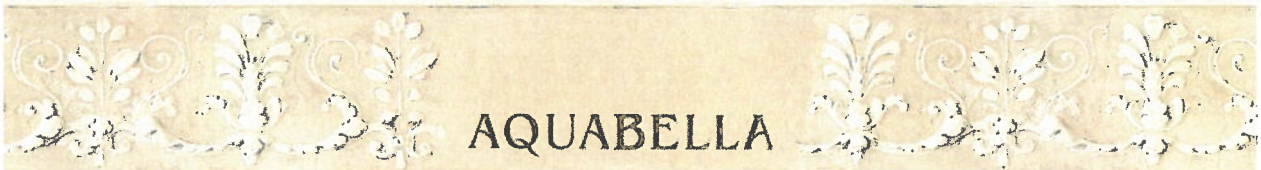


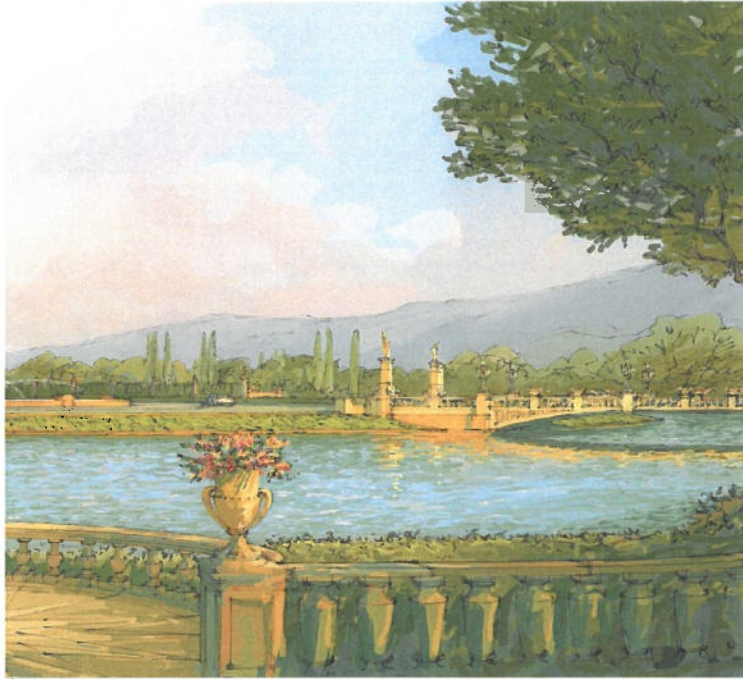
AQUABELLA

CITY OF MORENO VALLEY
HIGHLAND FAIRVIEW PROPERTIES

MASTER
DESIGN GUIDELINES



AQUABELLA



Aquabella architectural landscape theme concept

MASTER DESIGN GUIDELINES TABLE OF CONTENTS

AMENDMENT TO SPECIFIC PLAN NO. 218

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Note: The renderings and depictions contained herein illustrate the Developer's general vision and intention for future development, but are in no way intended as a warrant or guarantee of the final product. As the project progresses to actual construction, precise plans and design specifications will be available. These images are proprietary information and reproduction or use, aside from direct reproduction of this Master Design Guidelines document, in whole or in part, without the prior express written authorization of Highland Fairview Properties is prohibited.



PROJECT IDENTITY AND CHARACTER ELEMENTS

1.1 Purpose and Intent

The general design approach for Aquabella® is to create a balanced residential community with diverse active adult housing opportunities. These design guidelines will establish a consistent overall theme that provides quality residential neighborhoods in a setting that integrates the site's major natural features with significant open space features.

Included with these narrative guidelines are visual depictions intended conceptually to convey the Developer's general vision and intention for future development. However, these renderings are meant for illustrative purposes only, and are in no way intended as an actual warrant or guarantee of the ultimate product to be constructed at Aquabella®.

The Design Guidelines have been prepared to achieve a comprehensive approach to the implementation of planning, architectural and landscape concepts for the overall community and the individual neighborhoods of Aquabella®. The purpose of the Design Guidelines is to establish community design concepts that can be consistently applied during project implementation.

The implementation of the Land Use Plan and the development standards, through creative and flexible design guidelines, will provide the unique, positive identity the project is seeking to establish.

