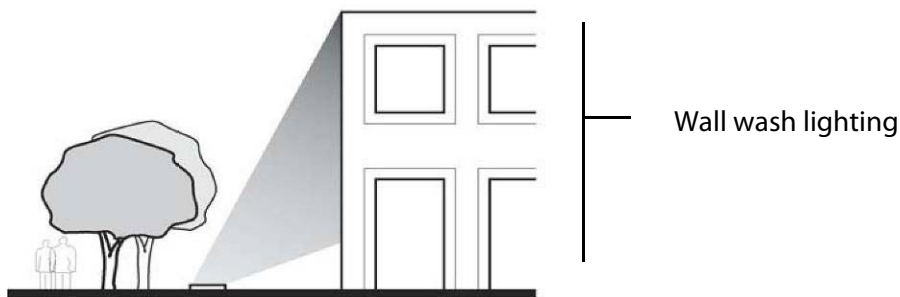


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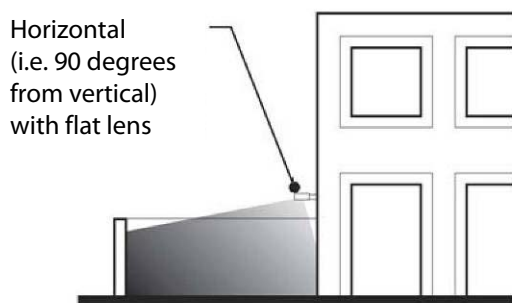
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5.5.5.3 All building exteriors facing a freeway must have lighting levels that vary to accent the structure, texture, relief, and/or the color of the building. Lighting levels may not be flat or uniform.



5.5.6 Service Area Lighting

Service area and security lighting must be visible only within the limits of the service area.



Lighting contained within service area

5.5.6.1 Wall-mounted, security-type, service area lighting fixtures may be used only in screened service areas and only if direct light is kept within these areas. In all other areas, wall-mounted service lighting must consist of cut-off type fixtures.

5.5.6.2 Service area and security lighting may not be substituted for pedestrian, architectural or parking area lighting.

5.5.6.3 Freestanding fixtures shall be painted the same as parking area fixtures. Any wall-mounted fixtures should be compatible with the wall.



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ON-SITE DESIGN STANDARDS

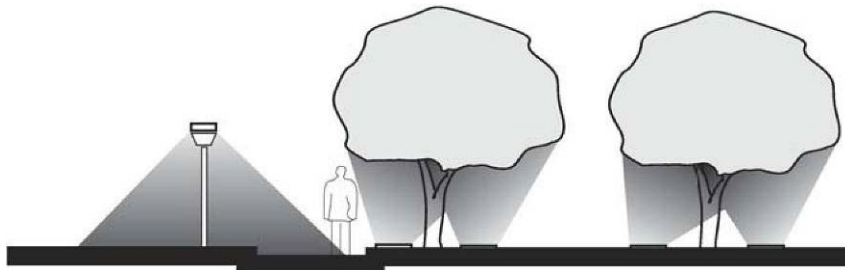
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5.5.7 Accent Lighting

Unique lighting may be used to feature architectural elements, landscaping, entries and pedestrian areas, provided it is compatible with all other lighting. Accent lighting used in landscaping and pedestrian areas shall employ light sources such as Metal Halide, Quartz or L.E.D in order to accurately render plants, vegetation, and skin colors.



Landscape Lighting



5.6 On-site Utilities

5.6.1 Utility Connections and Meters

All utility connections and meters shall be coordinated with the development of the site and should not be exposed, except where required by the utility. Utility connections should be integrated into the building or screened by landscape.

5.6.2 Pad-Mounted Transformers and Meter Box Locations

Pad-mounted transformers and/or meter box locations shall be screened from view from surrounding properties and public rights-of-way. Utilities shall be located underground, wherever possible.

5.6.3 All Equipment Shall be Internal to Buildings

All equipment shall be internal to buildings to the greatest extent possible. When unfeasible, all such equipment shall be screened and not prominently visible from public rights-of-way.

5.6.4 Utilities (including backflow preventers, detector check assemblies, transformers, etc.)

All utilities are to be installed underground. Easements for underground utilities that preclude the planting of trees may not be located where the design guidelines require the planting of trees.

Any necessary above ground equipment such as detector check assemblies, backflow preventers, transformers, etc., shall be screened from view from public areas by landscaping.

Domestic water service shall be extended through development sites in an easement to EMWD. The water line and easement shall be placed in easily accessible locations, such as drive aisles. Fire service and domestic water services and meters shall tie into this line. This line may become part of a loop system and the property owner may need to tie into the public mainline to provide a loop water system to provide adequate water volumes to fire hydrants.



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ON-SITE DESIGN
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6.0 SUSTAINABILITY

It is the intent for this development to be a model of sustainability. While this goal is measured in many different ways and the elements of sustainability are constantly evolving, it remains the intent of the WLC to be on the forefront of environmentally sensitive development.

The following are some ways individual projects can incorporate elements of sustainability:

1. Accommodate alternate forms of transportation including, public transportation (bus), charging stations for electric cars, carpooling, and bicycles.
2. Promote the riding of bicycles, through the provision of bike racks / storage, showers and changing rooms.
3. Meet the most current storm water management programs, including on-site water capture methodologies.
4. Reduce the 'heat-island' effect by incorporating lighter paving materials where possible and light roofing materials on all structures.
5. Employ adequate shielding features to ensure zero light spill off-site.

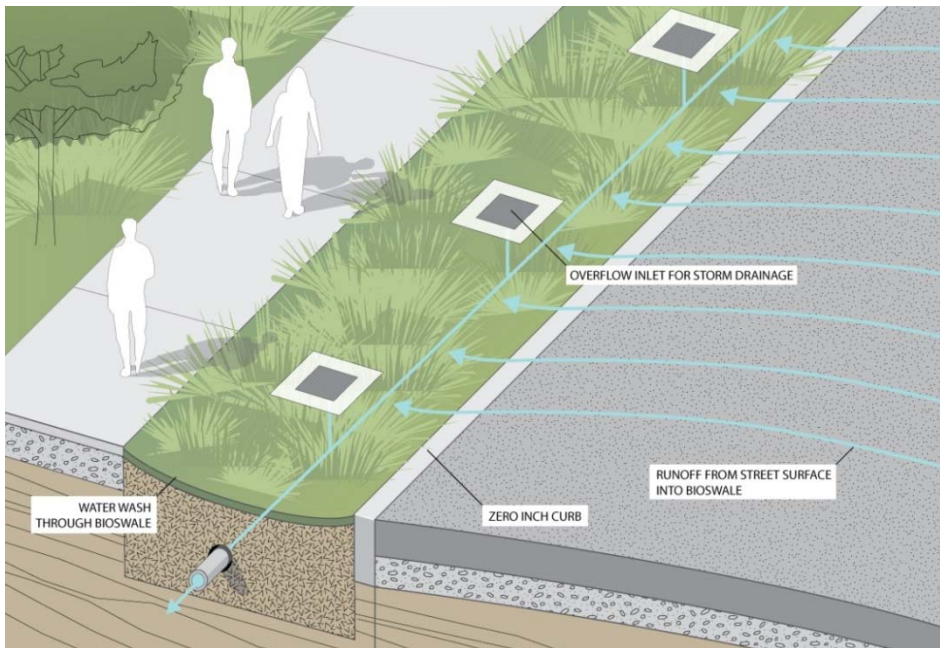


Exhibit 6-1 Off-site Water Management Plan

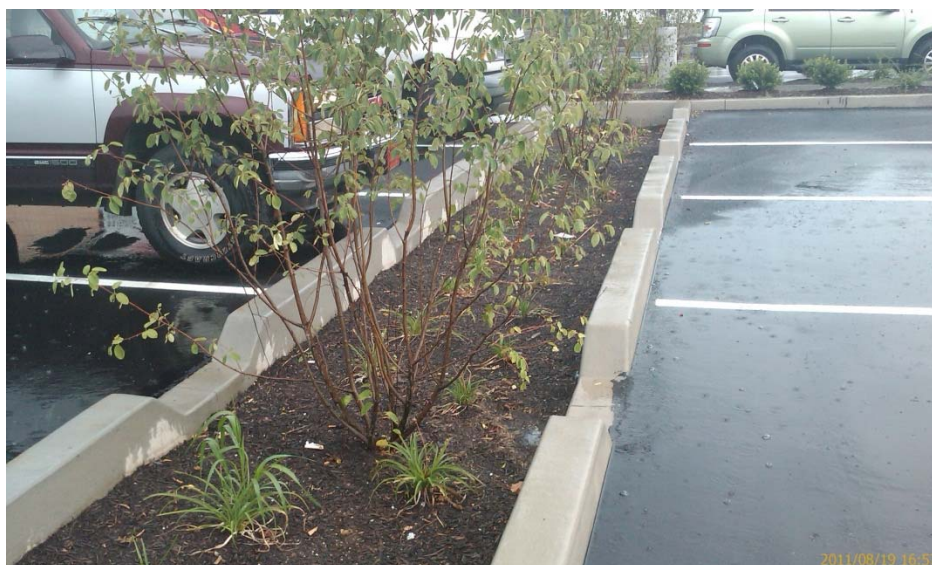


SUSTAINABILITY

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6. Incorporate drought tolerant plant materials throughout.
7. Minimize water use in restrooms.
8. Go beyond code-required commissioning in order to ensure all mechanical and electrical equipment are operating efficiently and are not wasting energy.
9. Incorporate on-site renewable energy.
10. Employ a recycling program.
11. Divert construction waste from landfills.
12. Incorporate recycled materials where feasible.
13. Ensure high indoor air quality standards.
14. Incorporate low-emitting adhesives, paints, coatings, and flooring systems.
15. Increase the amount of day-light into the interior spaces.
16. Increase the amount of interior space with exterior views.
17. Incorporate the best available technologies or best management practices where feasible.
18. Limit idling of engines to three minutes.
19. Utilize onsite electric power sources as much as possible to minimize the use of portable, mobile power generators.



Example of Bio-swale



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SUSTAINABILIT

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7.0 SIGNAGE

All signage in this Specific Plan shall conform to an approved Sign Program on file with the City of Moreno Valley.

7.1 Regulatory Signage

All regulatory signage (traffic control, public safety, etc.) shall comply with city standards.



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Attachment: 7_ExhibitsABCPProposedOrdinance_ChangeZone (1636 : ORDINANCE NO. 900. AN ORDINANCE OF THE CITY COUNCIL OF THE

SIGNAGE

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8.0 PROJECT PHASING

8.1 Overall Project Phases

The project is expected to be developed in two phases. Phase 1 includes the western portion of the project area extending from Redlands Boulevard to Street F and from Eucalyptus Avenue to south of Alessandro Boulevard. Phase 2 includes the portions of the project along SR60, Gilman Springs Road and the southerly site boundary.

Development will occur as dictated by market and other condition as determined by the developer. Notwithstanding this phasing projection, any portion of the property may be developed at any time at the owner’s discretion subject to the development of infrastructure to support it. Infrastructure needs and timing will be evaluated along with subsequent development proposals.

8.2 Infrastructure Phasing

Each project within the World Logistics Center will be supported by the requisite infrastructure as needed, subject to federal, state and local codes.

Each plot plan will include proposals for specific infrastructure improvements needed to support each proposed building.

These improvements shall be consistent with the overall infrastructure plans serving the World Logistics Center.



Exhibit 8-1 Phasing Plan



PROJECT PHASING

9.0 PROPERTY MAINTENANCE

9.1 On-site Improvements

On-site improvements shall be maintained by the property owner or tenant, pursuant to private contractual terms.

9.2 Common Area Improvements

Major slopes, landscape areas, community entries, community signage, etc., shall be maintained by a property owners' association.

9.3 Parkways

Parkways within public rights-of-way shall be maintained by a property owners' association or by a maintenance district.

9.4 Streets

Public streets (curb-to-curb), public sidewalks, and public trails shall be maintained by the City of Moreno Valley.



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PROPERTY MAINTENANCE

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10.0 FINANCING OF IMPROVEMENTS

A facilities financing program is important for implementation of the Specific Plan. The financing program needs to assure the timely financing of public streets, utilities, and other necessary capital improvements.

Financing for infrastructure improvements encompasses a variety of different mechanisms, processes, and costs that vary based on the type and purpose of an improvement, financial market conditions, debt service considerations, and agency capabilities and policies.

10.1 Capital Financing

Major infrastructure, such as water, sewers, storm drains and roads, may be financed by a special tax established through the formation of a community facilities district (CFD). Another approach may be to create a bond assessment district. Both types of financing districts require tax liens to be placed on participating properties to underwrite the sale of bonds to finance specified improvements. These mechanisms require that the facility to be financed be a public improvement and that participating properties receive a benefit from that improvement. The form of financing selected, if any, will be determined based on the type of uses and pace of development that occurs within the project. Examples include:

1. Community Facility District
2. Other forms of Assessment Districts
3. Facilities Benefit Assessment
4. City/ county direct investment
5. Reimbursement Agreements
6. State and/or federal grants and loans

The developer may elect to use private capital to finance major infrastructure improvements, as well as in-tract improvements to avoid long-term debt assessment upon buyers of improved land.



FINANCING OF IMPROVEMENT

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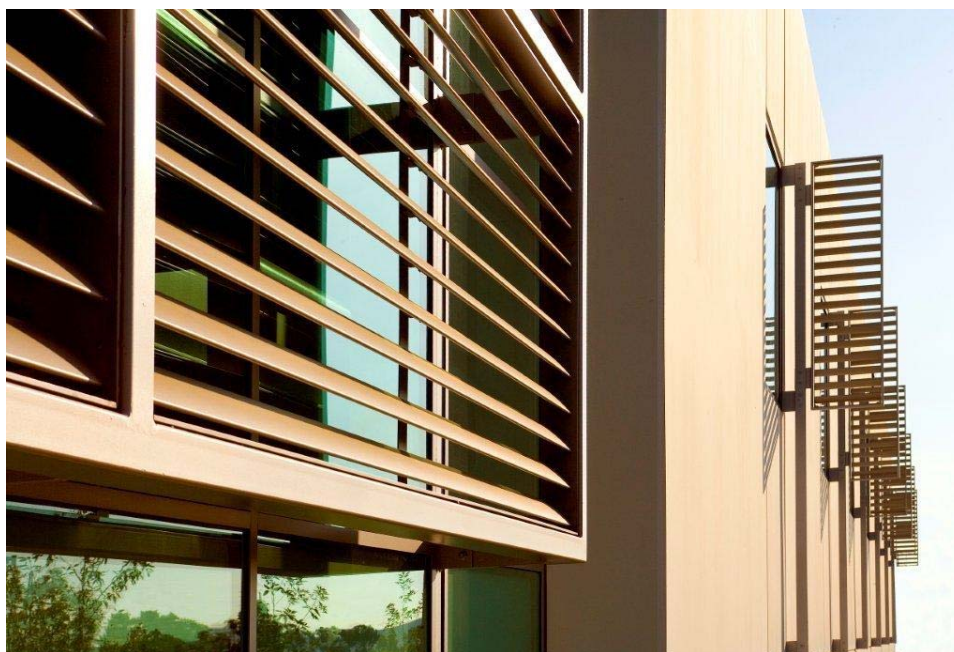
10.2 Capital Funding

The method of infrastructure funding will be determined during the engineering review of implementation development plans and in conjunction with the phasing of the infrastructure. Some possible funding mechanisms for the Specific Plan public improvements are listed below:

1. Development Impact fees
2. Transportation fees (e.g. TUMF)
3. Special taxes
4. Connection fees

10.3 Funding of Maintenance

Funding for on-going maintenance for common areas and other public improvements which may be a condition of development, such as street lights, parkway and median landscaping, other right of way improvements will be funded privately through a Property Owners' Association (POA) or publicly through the Community Services Districts (CSD) or structured as a Landscape and Lighting Maintenance District, Community Facilities District or other financing mechanism.



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FINANCING OF IMPROVEMENT

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11.0 IMPLEMENTATION



11.1 Purpose and Intent

This section contains the procedures for the processing of discretionary development applications to implement the terms of the World Logistics Center Specific Plan. The City will review all development within the project to ensure compliance with the provisions of the Specific Plan.

11.2 Approvals Required

All development within the World Logistics Center is subject to the approval of a Plot Plan in conformance with these procedures.

Modifications to the development standards contained in the Specific Plan may be requested by any property owner and may be approved by the City through the variance processes described in Section 11.3.3 herein.

11.3 Development Review Process

11.3.1 Subdivisions

All proposed subdivisions within the World Logistics Center shall be processed in accordance with the provisions of the state Subdivision Map Act and the Municipal Code.

11.3.2 Plot Plans

- a. All development proposals within the World Logistics Center shall be subject to the approval of a Plot Plan as described herein. Property and building maintenance activities such as painting, site or building repairs,



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parking lot resurfacing/restriping, and landscape maintenance and repair, etc. are exempt from these regulations.

b. The Plot Plan process is intended to ensure that all development proposals comply with all applicable standards and guidelines contained in this Specific Plan and are not detrimental to public health, safety or welfare.

c. Plot Plan applications shall be submitted to the City in conformance with the procedures contained in the Municipal Code .

d. The Community Development Director may approve, conditionally approve, or disapprove a Plot Plan application as provided for in the Municipal Code or may elevate the application to the Planning Commission for review and action. Considerations for Planning Commission review of a plot plan application may include but are not limited to:

1. The need for preparation of a Supplemental Environmental Impact Report or other appropriate environmental document due to new circumstances that become present and constitute potential for significant impacts which were unknown and could not have been known at the time of the approval of this Specific Plan
2. If any buildings greater than 500,000 square feet cannot meet LEED Certified Building Standards and/or buildings are not consistent with Specific Plan energy efficiency standards
3. Building elevations not consistent with the Specific Plan design guidelines
4. Future modification to any state or federal regulations requiring review of such Specific Plan permitted development

e. Project comments received from the Architectural Review Committee of the World Logistics Center Property Owners' Association shall receive consideration in the review process.

f. Public noticing shall be in compliance with the Municipal Code

g. A Plot Plan may be approved if all of the following findings are made:



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1. The proposed project is consistent with the goals, objectives and policies of the General Plan,
 2. The proposed project complies with this Specific Plan and other applicable regulations, and
 3. The proposed project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity,
- h. Reasonable conditions of approval may be imposed to ensure compliance with applicable laws, regulations and standards or to enable the required findings to be made.

11.3.3 Variances

Alternatives to development standards and regulations contained herein may be approved through the following variance procedures. Variance applications may be processed along with Plot Plan applications, or as separate applications.

11.3.3.1 Administrative Variances

- a. The purpose of an administrative variance is to provide an administrative procedure for adjustments to certain regulations in this Specific Plan in order to prevent hardships that might result from a strict or literal interpretation and enforcement of those regulations.
- b. The standards and procedures for the submittal, review and approval of an Administrative Variance shall be as contained in Section 9.02.090 of the Municipal Code.

11.3.3.2 Other Variances

- a. All other variance applications shall be processed in accordance with Section 9.02.100 of the Municipal Code

11.3.4 Appeals

- a. Any interested party may appeal any administrative decision to the Planning Commission subject to the provisions of Section 9.02.240 of the Municipal Code.
- b. Any interested party may appeal any decision of the Planning Commission to the City Council subject to the provisions of Section 9.02.240 of the Municipal Code.
- c. The decision of the City Council is final.



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11.4 Covenants, Conditions, and Restrictions (CC&Rs)

The WLC property will be subject to CC&Rs that address issues such as common area improvements, maintenance, community signage, architectural guidelines, etc. The City will review the CC&Rs to insure that they contain the necessary provisions for property maintenance. Prior to the recordation of any final map within the WLC (excluding finance maps), said CC&Rs shall be recorded.

11.5 Other Uses

All uses established within the WLC shall be consistent with the General Plan and this Specific Plan. The Community Development Director shall be responsible for all consistency determinations pursuant to Section 9.01 of the Municipal Code.

11.6 Additional Items

Any items not addressed in the Specific Plan shall be subject to the regulations of the Municipal Code.

11.7 Specific Plan Amendments

Any proposal to amend this Specific Plan shall be processed in the same manner as the original approval subject to the provisions of Chapter 9.13 of the Municipal Code.



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12.0 SPECIAL REGULATIONS

The following regulations apply to all development within the World Logistics Center. These restrictions shall be imposed on all discretionary permits for new development projects, as applicable.

12.1 Secure Trucking Areas

All truck areas shall be secured with manned gates during building operation.

12.2 Engine Restrictions

All trucks with a gross vehicle weight of 15,000 pounds or more entering any warehouse facility must meet or exceed 2010 engine emission standards specified in California Code of Regulations Title 13, Article 4.5, Chapter 1, Section 2025 or be powered by natural gas, electricity, or other non-diesel fuel source. Facility operators shall maintain a log of all trucks entering a warehouse site to document that this requirement is met. This log shall be available for inspection by the City at any time.

12.3 On-site Service Vehicles

The use of diesel-powered service yard vehicles (yard goats, etc.) is prohibited at all times within the Specific Plan area. Pallet jacks, forklifts, and other onsite equipment used during building operation (indoors or outdoors) shall be powered by electricity, natural gas, propane, or other non-diesel fuel.

12.4 Property Maintenance Equipment

Electrical power sources will be provided both indoors and outdoors to accommodate the use of electric property maintenance equipment.

12.5 Continued Agricultural Activities (Right-to-Farm)

As the World Logistics Center develops, logistics land uses will begin to locate in proximity to existing agricultural activities. Where non-agricultural uses locate near agricultural uses, there is the potential for conflict. These potential conflicts result from the inherent attributes of agricultural operations, including noise, odor, dust, smoke, operation of machinery (including aircraft), crop dusting, storage and disposal of manure, flies, rodents, chemical fertilizers, soil amendments, herbicides, pesticides and the hours of operation. As a result, such agricultural operations can become the subject of nuisance complaints and could be pressured to cease or curtail operations or may be discouraged from making farm improvements.



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To protect the continued viability of agricultural operations within the World Logistics Center, it is the intent of this Specific Plan to limit the circumstances under which pre-existing agricultural operations may be deemed to constitute a nuisance. The intent of this policy of the Specific Plan is to balance the rights of farmers to produce agricultural commodities with the rights of non-farmers who own, occupy or use land adjacent to agricultural property. This right-to-farm policy applies to all legally established agricultural operations existing at the time of the effective date of the World Logistics Center Specific Plan.

12.6 Air Quality and Noise Assessment

To address the relationship between development areas and adjacent residential areas, all site development permit applications for properties adjacent to residentially occupied or zoned properties shall include detailed air quality and noise assessments to determine appropriate project design features to meet the performance requirements of the WLC project Environmental Impact Report.

12.7 Solar Commitment

All logistics buildings within the LD and LL categories shall provide rooftop solar energy systems sized to offset the power demands of office space contained in the building.

12.8 LEED Standards

All buildings in the World Logistics Center, of at least 500,000 square feet, shall be designed to meet or exceed LEED Certified status in accordance with LEED standards and criteria in effect as of the date of approval of this Specific Plan. Such standards and criteria are contained in the following documents:

- LEED Reference Guide for Green Building Design and Construction – LEED 2009
- Green Building and LEED Core Concepts Guide – Second Edition
- LEED for New Construction 2009 Reference Guide – LEED v2.2, Third edition
- LEED for Core and Shell 2009 Reference Guide
- LEED Reference Guide for Green Interior Design and Construction – LEED 2009
- LEED for Commercial Interiors 2009 Reference Guide
- Advanced Energy Modeling for LEED: Technical Manual v1.0



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- LEED Reference Guide for Green Building Operations and Maintenance – LEED 2009

12.9 Alessandro Boulevard – Historical Landmark

A portion of the alignment of historic Alessandro Boulevard, as established by Resolution CPAB 88-2, runs through the WLC area. The Specific Plan recognizes the landmark status of this roadway and provides for the preservation of its entire 120-foot right-of-way through the project.

Most of this historic right-of-way is included within Alessandro Boulevard as shown on the Specific Plan exhibits. As the WLC is developed, Alessandro Boulevard will be built to modern roadway standards within the historic alignment. In order to meet these standards, very minor portions of this roadway MAY fall outside of the historic right-of-way. In those instances, the historic right-of-way will be retained and may be improved with walks, trails, landscaping or similar compatible improvements.

In the southwestern portion of the WLC, vehicular traffic will be prohibited on a short reach of historic Alessandro Boulevard. The purpose of this restriction is to reduce through traffic and associated impacts on the existing residential portion of Alessandro Boulevard. This right-of-way will be retained and will be available for use for a future multi-use trail, pedestrian access, emergency access, and monuments, signs or other displays recognizing Moreno Valley's rich history.

Prior to approval of any development including or adjacent to the historic Alessandro Boulevard right-of-way, a concept plan for its entire length shall be submitted to and approved by the Planning Commission.



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12kV/115 kV overhead power lines Power lines that distribute electrical power into and through the World Logistics Center project. While 12kV lines are generally placed underground, 115kV lines must remain aboveground due to the heat generated by the flow of electrical energy in the lines.

Accessory Structure A separate building, the use of which is incidental to that of the main building on the same lot or premises, and which is used exclusively by the occupant of the main building.

Ancillary Structures See accessory structure

Arterial Streets A highway intended to serve through traffic where access rights are restricted and intersections with other streets or highways are limited

Badlands A rugged, mountainous area located easterly of the City of Moreno Valley, east of Gilman Springs Road in Riverside County.

Bioretention Facilities Soil and plant-based filtration devices that remove pollutants through a variety of physical, biological, and chemical treatment processes. These facilities normally consist of a grass buffer strip, sand bed, ponding area, organic layer or mulch layer, planting soil, and plants.

Building height The vertical distance from the adjacent grade to the highest point of a building exclusive of vents, air conditioners, or other such incidental appurtenances.

Class II bikeways A striped lane located along the right shoulder of a roadway designated for use by bicyclists.

CNG/LNG Abbreviation for Compressed Natural Gas (CNG) and Liquefied Natural Gas (LNG).

Collector Roads A street intended to convey traffic into and through an area from local roads to arterial streets

Cut-off fixtures A lighting fixture designed to eliminate light rays from escaping above a horizontal plane.

Detention basins A drainage feature that has been designed to allow large flows of water to enter but limits the outflow by having a small opening at the lowest point of the outlet structure.

Drainage 9 Refers to an existing ephemeral drainage located in the eastern area of the Specific Plan from Gilman Springs Road flowing south to the SJWA as shown on Exhibit 1-2. This watercourse is referred to as Line E in the drainage studies



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contained in the DEIR. Line E collects water under Gilman Springs Road at Culvert 5.

Eastern Municipal Water District (EMWD) The water district which provides potable water, recycled water and wastewater treatment for the World Logistics Center project.

Facades An exterior side of a building, usually, but not always, the front.

Fenestration The design of openings in a building or wall, generally including windows, doors, louvers, vents, openings, skylights, storefronts, etc.

Floor area ratio A measure of the intensity of development of a particular site. The ratio is calculated by dividing the building area by the parcel area, using the same unit of measure (acres, square feet, etc.)

Heavy truck A truck having four axles or more.

High-cube warehouse A building used for the storage and/or consolidation of manufactured goods prior to distribution to secondary retail outlets, generally 500,000 square feet or more, often divided for multiple tenants. High-cube warehouse and logistics facilities include ancillary office and maintenance space along with the outdoor storage of trucks, trailers, and shipping containers.

High-cube logistics warehouses are generally constructed with vertical-lift dock-high roll up doors to allow access for the loading and unloading of products from truck/trailers. Building interiors are typically large and open to accommodate the temporary storage and consolidation of the products to be distributed.

Highland Fairview Corporate Park A mixed use business park made up of logistics and commercial land uses located between Redlands Blvd and Theodore Street, southerly of SR60.

Impervious paved surface Artificial surfaces such as pavement (roads, sidewalks, driveways and parking lots) that are covered by impenetrable materials such as asphalt, concrete, brick, and stone. Also includes building rooftops and other structures that prevent water from penetrating into the ground surface.

Infiltration Basin A shallow impoundment that is designed to infiltrate stormwater. Infiltration basins use the natural filtering ability of the soil to remove pollutants in stormwater runoff.

Jobs/housing balance The ratio between the number of housing units and the number of full-time jobs in an identified geographic area. The ratio is calculated by dividing the number of full-time jobs by the number of housing units.



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Lake Perris State Recreation Area A 6,675-acre state-owned recreation area including Lake Perris located southerly of the City of Moreno Valley.

Logistics The management of the flow of resources between a point of origin and a point of destination including the importation, warehousing, consolidation, repackaging and shipping of goods and materials.

Luminaire A light fixture generally affixed to a pole used in exterior areas to illuminate streets, driveways, walkways, and parking areas.

Medium trucks Trucks having three axles

Multi-Use Trails A planned city-wide system of trails that accommodate pedestrian, equestrian and bicycle users. See the Parks, Recreation and Open Space Element of the City's General Plan

Native landscape The use of plant materials found to grow naturally in an area that are adapted to a particular environment and are able to live on natural rainfall, thereby reducing the need for mechanical irrigation

Off-project Refers to areas outside of the World Logistics Center. Generally applies to infrastructure improvements needed to implement the WLC project that will extend beyond the WLC boundary.

Off-site Refers to those portions of the property that are not within building sites, including common areas, open space, public areas, streetscapes, etc.

On-site Refers to individual building sites within the World Logistics Center

San Jacinto Wildlife Area (SJWA) A 9,000-acre area owned and managed by the California Department of Fish and Wildlife open to the public. Approximately 1,100 acres of the northerly portion of the SJWA is within the City of Moreno Valley.

Specific Plan Refers to the World Logistics Center Specific Plan which covers 2,610 acres of land in eastern Moreno Valley and functions as the land use regulations for the development of a master planned logistics campus.

Subdivision Map Act The body of law (Government Code Section 66410-66499.58) that regulates the subdivision of land in California.

Truck Routes/Truck Route Ordinance Streets that have been officially designated by for use by vehicles with a gross vehicle weight of three tons or more. See Chapter 12.36 of the Municipal Code.