The proposed Design Guidelines follow broad concepts that should be considered in the development of precise site and architectural plans for each Planning Area. More specifically these Design Guidelines will:

- Provide the City of Moreno Valley with the necessary assurance that the Specific Plan Area will develop in accordance with both the City's Design Guidelines and the quality and character proposed herein;
- Provide guidance to City decision makers in the review of future development projects in the Specific Plan Area;
- Provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- Formulate concise development guidelines for the various land uses within each of the neighborhood boundaries; and
- Provide guidance in the future formulation of Covenants, Conditions and Restrictions (CC&Rs) for the land uses within the Specific Plan Area.

1.2 Project Description

Aquabella® is a unique active adult community comprising approximately 760 acres that integrates a variety of residential uses, water and open space features, dedicated open space, community parks, a pedestrian circulation system, and community clubhouses and recreation facilities. It is made up of a maximum of 2,922 dwelling units, in a mix of detached single-family residential lots and multiple categories of attached products. The community recreational facilities will be designed to provide a wide range of indoor activities such as card rooms, study/computer halls, media room, arts and crafts room, exercise rooms, yoga, Pilates, and places for casual dining. Significant outdoor social and physical activities will be provided.

The development pattern for the community sets as its priority the provision of quality recreational amenities with the need for active-adult housing.

1.3 Application

These guidelines shall form the basis and criteria for the evaluation of plans and specifications submitted for review and approval to the City and the master developer. It is anticipated that there will be multiple third-party builders. The builder of each neighborhood is required to implement all provisions of these guidelines as applicable. All development plans, landscape plans, and graphic designs shall be consistent with these guidelines. In addition to the provisions of these guidelines, the regulations, requirements, standards, specifications, obligations, mitigation measures, guidelines, etc., of the jurisdictional documents effective as of and subsequent to the date of the Development Agreement and subject to the provisions of the Development Agreement shall apply as applicable. The provisions contained in these Design Guidelines are applicable to the Aquabella® Specific Plan Area. For design guidelines not addressed herein, refer to the City's Design Guidelines or future project subdivision approvals. Where the standards of the Aquabella® Specific Plan conflict with those of the City of Moreno Valley's Landscaping and Design Guidelines, the Specific Plan shall take precedence. For development regulations not contained herein, refer to the applicable provisions of the City's Development Code. The sketches and graphic representations contained herein are for conceptual purposes only, and are designed as general visual aids in understanding the basic intent of the guidelines and to represent examples of their potential implementation. They are not meant to depict any actual lot or building design.



1.4 Organization

Aquabella® is a unique active adult community comprising approximately 760 acres that integrates The Aquabella® Design Guidelines as the vision and intent for the overall community and its various planning areas and land uses. The Design Guidelines are divided into the following major components:

The Aquabella® Design Guidelines will secure the differentiation and uniqueness of the Aquabella® planning areas, which embody individual design characteristics while preserving the overall character and sense of place of the Aquabella® community.

- ◆ Site Planning (Section II)

This section sets forth design requirements and guidelines for site planning components including: grading, lot design, vehicular circulation, common areas and recreational amenities, walls and fences and utility and equipment screening.

- ◆ Architecture (Section III)

Set forth in this section are guidelines for architectural components including: architectural themes, single-family design standards, multi-family design standards, clubhouse design standards.

- ◆ Landscape Architecture (Section IV)

This section presents those design requirements and guidelines for landscape architecture including: landscape areas, planting design, monuments and signage, lighting, and landscape maintenance.

Planning Area character will be defined by the design and detailing of site improvements for walls, fences and landscape treatments. Detailed drawings of the walls, fences, signs, architecture and landscaping for each Planning Area will be developed with the precise plans for each development compatible with the overall project theme. This approach will ensure that each Planning Area exhibits an individual identity while establishing a consistent high-quality design theme for the overall development. Variations within Planning Area boundaries outlined in the Specific Plan are anticipated, though all areas shall remain consistent with these Master Design Guidelines.



SITE PLANNING

2.1 General Concepts

Being inspired by the basic planning principles of Southern Mediterranean and European urban villages, Aquabella® Design Guidelines incorporate four major open space design features to help create the timeless nature and feeling of an Italian renaissance country village. These elements are:

1. Expanded parkways with formal landscaping treatments will enhance the major backbone streets providing a linear park setting linking various areas throughout the proposed community (see Exhibit XI-1). Pedestrian walking/jogging paths along the parkways will create walkability and encourage pedestrian use. Italian landscaped medians, sculpture elements, and thematic entry monumentation “welcome” the resident and visitor alike.
2. Enhancing the overall sense of “place”, view “windows” into the lakes from abutting internal roads have been created. Windows vary in length from 350 to 650 feet wide and offer the community abundant exposure to water views and picturesque Italianate landscaped areas.
3. The creation of Renaissance style entry identification monumentation for each of the various Planning Areas. A unique identity for each area will be developed through the use of differing scales of landscaping, architectural elements, sculptures and streetscape treatment. Magnificent main entries (collectors) lead one through a “promenade” into Planning Areas where formally landscaped parks and open-space or recreational features add to the aesthetic value and community interest.
4. The lake areas provide adjacent pastoral beauty of water features and adjacent open space areas for relaxing and exercising amongst the charming scenery. The lake designs will also include landscape features such as sculpture gardens, Italianate style fountains and soothing water falls to enhance view-sheds from lake view windows and residences surrounding the lakes.

2.2 Grading Concepts

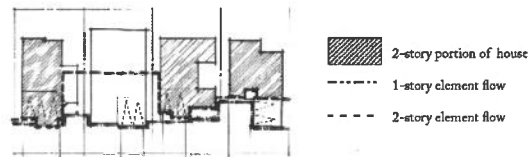
The grading concept is to be responsive to the physical character, location, and type of land use and architectural product, as well as the visual and environmental qualities of the site and the Moreno Valley area. The conceptual grading design will work with the landforms and environment and to create a scenic living environment for residents.

1. During construction, appropriate grading measures such as sediment traps or terracing around all graded areas will minimize erosion.
2. Whenever archaeological or paleontological sites are discovered during excavation, the planning division shall be notified immediately and mutually agreeable precautions taken to preserve the artifacts.
3. The old world, southern Mediterranean theme for the Project design and layout shapes the overall character of Aquabella® and how it fits with its surroundings. Project edges will be designed to blend new community landforms with existing landforms.
4. All site drainage including landscape areas will be directed away from structures per County grading standards.

2.3 Lot Design

The following Lot Development guidelines are intended to enhance flexibility and encourage diversity.

1. The tranquil beauty of the lakes functions as a primary focal point for as many homes as possible by situating them along the lakes edge, while also maximizing resident's physical and visual access.
2. Diverse driveway placement, varied garage and house setbacks as well as innovative lot shapes and building locations will further enhance the look and feel of the Italianate street scene. Joint driveways along local streets reduce the number of curb cuts and add to the neighborhood ambiance.
3. On residential corner lots, especially at entries into Planning Areas, incorporate single-story elements to visually reduce building mass.





2.4 Vehicular Circulation and Parking

1. The diversity of the eclectic Mediterranean style will be further enhanced through the use of meandering curvilinear street design, cul-de-sacs and short street segments.
2. As seen in European design, road alignments, driveways and parking areas conform as closely as possible to natural topography, using design variations to keep grading and cut slopes to a minimum.
3. Combinations of collective private driveways, cluster parking areas and off-street parking bays can be used to minimize paved areas.
4. Encourage the use of non-loaded residential collector streets entering neighborhoods. Commercial developments should orient traffic onto major arterials and not onto local streets or collectors.
5. In keeping with the design principles and uniqueness of Aquabella®, parking areas shall be accented with landscaping and hardscaping that will create a screening effect from streets. The Parking facilities within the Specific Plan Area will provide sufficient capacity, discourage congestion, and provide safe, convenient facilities for motorists and pedestrians.
6. An elaboration of the treatment of trees and hedges provides a practical aspect to the plan in the form of shade for pedestrian walkways, buildings and parking lots.