World Logistics Center The project name for the development to be established under the World Logistics Center Specific Plan



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EXHIBITS

Enlargements of Exhibits contained within the Specific Plan

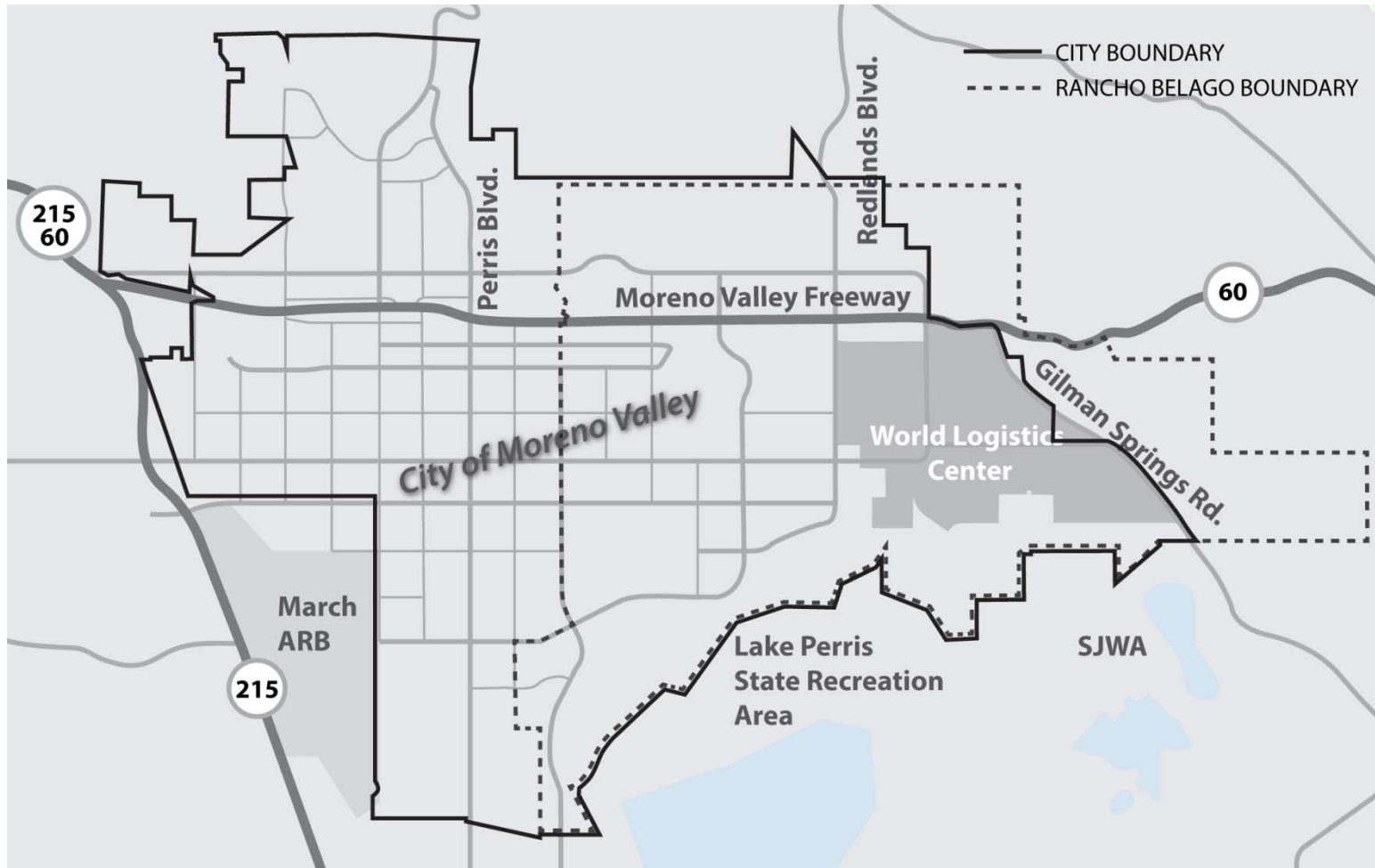


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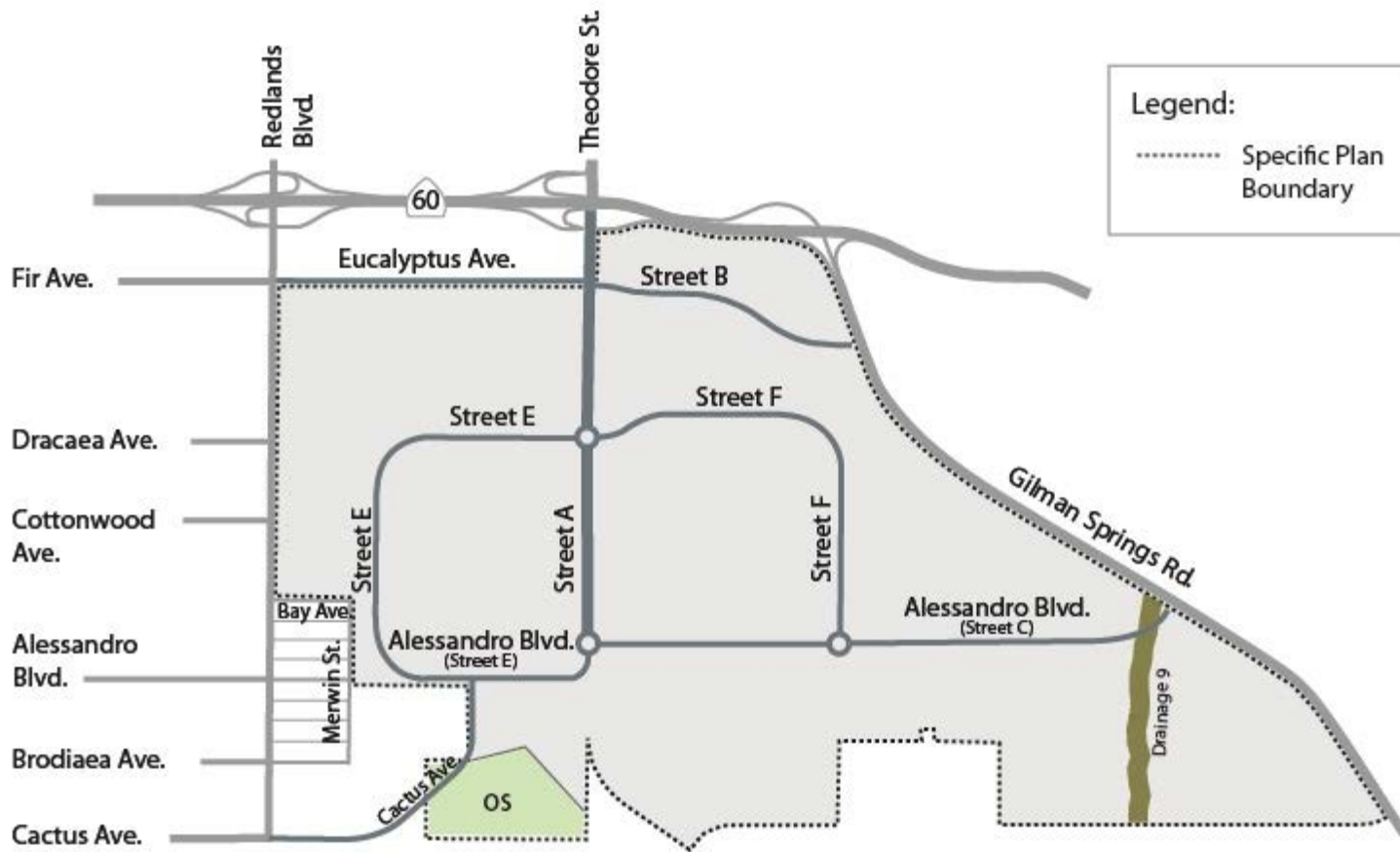
Exhibit 1-1 Moreno Valley Regional Map (pg.1-1)



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Ordinance No. 900
Date Adopted:

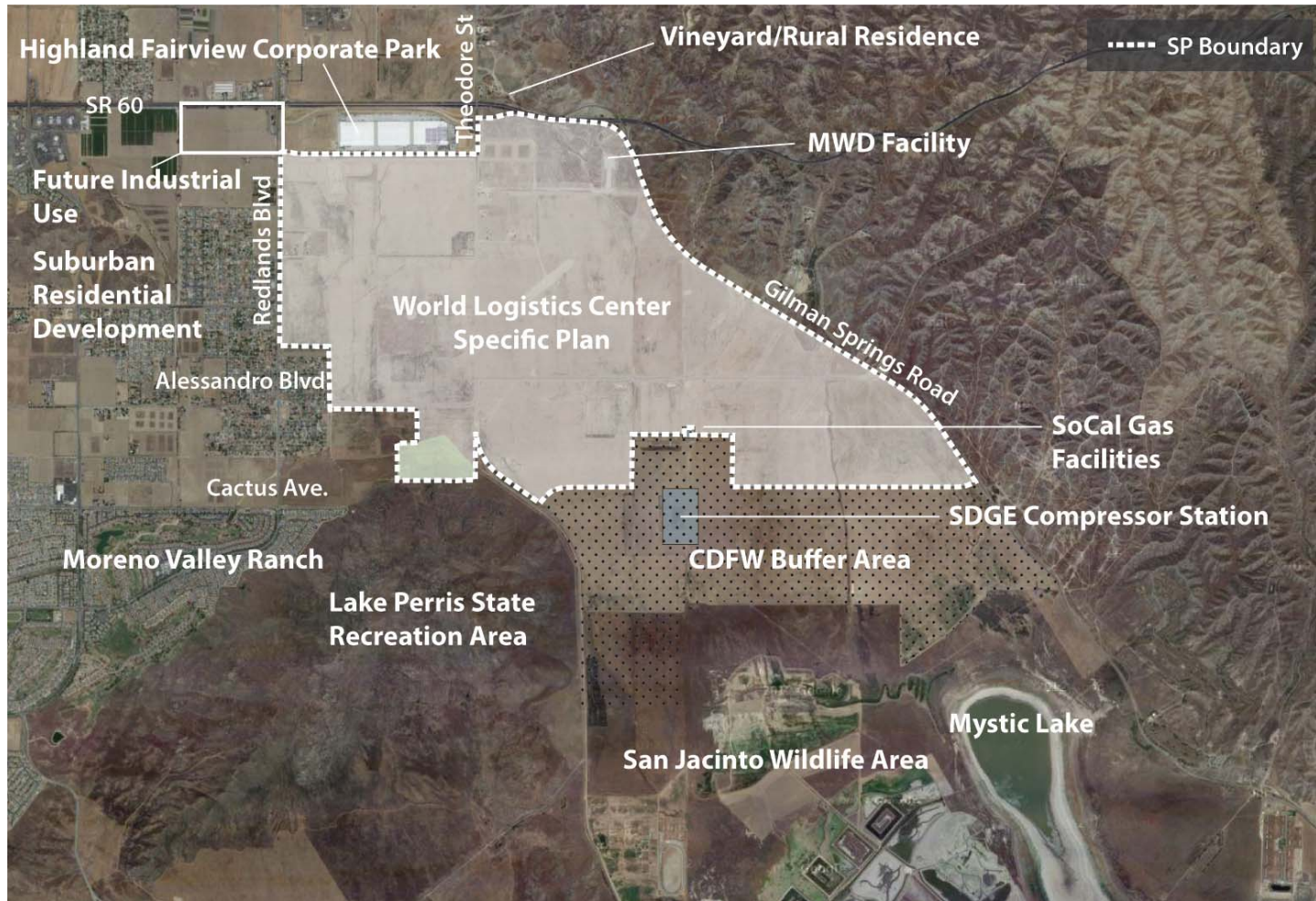
Exhibit 1-2 Specific Plan Area (pg.1-3)



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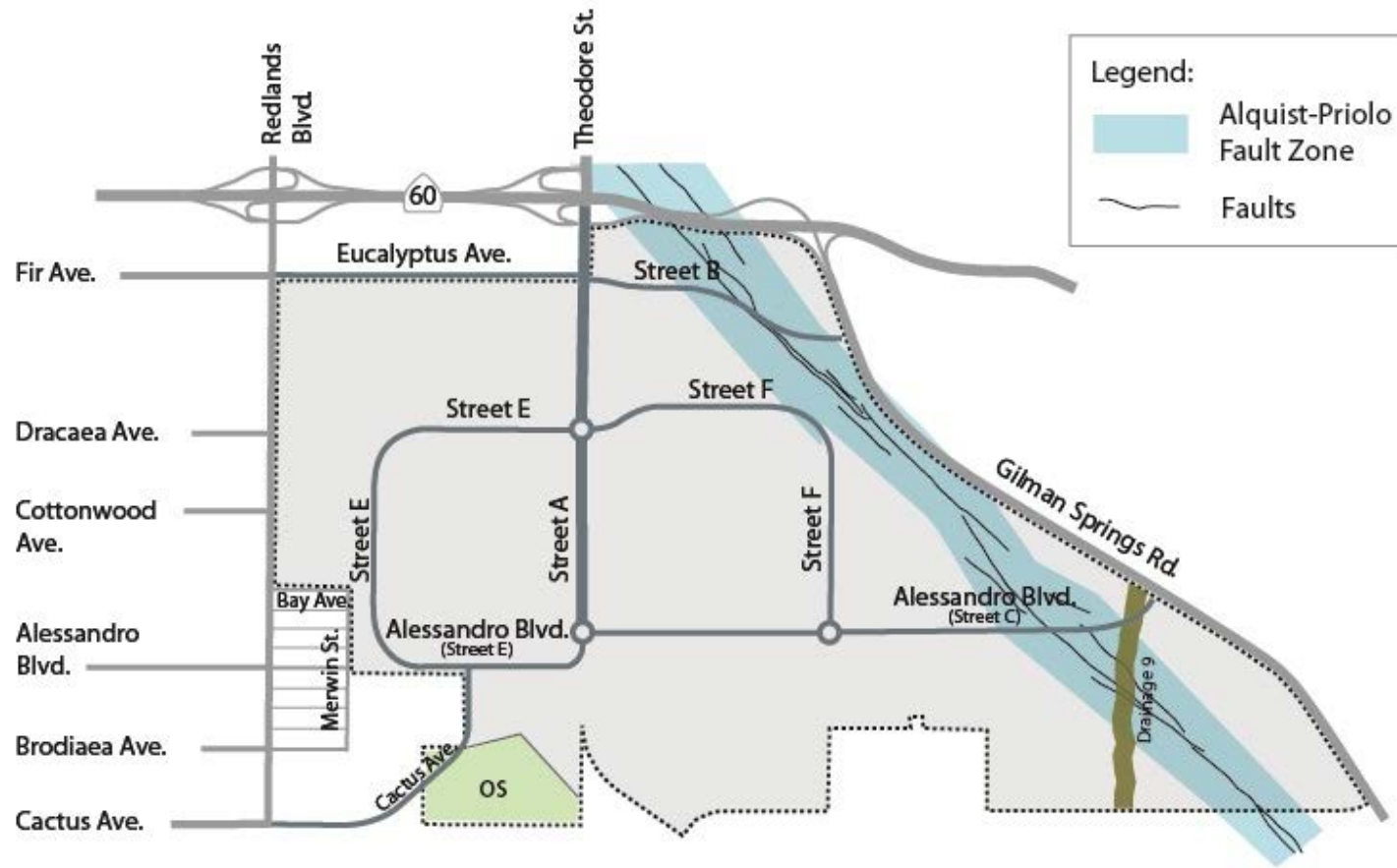
Exhibit 1-3 Surrounding Land Uses (pg.1-6)



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Exhibit 1-4 Existing Fault Zones (pg.1-7)



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Exhibit 2-1 Land Use Plan (pg.2-2)



Planning Area (PA)	Land Use	Area	Building SF
Logistics Development			
1	LD	77.8	1,100,000
2	LD	193.5	4,200,000
3	LD	120.3	1,600,000
4	LD	301.5	5,600,000
5	LD	64.2	1,100,000
6	LD	115.3	500,000
7	LD	10.3	50,000
8	LD	142.9	2,150,000
9	LD	485.8	10,400,000
10	LD	139.9	2,200,000
11	LD	500	8,000,000
12	LD	231.3	3,500,000
		2,382.8	40,400,000
Light Logistics			
20	LL	16.1	45,500
21	LL	10.5	77,250
22	LL	10.5	77,250
		37.1	200,000
Open Space			
30	OS	74.3	
		74.3	
Right of Way			
ROW		115.8	
		115.8	
Grand Total		2,610.0	40,600,000



EXHIBITS

Exhibit 2-2 Fire Station Site (pg.2-6)



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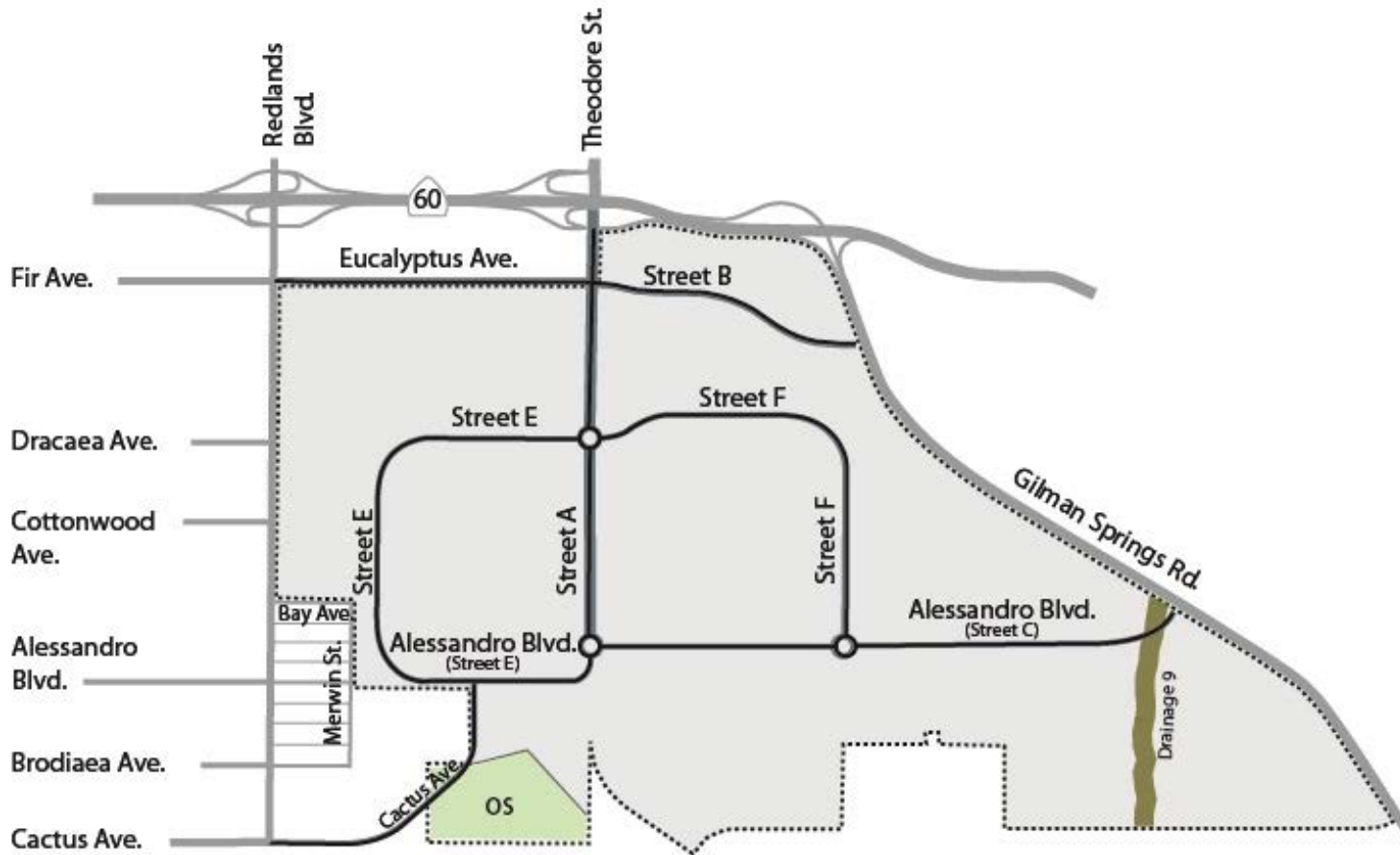
F-7 183
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Exhibit 2-3 Special Edge Treatment Areas Map (pg.2-13)



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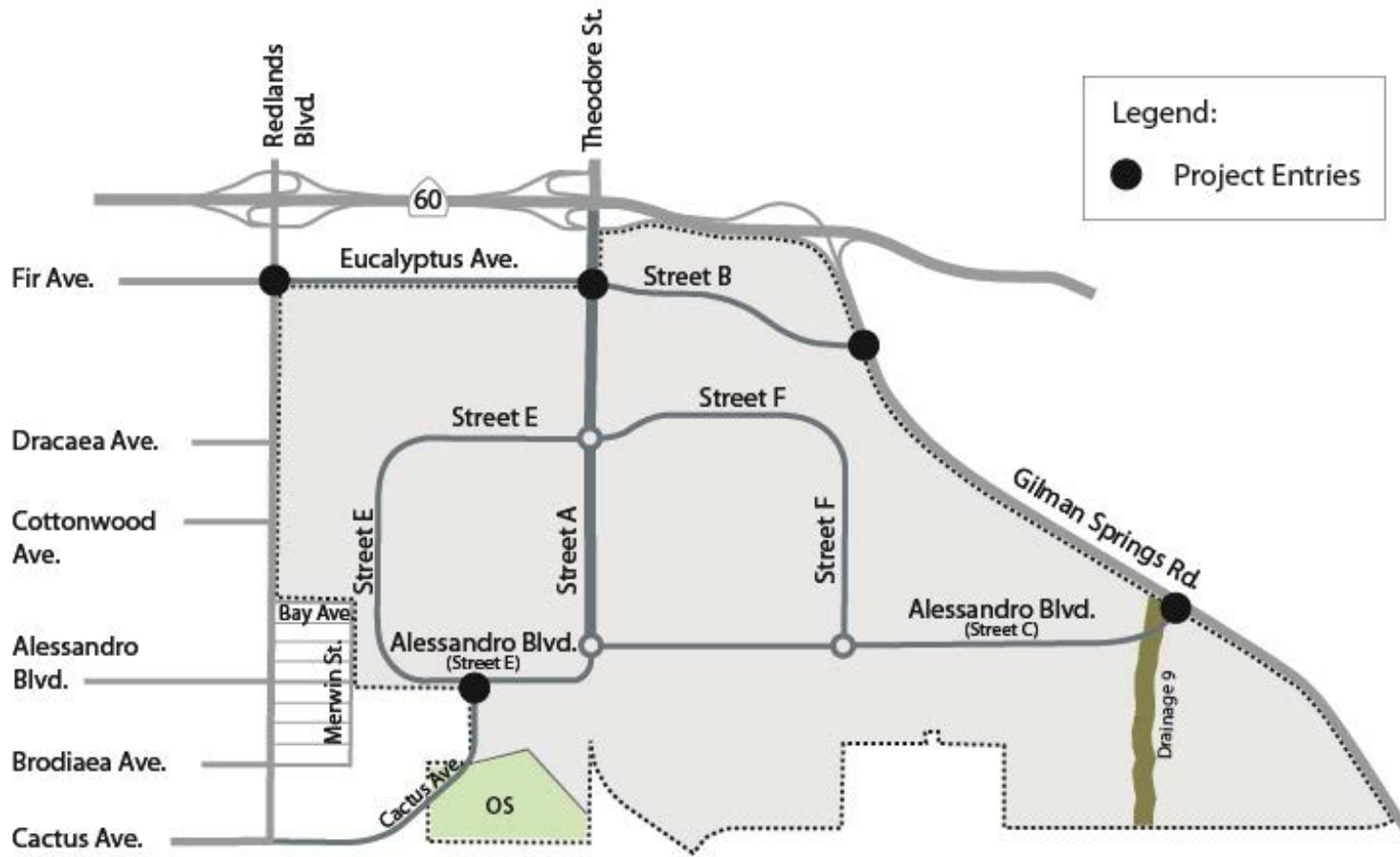
Exhibit 3-1 Circulation Plan (pg.3-1)



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Exhibit 3-2 Project Entries (pg.3-2)

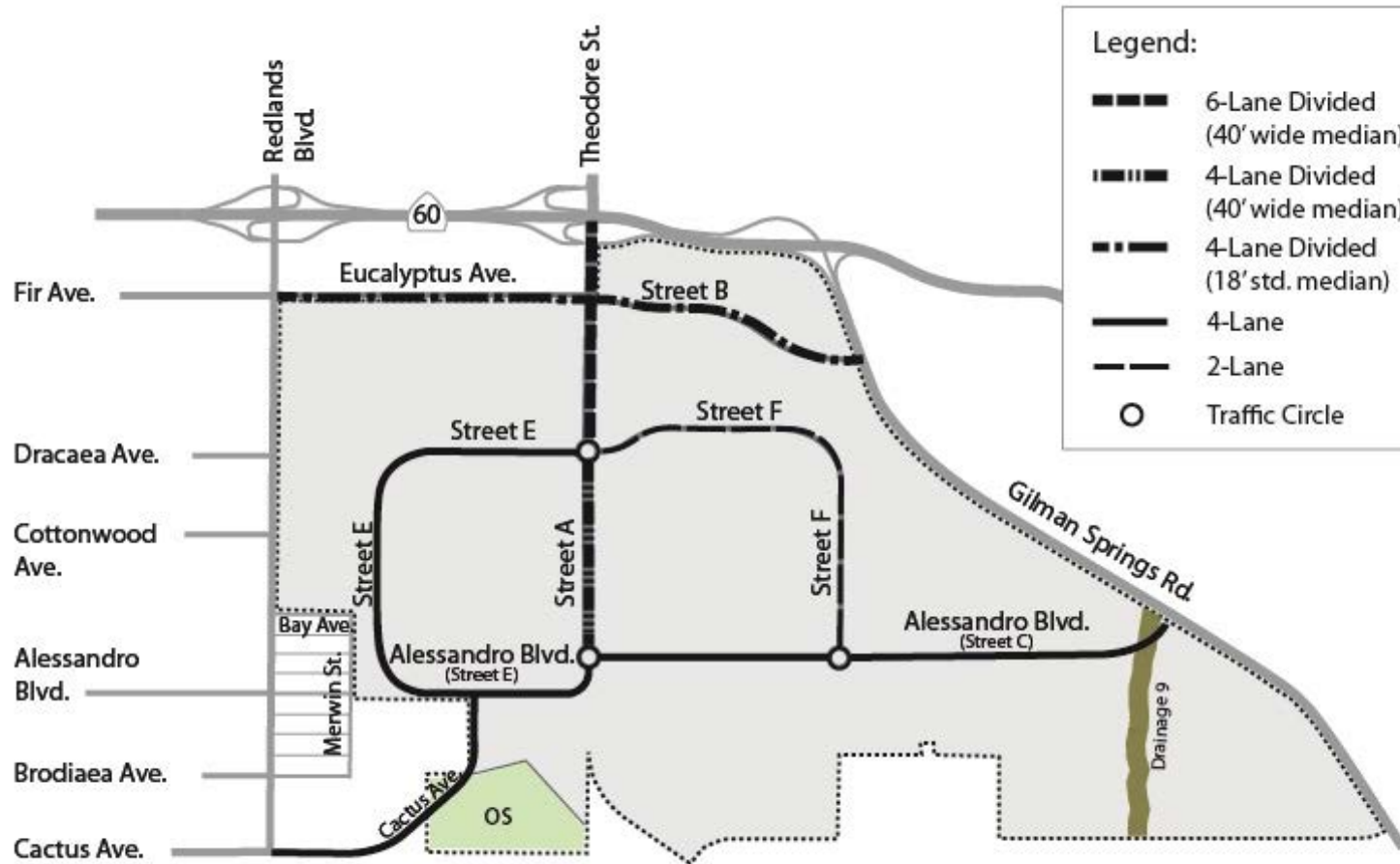


Legend:
 ● Project Entries



EXHIBITS

Exhibit 3-3 Street Configurations (pg.3-3)



EXHIBITS

Exhibit 3-4a Street "A" (Theodore Street) North of Street "E" (pg.3-4)

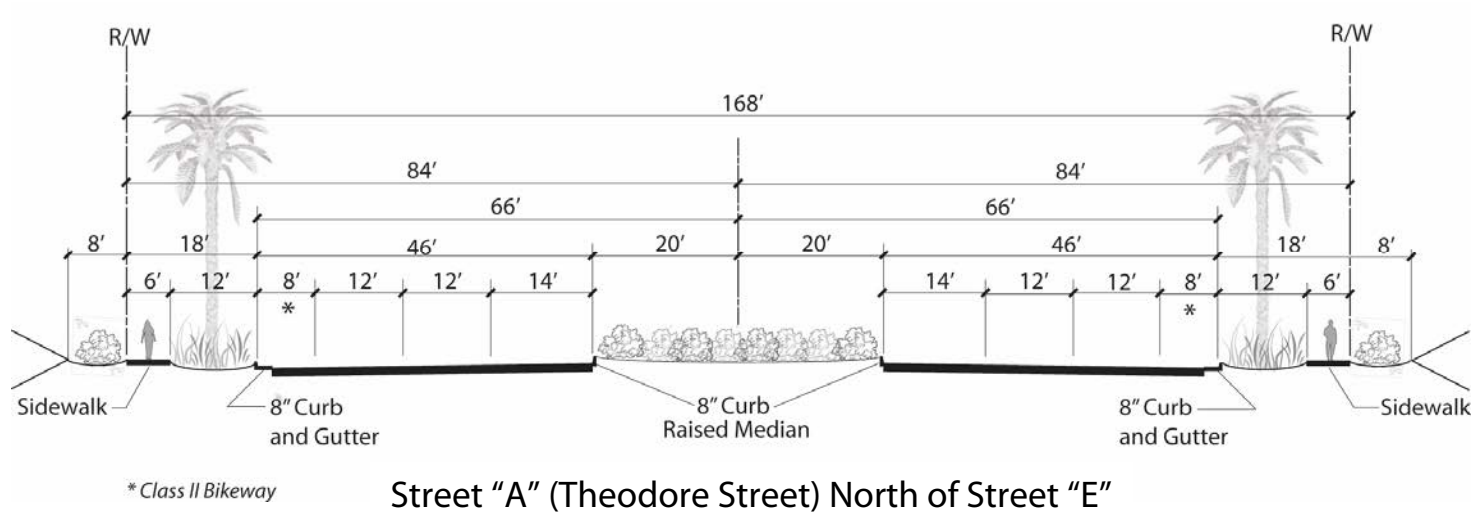
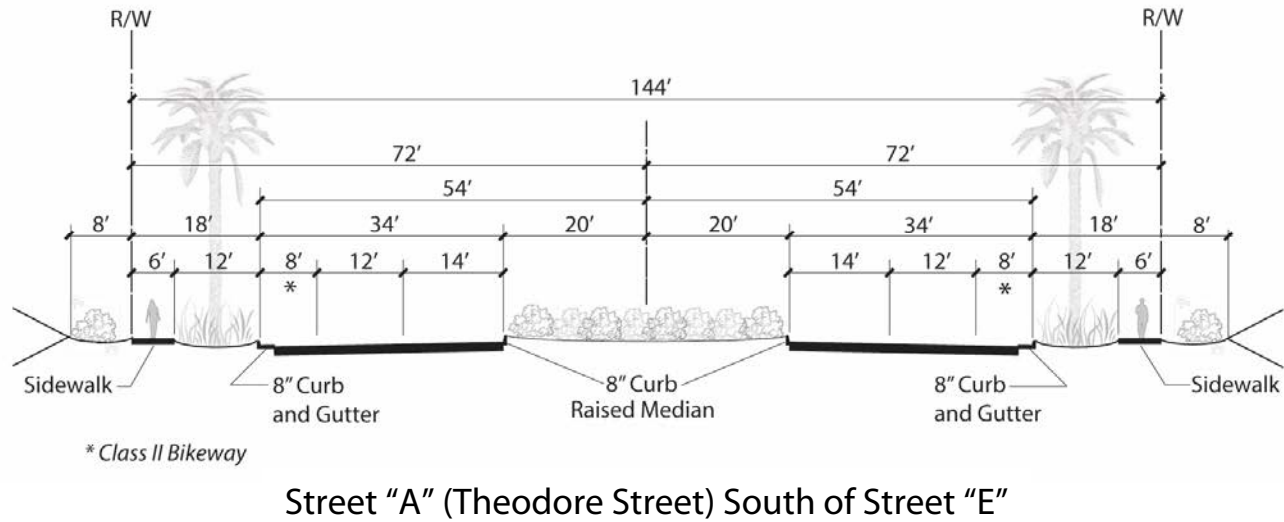


Exhibit 3-4b Street "A" (Theodore Street) South of Street "E" (pg.3-4)



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H.2.1.b

Exhibit 3-5 Eucalyptus Avenue (pg.3-5)

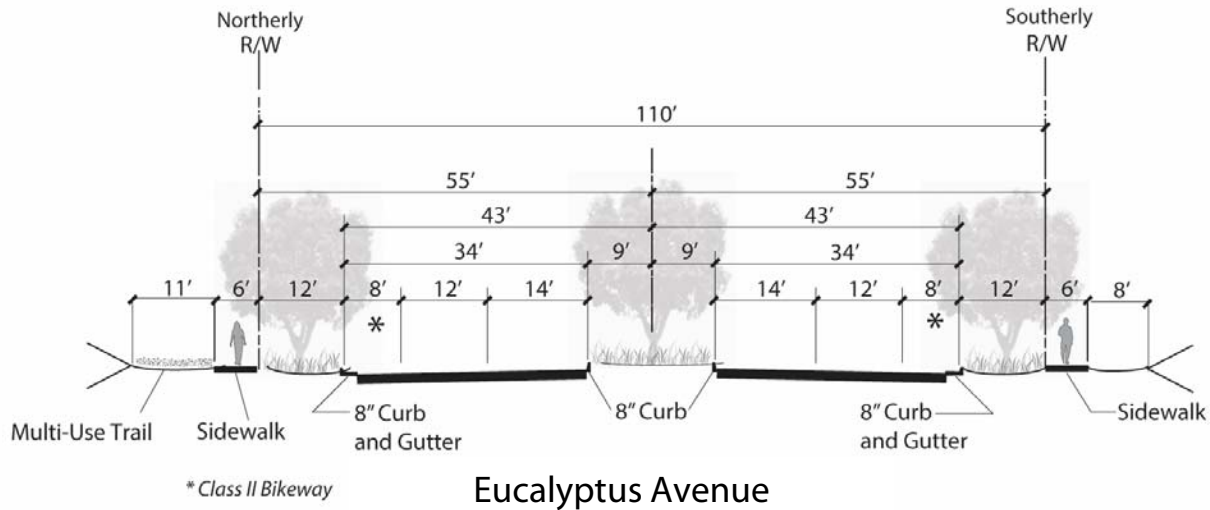
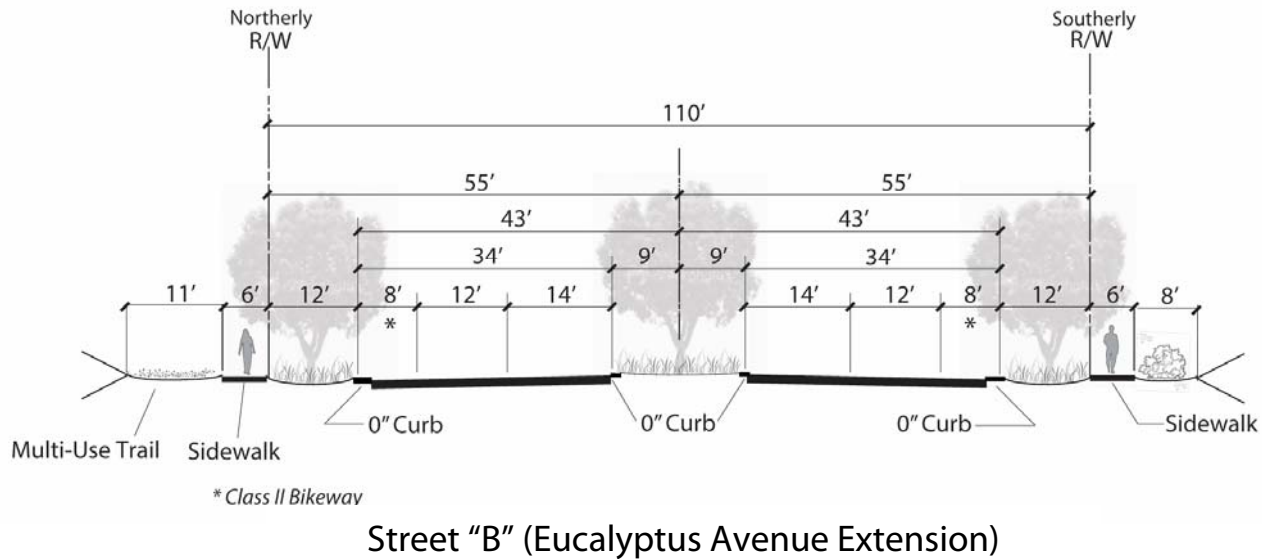