ARCHITECTURAL AND SITE GUIDELINES

3.1 Historical Precedent

Aquabella® style is inspired by Southern Mediterranean and European architecture, which compliment the landforms and environment of the Moreno Valley area. While it is not tied to any particular style, it is most closely integrated to reflect the Italianate style, a style that will embrace elegant classic informality expressed in a wide articulation of Italianate and southern Mediterranean architecture. The Aquabella® style follows the picturesque movement, a shift away from a more formal direction in art and architecture to a more relaxed, almost romantic refined casual elegance.

The Aquabella® reinterpretation of Italian Renaissance country villas leads to an architectural style which incorporates simple wall massing, organized window elements, articulated chimney tops, decorative brackets that articulate the eaves, along with shallow pitch roofs.

This old world, Southern Mediterranean prototype is refined and embellished into a truly eclectic classic style. Drawing from European architecture and keeping the style consistent allows for a variety of styles within Aquabella®. The irregularity and diversity of the style evokes a greater preference in architectural taste. Aquabella® style can be classical or contemporary in character, always maintaining classic simplicity that is timeless.

3.2 Single-Family Housing

One important goal of these guidelines is to create street scenes possessing both visual and functional variety. Plotting and massing criteria are intended to provide this range in appearance as well as a sense of individuality for each project. The combination of single family and attached products adds variety to the overall housing mix and provides more diverse household makeup alternatives to the traditional neighborhood.

The "street" is the principal design element in the neighborhoods, whether it divides a product area or is internally structured. Exposed garage doors that face the street should be elegant and complement the architecture; preferably garages should be concealed or recessed within motor courts where possible. Buildings should formally address the street (i.e. parallel to the curb) with fronts or sides only. Building massing should be simple with breaks in wall planes to articulate varied massing. One story massing on the street is encouraged for a portion of the streetscape.

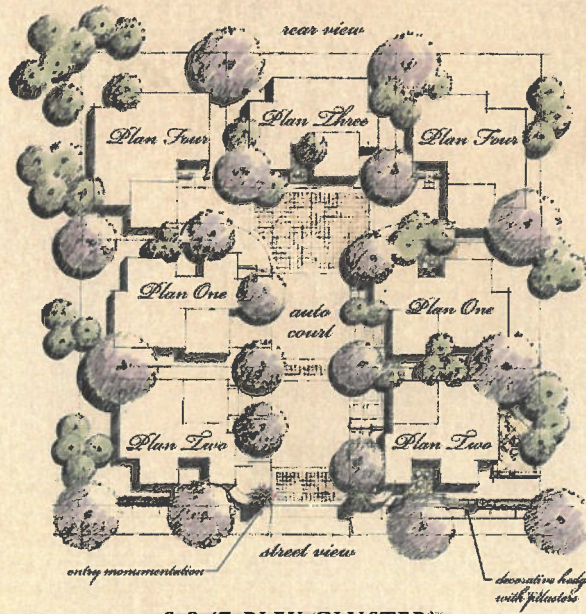
Aquabella® design homes can be quite ornate despite their simple rectangular shape. Features may include symmetrical bay windows in front; small chimneys set in irregular locations; tall, narrow, windows; and towers. The window designs should complement the supports, columns, and door frames of the homes.

Paint colors for siding, trim and sashes are typically earth tones with emphasis on browns, terra cottas, and golds. Wood or clad windows in taupe or brown colors are encouraged. Brick or tile in the Tuscan red to earth tones range are desirable.



street view

S-3 (7-PLEX CLUSTER): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION

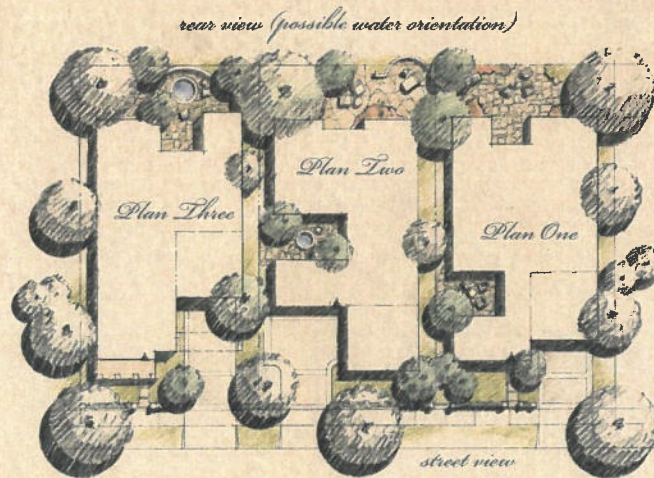


S-3 (7-PLEX CLUSTER):
PROGRAMMI DI PAVIMENTO TIPICI
TYPICAL FLOOR PLAN



rear elevation (possible water orientation)

**S-1 (55 X 105 LOTS): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION**



rear view (possible water orientation)

street view

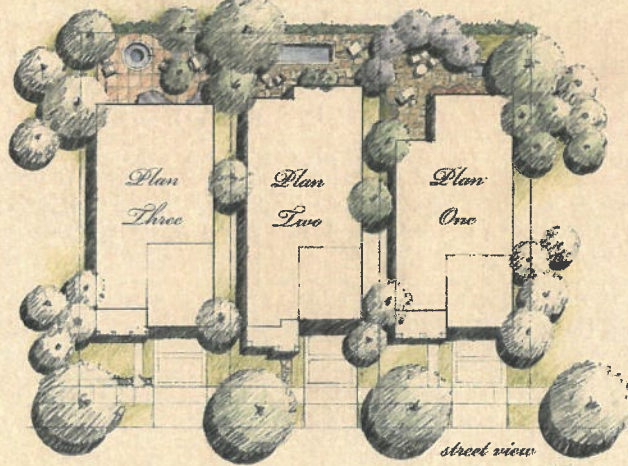
**S-1 (55 X 105 LOTS):
PROGRAMMI DI PAVIMENTO TIPICI
TYPICAL FLOOR PLAN**



street view

S-2 (45 X 105 LOTS): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION

rear view (possible water orientation)

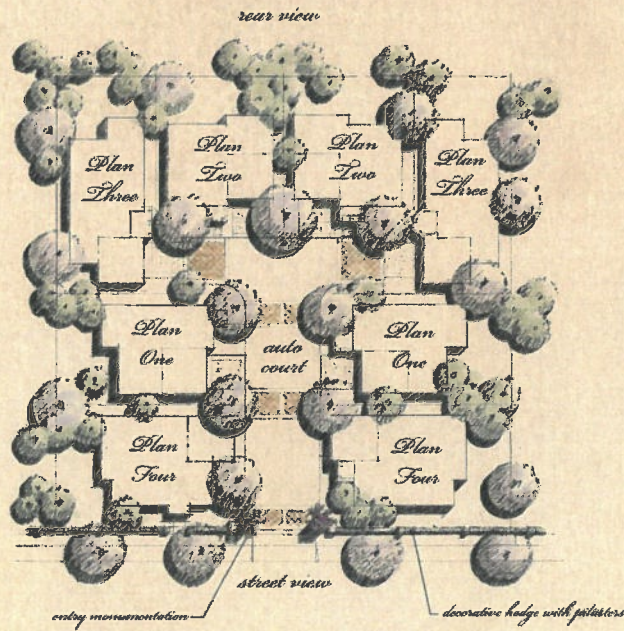


S-2 (45 X 105 LOTS):
PROGRAMMI DI PAVIMENTO TIPICI
TYPICAL FLOOR PLAN



street view

**S-4 (8-PLEX CLUSTER): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION**

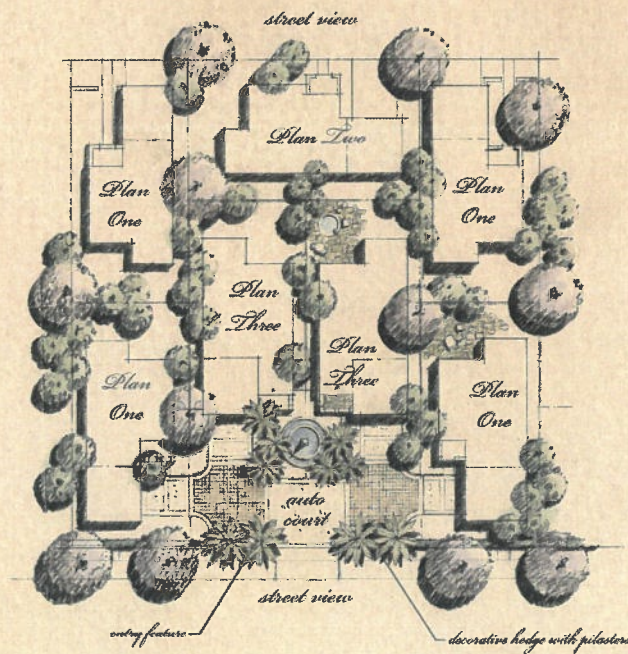


**S-4 (8-PLEX CLUSTER):
PROGRAMMI DI PAVIMENTO TIPICI
TYPICAL FLOOR PLAN**



street view

S-5 (INTERLOCKING COURT): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION