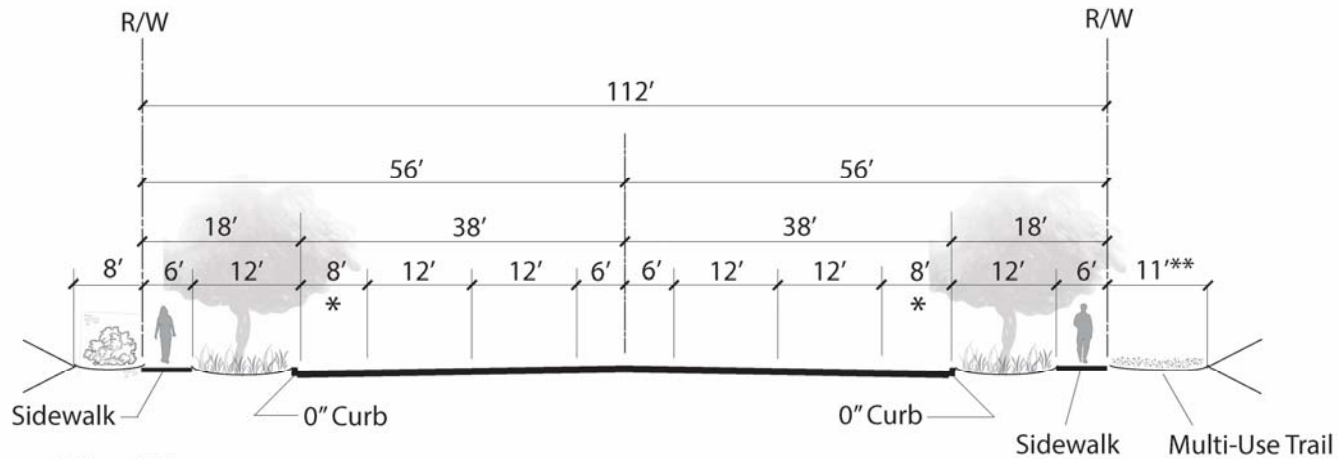
Exhibit 3-6 Street "B" (Eucalyptus Avenue Extension) (pg.3-5)



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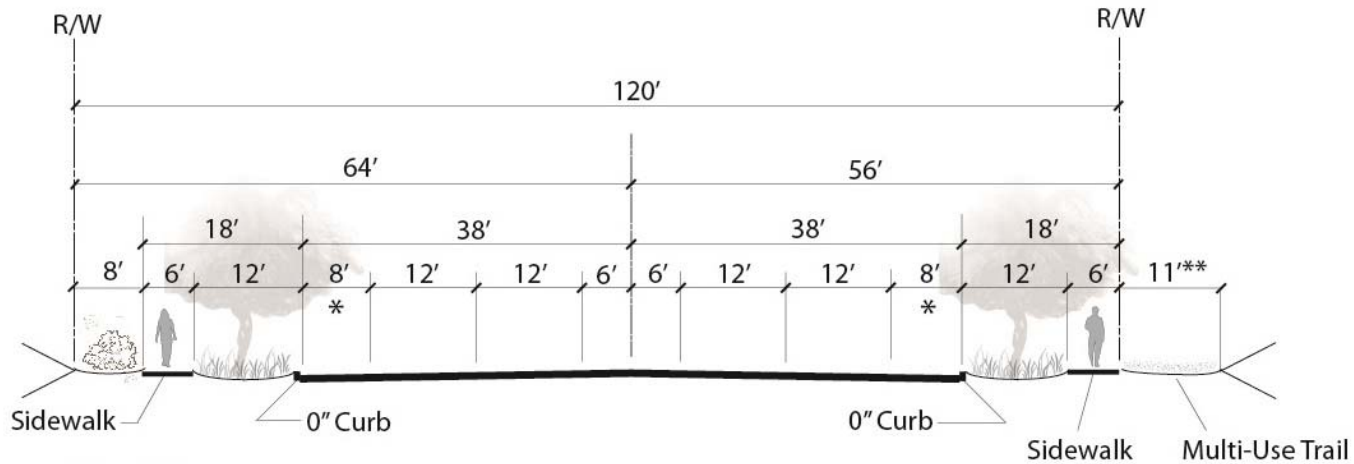
Exhibit 3-7 Street "E" (pg.3-6)



* Class II Bikeway
 ** 11' with trail section, 8' without trail

Street "E"

Exhibit 3-8 Alessandro Boulevard (pg 3-6)



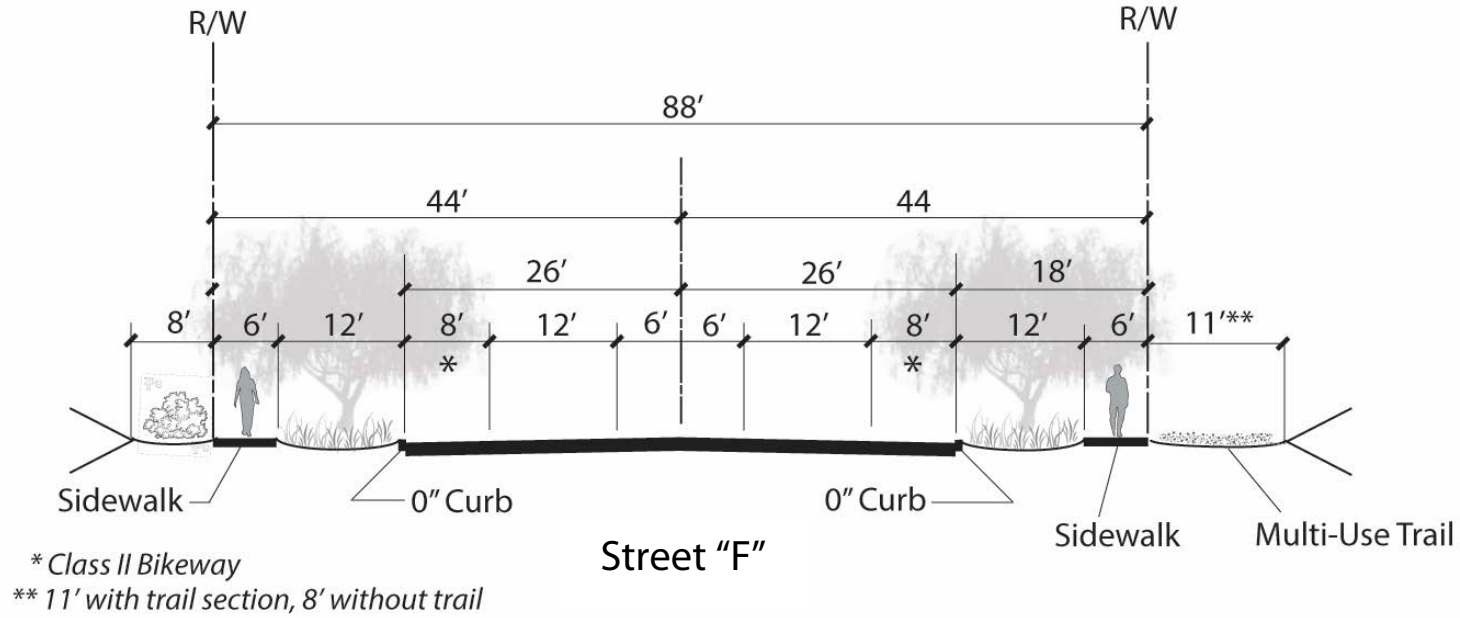
* Class II Bikeway
 ** 11' with trail section, 8' without trail

Alessandro Boulevard



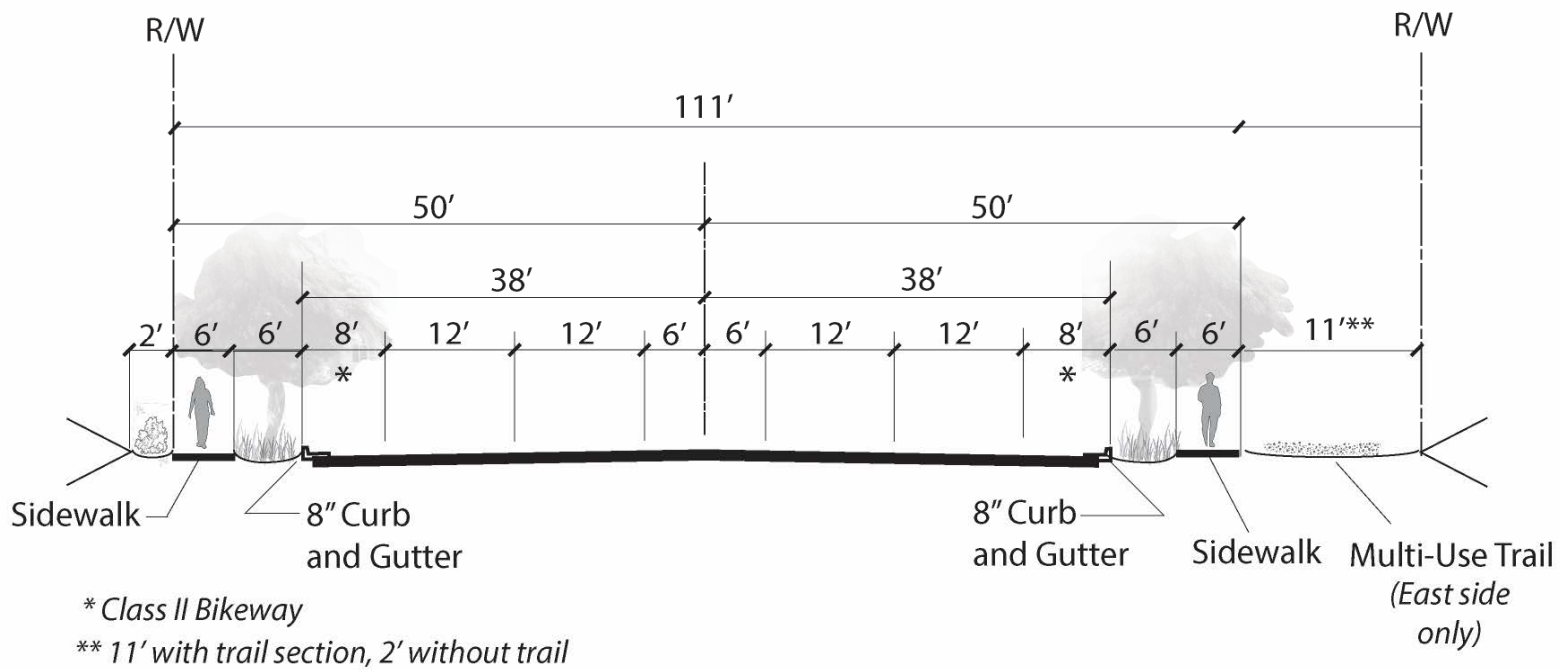
EXHIBITS

Exhibit 3-9 Street "F" (pg.3-7)



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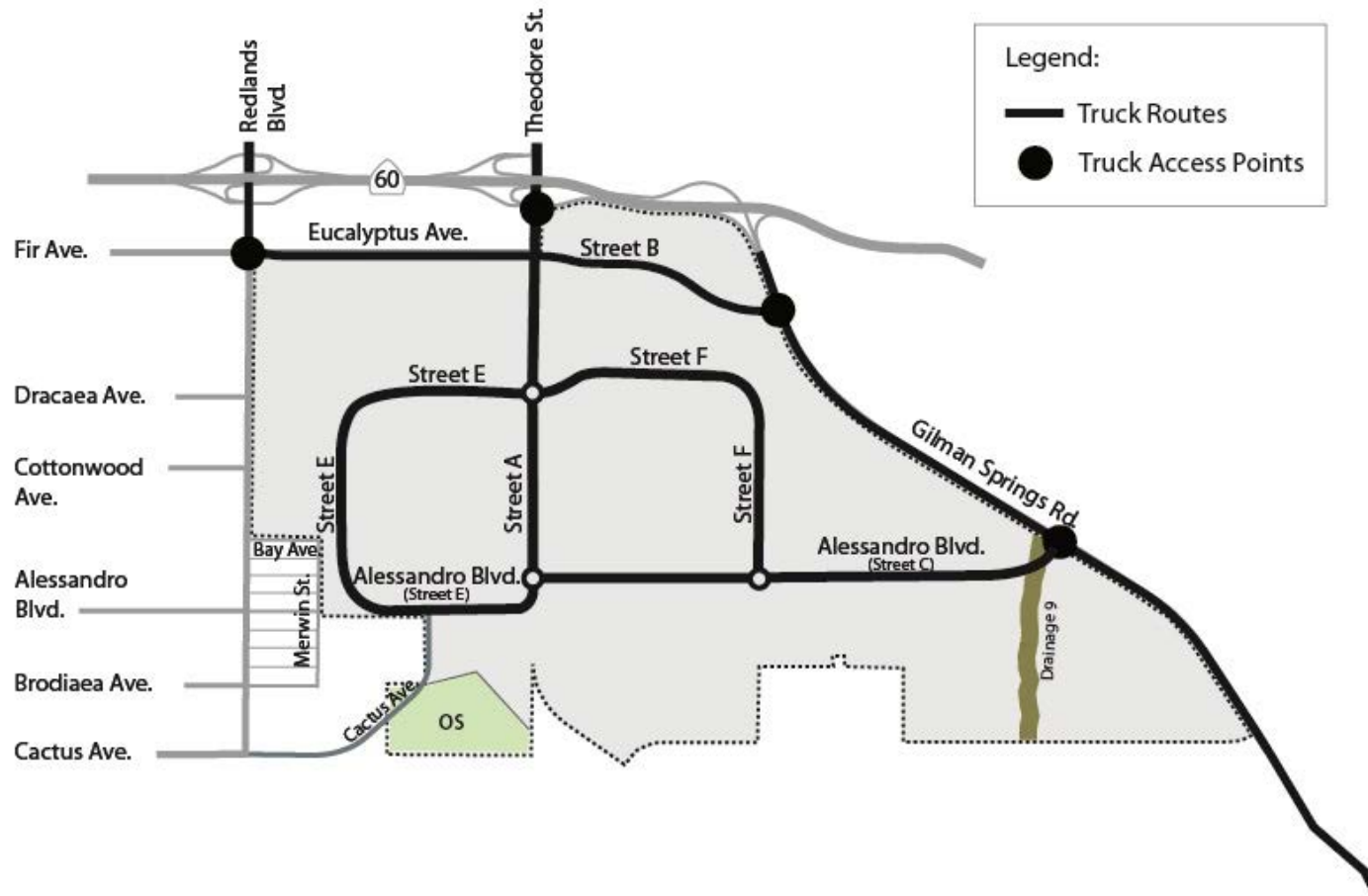


Cactus Avenue (Extension)



EXHIBITS

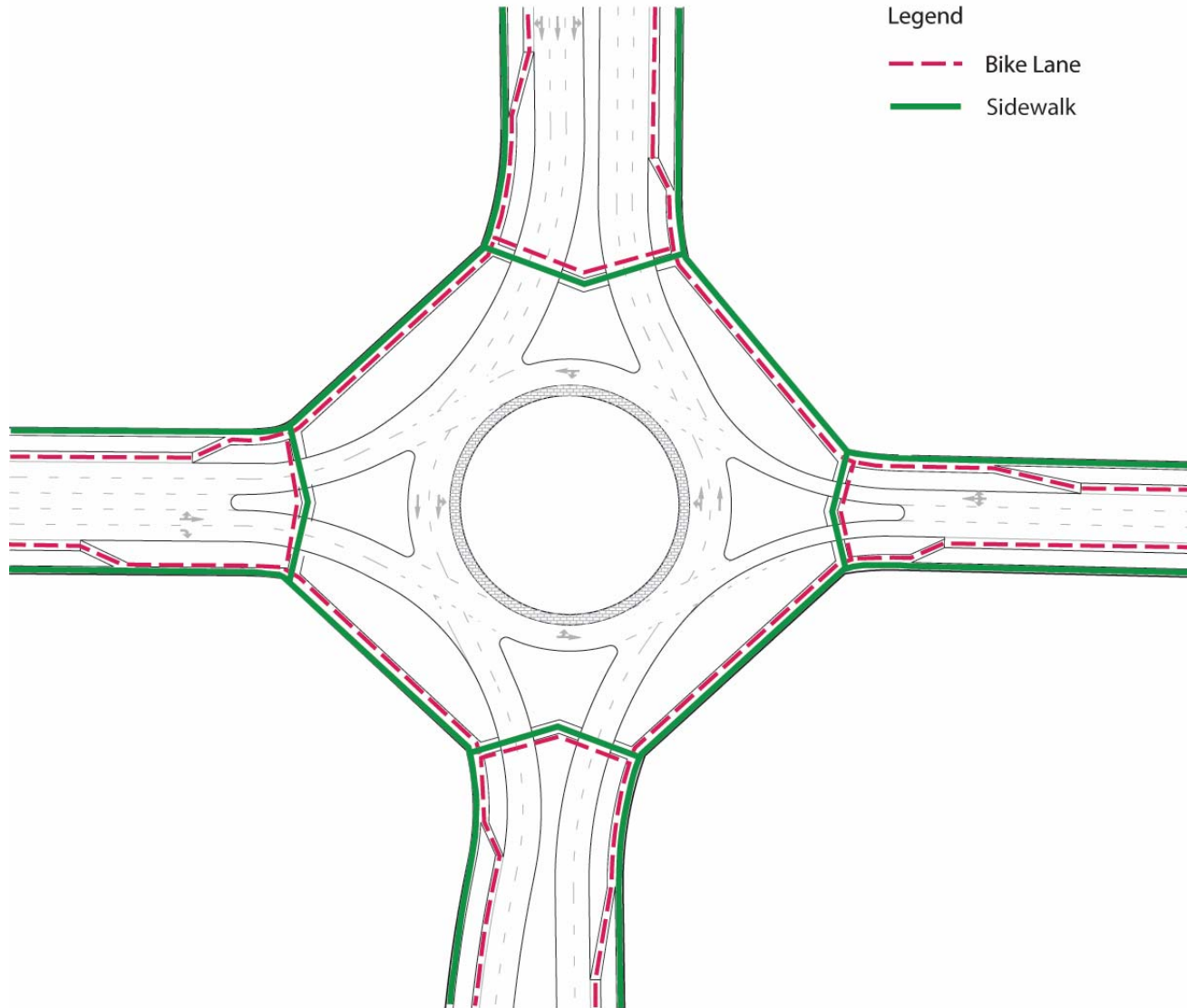
Exhibit 3-11 Truck Routes (pg.3-8)



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Ordinance No. 900
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Exhibit 3-12 Roundabout Diagram (pg.3-9)



Legend

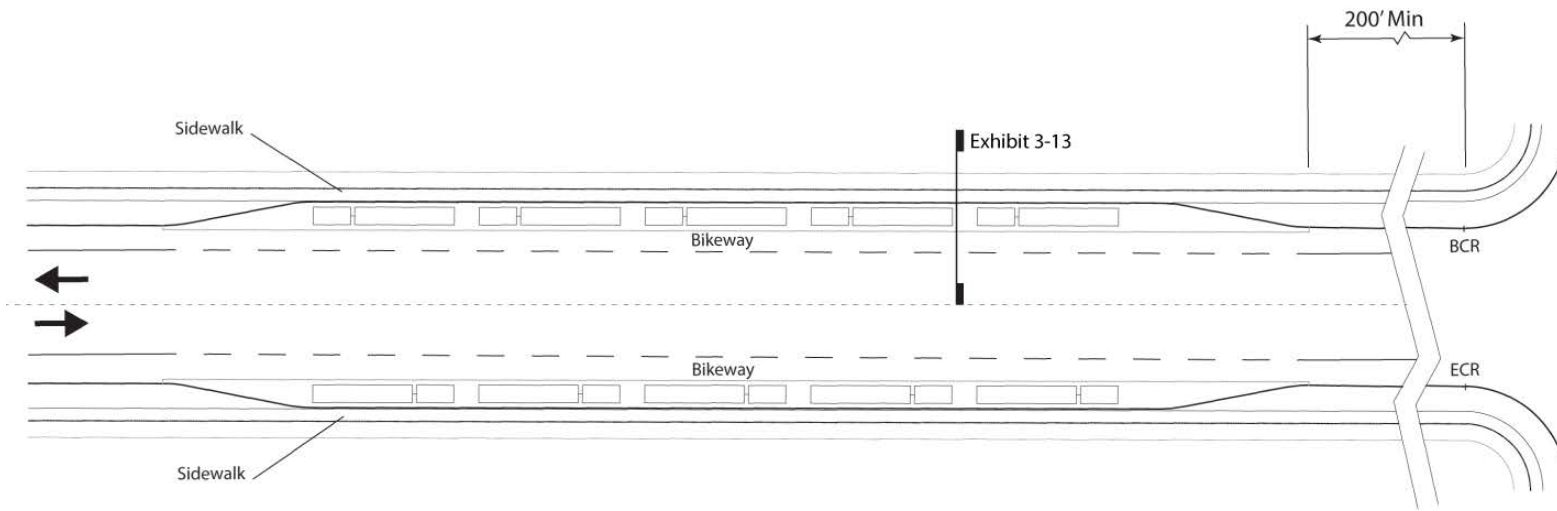
- Bike Lane
- Sidewalk



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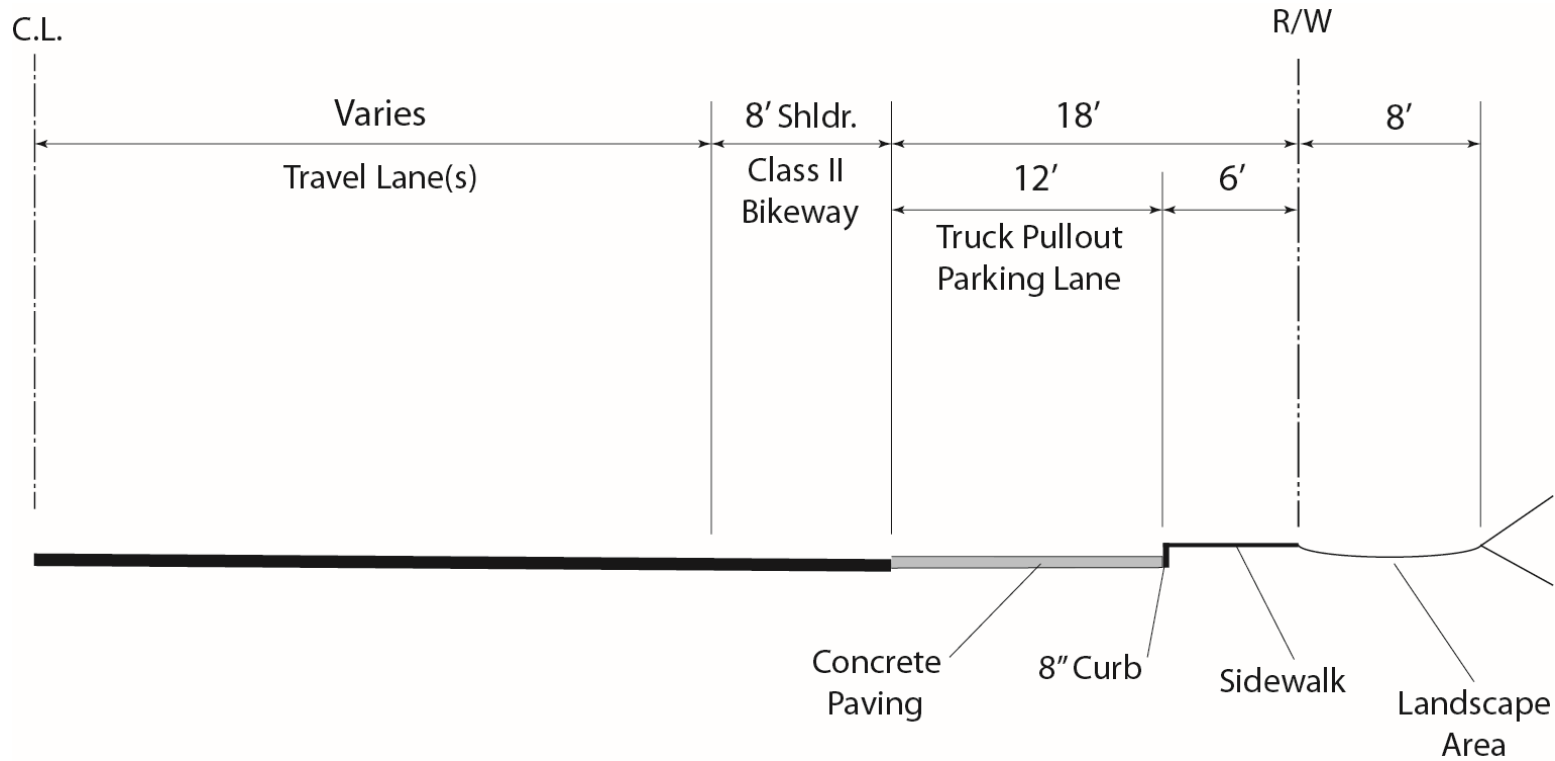
Exhibit 3-13 Truck Pullout Diagram (pg.3-10)



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Ordinance No. 900
Date Adopted: 11/19/19

Exhibit 3-14 Truck Parking Lane Section (pg.3-10)



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Exhibit 3-15 Potential Bus Route (pg.3-11)

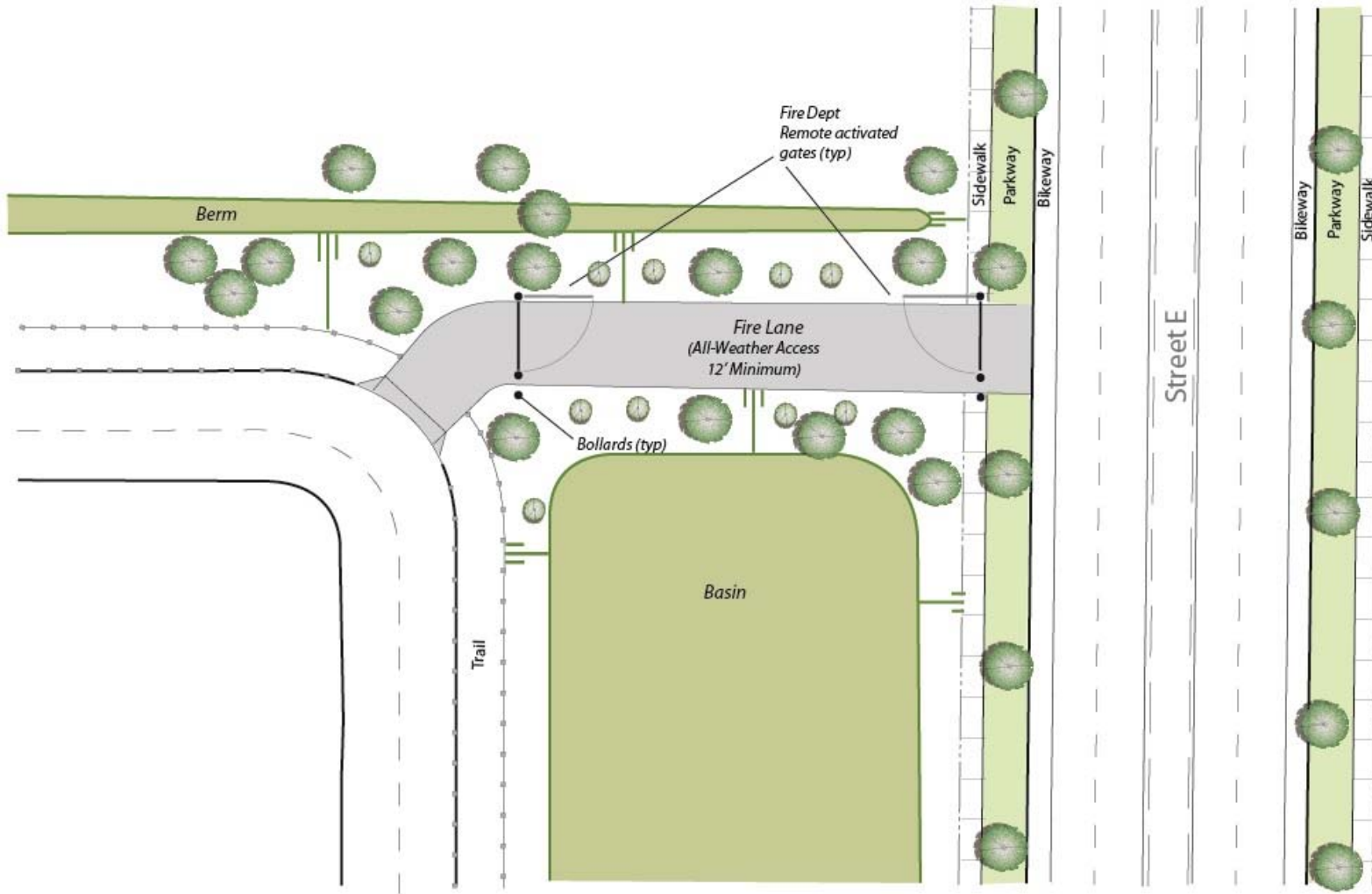


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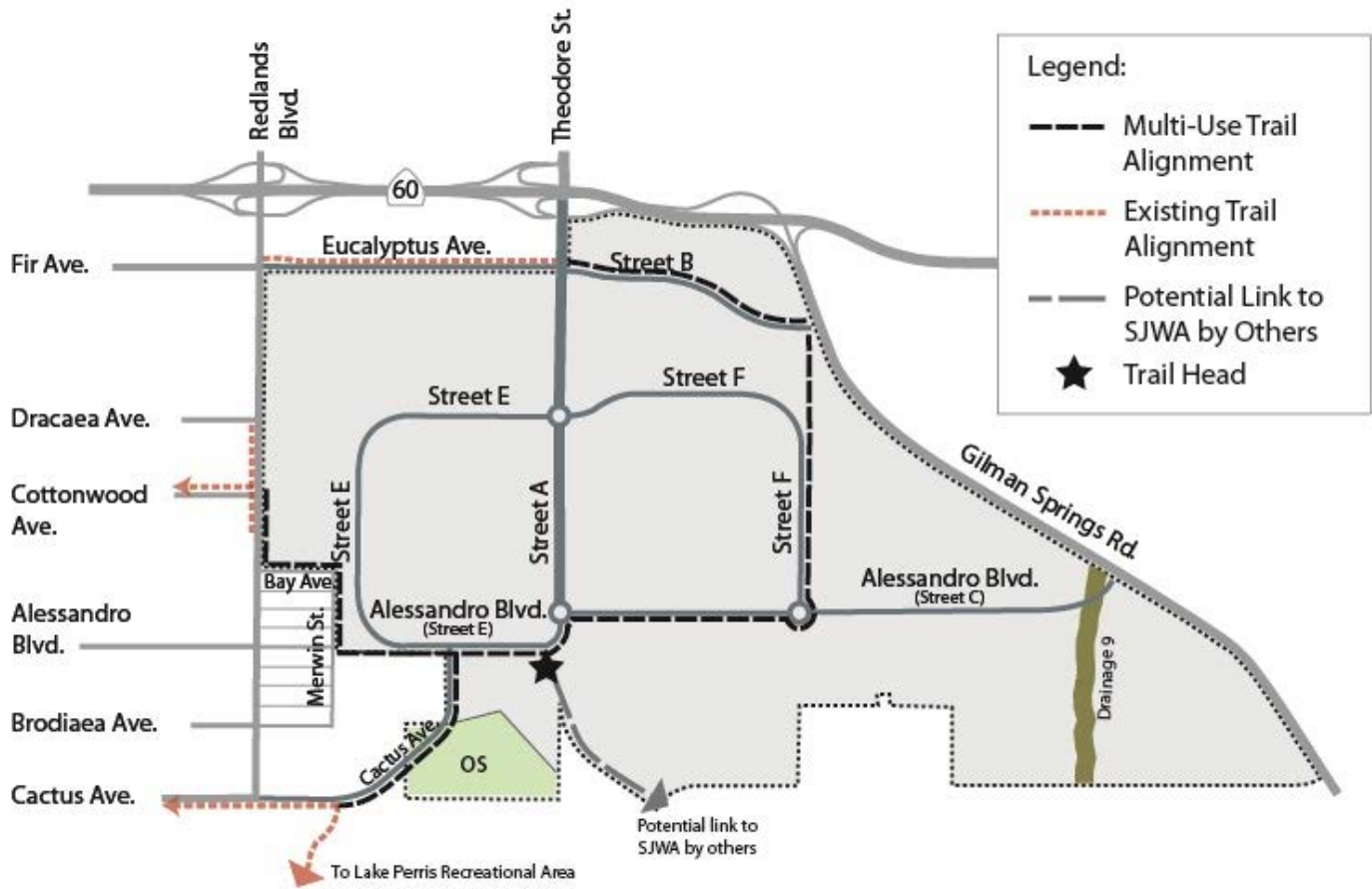
Ordinance No. 900
Date Adopted:

Exhibit 3-16 Emergency Access (Conceptual) (pg.3-12)