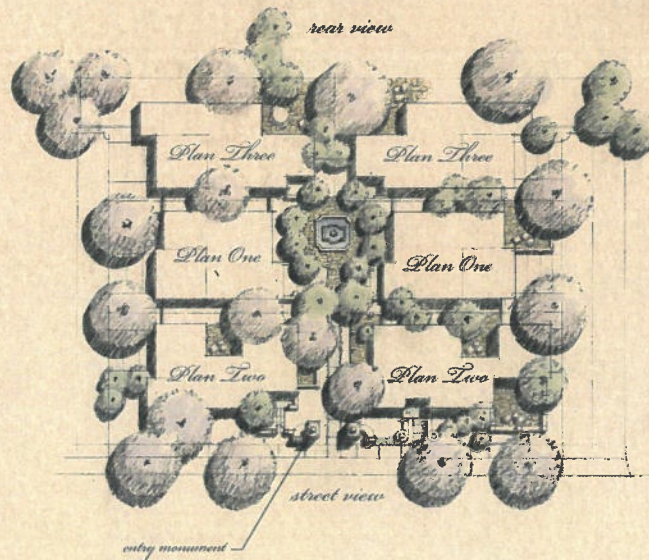


S-5 (INTERLOCKING COURT): PROGRAMMA TIPICO
DELLA SERIE DI INGRANAGGI
TYPICAL INTERLOCKING COURT PLAN



street view

**S-6 (GREEN COURT): ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION**



**S-6 (GREEN COURT): PROGRAMMA TIPICO
DELLA SERIE DI INGRANAGGI
TYPICAL GREEN COURT PLAN**

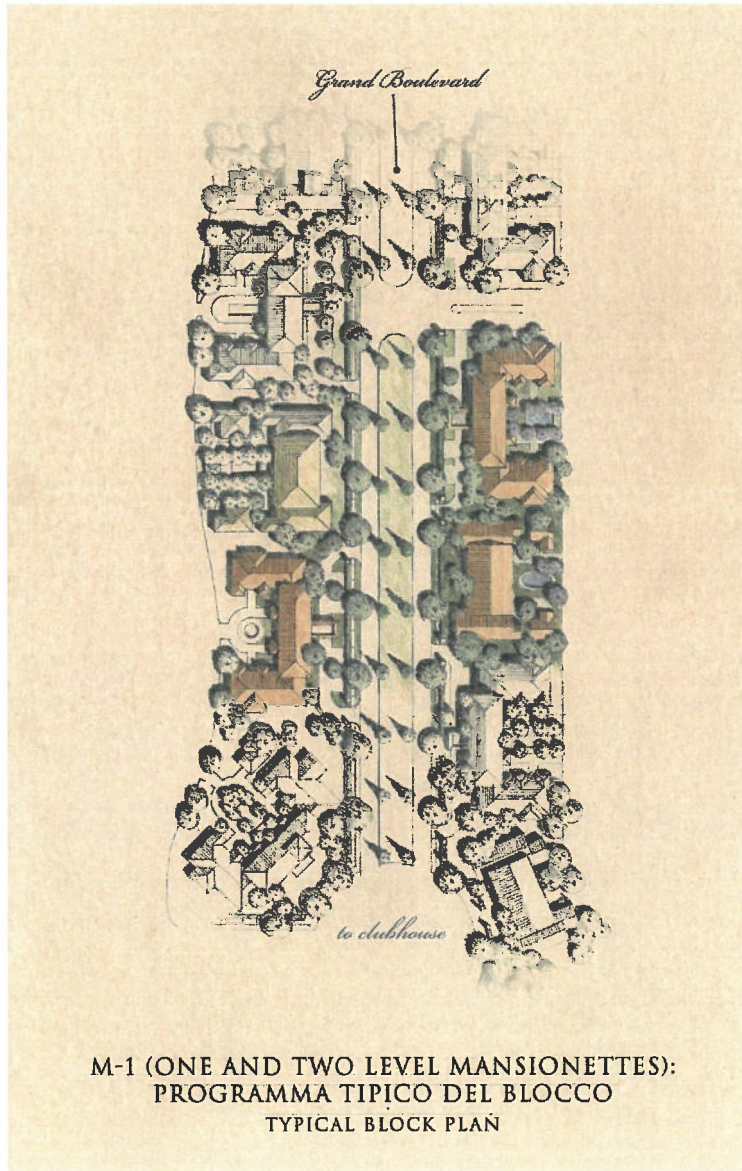


3.3 Multi-Family Housing

Multi-family buildings strongly suggest a limited palette of styles to enhance rather than detract from the overall scale and mass of the buildings. Historically, it is desirable to vary large-scale multi-family wall masses along with two- and three-story proportions. The Southern Mediterranean influence of the Italianate Style is being emulated to create the Aquabella® Style.

Facades may be either symmetrical or asymmetrical and somewhat dignified, taking on a casual, rural quality. Broad bracketed cornices on shallow hipped roofs, tall windows, iron balconies, detailed entry doors, clustered porch columns, and tall ceilings are among the elements of design that could be used to express this style. Windows are frequently arched and clustered with a touch of Renaissance detail. Chimneys could be internal to the building mass, but also found on sides of buildings. The language of this style is very broad and many other forms, shapes and methods are encouraged in the architecture.

Courtyard architecture is encouraged. Clustering of buildings shall diversify Aquabella's® streetscapes and not only offer a wide range of buildings and sizes, but different styles as well. Mansionettes®, a unique product developed by the Highland Fairview Properties for Aquabella®, will be one of the unique trademarks of the community. Although they are multifamily dwelling units, they will have the same luxurious appearance as the most premiere components of Aquabella®.

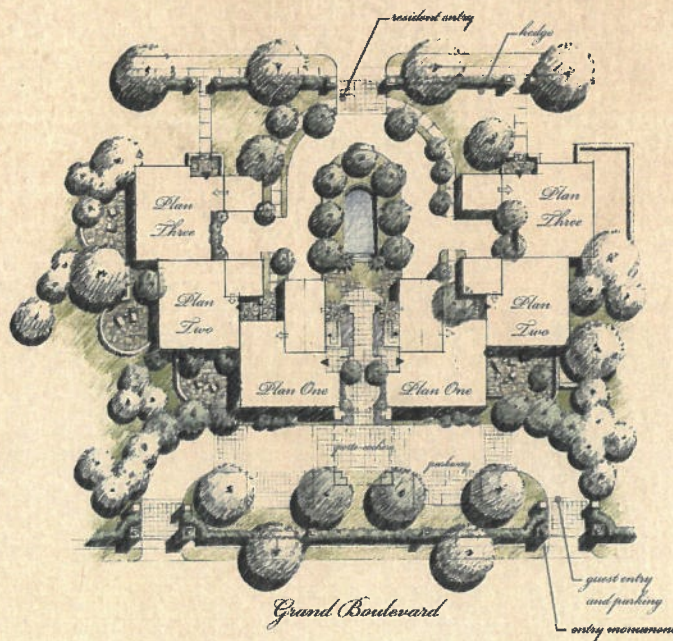


M-1 (ONE AND TWO LEVEL MANSIONETTES):
PROGRAMMA TIPICO DEL BLOCCO
TYPICAL BLOCK PLAN



Grand Boulevard view

**M-1 (ONE AND TWO LEVEL MANSIONETTES):
ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION**



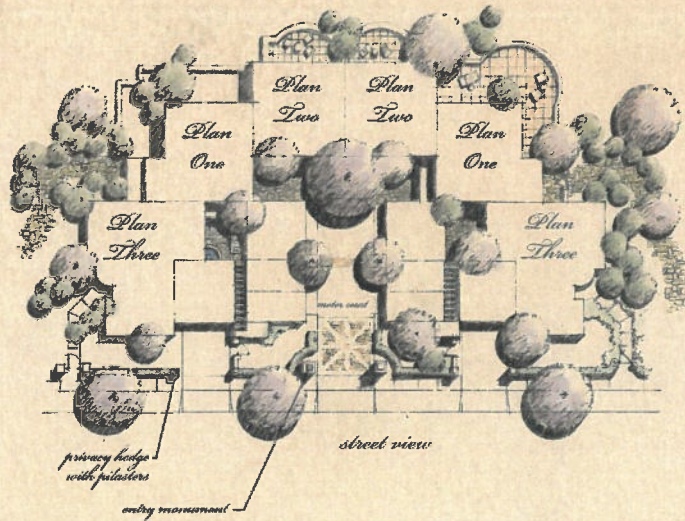
**M-1 (ONE AND TWO LEVEL MANSIONETTES):
PROGRAMMI DI PAVIMENTO TIPICI
TYPICAL FLOOR PLAN**



water orientation view

M-2 (9 DU/AC, ONE AND TWO LEVELS):
ALTEZZA CONCETTUALE
CONCEPTUAL ELEVATION

rear view (possible water orientation)



M-2 (9 DU/AC, ONE AND TWO LEVELS):
PROGRAMMA DELLA STRUTTURRA
BUILDING PLAN



M-2 (9 DU/AC, ONE AND TWO LEVELS):
RAPPRESENTAZIONE
RENDERING



3.4 Clubhouse and Garden Estate

The most enhancing icon of the community will be the Clubhouse and Garden. It will generate elegant architecture and landscaping qualities. The Clubhouse shall be adorned with Italianate details and softened by Italian-inspired landscaping surrounding its perimeter. The garden will inspire all those who stroll through it, and the water features and unique garden treatments will draw many guests and friends to Aquabella®.

The design intent of the Aquabella's® Clubhouse and Garden focuses on aesthetics as well as function. Gardens in Italy were often created on a grand scale, which included elaborate terraces, massive retaining walls and wide curving stairways. These features are adapted to Aquabella®.

The approach to the clubhouse follows the patterns of formal and traditional estates in Italy: a relatively long drive from the gatehouse of the community with gentle curves terminating at the formal entrance. The entry, comprised of three arches adorned with iron accents will welcome visitors and residents alike. Pedestrian circulation is carefully integrated into the surrounding gardens. Through covered arches the adjacent gardens shall be formally treated with walks, steps, balustrades and terraces so as to provide continuity to the charm of Aquabella®.