EXHIBITS

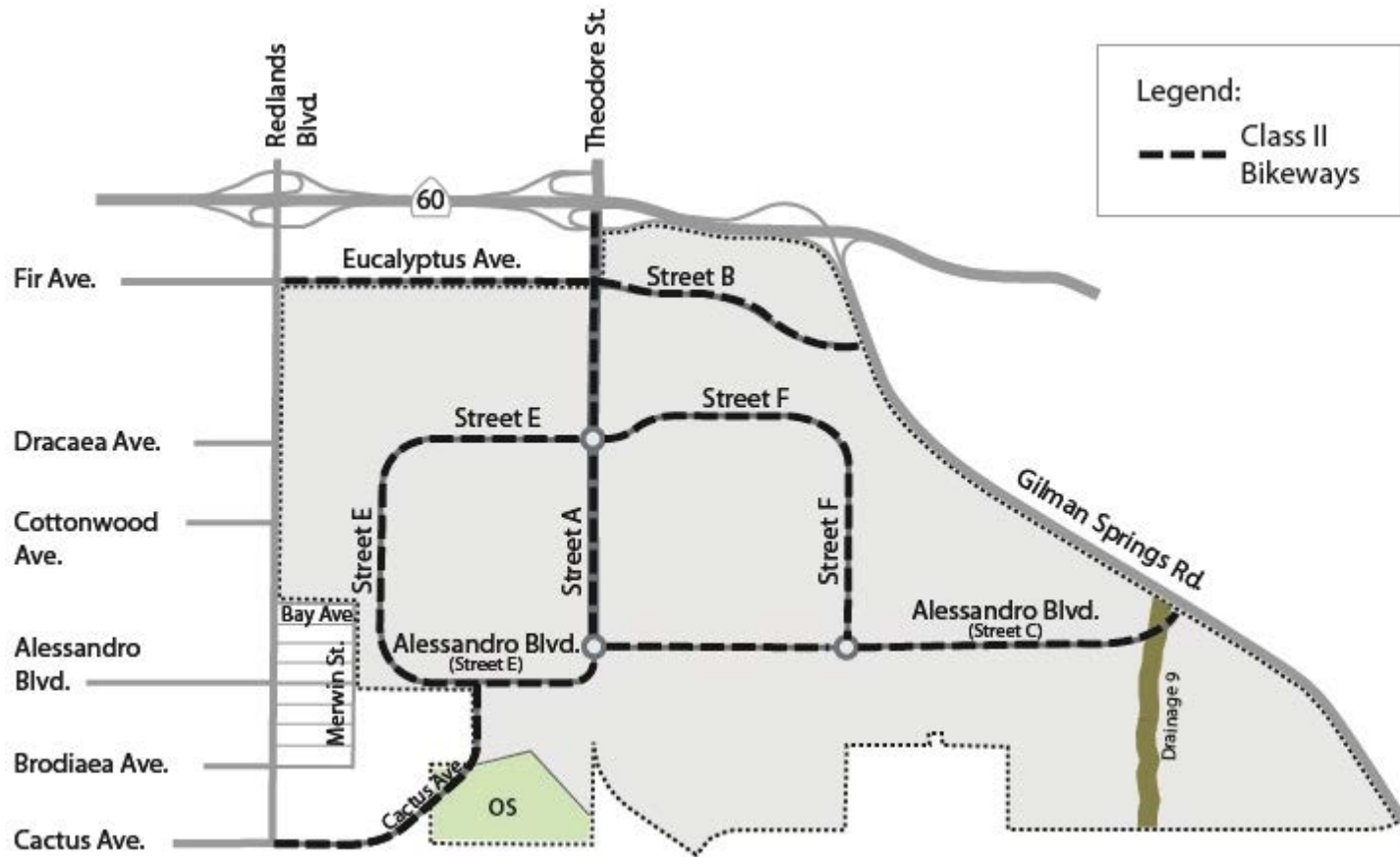
Exhibit 3-17 Multi-Use Trail Plan (pg.3-13)



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 Date Adopted:

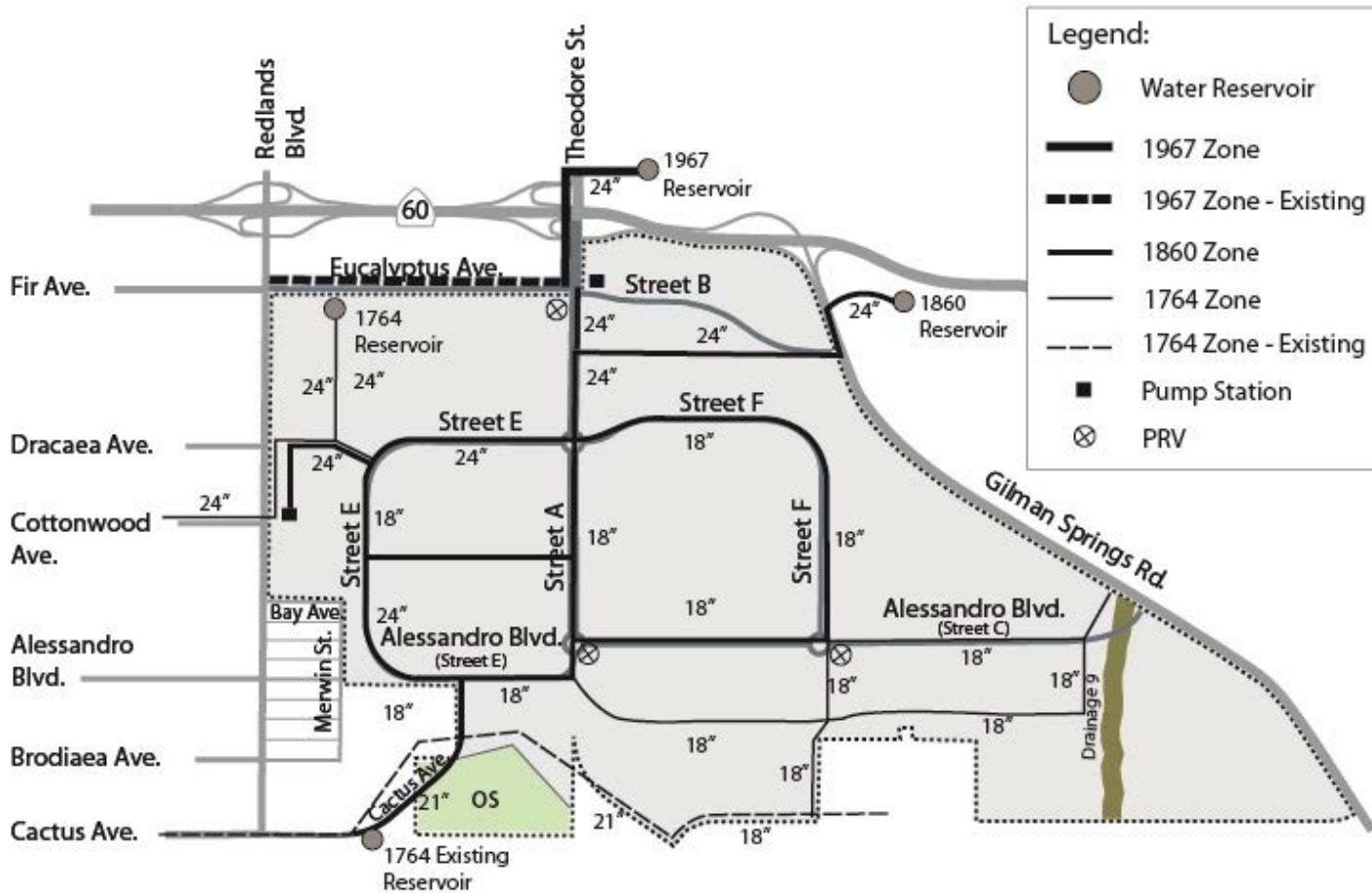
Exhibit 3-18 Bicycle Circulation Plan (pg.3-14)



EXHIBITS

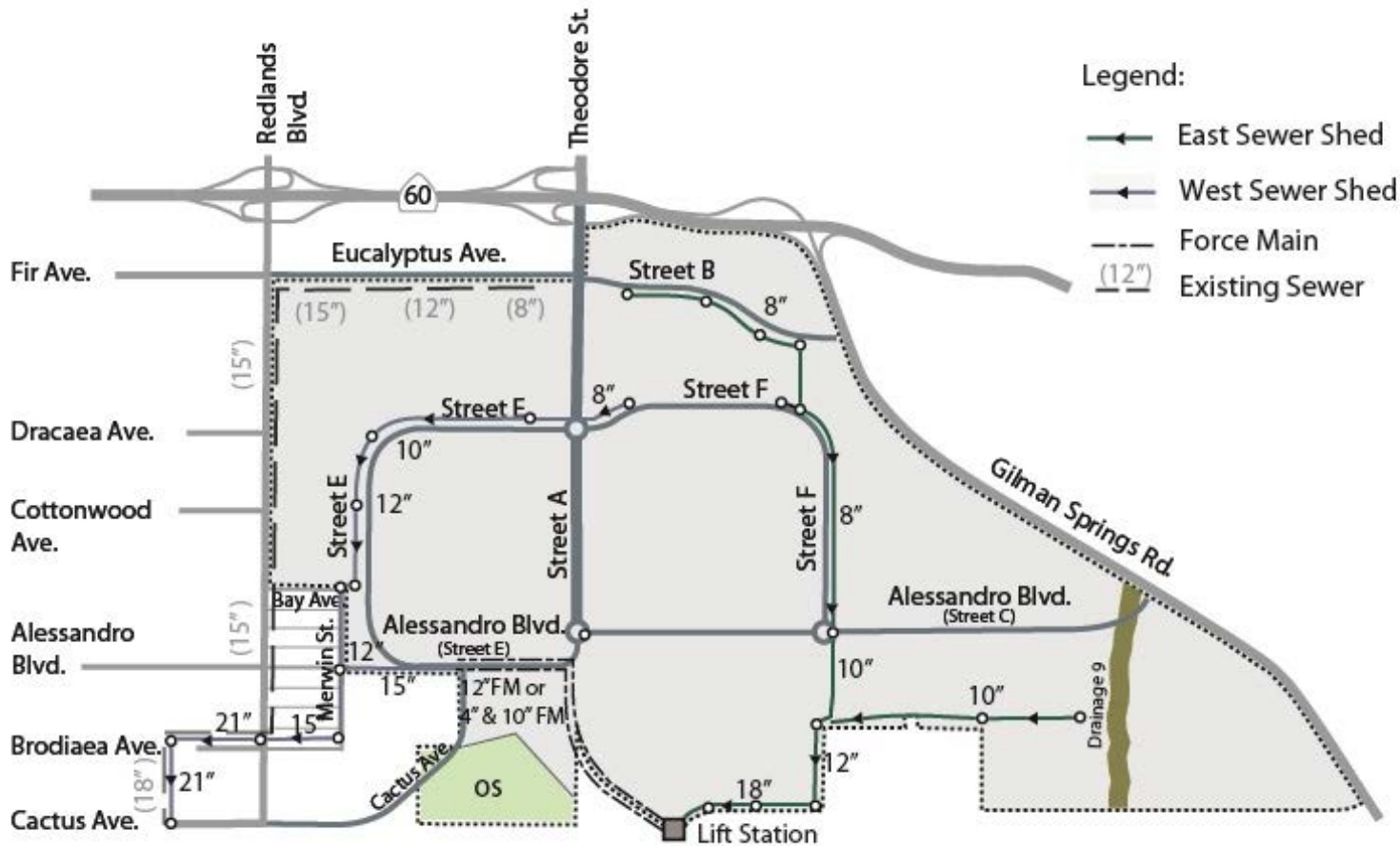
200
 Ordinance No. 900
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Exhibit 3-19 Water Facilities Master Plan (pg.3-15)



EXHIBITS

Exhibit 3-20 Wastewater Service Plan (pg.3-17)

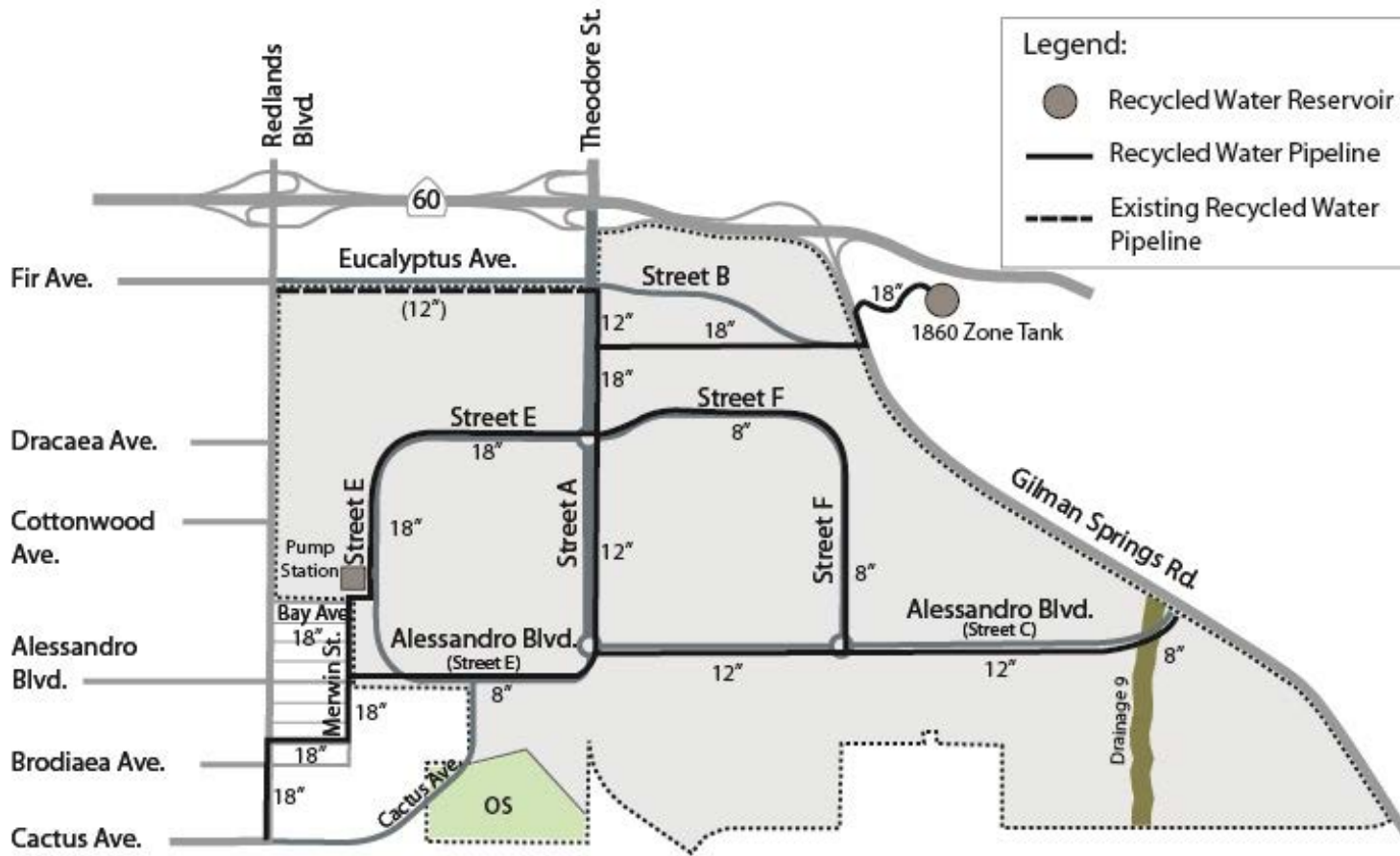


Legend:

- ← East Sewer Shed
- ← West Sewer Shed
- Force Main
- (12") Existing Sewer



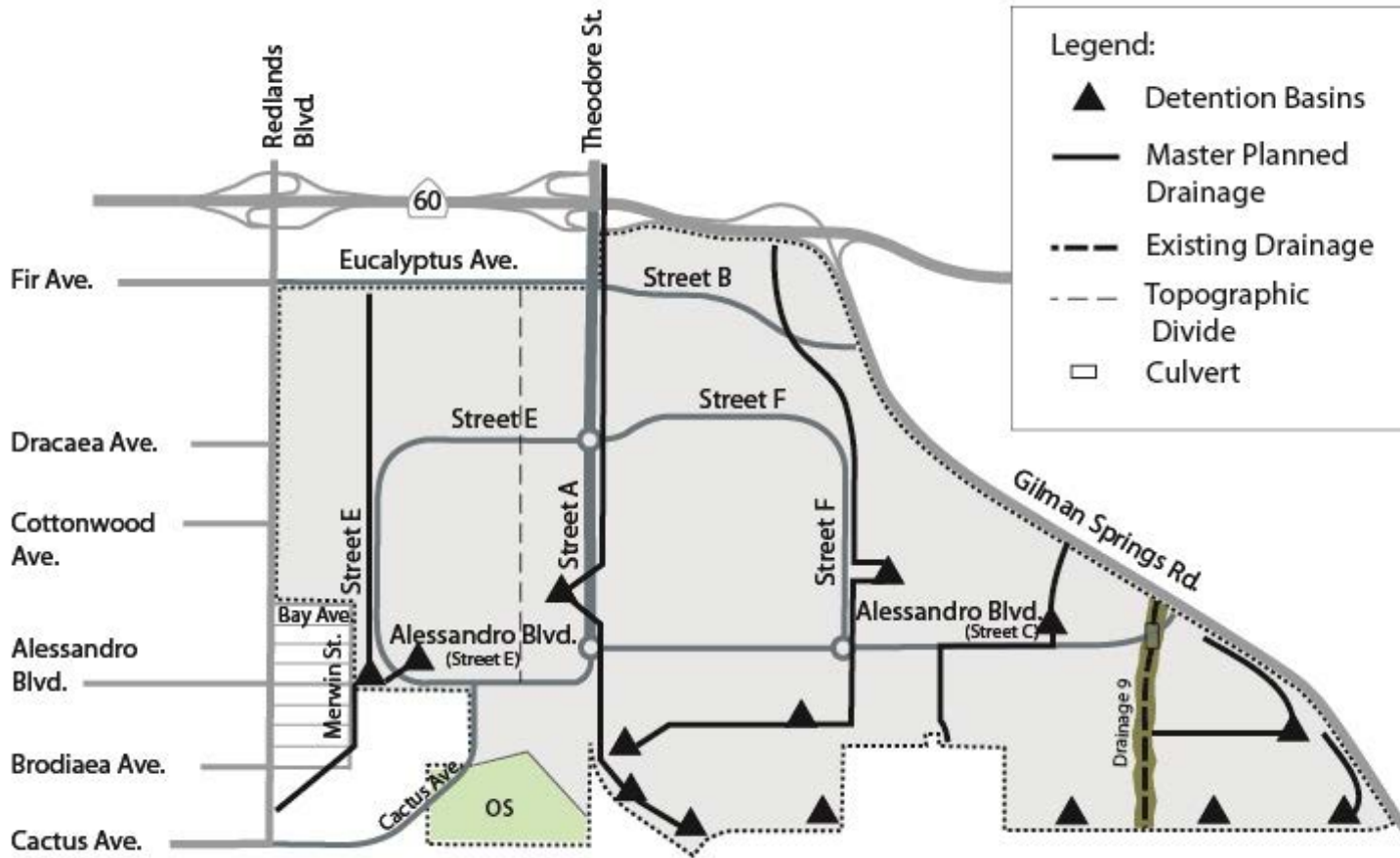
Exhibit 3-21 Recycled Water Plan (pg.3-18)



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203
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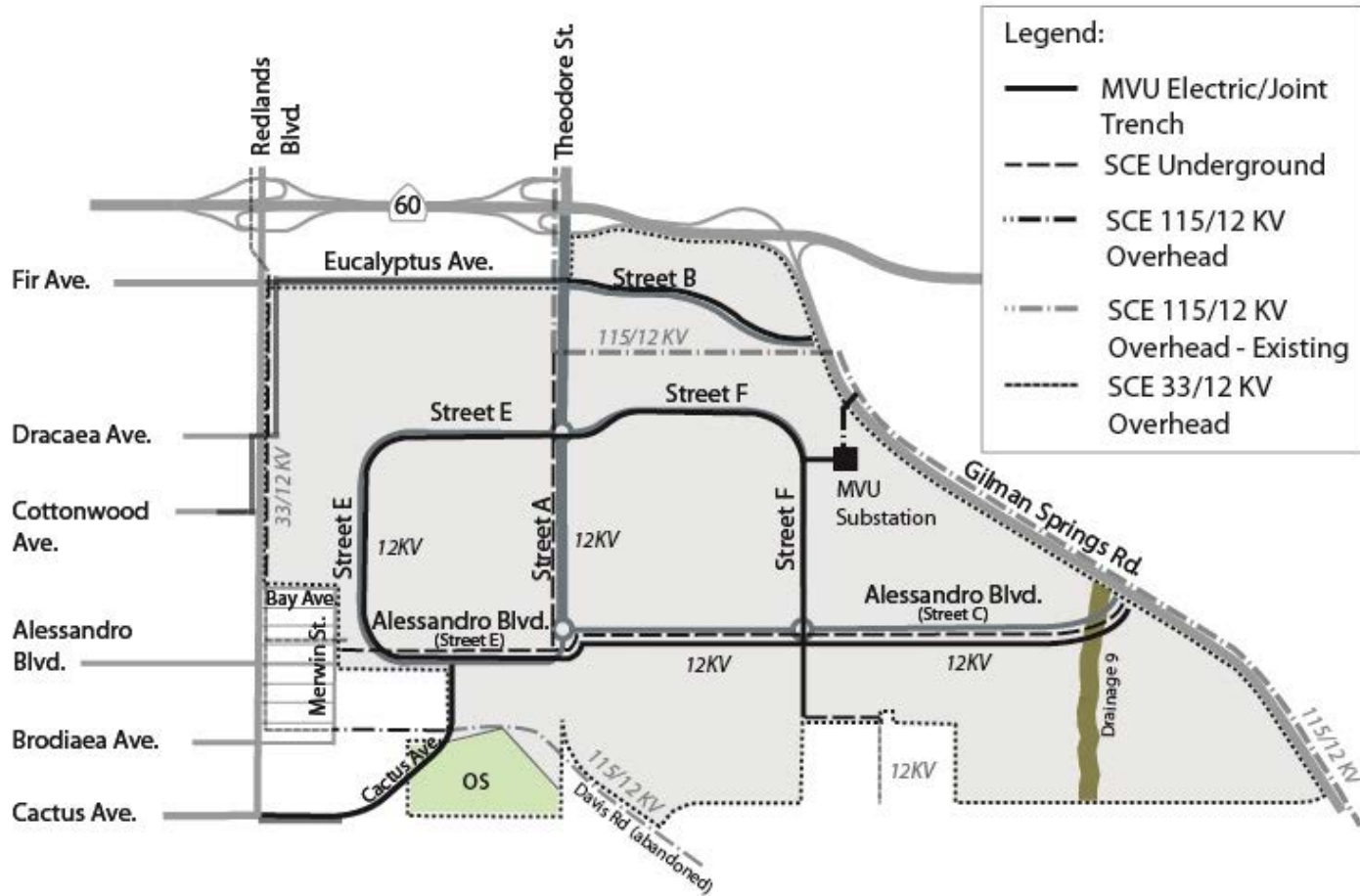
Exhibit 3-22 Storm Drain Plan (pg.3-19)



EXHIBITS

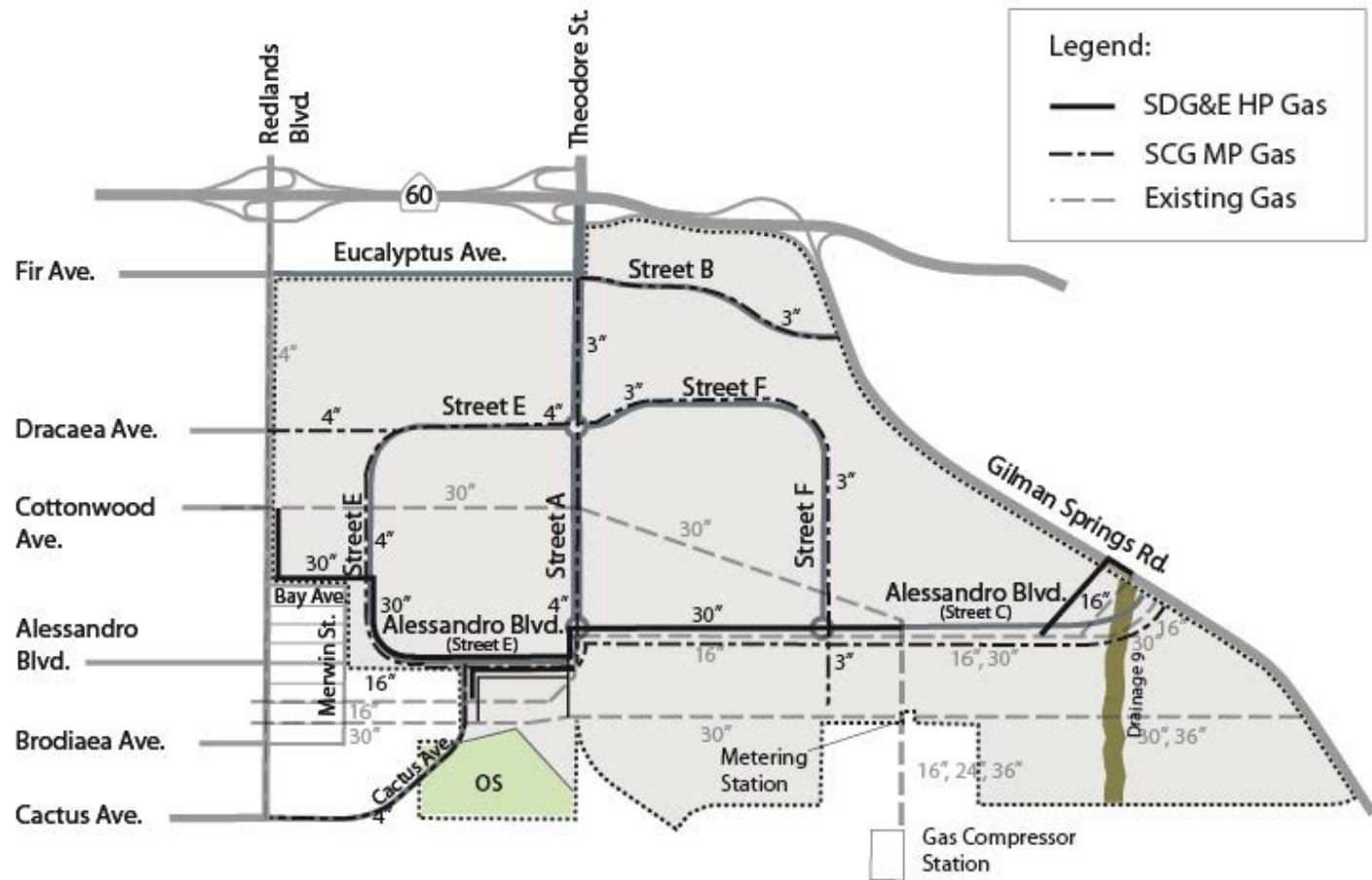
204
 Ordinance No. 900
 Date Adopted:

Exhibit 3-23 Electrical Utility Plan (pg.3-21)



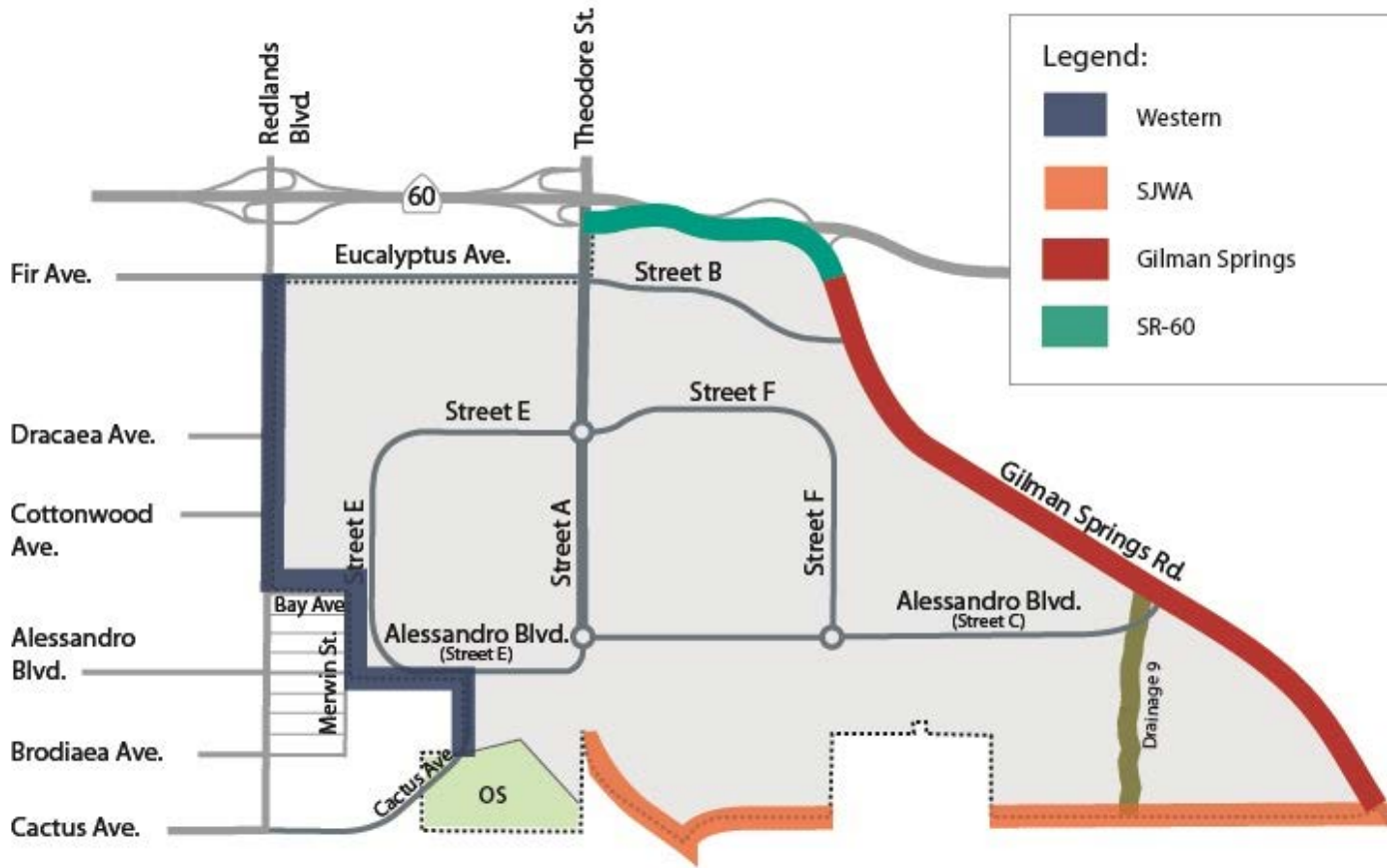
EXHIBITS

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 Date Adopted:



EXHIBITS

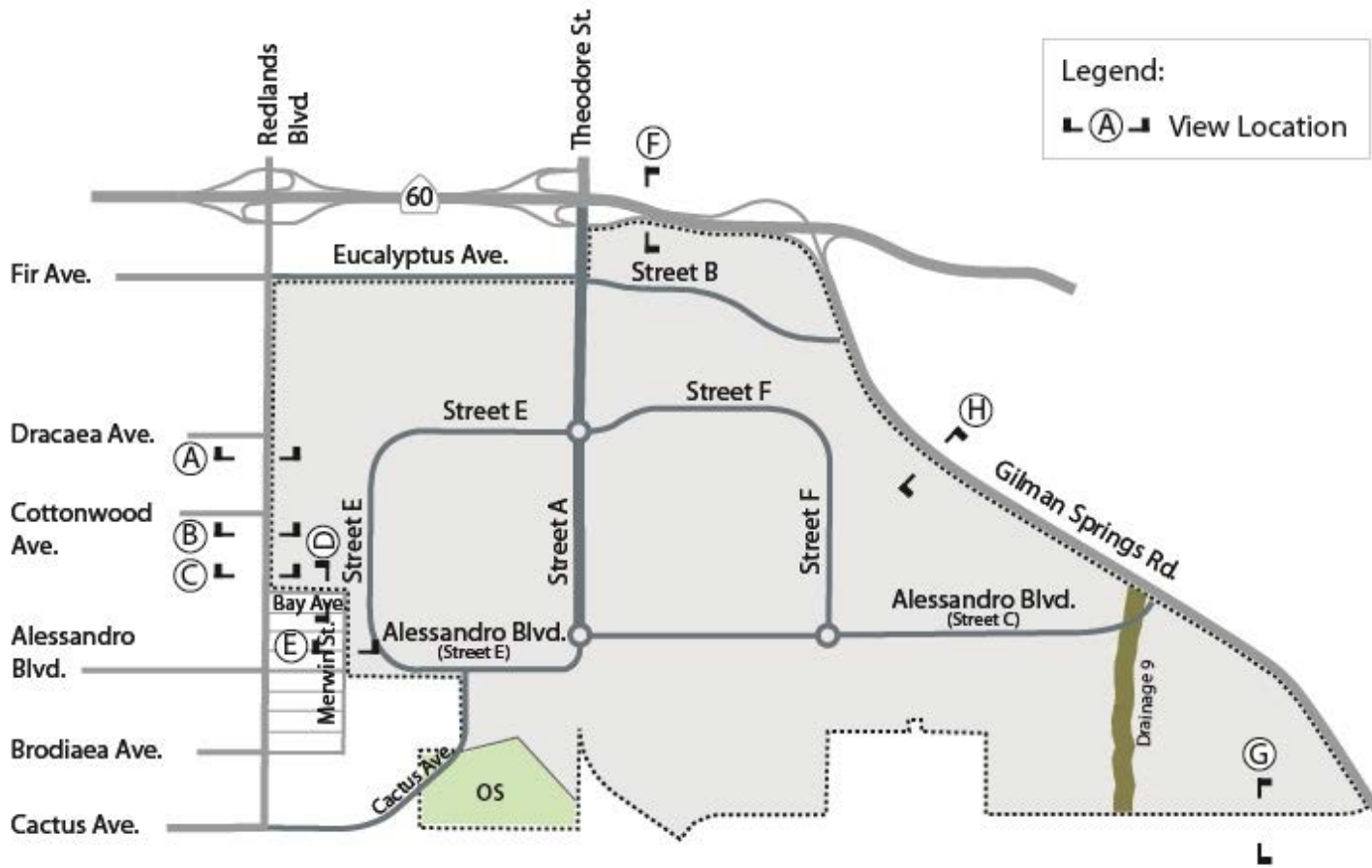
Exhibit 4-1 Special Edge Treatment Areas Design Criteria (pg.4-6)



EXHIBITS

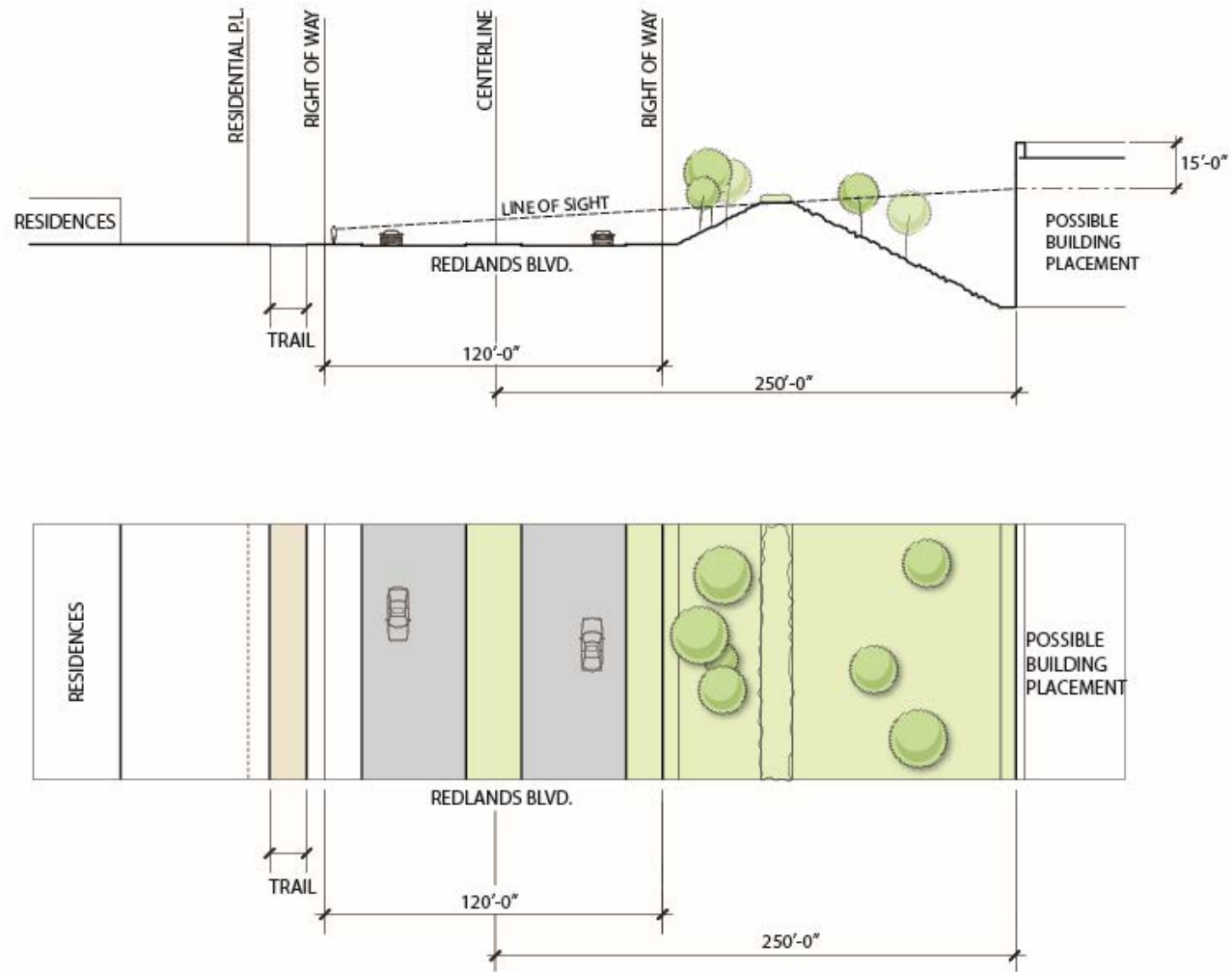
Ordinance No. 900
 Date Adopted: 207
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Exhibit 4-2 Edge Exhibit Map (pg.4-6)

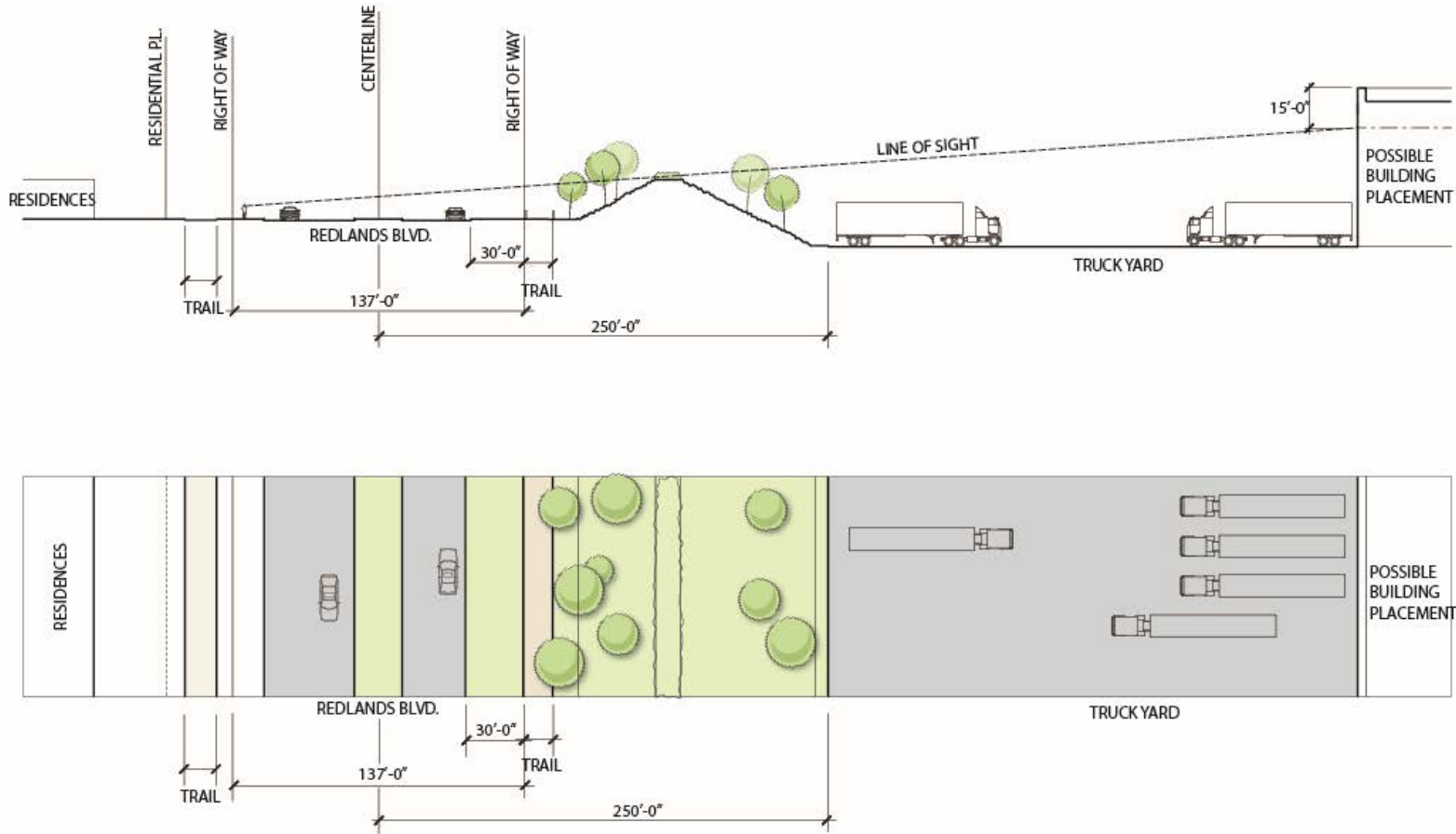


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 Date Adopted:

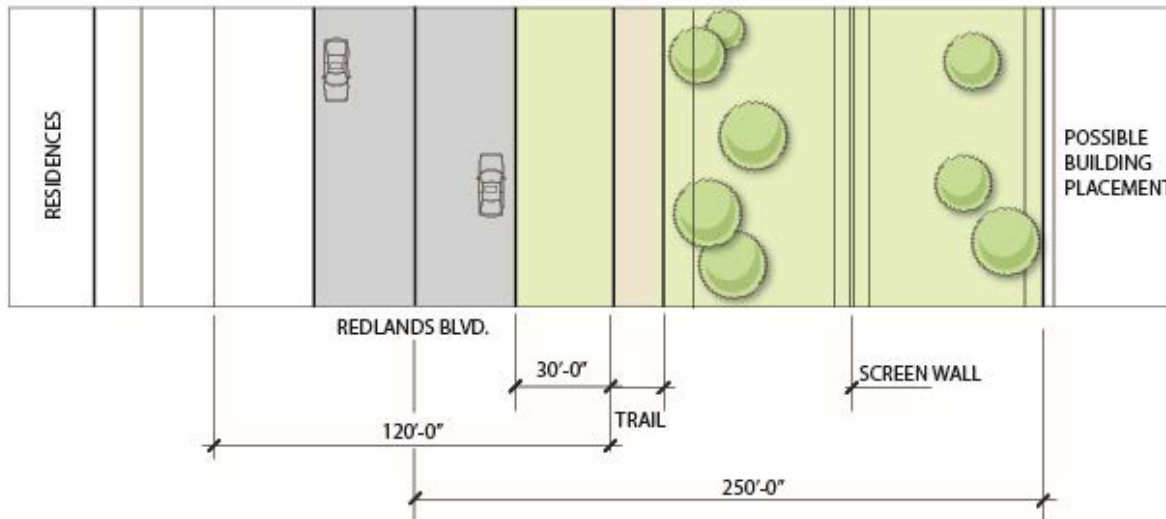
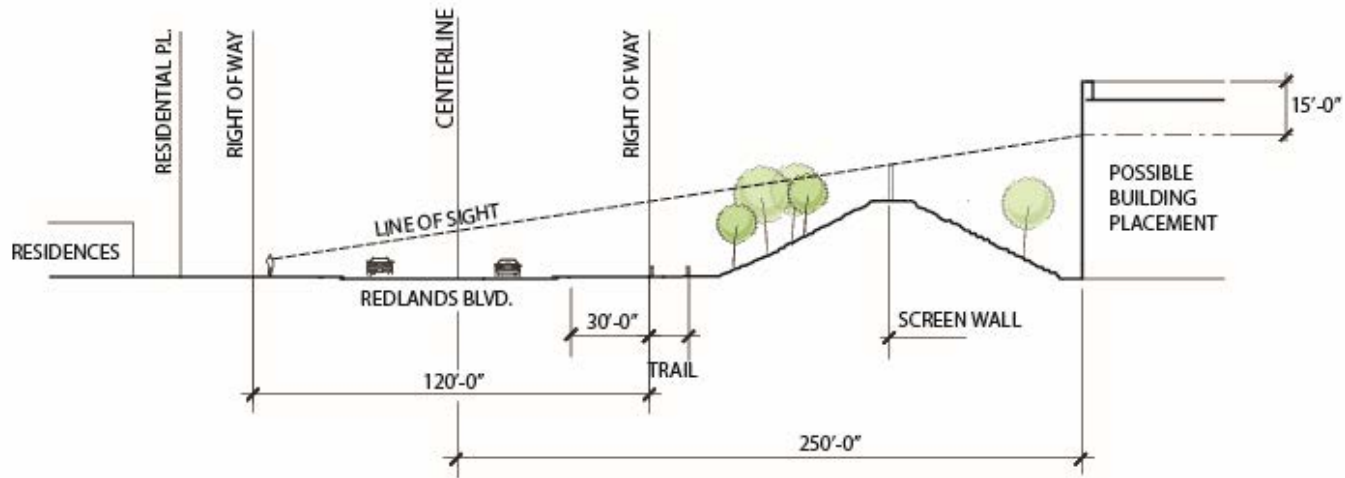


EXHIBITS



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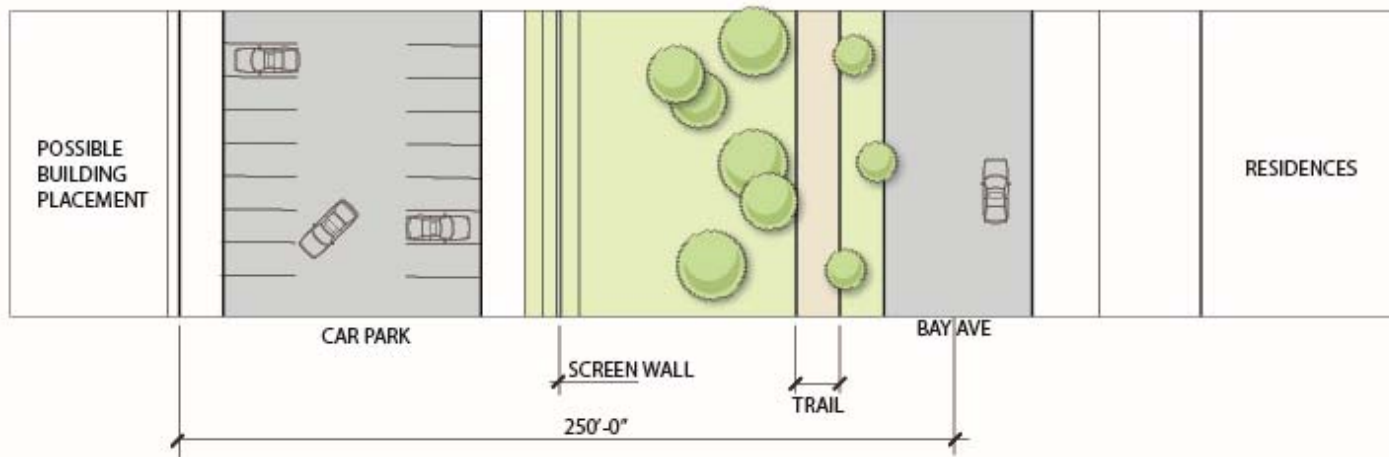
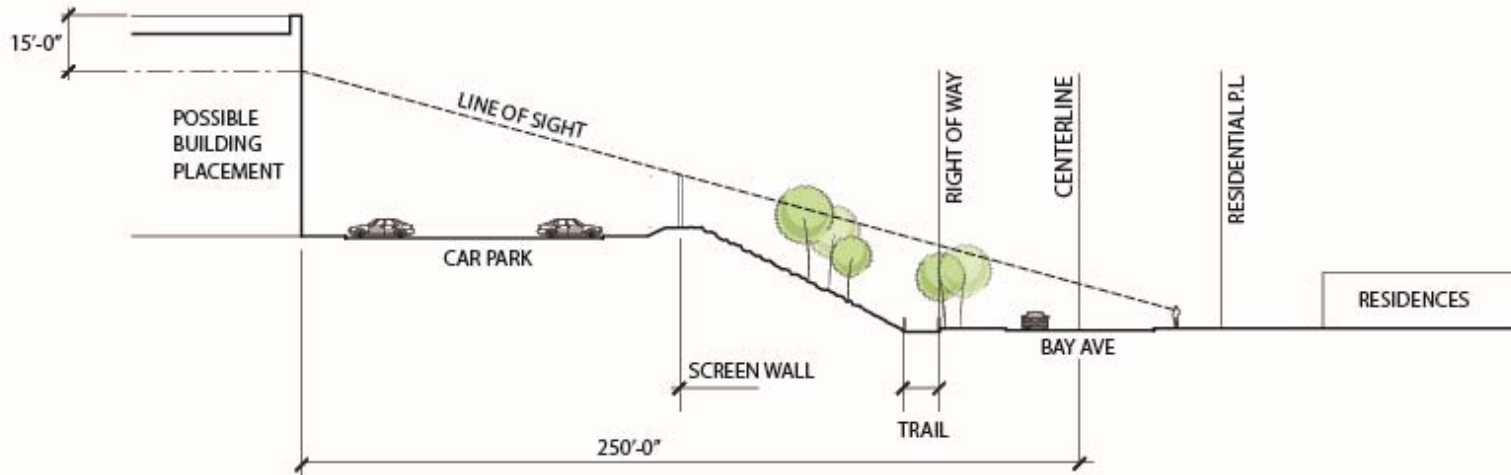
210
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Ordinance No. 900
Date Adopted:



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211
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Date Adopted:

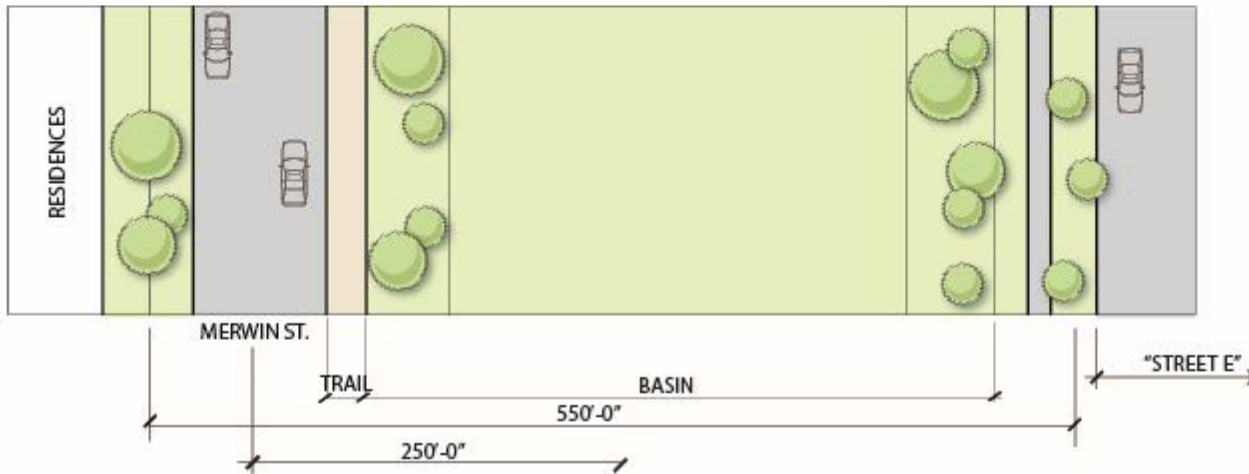
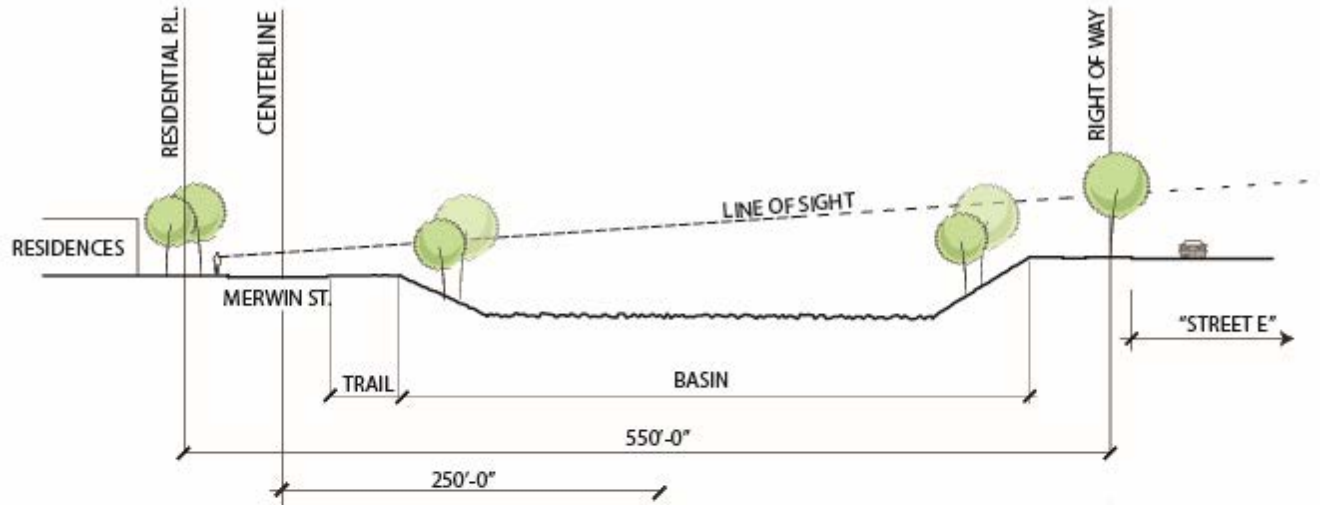
Exhibit 4-9, 4-10 Bay Avenue Section D and Plan View D (pg.4-8)



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E-36
Ordinance No. 900
Date Adopted:

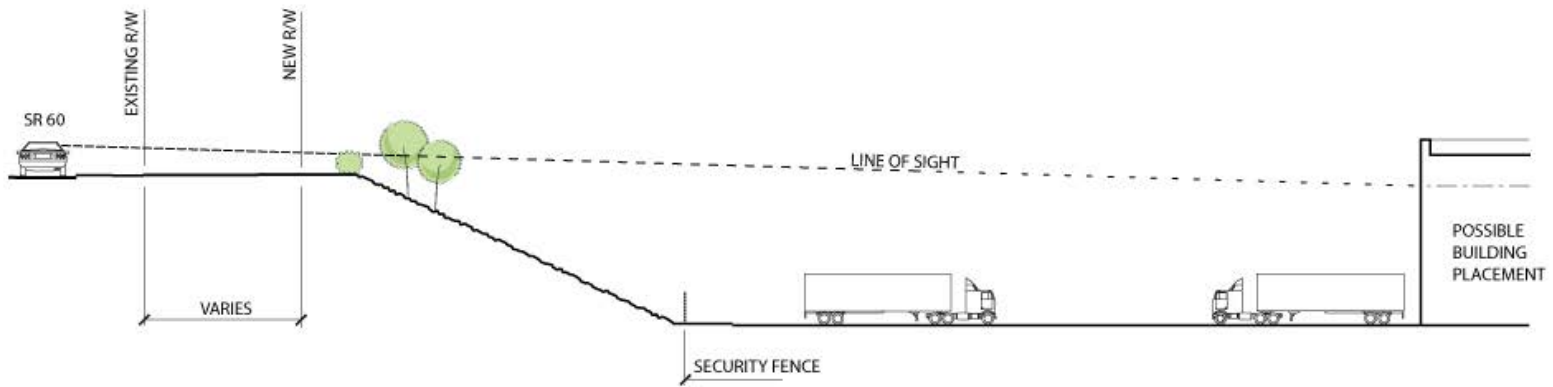
Exhibit 4-11, 4-12 Merwin Street Section E and Plan View E (pg.4-9)



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213
 Ordinance No. 900
 Date Adopted:

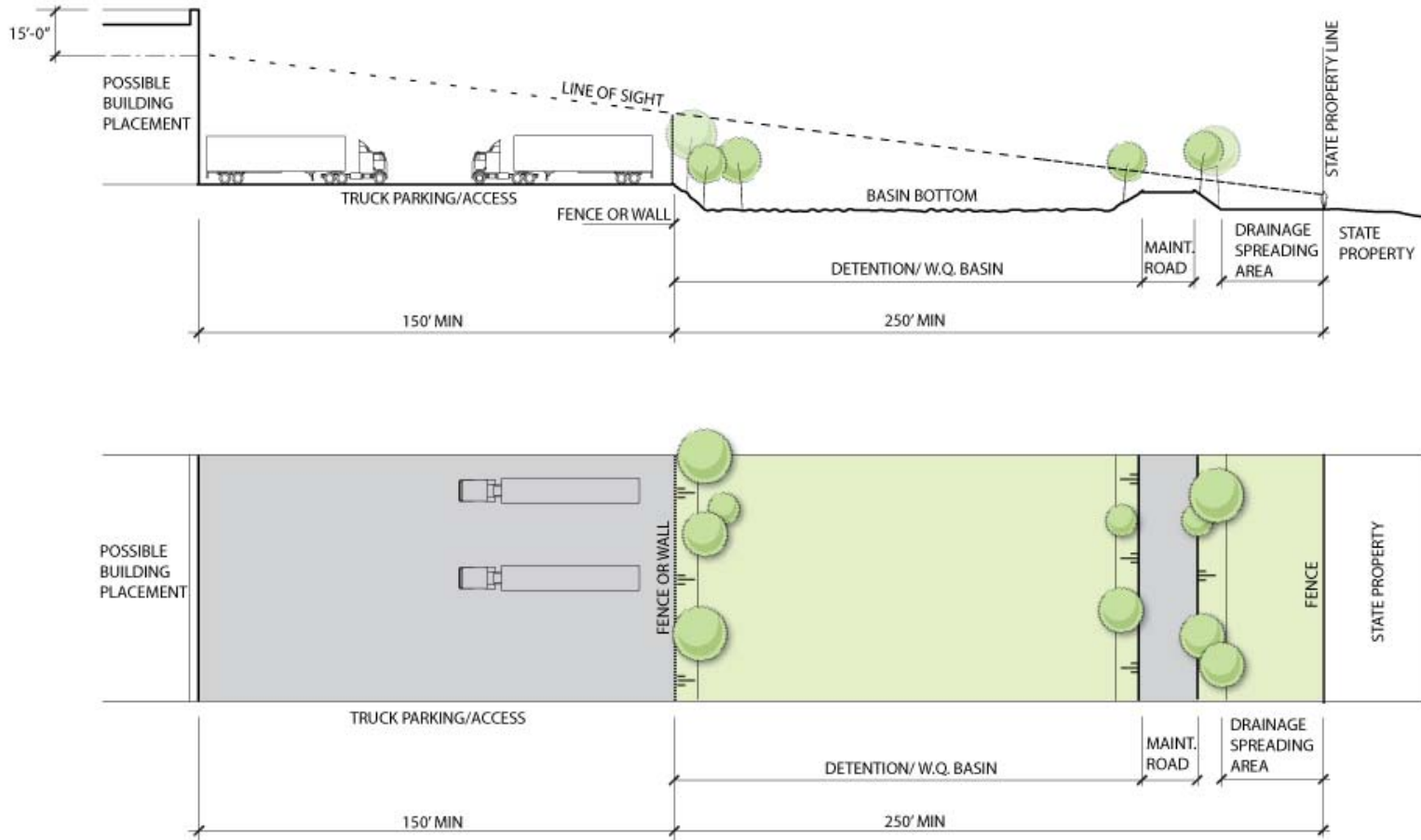
Exhibit 4-13 SR-60 between Theodore and Gilman Springs Rd. Section F (pg.4-9)



EXHIBITS

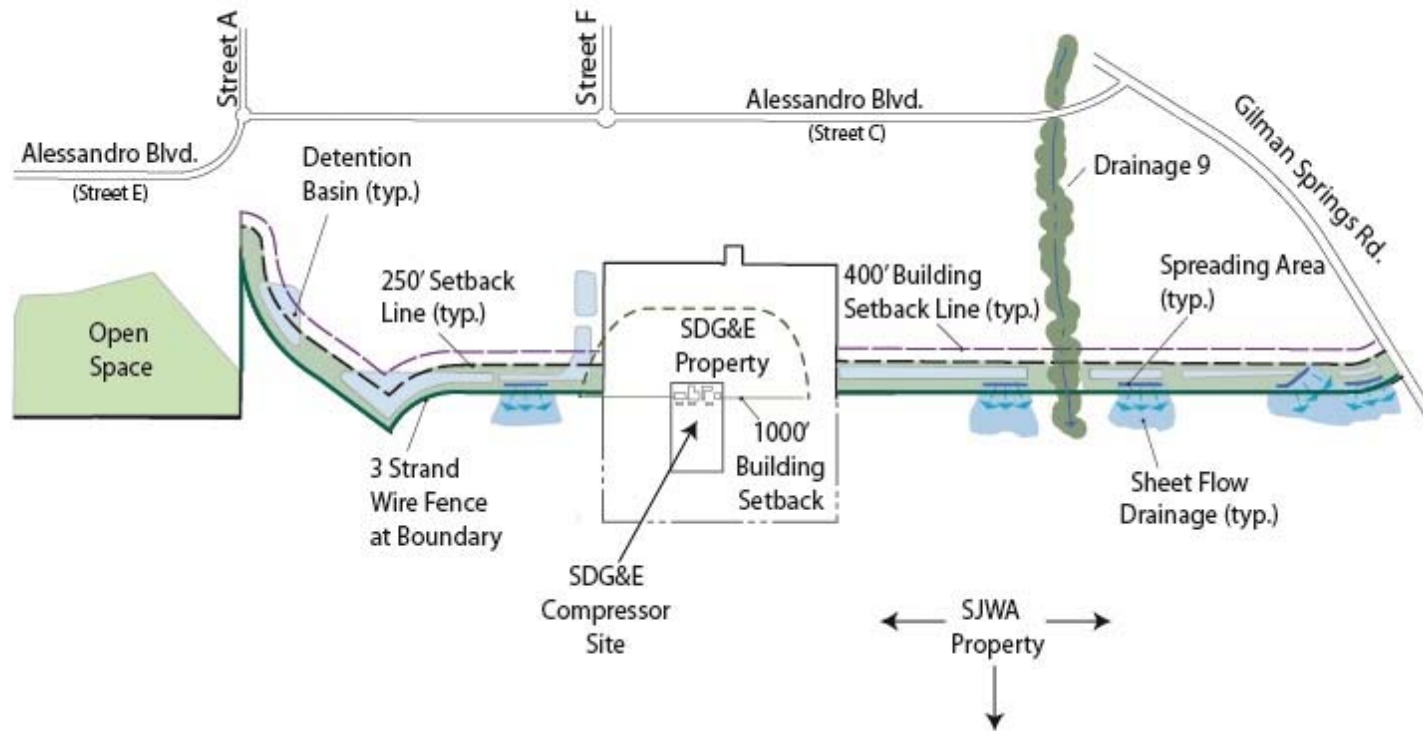
214
F-38
Ordinance No. 900
Date Adopted:

Exhibit 4-14, 4-15 SJWA Section G and Plan View G (pg.4-10)

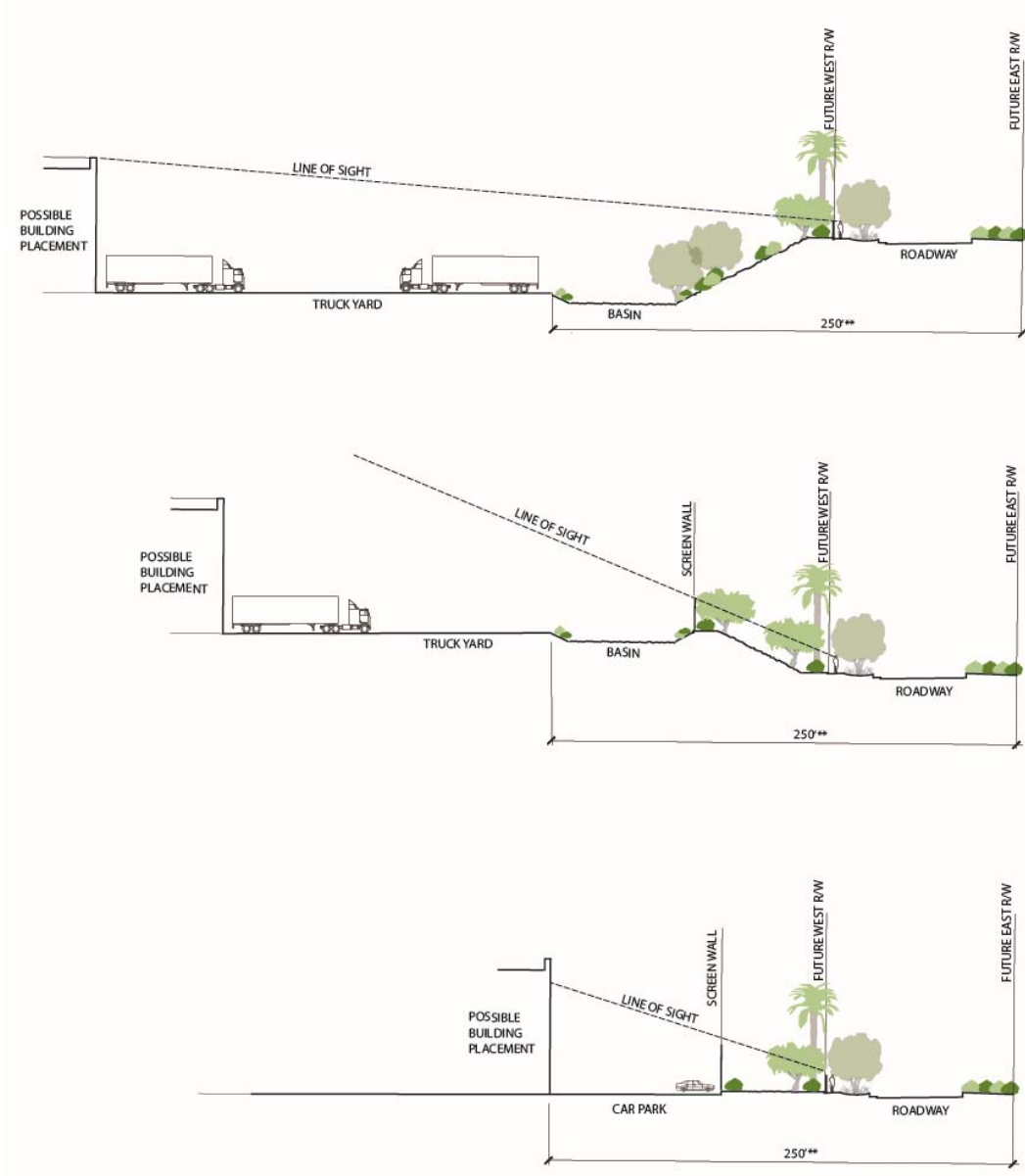


EXHIBITS

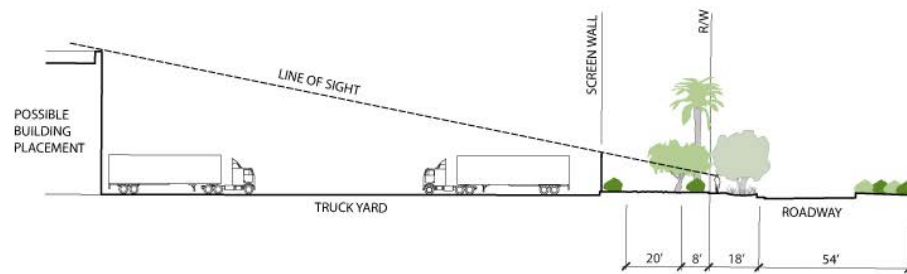
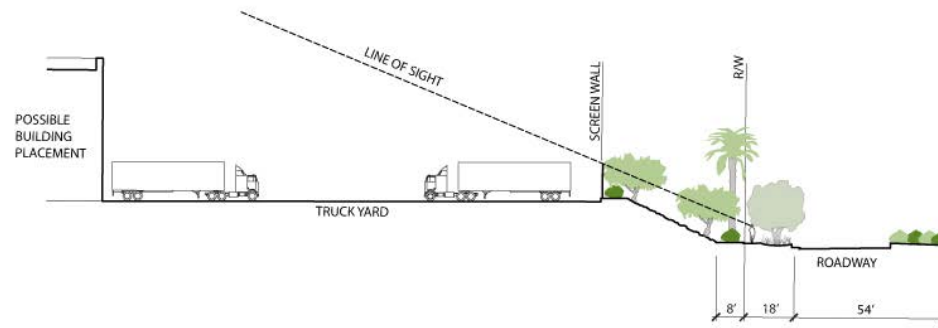
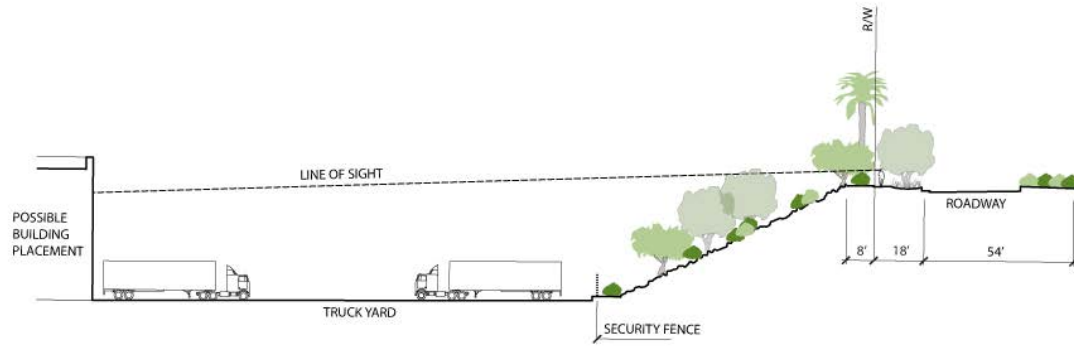
215
 F-36
 Ordinance No. 900
 Date Adopted:



EXHIBITS



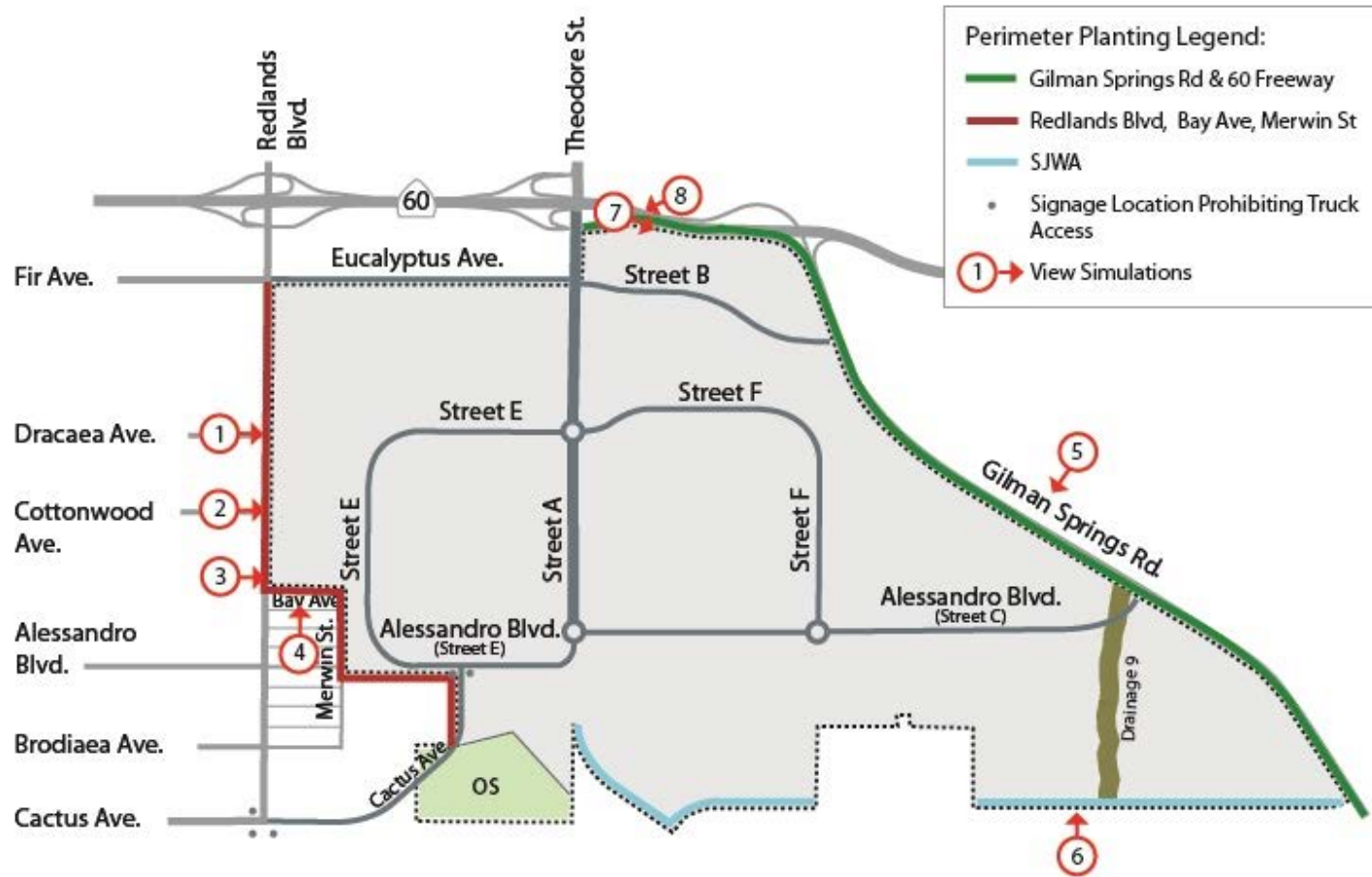
EXHIBITS



EXHIBITS

218
Ordinance No. 900
Date Adopted:

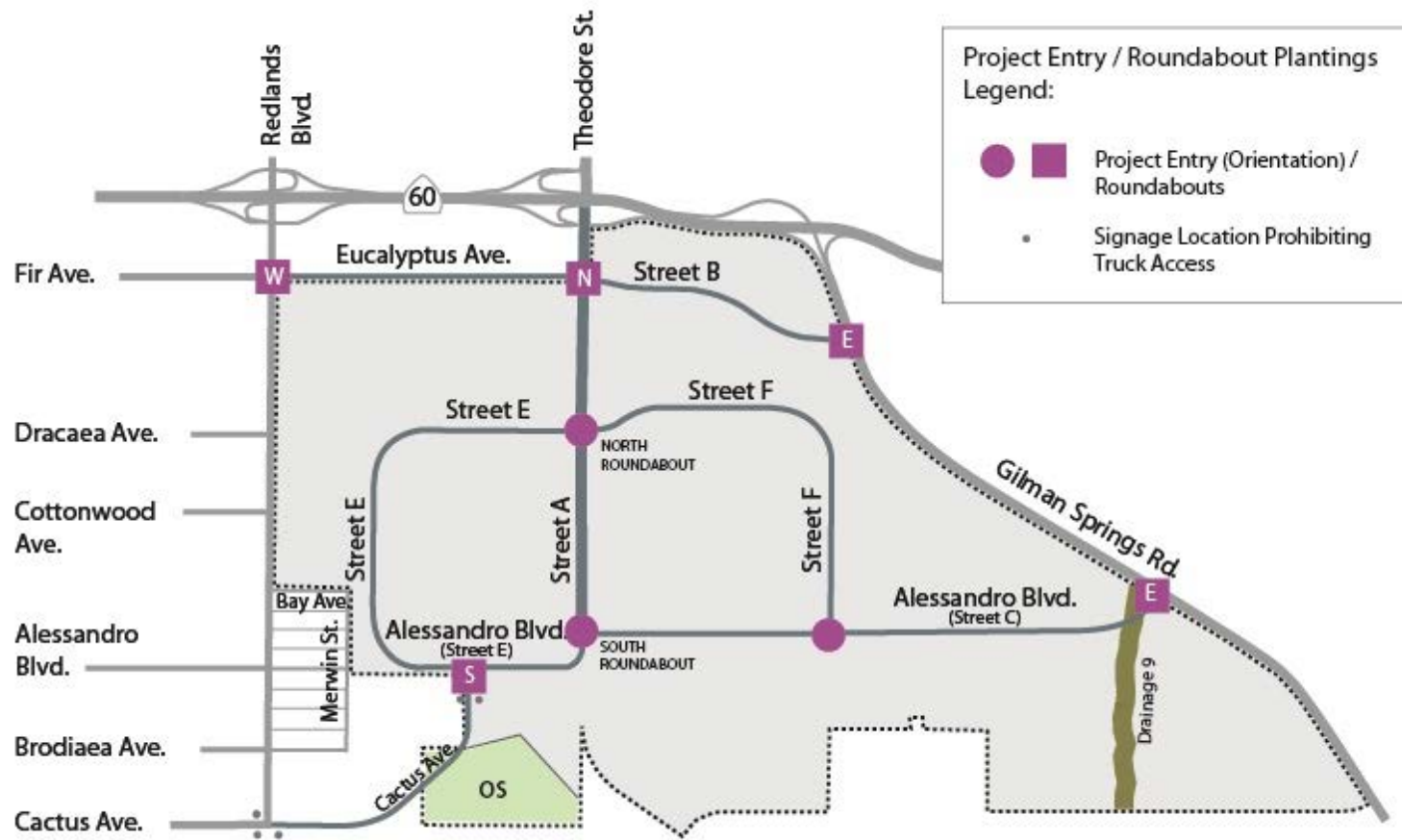
Exhibit 4-23 Perimeter Planting Map (pg.4-14)
 (See simulations on pages 4-15 to 4-29)



EXHIBITS

219
 Ordinance No. 900
 Date Adopted: F-43

Exhibit 4-24 Roundabout & Entry Map (pg.4-30)
 (See simulations on pages 4-31 to 4-36)



EXHIBITS

220
 Ordinance No. 900
 Date Adopted:

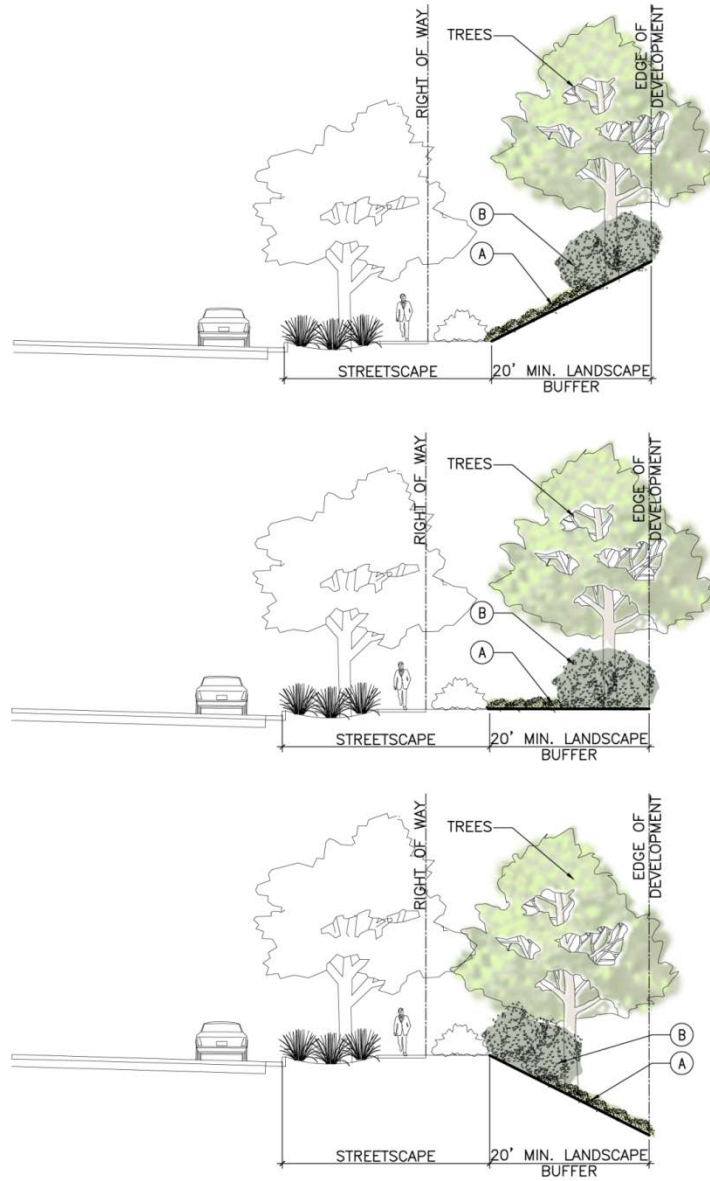
Exhibit 4-25 Streetscape Planting Map (pg.4-37)
 (See simulations on pages 4-38 to 4-42)



EXHIBITS

221
 Ordinance No. 900
 Date Adopted: F-45

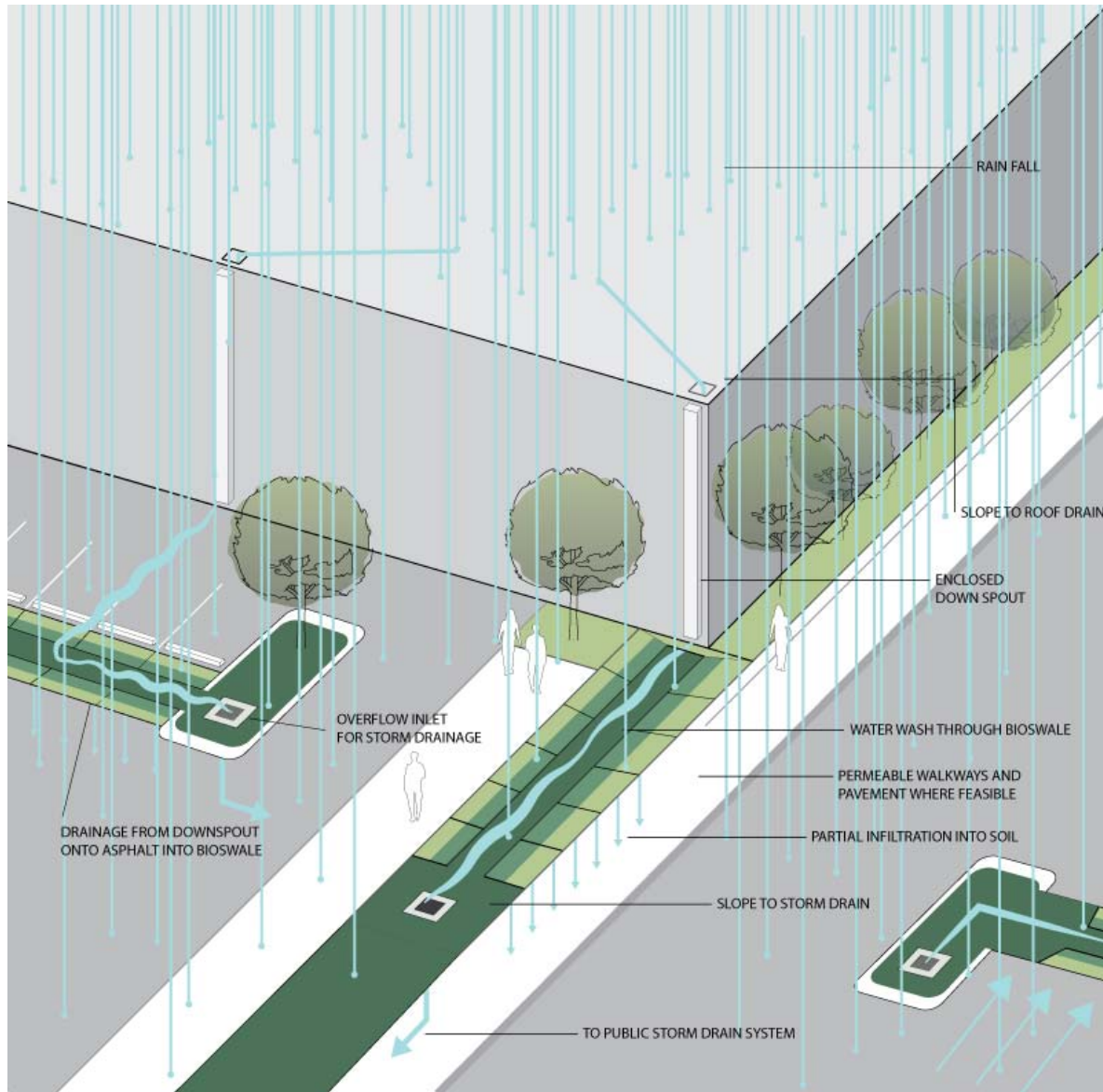
Exhibit 4-26 Slope Planting Guideline (pg.4-43)



EXHIBITS

222
 Ordinance No. 900
 Date Adopted:

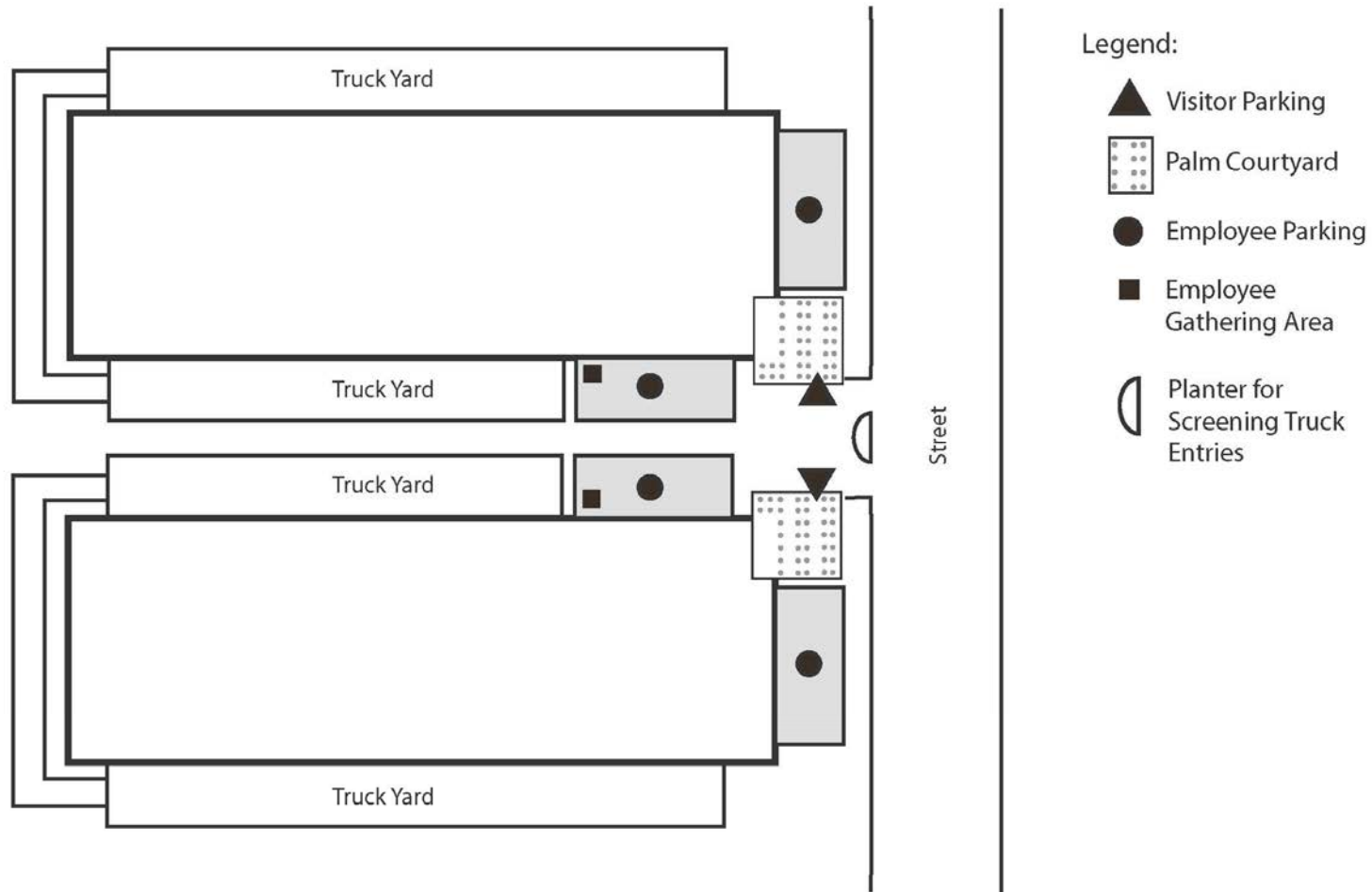
Exhibit 5-1 Water Quality Management Diagram (pg.5-4)



EXHIBITS

Ordinance No. 900
 Date Adopted: 2/23/2017

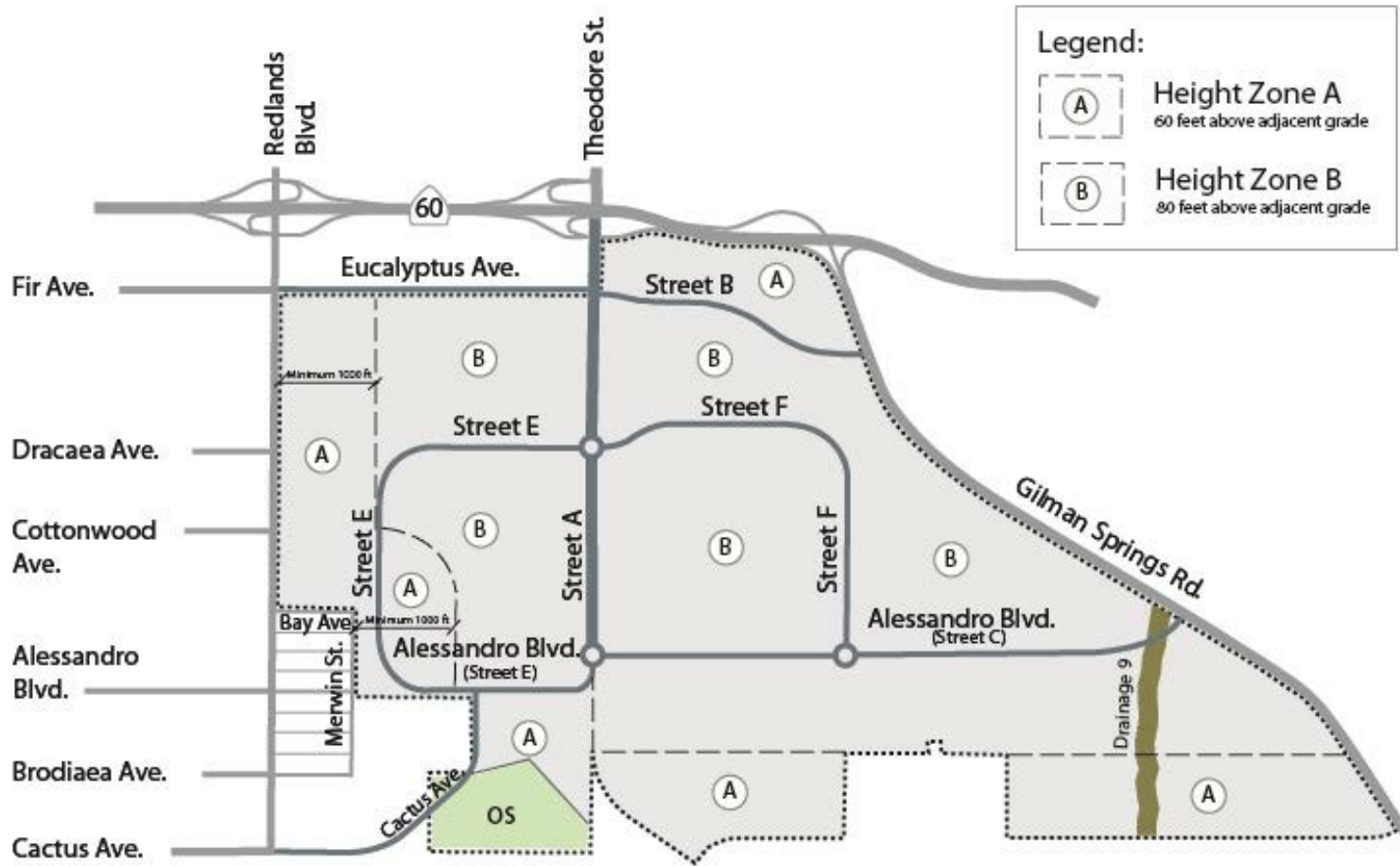
Exhibit 5-2 Visitor Parking Plan (pg.5-14)



EXHIBITS

224
 Ordinance No. 900
 Date Adopted: F-48

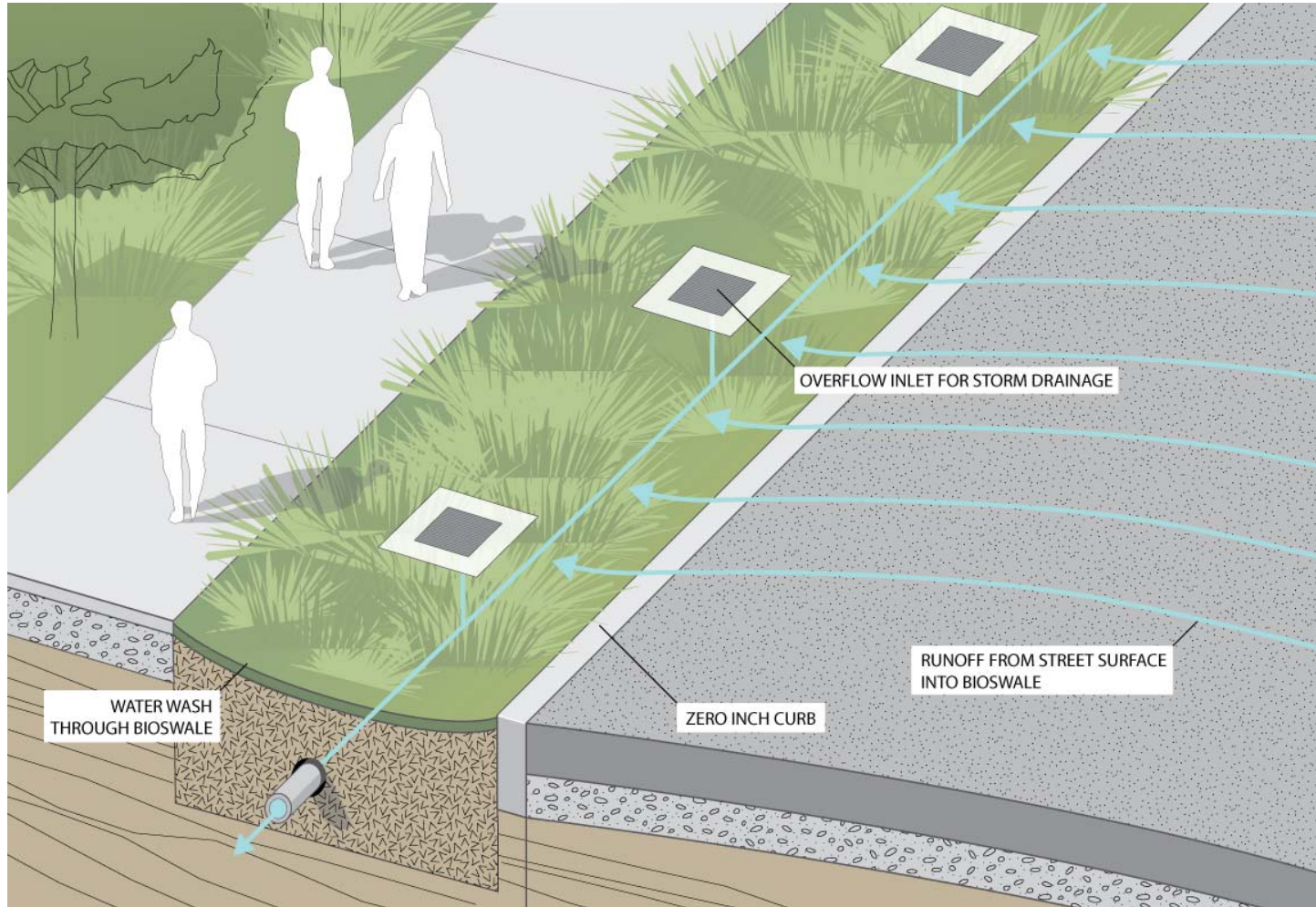
Exhibit 5-3 Building Height Plan (pg.5-21)



EXHIBITS

225
 Ordinance No. 900
 Date Adopted: F-46

Exhibit 6-1 Off-site Water Management Plan (pg.6-1)



EXHIBITS

226
E-50
Ordinance No. 900
Date Adopted:

Exhibit 8-1 Phasing Plan (pg.8-1)



EXHIBITS

Ordinance No. 900
Date Adopted: 2/27/2018



Report to City Council

TO: Mayor and City Council

FROM: Allen Brock, Community Development Director

AGENDA DATE: August 25, 2015

TITLE: ORDINANCE NO. 901. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0011 (DEVELOPMENT AGREEMENT) FOR THE WORLD LOGISTICS CENTER PROJECT WHICH REAL ESTATE HIGHLAND FAIRVIEW HAS LEGAL OR EQUITABLE INTEREST IN, ON APPROXIMATELY 2,263 ACRES, WITHIN THE WORLD LOGISTICS SPECIFIC PLAN AREA (2,610 ACRES), INTENDED TO BE DEVELOPED AS HIGH CUBE LOGISTICS WAREHOUSE AND RELATED ANCILLARY USES GENERALLY EAST OF REDLANDS BOULEVARD, SOUTH OF STATE ROUTE 60, WEST OF GILMAN SPRINGS ROAD AND NORTH OF THE SAN JACINTO WILDLIFE AREA (RECEIVED FIRST READING AND INTRODUCTION ON AUGUST 19, 2015 BY A 3-2 VOTE, JEMPSON AND PRICE OPPOSED)

RECOMMENDED ACTION

Recommendation: That the City Council:

1. Adopt Ordinance No. 901. An Ordinance of the City Council of the City of Moreno Valley, California, approving PA12-0011 (Development Agreement) for the World Logistic Center Project Which Real Estate Highland Fairview Has Legal or Equitable Interest in, on Approximately 2,263 Acres, Within the World Logistics Specific Plan Area (2,610 Acres), Intended to be Developed as High Cube Logistics Warehouse and Related Ancillary Uses Generally East of Redlands Boulevard, South of State Route 60, West of Gilman Springs Road and North of the San Jacinto Wildlife Area

CITY COUNCIL GOALS

None

ATTACHMENTS

- 1. 11_ExhibitAProposedOrdinance_DevelopmentAgreement

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	8/20/15 11:16 AM
City Attorney Approval	<u>✓ Approved</u>	8/20/15 11:17 AM
City Manager Approval	<u>✓ Approved</u>	8/20/15 11:17 AM

ORDINANCE NO. 901

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING PA12-0011 (DEVELOPMENT AGREEMENT) FOR THE WORLD LOGISTICS CENTER PROJECT WHICH REAL ESTATE HIGHLAND FAIRVIEW HAS LEGAL OR EQUITABLE INTEREST IN, ON APPROXIMATELY 2,263 ACRES, WITHIN THE WORLD LOGISTICS SPECIFIC PLAN AREA (2,610 ACRES), INTENDED TO BE DEVELOPED AS HIGH CUBE LOGISTICS WAREHOUSE AND RELATED ANCILLARY USES GENERALLY EAST OF REDLANDS BOULEVARD, SOUTH OF STATE ROUTE 60, WEST OF GILMAN SPRINGS ROAD AND NORTH OF THE SAN JACINTO WILDLIFE AREA

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1: RECITALS

1.1 Pursuant to the provisions of law, public hearings were held before the City of Moreno Valley Planning Commission on June 11, 25, and 30, 2015 and the City Council on July 15, 2015.

1.2 The matter was fully discussed and the public and other agencies presented testimony and documentation.

1.3 The development agreement is attached hereto and incorporated herein as Exhibit A.

SECTION 2: FINDINGS

2.1 Based upon substantial evidence presented to this City Council during the above-referenced meeting on July 15, 2015, including written and oral staff reports, and the record from the public hearing, this City Council hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The development agreement is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The Development Agreement is tied to the development project known as the World Logistic Center Specific Plan located in eastern Moreno Valley, and is covered by the proposed General Plan Amendment that will designate 2,610 acres for primarily logistics development and 1,104 acres for permanent open space and approximately 104 acres within the project area will be used for off-site improvements to serve the World Logistics Center project. Within the total project area, 2,610 acres are included in the proposed World Logistics Center Specific Plan which will contain

approximately 2,420 acres (including Logistics Development and Light Logistics zoned areas) for proposed logistics and or industrial warehouse land uses, 74.3 acres of the Open Space and 115.8 acres designated for roadway rights of way. Within the Specific Plan area, up to 40.4 million square feet of future high-cube logistics uses are proposed in the LD “Logistics Development” designation, as well as 200,000 square feet of warehouse and related uses to be included in the “Light Logistics” designation.

2. **Conformance with Zoning Regulations/Land Use Districts –** The development agreement is compatible with the uses authorized in, and the regulations prescribed for, the land use district in which the real property is located.

FACT: The Development Agreement is compatible with all applicable zoning regulations and conforms with modifications proposed for land use and zoning within the General Plan Amendments, Change of Zone and Specific Plan for the project known as the World Logistics Center Specific Plan. The proposed Specific Plan, General Plan Amendment and Change of Zone will change existing land uses in the project area to Logistics Development (LD), Light Logistics (LL), and Open Space (OS).

3. **Public Convenience, General Welfare and Good Land Use Practice –** The development agreement is in conformity with public convenience, general welfare and good land use practice.

FACT: The World Logistics Center project and this associated Development Agreement are in conformance with public convenience, general welfare and overall good land use practice. The Development Agreement includes negotiated public benefits more specifically summarized as Exhibit A-3 of the Development Agreement (Exhibit A).

4. **Health, Safety and Welfare –** The development agreement will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: An Environmental Impact report (EIR) has been prepared for the overall project and includes the Development Agreement. The EIR is a program document and subsequent project level environmental analysis will be performed, as required. A Statement of Overriding Considerations has been prepared and adopted by the City Council for the World Logistics Center project to address those impacts identified that cannot be reduced to less than significant levels. Said EIR has been certified. Said EIR includes a

Mitigation Monitoring Program, which will ensure the completion of required mitigation measures for the project.

Provisions have been included in the Development Agreement to ensure development of the requisite fire station, with equipment, in the project area. In addition, provisions have been included in the Development Agreement to provide air filtration equipment above and beyond the mitigation requirements of the project.

- 5. Orderly Development and Preservation of Property Values –**
The development agreement will not adversely affect the orderly development or the preservation of property values for the subject property or any other properties.

FACT: The Development Agreement for the project would not adversely affect development or preservation of property values for the subject project site. The proposed development and specific plan will allow future industrial development in phases and provide orderly development. The proposed land use of Business Park is consistent with a large portion of land included in the current Moreno Highlands Specific Plan, which provided for 361 acres of Business Park land use. The project, consistent with the City's current Economic Development Action Plan will assist with the jobs housing balance in the region, reduce residential zoned property and have the potential to provide for future jobs. Provisions in the Development Agreement have been included to ensure enhanced public benefits in promoting local hiring, training, and workforce development.

The WLC Specific Plan includes design standards such as a circulation system that limits truck traffic access in the Plan area to primarily Theodore Street (from Highway 60) and Gilman Springs Road and away from existing residential neighborhoods to the west of the project site. Additional passenger car access would be allowed from Cactus Avenue with trucks prohibited from that route. All motor vehicle access along Alessandro Boulevard from the west would be prohibited, with allowance for pedestrian and bicycle access only. The Specific Plan also provides special edge treatment areas surrounding the perimeter of the proposed World Logistics Center Specific Plan boundary that provides a 250 foot setbacks or greater between the Specific Plan development area and adjacent areas along Gilman Springs Road, Redlands Boulevard, and the San Jacinto Wildlife Area

SECTION 3: ADOPTION

Based on the foregoing recitals and findings, the City Council of the City of Moreno Valley does hereby adopt and approve the Development Agreement attached hereto as Exhibit A, and does hereby authorize the Mayor to sign the development agreement on behalf of the City.

SECTION 4: EFFECT OF ENACTMENT:

Except as specifically provided herein, nothing contained in this ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 5: NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this ordinance and cause it to be posted in three public places within the city.

SECTION 6: EFFECTIVE DATE:

This ordinance shall take effect thirty days after the date of its adoption.

APPROVED and ADDOPTED this _____ day of _____, 2015.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Jane Halstead, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. 901 had its first reading on _____, ____ 2015 and had its second reading on _____, _____, and was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the _____ day of _____, _____ by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Recording Requested by And
When Recorded Return to:

City of Moreno Valley
14177 Frederick Street
Moreno Valley, CA 92552
Attn: City Clerk

[Exempt From Recording Fee Per Gov. Code § 27383]

DEVELOPMENT AGREEMENT

(World Logistics Center)

This DEVELOPMENT AGREEMENT (“Agreement”) is entered into as of this ____ day of _____, 2015, by and between the CITY OF MORENO VALLEY, a California general law municipal corporation (“City”), and HF PROPERTIES, a California general partnership, SUNNYMEAD PROPERTIES, a Delaware general partnership, THEODORE PROPERTIES PARTNERS, a Delaware general partnership, 13451 THEODORE, LLC, a California limited liability company, and HL PROPERTY PARTNERS, a Delaware general partnership (collectively “HF”). The City and HF hereafter are referred to collectively as the “Parties” and individually as a “Party.”

RECITALS

A. Consistent with the City’s economic development and general plan, the City and HF have agreed to enter into this Agreement because the World Logistics Center will be a master planned business park specifically designed to support large global companies and their business and logistics operations which will be a significant revenue generating, job creating and training/education project as further detailed in Exhibit A-3.

B. The City is authorized to enter into development agreements with persons having legal or equitable interests in real property for the development of such property pursuant to California State general laws: Article 2.5 of Chapter 4 of Division I of Title 7 of the California Government Code commencing with section 65864 (the “Development Agreement Law”), and Article XI, Section 7, of the California Constitution, together with City ordinances.

C. The City has enacted an ordinance, codified and set forth in the Moreno Valley Municipal Code as Title 9, Section 9.02.110 (the “Development Agreement Ordinance”) that establishes the procedures and requirements for its consideration of such development agreements upon application by, or on behalf of, persons having legal or equitable interests in real property pursuant to the Development Agreement Law.

D. HF represents and hereby warrants that it has a legal and equitable interests in approximately two thousand, two hundred sixty three (2263) acres of real property located in the region commonly referenced as the Rancho Belago area of the City, as described in the legal

description set forth in Exhibit “A-1” and as illustrated in the depiction set forth in Exhibit “A-2” (the “Subject Property”). The City has been provided proof of the records HF relies upon for the representation and warranty by HF. City is relying upon this evidence and considers it to be an element of HF’s consideration for this Agreement.

E. In clarification of the foregoing the Subject Property includes approximately 85 acres, as described on Exhibit “A-1” and depicted in Exhibit “A-2” that is currently located in an unincorporated area of Riverside County but is proposed by HF to be annexed to the City within five years, subject to the process and approval of the Riverside County Local Area Formation Commission (the “Annexation”).

F. The World Logistics Center Specific Plan (“WLCSP”) allows the development of approximately forty million, six hundred thousand (40,600,000) square feet of industrial, logistics, warehouse and support use on the land subject to the WLCSP. The Development, as hereinafter defined, includes both HF improvements to the subject property and City entitlements, including but not limited to, a General Plan Amendment, adoption of the WLCSP, a Zone Change, Tentative Parcel Map 36457 and annexation of an 85-acre parcel along Gilman Springs Road. The Development, including the Project, as defined herein, will also include subdivision maps and other approvals needed to construct the facilities proposed for the Subject Property. The permitted uses of the Subject Property, including a plan of development, the density and intensity of use, the maximum height and size of proposed buildings are set forth in the WLCSP, as it may be amended from time to time, and are hereby incorporated by reference. The City’s certification of the Environmental Impact Report, approval of the General Plan Amendment, adoption of the WLCSP, adoption of the Zone Change, approval of the Tentative Parcel map are conditions precedent to this Agreement.

G. The development of the Subject Property will generate a variety of public benefits to the City, its residents, property owners, taxpayers and surrounding communities. The Project is believed to substantially advance the goals of the City’s adopted Economic Development Action Plan, expand and improve the City’s property and sales tax base, invest significant private capital into the local economy, generate extensive construction employment and new permanent employment opportunities for Moreno Valley and the region, and help to reduce the severe jobs to housing imbalance that currently exists in the City. Among the public benefits, the development of this Project pursuant to the WLCSP will implement goals, objectives and policies of the City’s General Plan, and the WLCSP, which will provide logistics development, public utility and open space uses for the Subject Property and for the City. In exchange for the duties and obligations imposed by this Agreement, HF will receive the vested right to develop the Subject Property for the Term in accordance with the terms of this Agreement.

H. The City has previously adopted the Economic Development Action Plan (“EDAP”). The WLCSP responds to a portion of the EDAP. The eastern portion of Moreno Valley is deficient in the infrastructure necessary to support and implement the City’s EDAP. To allow for the development of the World Logistics Center and the WLCSP, HF is willing to provide and assist the City in the development of infrastructure in support of the City’s economic plan which may be in excess of HF’s fair share and therefore may provide broader benefits. The City and HF desire to ensure that all beneficiaries of the Infrastructure Improvements will pay their fair share per the Municipal Code. Therefore this Agreement includes reference to the

City's usual method for reimbursement to an owner for the amount of the costs of such Infrastructure Improvements which exceeds the fair share of those costs and accrues to the benefit of other owners.

I. On _____, 2015, the Planning Commission of the City, at a duly noticed public hearing, recommended, in Resolution _____, that the City Council certify the Environmental Impact Report (SCH # 2012021045) (the "EIR"). The Planning Commission also recommended that the City Council approve General Plan Amendment _____, the WLCSP, the Annexation, Zone Change No. _____ and Tentative Parcel Map 36457.

J. On _____, 2015, the City Council of the City, at a duly noticed public hearing held pursuant to all legal preconditions, adopted Resolution No. _____ certifying the EIR for the Project and the related Mitigation Monitoring and Reporting Program and also (i) adopted Resolution _____ approving General Plan Amendment No. _____, (ii) adopted Resolution _____ approving Tentative Parcel Map 36457, (iii) adopted Resolution _____ approving the Annexation, (iv) introduced for first reading Ordinance No. _____ approving the WLCSP, and (v) introduced, for first reading Ordinance No. _____ approving Zone Change No. _____. The WLCSP and Zone Change No. _____ were subsequently adopted on _____, 2015 and effective on _____.

K. The Planning Commission of the City, at a duly noticed public hearing held pursuant to the Development Agreement Law and the Development Agreement Ordinance, recommended that the City Council find and determine, among other things, that this Agreement is consistent with the goals, objectives, policies, general land uses and programs specified in the City General Plan, as amended by the Project Approvals; is compatible with the uses authorized in and the land use regulations prescribed by the City in its Zoning Code; and will promote and encourage the development of the Subject Property by providing a greater degree of certainty with respect thereto, while also providing specified public benefits to the City.

L. On _____, 2015, after a duly noticed public hearing held pursuant to the Development Agreement Law and the Development Agreement Ordinance, the City Council of the City approved the introduction of Ordinance No. _____ (the "Enacting Ordinance") that would approve and adopt this Agreement and authorize its execution on behalf of the City. On _____, 2015, the City Council of the City adopted the Enacting Ordinance.

M. The Parties intend that HF will proceed with the Development upon the Subject Property pursuant to this Agreement within the Term.

AGREEMENT

NOW, THEREFORE, in consideration of the above recitals which are incorporated herein and intended to assist with the interpretation of this Agreement, and of the mutual covenants hereinafter contained and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and HF agree as follows:

ARTICLE 1 DEFINITIONS.

The following terms when used in this Agreement shall, unless defined elsewhere in this Agreement, have the meanings set forth below:

1.1 “Agreement” shall mean this Development Agreement by and between the City and HF and any subsequent amendments.

1.2 “City” shall mean the City of Moreno Valley, a municipal corporation, organized and existing under the general laws of the State of California.

1.3 “City Council” shall mean the governing body of the City.

1.4 “Development” shall mean the improvement of the Subject Property for the purposes of completing the structures, improvements and facilities composing the Project, including but not limited to: grading; the construction of infrastructure related to the Project whether located within or outside the Subject Property; the construction of buildings and structures; construction of post-development storm drain related improvements and the installation of landscaping and public facilities and improvements. “Development” also includes the maintenance, repair, reconstruction, modification, or redevelopment of any building, structure, improvement, landscaping, or facility after the construction and completion thereof on the Subject Property. The Development shall at all times conform to the Agreement.

1.5 “Development Impact Fee,” “Development Impact Fees” or “DIF” means for purposes of this Agreement only those fees imposed pursuant to Moreno Valley Municipal Code Sections 3.42.070 (police facilities), 3.42.080 (City hall facilities), 3.42.090 (corporate yard facilities) and 3.42.100 (maintenance equipment). The term “Development Impact Fees” (or “DIF”) does not include those fees imposed by Moreno Valley Municipal Code Sections 3.42.030 (arterial streets), 3.42.040 (traffic signals), 3.42.050 (interchange improvements) and 3.42.060 (fire facilities).

1.6 “Development Plan” shall mean the plan for Development of the Subject Property pursuant to the Existing Regulations and including the Infrastructure Improvements.

1.7 “Development Requirement(s)” shall mean any fees or requirement(s) of the City imposed in connection with or pursuant to the Project Approvals such as the construction or improvement of public facilities or the payment of fees or assessments in order to lessen, offset, mitigate or compensate for the impacts of the Development.

1.8 “Effective Date” shall mean the date that is ninety (90) days after the date the City Council adopts the Enacting Ordinance unless litigation is commenced in which case the Effective Date shall mean the date on which the litigation is finally terminated, whether by dismissal which leaves all of the Project Approvals in place or by the entry of a final judgment, free from further appellate review, which upholds the Project Approvals. Notwithstanding the forgoing, Article 7 shall be immediately effective thirty one (31) days after the date the City Council adopts the enacting ordinance.

1.9 “Enacting Ordinance” shall mean the City Council adopted ordinance described in Recital K of this Agreement.

1.10 “Existing Regulations” shall mean the Project Approvals, Development Requirements, and all ordinances, resolutions, codes, rules, regulations and official policies of City, adopted and effective on the date of the adoption of the Enacting Ordinance governing Development and use of the Subject Property, including but not limited to the permitted use of land, the density or intensity of use, the maximum height and size of proposed building, and the architectural design, improvement and construction standards and specifications applicable to the Development of the Subject Property. The City shall compile two sets of the Existing Regulations. Once that compilation has been completed by the City, one set will be stored with the Agreement by the City Clerk for future use and certainty of requirements and the other set will be given to HF.

1.11 “HF” shall mean HF PROPERTIES, SUNNYMEAD PROPERTIES, THEODORE PROPERTIES PARTNERS, 13451 THEODORE, LLC and HL PROPERTY PARTNERS, and/or its successors or assigns to all or any portion of the Subject Property

1.12 “Infrastructure Improvements” shall mean all public infrastructure improvements on and off the Subject Property.

1.13 “Judgment(s)” shall mean one or more final or interim judgment(s) of a court of competent jurisdiction affecting the rights of the Parties hereunder.

1.14 “Moreno Valley Municipal Code” shall mean the City’s Municipal Code in effect on the date of the adoption of the Enacting Ordinance.

1.15 “Mortgagee” shall mean a mortgagee of a mortgage, a beneficiary under a deed of trust or any other security device, a lender, or each of their respective successors and assigns.

1.16 “Parcel” shall mean any lot created by a recorded subdivision or parcel map.

1.17 “Project” shall mean the Development and operation of the Subject Property pursuant to and consistent with the Development Plan and the provisions of this Agreement.

1.18 “Project Approvals” shall mean, collectively, General Plan Amendment No. _____, the WLCSP, Zone Change No. _____, the Annexation and Tentative Parcel Map 36457.

1.19 “Subject Property” shall mean that certain real property consisting of the property more particularly described in Exhibit “A-1” attached hereto and depicted on Exhibit “A-2” attached hereto, any real property subject to the WLCSP acquired by HF after the date on which the Enacting Ordinance is adopted and all real property intended to be included by the Annexation. Until the Annexation is finally accomplished by HF at its sole cost and expense, nothing in this Agreement shall apply to the property to be annexed.

1.20 “Subsequent Development Approvals” shall mean any and all ministerial and/or discretionary permits, licenses, consents, rights and privileges, and other ministerial and/or discretionary actions approved or issued by City in connection with Development of the Subject

Property after the date of the adoption of the Enacting Ordinance, including all associated environmental documentation and mitigation measures pursuant to the California Environmental Quality Act.

1.21 “Subsequent Regulations” shall mean any ordinances, resolutions, codes, rules, regulations and official policies of the City adopted and effective after the date of the adoption of the Enacting Ordinance.

1.22 “Term” shall mean the period of time during which this Agreement shall be in effect, enforceable and bind the Parties, as set forth below in Section 3.5 of this Agreement.

ARTICLE 2 EXHIBITS.

The following documents are attached to, and by this reference made a part of, this Agreement:

Exhibit “A-1”	Legal Description of the Subject Property
Exhibit “A-2”	Depiction of the Subject Property
Exhibit “A-3”	Public Benefits

ARTICLE 3 GENERAL PROVISIONS.

3.1 **Binding Effect of Agreement.** From and following the Effective Date of this Agreement and throughout the Term, Development of the Subject Property and the City’s actions on applications for Subsequent Development Approvals affecting the Subject Property and the Development of the Subject Property shall be governed by the terms and conditions of this Agreement, all Project Approvals and all Subsequent Development Approvals. Any matter not addressed in the foregoing documents shall be regulated pursuant to then applied routine City practices and ordinances.

3.2 **Ownership of Subject Property.** HF represents and warrants that it is the holder of legal and equitable interests to all of the property described and shown in Exhibits “A-1” and “A-2” and thus is qualified to enter into and to be a party to this Agreement in accordance with Government Code section 65865(b), as set forth in documentation HF provided to City and upon which City relies as part of the consideration for this Agreement.

3.3 **Addition of Parcels to This Agreement.** The terms of this Agreement shall apply to the 85 acre Parcel described in Recital E upon its annexation into the City which process is intended to be completed within five years by HF at HF’s sole cost and to any real property subject to the WLCSP acquired by HF after the date on which the Enacting Ordinance is adopted.

3.4 **Assignment Rights.** From time to time HF may sell or otherwise transfer title to buildings or property in the WLC. HF shall have the right subject to City’s prior written approval to sell, transfer, or assign the Subject Property, in whole or in part (provided that no such parcel transfer shall violate the Subdivision Map Act, Government Code Section 66410, et seq.) to any

person, partnership, joint venture, firm or corporation at any time during the Term of this Agreement; provided, however, that any such sale, transfer or assignment (collectively, "Assignment") shall include the assignment and assumption of the rights, duties and obligations arising under or from this Agreement be made in strict compliance with the following conditions:

(a) No assignment of any right or interest under this Agreement shall be made unless made together with the assignment of all or the concomitant part of the Subject Property.

(b) Prior to any such Assignment, HF shall provide City with an executed agreement, in a form reasonably acceptable to City, by the purchaser, transferee or assignee (collectively, "Assignee") and providing therein that the Assignee expressly and unconditionally assumes all the duties and obligations of HF under this Agreement with respect to the portion of the Subject Property being transferred. City shall have the sole power to allocate, prorate, or otherwise apportion any term, provision, fee, contribution, or similar duty or obligation of HF, so that City, HF, and assignee have a specific agreement as to the duties and obligations, of all Parties after the Transfer.

(c) Any Assignment of this Agreement will require the prior written consent of the City, which will not be unreasonably withheld or delayed. The City's approval will be based upon the City's reasonable determination, in accordance with the standard set forth in Section 3.4.1(d) as to whether or not such Assignee has the requisite ability to complete the portion of the Subject Property being transferred. Within thirty (30) days following receipt by the City of written notice regarding Assignment (such notice must include development experience information regarding the Assignee sufficient to allow the City to make the above determination) the City will notify HF regarding its approval or disapproval of such Assignment. Failure of the City to respond in writing within thirty (30) days of receipt of the notice of the Assignment shall constitute approval of the assignment.

Any Assignment not made in compliance with the foregoing conditions shall result in HF continuing to be responsible for all obligations under this Agreement. Notwithstanding the failure of any Assignee to receive City approval and/or execute the Agreement required by subparagraph (c) above, the burdens of this Agreement shall be binding upon such Assignee, but the benefits of this Agreement including but not limited to DIF, shall not inure to such Assignee until and unless such Assignment is approved by the City and executed.

3.4.1 Release of HF. Notwithstanding any Assignment, HF shall continue to be obligated under this Agreement unless HF is given a release in writing by City, which release shall be provided by City upon the full satisfaction by HF of the following conditions:

(d) HF no longer has a legal or equitable interest in the portion of the Subject Property being transferred other than a lien on the portion of the Subject Property being transferred to secure the payment of the purchase price to HF. HF shall provide the City written notice to the City of the party to which the lien is to be transferred, upon transfer of the lien, pursuant to this Article 3.

(e) HF is not then in default under this Agreement in City's sole reasonable determination, subject to procedure set forth in Section 5.2 of this Agreement.

(f) HF has provided City with the notice and executed agreement and other information required under subparagraphs (b) and (c) of Subsection 3.4 above.

(g) The City has reviewed and approved the Assignee and the Assignment, such approval to include a determination by the City that the Assignee has the requisite ability to complete the portion of the Subject Property being transferred.

(h) The Assignee provides City with security equivalent to any security previously provided by HF to secure performance of its obligations hereunder with respect to the portion of the Subject Property being transferred. The City shall cooperate with HF to effectuate the substitution of security provided by HF to that to be provided by the Assignee with respect to the portion of the Subject Property being transferred.

(i) HF has paid City all monies then due and owing to City under this Agreement.

3.4.2. Subsequent Assignment. Any subsequent Assignment after an initial Assignment shall be made only in accordance with and subject to the terms and conditions of this Article. All subsequent Assignors must deliver written acknowledgement of this Agreement, and the Assignees duties under the Agreement or the City may, in its sole discretion, terminate this Agreement as to that owner's parcel(s).

3.4.3. Termination of Agreement With Respect to Individual Parcels upon Sale and Completion of Construction. Notwithstanding any other provisions of this Agreement, this Agreement shall terminate with respect to any Parcel and such Parcel shall be released and no longer be subject to this Agreement without the execution or recordation of any further document upon satisfaction of the following conditions:

(a) The Parcel has been finally subdivided and sold or leased for a period longer than one year to a member of the public or other ultimate user; and,

(b) A Certificate of Occupancy has been issued for each structure on the Parcel shown on the plot plan required by Section 11.3.2 of the WLCSP, and the fees set forth under this Agreement have been paid.

(c) The Parcel has no duty to contribute monies or render performance under this Agreement.

3.5 Term. Unless earlier terminated as provided in this Agreement, this Agreement shall continue in full force and effect until the earlier of (i) the date of completion of the last portion of the Development, or (ii) the date that is fifteen (15) years from and after the Effective Date of this Agreement unless Certificates of Occupancy have been granted by the City for buildings on the Subject Property consistent with the Development Plan for not less than twelve-million (12,000,000) square feet (gross floor area as defined by Moreno Valley Municipal Code 9.15.030) in which event the Term shall be extended for an additional ten (10) years, subject to

extension pursuant to Section 11.9 below (the “Term”). Alternatively, if HF is, for any reason, unable to obtain Certificates of Occupancy for not less than eight (8) million square feet, and up to twelve million (12,000,000) square feet within the original fifteen (15) year Term, it shall be entitled to have this Agreement extended for an additional ten (10) years, subject to extension pursuant to Section 11.9 below, upon the payment to the City of one million dollars (\$1,000,000) prior to the expiration of the original fifteen (15) year term.

3.6 City Cooperation.

(a) In anticipation of the effort necessary to facilitate the timely processing and permitting of project improvements, HF may request the City to designate a mutually agreeable individual (the “City’s WLC Coordinator”) who shall have the authority to facilitate and coordinate development services within the City and with HF for all actions to be taken by the City which are needed for the development of the Project, including, but not limited to, discretionary approvals, entitlements, site plans, grading, building and occupancy permit applications and inspections through the City’s review and approval processes, all at the full cost of HF, which HF shall pay in advance and replenish upon City’s request, from time to time. If any payments are not received by City when requested, the WLC coordinator shall cease acting until the funds are received and normal City protocols shall govern. All applications submitted to the City shall be evaluated for completeness within twelve (12) working days of receipt by the City. If not complete, the City shall immediately ensure that HF is notified of what additional information is required.

(b) Upon receipt of an application deemed complete pursuant to subsection 3.6(a) above for a site, grading, building, occupancy, or similar permit, the City shall process, review and approve or disapprove the application within ten (10) working days for the first submittal and within ten (10) working days of any subsequent submittals.

(c) It shall be the City’s WLC Coordinator’s responsibility to ensure that all of the time limits set forth above are met.

(d) The Project shall, pursuant to ordinary procedures, participate in the City’s “Time and Materials Fee Program” which is designed to ensure that the City is reimbursed by HF for its actual costs of providing discretionary approvals, entitlements, planning, grading, and building permits and inspections and fire prevention services. For convenience this shall include the payments due under sub sections 3.6(a) and 3.6(e).

(e) The City shall, pursuant to City’s standard contracting procedures, maintain on-call contracts with at least three qualified entities or persons, mutually acceptable to both the City and HF, who can be called upon to immediately provide the services set forth above when the City’s WLC Coordinator determines that the City, utilizing typical city staff resources, is unlikely to be able to meet the time limits set forth above. HF shall be solely responsible for the cost of using the qualified private entities or persons. HF shall deposit with City a sum City then determines necessary for such consultants, immediately upon written request from City. HF shall replenish such funds, from time to time, upon written request from City. If any funds are not received per City’s request, the consultants shall, without liability, cease work until such money is received.

(f) The City's WLC Coordinator shall cooperate with HF in obtaining any permits or approvals needed from any other agency at full cost to HF.

(g) The City, at HF's request, shall meet with HF to consider in good faith, economic incentives sought by HF similar to those approved for logistics projects in other areas of the City after the Effective Date.

3.7 Time of the Essence. The Parties expressly acknowledge and agree that time is of the essence in the performance of the provisions of this Agreement.

3.8 Mutual Waiver of Estoppel Defenses by Parties. Notwithstanding any legal authorities to the contrary concerning the doctrines of waiver and estoppel as applied to public entities and the actions or inactions of public agencies or public agency officers and officials, the Parties acknowledge and agree that each party and its successors and assigns to all or any interest in the Subject Property are relying upon the contents of this Agreement and the Parties' execution of this Agreement and the recordation hereof, and that in consideration of such material reliance, each party shall now be estopped from denying the underlying validity of this Agreement and each party knowingly and expressly waives any such claim or defense.

ARTICLE 4 DEVELOPMENT OF THE PROPERTY.

4.1 Vested Right to Develop. During the Term, HF or its Assignee, shall have a vested right to develop the Subject Property in accordance with the Existing Regulations, and as subject to the provisions of this Agreement.

4.2 Effect of Agreement on Land Use Regulations. Except as otherwise provided under the terms of this Agreement, the rules, regulations and official policies governing permitted uses of the Subject Property, the density and intensity of use of the Subject Property, the maximum height and size of proposed buildings, and the design, improvement, and construction standards and specifications applicable to Development of the Subject Property, shall be only the Existing Regulations and those contained in the Development Plan.

4.3 Subsequent Development Approvals. When required by the Moreno Valley Municipal Code, the City shall accept for processing, review and take action upon all properly filed applications for Subsequent Development Approvals. The City further agrees that, unless otherwise requested by HF, the City shall not amend or rescind any Subsequent Development Approvals after such approvals have been granted by the City except as otherwise provided for in Title 9 of the City Municipal Code, or as directed by court order, or as related to approvals not granted by the City. Any Subsequent Development Approval, when granted, shall be deemed to be part of the Existing Regulations from the date of approval except as mandated by court order, or as specified in approvals not granted by the City.

4.4 Timing of Development. HF represents that it intends to commence and complete the physical improvements specified in the Development Plan for the Project. HF cannot specify the specific timing of development. HF will use its best efforts to commence construction at the earliest possible date consistent with market conditions. Because the California Supreme Court held in *Pardee Construction Co. v. City of Camarillo* (1984) 37 Cal.3d 455, that the failure of the parties therein to provide for the timing of development resulted in a latter adopted initiative

restricting the timing of development to prevail over such parties' agreement, it is the Parties' intent to cure that deficiency by expressly acknowledging and providing that HF shall have the right to develop the Subject Property at its own timing. In addition, to the extent HF decides to proceed with the Development of the Subject Property, City shall cooperate with HF with respect to the improvement of the Development of the Subject Property. If HF determines, in its sole and absolute discretion, to develop portions or phases of the Project, the City shall allow the phasing of public improvements unless the City determines that generally applied City of Moreno Valley Municipal engineering or planning requirements demand that additional or complete public improvements be made. The public improvements to be provided would be only those needed to serve the portion or phase being developed consistent with the environmental analysis which shall demonstrate to the City that the public improvements to be provided would be only those needed to serve the portion or phase being developed.

4.5 Terms of Maps and Other Project Approvals. Pursuant to California Government Code Sections 66452.6(1) and 65863.9, the term of any subdivision or parcel map that may be processed on all or any portion of the Subject Property and the term of each of the development approvals, including Tentative Parcel Map 36457, and any Subsequent Development Approvals, shall be extended until the expiration of the Term.

4.6 Changes and Amendments. The Parties acknowledge that although Development of the Project may require Subsequent Development Approvals, such Development shall be in compliance with this Agreement including the Development Plan. The above notwithstanding, HF may determine that changes are appropriate and desirable in the existing Project Approvals or Development Plan. In the event HF finds that such a change is appropriate or desirable, HF may apply in writing for an amendment to the existing Project Approvals or the Development Plan to effectuate such change. The City shall review and process any request for an amendment in the same manner that it would review and process a similar request for an amendment from any other owner of commercial or industrial land in similar circumstances. Any amendment to the Project Approvals or the Development Plan, when granted, shall be deemed to be part of the Existing Regulations from the date of the grant. Such amendments shall not be unreasonably withheld.

4.7 Reservation of Authority.

4.7.1. Limitations, Reservations and Exceptions. Notwithstanding any other provision of this Agreement, the following Subsequent Regulations shall apply:

(a) Procedural regulations consistent with this Agreement relating to hearing bodies, petitions, applications, notices, findings, records, hearing, reports, recommendations, appeals and any other matter of procedure subject to the City's obligations under Section 3.6, and as may be the subject to future general law enactments by the State of California.

(b) Changes adopted by the International Code Council, or other similar body, as part of the then most current versions of the California Building Code, Uniform Fire Code, Uniform Plumbing Code, Uniform Mechanical Code, or National Electrical Code, and also adopted by the City as Subsequent Regulations.

(c) Subsequent Regulations, not otherwise specified under this Section 4.7.1, that are not in conflict with the Existing Regulations and the Development Plan.

(d) Subsequent Regulations, not otherwise specified under this Section 4.7.1, that are in conflict with the Existing Regulations or the Development Plan provided HF has given written consent to the application of such regulations to Development of the Subject Property at HF's sole and absolute discretion.

(e) Increased DIF, as defined in Section 1.5 of this Agreement, which shall be paid in the amount of the DIF in effect at the time that they are to be paid.

(f) Judgment(s) and/or federal, state and county laws and regulations which the City is required to enforce as against the Subject Property or the Development of the Subject Property.

4.7.2. Further Future Discretion of City. This Agreement shall not prevent the City, in acting on Subsequent Development Approvals, from applying Subsequent Regulations allowed under Section 4.7.1. Further, it is also understood and acknowledged by the Parties that the Project Approvals contemplate that the City may be required, in certain circumstances, to undertake further environmental review of Subsequent Development Approvals. If the circumstances set forth in CEQA Guideline Section 15162 occur in the context of the City considering Subsequent Development Approvals, or if otherwise required by the EIR, the City is required to, and shall, without being subject to claim, assertion of breach or other challenge by HF or Assignee exercise the maximum discretion authorized by law, consistent with the terms of CEQA and this Agreement.

4.7.3. Modification or Suspension by Federal or State, County, or Multi-Jurisdictional Law. In the event that any Judgment(s) or federal, state, county, or multi-jurisdictional laws or regulations, enacted after the Effective Date of this Agreement, prevent or preclude compliance with one or more of the provisions of this Agreement, such provisions of this Agreement shall be modified or suspended as may be necessary to comply with such Judgment(s) or federal, state, county, or multi-jurisdictional laws or regulations, and this Agreement shall remain in full force and effect to the extent it is not inconsistent with such laws or regulations and to the extent such laws or regulations do not render such remaining provision impractical to enforce.

4.8 Payment of, and Reimbursement for, the Cost of Improvements Paid for by HF Which Are in Excess of HF's Fair Share. HF shall satisfy the requirements imposed by Mitigation Measure 4.15.7.4.A, as set forth in the EIR, to ensure that all of the Development's impacts on the City's circulation system, including, but not limited to, improvements to arterial streets, traffic signals and interchanges, are mitigated. Because HF will be responsible for paying for or constructing all circulation-related improvements, it shall not pay the fees imposed by Moreno Valley Municipal Code Sections 3.42.030 (arterial streets), 3.42.040 (traffic signals) and 3.42.050 (interchange improvements). City will provide to HF the reimbursement agreement(s) in the form and type as specified in Chapter 9.14 of Title 9 of the Moreno Valley Municipal Code.

4.9 Provision of a “turnkey” Fire Station. HF shall, at its own cost, provide a fully constructed, fully equipped fire station and fire station site, including fire trucks, as specified by the City’s Fire Chief. The fire station’s furniture and fixtures shall be reasonably comparable to those of the most recently completed fire station within the City. The fire station, equipment and trucks shall be provided as and when directed by the Fire Chief. Because HF will be responsible for the provision of the fire station, fire station site, equipment, and trucks, it shall not pay the fee imposed by Moreno Valley Municipal Code Section 3.42. 060 (fire facilities). City will provide to HF the reimbursement agreement(s) in the form and type as specified in Chapter 9.14 of Title 9 of the Moreno Valley Municipal Code.

4.10 City’s Provision of Public Infrastructure and Services. Except as otherwise prescribed in this Agreement and/or as required of the development through existing or future mitigation measures, development standards, and conditions of approval, the City shall provide the public infrastructure and services which are not HF’s responsibility as determined by the City with timing at the sole and absolute discretion of the City.

4.11 Local Hiring Program. HF will establish a WLC Local Hiring Program, at HF’s cost to identify, align, and facilitate educational interests and programs with workforce development programs that facilitate the hiring of Moreno Valley residents for job opportunities at the World Logistics Center, and associated jobs not directly at WLC, but in industries that support WLC. HF will require its contractors, suppliers and tenants to be active participants in Moreno Valley Employment Resource Center (“ERC”) programs including, but not limited to, the job opportunity announcement program. World Logistics Center employers will be requested to submit all job announcements to the ERC at least one week prior to providing such announcements to other agencies or to the general public. Potential employers will be requested to provide information regarding job opportunities to the ERC including details regarding job titles, minimum qualifications, application processes, and employer contact information. HF shall request that subsequent users to make good faith efforts to hire Moreno Valley City residents. HF shall, upon City’s request from time to time, provide to the City proof of its efforts under this section and the success of HF’s efforts. HF shall also participate with the Hire MoVal Incentive Program, which was adopted by the City Council on April 28, 2015, and as it may be amended from time to time.

4.12 Education/Innovation/Training/Library Funding.

The City and HF are especially interested in ensuring that the residents of Moreno Valley are provided education resources and obtain every opportunity to secure the jobs which will be created by the operation of the World Logistics Center. Toward that end, HF is willing to contribute six million, nine hundred and ninety three thousand dollars (\$6,993,000), to be used by the City to provide and enhance educational and workforce development training in the supply chain and logistics industries, as follows:

- (a) HF shall contribute no less than five million, two hundred sixty eight thousand dollars (\$5,268,000), one million dollars (\$1,000,000) to be contributed at the issuance of the first building permit for a logistics building on the Subject Property and \$0.11/square foot to be paid at the time of the issuance of the building permit for each succeeding building, excluding the fire station;

(b) In addition to the foregoing, beginning on the Effective Date and on each anniversary of that date thereafter, HF shall contribute to the City one hundred thousand dollars (\$100,000) per year for the next six (6) years; and

(c) In addition to the foregoing, beginning in the 7th year on the anniversary date of the Effective Date and continuing throughout the Term, HF shall contribute to the City one hundred twenty five thousand dollars (\$125,000) per year, on the specified anniversary date of the Effective Date, so long as this Agreement is in effect.

4.13 State Route 60 Landscape, Signage, Bridge Design Program. City shall set up a joint City/HF committee to develop freeway related landscaping, bridge architectural concepts, engineering and freeway signage regulations for SR-60 between Redlands Boulevard and Gilman Springs Road. The guidelines, concepts and regulations shall be developed in an expeditious manner. The City shall contribute up to Fifty Thousand Dollars (\$50,000) and HF shall match the City's contributions on a ten to one basis, up to Five-Hundred Thousand dollars (\$500,000).

4.14 Air Filtration Systems for Seven Properties at Theodore Street and Dracaea Avenue. Notwithstanding the findings of the EIR, Owner agrees to fund the installation of air filtration systems meeting ASHRSE Standard 52.2 MERV-13 standards at the locations listed below, not to exceed \$25,000 per property. Property owners shall be under no obligation to accept such offer. Prior to the issuance of the first construction permit within the WLCSP, Owner shall provide documentation to the City confirming that an offer has been extended to each of the owners of said properties, and \$175,000 shall be deposited in a City account designated for this purpose and an agreement regarding the use and distribution of funds shall be executed between City and Owner. The affected property owners shall have until December 31, 2021 to accept the offer. Upon acceptance of each offer, Owner shall work with each owner to ensure the filtration system is properly installed in a timely fashion. Owner shall invoice City for reimbursement of payments up to \$25,000 per property. This provision applies only to the following seven houses:

13100 Theodore Street, Moreno Valley, CA 92555 current APN: 422-070-029

13200 Theodore Street, Moreno Valley, CA 92555 current APN: 422-070-032

13241 Theodore Street, Moreno Valley, CA 92555 current APN: 478-220-014

29080 Dracaea Avenue, Moreno Valley, CA 92555 current APN: 478-220-030

29140 Dracaea Avenue, Moreno Valley, CA 92555 current APN: 478-220-009

30220 Dracaea Avenue, Moreno Valley, CA 92555 current APN: 422-070-035

30240 Dracaea Avenue, Moreno Valley, CA 92555 current APN: 422-070-037

ARTICLE 5 REVIEW FOR COMPLIANCE.

5.1 Periodic Review. The City shall review this Agreement annually, on or before the anniversary of the Effective Date, in order to ascertain the good faith compliance by HF with the terms of the Agreement. As part of that review, HF or its successor and assigns shall submit an annual monitoring review statement describing its actions in compliance with this Agreement, in a form acceptable to the Community Development Director or his/her authorized designee, within thirty (30) calendar days after written notice therefrom requesting such a statement. The statement shall be accompanied by an annual review and administration fee sufficient to defray the estimated costs of review and administration of the Agreement during the succeeding year. The amount of the annual review and administration fee shall be set by resolution of the City Council. No failure on part of the City to conduct or complete the review as provided herein shall have any impact on the validity of this Agreement. HF shall, for the first year, deposit \$1,000.00 on the Effective Date for the first year of review.

5.2 Procedure. Each Party shall have a reasonable opportunity to assert matters which it believes have not been undertaken in accordance with the Agreement, to explain the basis for such assertion, and to receive from the other Party a justification of its position on such matters.

5.2.1. If on the basis of the Parties' review of any terms of the Agreement, either Party concludes that the other Party has not complied in good faith with the terms of the Agreement, then such Party may issue a written "Notice of Non-Compliance" specifying the grounds therefor and all facts demonstrating such non-compliance.

5.2.2. The Party receiving a Notice of Non-Compliance shall have thirty (30) calendar days to cure or remedy the non-compliance identified in the Notice of Non-Compliance, or if such cure or remedy is not reasonably capable of being cured or remedied within such thirty (30) days period, to commence to cure or remedy the non-compliance and to diligently and in good faith prosecute such cure or remedy to completion.

5.2.3. If the Party receiving the Notice of Non-Compliance does not believe it is out of compliance and contests the Notice, it shall do so by responding in writing to said Notice within thirty (30) calendar days after receipt of the Notice.

5.2.4. If a Notice of Non-Compliance is contested, the Parties shall, for a period of not less than fifteen (15) calendar days following receipt of the response, seek to arrive at a mutually acceptable resolution of the matter(s) occasioning the Notice. In the event that a cure or remedy is not timely effected or, if the Notice is contested and the Parties are not able to arrive at a mutually acceptable resolution of the matter(s) by the end of the fifteen (15) calendar day period, the party alleging the non-compliance may thereupon pursue the remedies provided in Article 6 of this Agreement.

5.2.5. Neither Party hereto shall be deemed in breach if the reason for non-compliance is due to a "force majeure" as defined in, and subject to the provisions of, Section 11.9 below or any other non performance authorized by this Agreement.

5.3 Certificate of Agreement Compliance. If, at the conclusion of an annual review, HF is found to be in compliance with this Agreement, City shall, upon request by HF, issue a Certificate of Agreement Compliance (“Certificate”) to HF stating that after the most recent Periodic Review and based upon the information known or made known to the City that (1) this Agreement remains in effect and that (2) HF is in compliance. The Certificate, shall be in recordable form, shall contain information necessary to communicate constructive record notice of the finding of compliance, and shall state that the Certificate expires upon the earlier of (i) one (1) year from the date thereof, or (ii) the date of recordation of a Notice of Termination of Development Agreement. HF may record the Certificate with the County Recorder. Additionally, HF may at any time request from the City a Certificate stating, in addition to the foregoing, which obligations under this Agreement have been fully satisfied with respect to the Subject Property, or any lot or parcel within the Subject Property.

ARTICLE 6 DEFAULT AND REMEDIES.

6.1 Specific Performance; Waiver of Damages. The Parties acknowledge and agree that specific performance is the preferred remedy available for the enforcement of this Agreement. Accordingly, both parties hereby waive the right to obtain monetary damages from the other Party by reason of default of this Agreement. Subject to the procedure set forth in Section 5.2 above, any material default by HF or the City of the Agreement that is not timely cured by HF or the City shall be deemed a material default by HF or the City of this Agreement.

6.2 Termination of the Agreement.

6.2.1. Termination of Agreement for Default of HF. The City in its reasonable discretion may terminate this Agreement for any failure of HF to perform any material duty or obligation of HF hereunder or to comply in good faith with the terms of this Agreement (hereinafter referred to as “default” or “breach”); provided, however, the City may terminate this Agreement pursuant to this Section only after following the procedure set forth in Section 5.2 and HF and/or Assignee fail to remedy any issue. Further, if a mortgage of HF comes into possession of the Subject Property by default of HF, City may without liability, and in its sole and absolute discretion, terminate this Agreement. A bankruptcy filing by HF or general Partner of HF, or HF’s successors and assigns, shall also be grounds by City for termination of this Agreement.

6.2.2. Termination of Agreement for Default of City. HF in its reasonable discretion may terminate this Agreement for any default by the City; provided, however, HF may terminate this Agreement pursuant to this Section only after following the procedure set forth in Section 5.2 and thereafter providing written notice by HF to the City of the default setting forth the nature of the default and the actions, if any, required by the City to cure such default and, where the default can be cured, the failure of the City to cure such default within thirty (30) days after the effective date of such notice or, in the event that such default cannot be cured within such thirty (30) day period, the failure of the City to commence to cure such default within such thirty (30) day period and to diligently proceed to complete such actions and to cure such default.

6.2.3. Rights and Duties Following Termination. Upon the termination of this Agreement, no Party shall have any further right or obligation hereunder and City shall treat HF

and the Subject Property pursuant to all ordinances, policies, and laws as uniformly applied in the City.

6.3 Institution of Legal Action. Subject to notice of default and opportunity to cure under Section 5.2, in addition to any other rights or remedies, any Party to this Agreement may institute an equitable action to cure, correct, or remedy any default, to enforce any covenants or agreements herein, to enjoin any threatened or attempted violation hereof, or to obtain any other equitable remedies consistent with this Agreement. Any action at law or in equity arising under this Agreement or brought by any Party hereto for the purpose of enforcing, construing or determining the validity of any provision of this Agreement shall be filed and tried in the Superior Court of the County of Riverside, State of California, or such other appropriate court in said County, and the Parties hereto waive all provisions of law providing for the filing, removal or change of venue to any other court. Service of process on the City shall be made in accordance with California law. Service of process on HF shall be made in any manner permitted by California law and shall be effective whether served inside or outside California. If an action or proceeding is brought by any Party to this Agreement because of default, or to enforce a provision hereof, the prevailing Party shall be entitled to reimbursement of all costs and expenses, including attorneys' fees, incurred in prosecuting such legal action or proceeding. This provision is separate and severable, and shall survive the merger of this Agreement into any judgment on this Agreement. In all instances, the Parties agree that §6.1 also survives and controls the actions of the Parties, and further, that the Parties shall stipulate to the limitation on remedies imposed by §6.1.

ARTICLE 7 THIRD PARTY LITIGATION.

7.1 Notice, Defense and Indemnification of Third Party Litigation. The City shall promptly notify HF of any claim, action, or proceeding filed and served against the City to challenge, set aside, alter, void, annul, limit or restrict the approval and continued implementation and enforcement of this Agreement or any Existing Regulation, including but not limited to Project Approvals and CEQA challenges, as they may be filed from time to time by one or more third parties. HF agrees to fully defend, indemnify and hold the City harmless for all costs of defense and/or judgment(s) obtained in any such action or proceeding by reimbursing City, on a monthly basis, for any and all costs. The City shall notify HF within ten (10) calendar days after the City has selected the defense counsel(s). The City and HF agree to cooperate in the defense of such action(s), which includes HF being provided the opportunity to present City its views and recommendations regarding defense counsel or defense strategy. City shall use its best efforts to reasonably manage case costs and seek reasonable attorney rates.

7.2 Effect of Third Party Litigation on Implementation of Agreement. If any third party litigation referred to in Section 7.1 is filed, the City shall continue to comply with the terms of this Agreement unless prohibited from doing so by court order.

7.3 If third party litigation is filed and if HF decides, in its sole and absolute discretion, not to defend the litigation then upon providing written notice of that decision to the City not to defend the litigation this Agreement shall terminate and no Party shall thereafter have any rights or obligations under it. Nothing in this Agreement shall prevent the City, if it decides in its sole and absolute discretion, from defending the litigation at its own sole cost.

ARTICLE 8 MORTGAGEE AND LENDER PROTECTION.

8.1 The Parties hereto agree that this Agreement shall not prevent or limit HF, in any manner, at HF's sole discretion, from encumbering the Subject Property or any portion thereof or any improvement thereon by any mortgage, deed of trust or other security device securing financing with respect to the Subject Property. The City acknowledges that the lenders providing such financing may require certain Agreement interpretations and modifications and agrees upon request, from time to time, to meet with HF and representatives of such lenders to negotiate in good faith any such request for interpretation or modification but City reserves the right to make the final decisions, pursuant to law of such requests. The City is not bound nor is there any predetermination as to matters requiring public hearing or any adjudicative proceeding. Subject to compliance with applicable laws, the City will not unreasonably withhold its consent to any such requested interpretation or modification provided the City determines such interpretation or modification is consistent with the intent and purposes of this Agreement and not harmful to City in any manner, in City's sole and absolute discretion. HF shall reimburse City for all costs incurred by City in connection with compliance with this Section 8.1 HF represents and warrants that there are presently no financing of any type or nature that encumber the Subject Property and further represents there are no covenants, financings or other burdens that impair City's rights under this Agreement, and further, no third party holds rights to the Subject Property superior to this Agreement as regards to City's rights.

8.2 Any Mortgagee of the Subject Property shall be entitled to the following rights and privileges:

(a) Neither entering into this Agreement nor a breach of this Agreement shall defeat, render invalid, diminish or impair the lien of any mortgage on the Subject Property made in good faith and for value, unless otherwise required by law.

(b) The Mortgagee of any mortgage or deed of trust encumbering the Subject Property, or any part thereof, which Mortgagee has submitted a request in writing to the City in the manner specified herein for giving notices, shall be entitled to receive written notification from the City of any default by HF in the performance of HF's obligations under this Agreement.

(c) If the City timely receives a request from a Mortgagee requesting a copy of any notice of default given to HF under the terms of this Agreement, the City shall make a good faith effort to provide a copy of that notice to the Mortgagee within ten (10) days of sending the notice of default to HF. The Mortgagee shall have the right, but not the obligation, to cure the default during the period that is the longer of (i) the remaining cure period allowed such Party under this Agreement, or (ii) thirty (30) days.

(d) Any Mortgagee who comes into possession of the Subject Property, or any part thereof, pursuant to foreclosure of the mortgage or deed of trust, or deed in lieu of such foreclosure, shall take the Subject Property, or part thereof, subject to the terms of this Agreement. Notwithstanding any other provision of this Agreement to the contrary, no Mortgagee shall have an obligation or duty under this Agreement to perform any of HF's obligations or other affirmative covenants of HF hereunder, or to guarantee such performance;

except that (i) to the extent that any covenant to be performed by HF is a condition precedent to the performance of a covenant by the City, the performance thereof shall continue to be a condition precedent to the City's performance hereunder, and (ii) in the event any Mortgagee seeks to develop or use any portion of the Subject Property acquired by such Mortgagee by foreclosure, deed of trust, or deed in lieu of foreclosure, such Mortgagee shall strictly comply with all of the terms, conditions and requirements of this Agreement and the Development Plan applicable to the Subject Property or such part thereof so acquired by the Mortgagee. The successor Mortgagee is hereby on notice that the event of taking possession of the Subject Property allows, but does not require City to terminate this Agreement without cost or liability to City.

8.3 The City shall, at HF's cost paid to City immediately upon City's request, provide publically available information requested by potential lenders in a timely fashion. City shall not be required, but may, provide any information exempt from disclosure under the California Public Records Act. (G.C. 6250 et. seq.)

ARTICLE 9 INSURANCE.

9.1 Liability Insurance. HF shall maintain an insurance policy protecting against death or injury to person or property for claims arising out of activities on the Subject Property in the amount of at least five million dollars (\$5,000,000) with the City, its officers, officials, employees, agents and representatives named as additional insured. This requirement is in addition to any liability insurance requirement which the City routinely imposes as a condition to the issuance of a building or grading permit. In addition, all such insurance:

- (a) shall be primary insurance and not contributory with any other insurance the City or its officers, officials, employees, agents, and representatives may have;
- (b) shall contain no special limitations on the scope of protection affordable to the City and its officers, officials, employees, agents, and representatives;
- (c) shall be claims made and not dates of occurrence insurance;
- (d) shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability;
- (e) shall provide that the policy shall not be canceled by the insurer or Owner unless there is a minimum of thirty (30) days prior written notice to the City;
- (f) shall be endorsed to include a waiver of subrogation rights against the City or its officers, officials, employees, agents, and representatives; and
- (g) shall not require Owner to meet a deductible of more than One Hundred Thousand Dollars (\$100,000) unless approved in writing by the City's Community Development Director in his/her sole and absolute discretion.

9.2 Workers Compensation Insurance. HF shall ensure that any consultant or contractor hired by HF for work on or related to the Subject Property shall carry workers

compensation insurance as required by the State of California. This requirement is in addition to any workers compensation insurance requirement which the City routinely imposes as a condition to the issuance of a building or grading permit.

ARTICLE 10 INDEMNITY FOR INJURY TO PERSON OR PROPERTY.

HF agrees to and shall indemnify, defend, and hold harmless the City and the City’s officers, officials, members, employees, agents, and representatives, from and against any and all claims, liabilities, awards, settlements, agreements, damages, and losses, including without limitation reasonable attorneys’ fees and litigation expenses, including court and expert witness fees (collectively, “Claims”), with respect to any action brought due to the death or personal injury of any person, or physical damage to any person’s real or personal property, caused by the construction of improvements by, or construction-related activities of, HF or HF’s employees, agents, representatives, servants, invitees, consultants, contractors, or subcontractors (collectively, “HF’s Representatives”) on the Subject Property, or for any construction defects in any improvements constructed by HF or HF’s Representatives on the Subject Property or for any other work related to this Agreement.. The foregoing indemnification provision shall survive the termination of this Agreement.

Notwithstanding the above, HF agrees to and shall indemnify, defend, and hold harmless the City and the City’s officers, officials, members, employees, agents and representatives, from and against any and all claims, liabilities, damages, and losses, including without limitation reasonable attorneys’ fees and litigation expenses, including court and expert witness with respect to any action brought to challenge the Project’s entitlement approvals and/or the EIR.

ARTICLE 11 MISCELLANEOUS PROVISIONS.

11.1 Recordation of Agreement. The City Clerk shall have this Agreement recorded with the County Recorder within the period required by Government Code section 65868.5. Any amendments to this Agreement approved by the Parties, and any cancellation hereof, shall be similarly recorded. A failure to record this Agreement in a timely fashion shall not affect its validity in any manner.

11.2 Entire Agreement. This Agreement sets forth and contains the entire understanding and agreement of the Parties with respect to the subject matter set forth herein, and there are no oral or written representations, understandings or ancillary covenants, undertakings or agreements which are not contained or expressly referred to herein. No testimony or evidence of any such representations, understandings or covenants shall be admissible in any proceeding of any kind or nature to interpret or determine the terms or conditions of this Agreement except as to future and further agreements and the exercise of the Existing Regulations.

11.3 Severability. If any term, provision, covenant or condition of this Agreement shall be determined invalid, void or unenforceable, the invalid provision shall be deemed to be severable from the remaining provisions contained within the Agreement. The Parties hereby state and acknowledge they would have adopted each provision contained within this Agreement notwithstanding the presence of an invalid provision.

11.4 Interpretation and Governing Law. This Agreement and any dispute arising hereunder shall be governed and interpreted in accordance with the laws of the State of California. This Agreement shall be construed as a whole according to its fair language and common meaning to achieve the objectives and purposes of the Parties, and the rule of construction to the effect that ambiguities are to be resolved against both the drafting parties or in favor of the City or HF shall not be employed in interpreting this Agreement, all Parties having been represented by counsel in the negotiation and preparation, adoption, application and execution hereof.

11.5 Section Headings. All section headings and subheadings are inserted for convenience only and shall not affect any construction or interpretation of this Agreement.

11.6 Singular and Plural. As used herein, the singular of any word includes the plural.

11.7 Waiver. Failure of a Party to insist upon the strict performance of any of the provisions of this Agreement by the other Party, or the failure by a Party to exercise its rights upon the default of the other Party, shall not constitute a waiver of such Party's right to insist and demand strict compliance by the other Party with the terms of this Agreement thereafter.

11.8 No Third Party Beneficiaries. This Agreement is made and entered into for the sole protection and benefit for the Parties and their successors and assigns. No other person shall have any right of action based upon any provision of this Agreement.

11.9 Force Majeure. Neither Party shall be deemed to be in default where failure or delay in performance of any of its obligations under this Agreement is caused by earthquakes, acts of God, fires, wars, riots or similar hostilities, strikes and other labor difficulties beyond the Party's control (including the Party's employment force), economic or environmental/physical conditions (such as lack of utilities) beyond HF's control which make Development uneconomic or infeasible, other causes beyond the Party's reasonable control or court actions (such as restraining orders or injunctions). If any such events shall occur, the Term of this Agreement and the time for performance shall be extended for the duration of each such event, provided that the Term shall not be extended under any circumstances for more than three (3) years regardless of the number or length of individual extensions and further, in no instance, shall be for a duration longer than the circumstance serving to cause the delay. Notwithstanding the foregoing, if construction ceases after commencement, but prior to the issuance of Certificates of Occupancy, HF, at its sole cost, shall secure, preserve and prevent any nuisance conditions from occurring on the Subject Property.

11.10 Mutual Covenants. The covenants contained herein are mutual covenants and also constitute conditions to the concurrent or subsequent performance by the Party benefited thereby of the covenants to be performed hereunder by such benefited Party.

11.11 Counterparts. This Agreement may be executed by the Parties in counterparts, which counterparts shall be construed together and have the same effect as if all of the Parties had executed the same instrument.

11.12 Covenant Not To Sue Each Other Regarding the Construction of the Agreement. The Parties to this Agreement, and each of them, agree that this Agreement and each term hereof

are legal, valid, binding, and enforceable. The Parties to this Agreement, and each of them, hereby covenant and agree that each of them will not commence, maintain, or prosecute any claim, demand, cause of action, suit, or other proceeding against any other Party to this Agreement, in law or in equity, or based on an allegation, or assert in any such action, that this Agreement or any term hereof is void, invalid, or unenforceable.

11.13 Project as a Private Undertaking. It is specifically understood and agreed by and between the Parties that the Development of the Subject Project is a private development, that neither Party is acting as the agent of the other in any respect hereunder, and that each Party is an independent contracting entity with respect to the terms, covenants and conditions contained in this Agreement. No partnership, joint venture or other association of any kind is formed by this Agreement. The only relationship between the City and HF is that of a government entity regulating the Development of private property, on the one hand, and the holder of legal or equitable title to such property, on the other hand.

11.14 Further Actions and Instruments. Each of the Parties shall cooperate in good faith with and provide reasonable assistance to the other to the extent contemplated hereunder in the performance of all obligations under this Agreement and the satisfaction of the conditions of this Agreement. Upon the request of either Party at any time, the other Party shall promptly execute, with acknowledgment or affidavit if reasonably required, and file or record such required instruments and writings and take any actions as may be reasonably necessary under the terms of this Agreement to carry out the intent and to fulfill the provisions of this Agreement or to evidence or consummate the transactions contemplated by this Agreement.

11.15 Amendments in Writing/Cooperation. This Agreement may be amended only by written consent of both Parties specifically approving the amendment and in accordance with the Government Code section 65868. The Parties shall cooperate in good faith with respect to any amendment proposed in order to clarify the intent and application of this Agreement, and shall treat any such proposal on its own merits, and not as a basis for the introduction of unrelated matters. Subject to the provisions of Moreno Valley Municipal Code Section 9.02.110E, minor, non-material modifications which are clerical or strictly technical corrections which do not affect the substantive terms and conditions of the Agreement may be approved by the Community Development Director in consultation with the City Attorney as an operating Memorandum. City, upon its request, may be compensated for its costs reasonably incurred in reviewing and processing any request under this section, including costs arising from third parties engaged by the City in furtherance of any request.

11.16 Operating Memoranda. The Parties acknowledge and agree that the provisions of this Agreement require a close degree of cooperation between the City and HF, and Development of the Subject Property hereunder may demonstrate that refinements or clarifications are appropriate with respect to the details of performance of the City and HF. If and when, from time to time, during the Term of this Agreement, the City and HF agree that such refinements or clarifications are necessary or appropriate, they will effectuate such refinements or clarifications through operating memoranda approved by the City and HF, which, after execution, will be attached to this Agreement as addenda and become a part hereof, and may be further refined or clarified from time to time as necessary with future approval by the City and HF. The Community Development Director, in consultation with the City Attorney,

will be authorized to make the determination whether a requested refinement or clarification and corresponding operating memoranda may require a public hearing and approval by the City Council. Notwithstanding the foregoing, the City staff or contract staff may decline to execute any operating Memoranda and may instead submit the matter to the City Council for its consideration and action.

11.17 Corporate Authority. The person(s) executing this Agreement on behalf of each of the Parties hereto represent and warrant that (i) such Party are duly organized and existing, (ii) they are duly authorized to execute and deliver this Agreement on behalf of said Party, (iii) without representing and warranting whether or not the Agreement is lawful by so executing this Agreement, such Party is formally bound to the provisions of this Agreement, and (iv) the entering into this Agreement does not violate any provision of any other agreement to which such Party is bound.

11.18 Notices. All notices under this Agreement shall be effective upon any of the following: personal delivery, via e-mail, via facsimile so long as the sender receives confirmation of successful transmission from the sending machine, or three (3) business days after deposit in the United States mail, registered, certified, postage fully prepaid and addressed to the respective Parties as set forth below or as to such other address as the Parties may from time to time designate in writing:

To City: City of Moreno Valley
14177 Frederick Street
Moreno Valley, California 92552
Attn: City Manager
Telephone: (____) _____
Facsimile: (____) _____
E-mail address: _____

Copies to: City Attorney

_____, California
Telephone: (____) _____
Facsimile: (____) _____
E-mail address: _____

To HF: Iddo Benzeevi
President and Chief Executive Officer
Highland Fairview Operating Co.
14225 Corporate Way
Moreno Valley, CA 92553
Telephone: (951) 867-5327
Facsimile: (____) _____
E-mail Address: ibenzeevi@highlandfairview.com

Copy to: Kenneth B. Bley, Esq.
Cox, Castle & Nicholson LLP

2029 Century Park East, Suite 2100
Los Angeles, CA 90067
Telephone: (310) 284-2231
Facsimile: (310) 284-2100
E-mail address: kbley@coxcastle.com

11.19 Nonliability of City Officials. No officer, official, member, employee, contractor, attorney, agent, or representatives of the City shall be liable for any amounts due hereunder, and no judgment or execution thereon entered in any action hereon shall be personally enforced against any such officer, official, member, employee, agent, or representative.

11.20 No Brokers. The City and HF represent and warrant to the other that neither has employed any broker and/or finder to represent its interest in this transaction. Each Party agrees to indemnify and hold the other free and harmless from and against any and all liability, loss, cost, or expense (including court costs and reasonable attorney’s fees) in any manner connected with a claim asserted by any individual or entity for any commission or finder’s fee in connection with this Agreement arising out of agreements by the indemnifying Party to pay any commission or finder’s fee.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement on the day and year first set forth above.

City:

CITY OF MORENO VALLEY

By

Mayor, City of Moreno Valley

ATTEST:

By

City Clerk

APPROVED AS TO FORM:

By

City Attorney

Attachment: 11_ExhibitAProposedOrdinance_DevelopmentAgreement (1637 : ORDINANCE 901. AN ORDINANCE OF THE CITY COUNCIL OF

HF:
HF PROPERTIES,
a California general partnership

By: _____

Name: Iddo Benzeevi

Its: President

SUNNYMEAD PROPERTIES,
a Delaware general partnership

By: _____

Name: Iddo Benzeevi

Its: President

THEODORE PROPERTIES PARTNERS,
a Delaware general partnership

By: _____

Name: Iddo Benzeevi

Its: President

13451 THEODORE, LLC,
a California limited liability company

By: _____

Name: Iddo Benzeevi

Its: Sole member

HL PROPERTY PARTNERS,
a Delaware general partnership

By: _____

Name: Iddo Benzeevi

Its: President

**ALL TERMS OF THIS AGREEMENT ARE SUBJECT TO REACHING A MUTUALLY
AGREEABLE RESOLUTION ON ALL ITEMS BETWEEN THE CITY AND HF**

State of California)
County of _____)

On _____, before me, _____
(insert name and title of the officer)

Notary Public, personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument
the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)

State of California)
County of _____)

On _____, before me, _____
(insert name and title of the officer)

Notary Public, personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument
the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)

State of California)
County of _____)

On _____, before me, _____
(insert name and title of the officer)

Notary Public, personally appeared _____,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument
the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)

EXHIBIT A-1
LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

Attachment: 11_ExhibitAProposedOrdinance_DevelopmentAgreement (1637 : ORDINANCE 901. AN ORDINANCE OF THE CITY COUNCIL OF

EXHIBIT A-2
DEPICTION OF THE SUBJECT PROPERTY

Attachment: 11_ExhibitAProposedOrdinance_DevelopmentAgreement (1637 : ORDINANCE 901. AN ORDINANCE OF THE CITY COUNCIL OF

EXHIBIT NO. A-3

Public Benefits; all are viewed as material consideration for this Agreement, by the City and its Council (not listed in priority).

1. Representation and Warranty in support of HF's legal or equitable interest in the land composing the area subject to this Agreement. (Recital E and 3.2)
2. DIF fees, public improvements, or both will be paid to the City to further public improvements. (1.5, 4.8, 4.9)
3. City has oversight over transfer of land or buildings within the area covered by the Agreement. (3.4)
4. HF pays for special staff and consultants. (3.6)
5. Education/Library/Job training/funding to City/Job opportunities. (4.11, 4.12)
6. Fire station: "turn key" fire station will be built on HF provided land and will be fully funded and equipped by HF. (4.8)
7. Land owners are bound, contractually, to provide City benefits beyond those available via a nexus condition.
8. City advances its General Plan's goals, policies and objectives as anticipated when it was adopted.
9. City controls when HF has qualified to release itself, in whole or part, from the Development Agreement. (3.4, 3.5)
10. City preserves its right to impose the enhanced development standards on the Project outlined in the specific plan. (4.2)
11. City has set performance criteria for the Terms of the Agreement. (3.5, 4.4)
12. City preserves the right to update standards and, as required and lawful, require further CEQA reviews. (4.7.1)
13. City Code Standards are imposed for any reimbursements to HF for oversizing any infrastructure. (4.8)
14. City required and is able to hold HF accountable for a local hiring program for City residents. (4.11)
15. City obtains Education, Library, Training, and Innovation funding for residents in the amount up to \$6,993,000, during the Term of the Development Agreement, with One

- Million Dollars (\$1,000,000) of that being provided in a single lump sum payment upon issuance of the first building permit.
16. HF will contribute \$500,000 toward the City's development of SR 60 landscape, signage, bridge design enhancement. (4.13)
 17. Specified homes are to be offered air filtration systems at no charge. (4.14)
 18. City will annually review and enforce its benefits, and ensure performance of its duties. (Article 5)
 19. Defaults and issues in dispute have a specified resolution process. (Article 6)
 20. City is covered by HF funded liability insurance (9.1) and from tort claims. (Article 10)
 21. City is protected as to ensuring HF performance, despite external causation. (11.9)