Pergolas and balustrades are used as accents within the gardens. These colonnades support the beams and cross-ties to form an open roof, which frame the dramatic views as well as serving as outdoor seating areas. Openwork balustrades will embellish the edges of the terraces to create a sense of balance between the spaces.

Sculptural elements may be incorporated to enhance the aesthetic value of Aquabella® where appropriate. The intention of the architectural sculpture is to decorate and accent the garden thus creating interest and spirit within its surroundings. In addition, Aquabella® incorporates smaller-scale furnishings such as decorative pots and urns placed on parapet walls, sundials, and marble tables.

The clubhouse estate is comprised of three main building components. The estate's main residence will provide meeting rooms, such as a lounge, a cafe, arts & crafts room, grand estate room, and computer facilities as well as an administration center to service the residents' needs.



The second most important component of the Clubhouse & Garden are the Banquet facilities serving several hundred residents and visitors. Small intimate parties as well as large banquet events and dances will be accommodated in the new facilities.

The third building completing the clubhouse estate experience is a Fitness Center with indoor pool, exercise equipment, and spa facilities

The Aquabella® estate serving as the social hub of the community will provides recreational and entertainment facilities for the Aquabella® community and its visitors for many years to come.



3.5 Architectural Details

3.5.1 Eaves and Fascias

The connection of the roof lines and the wall masses is essential to the integrity of the Aquabella® Style. Emulating its Italianate influence, it is composed of horizontal cornices with decorative brackets. Some Italianate roofs hipped with the eaves and overhangs will inspire the Aquabella® style. Vertical oriented fascias are commonly used with boxed cornices completing the profile.

3.5.2 Doors

The entry serves several important architectural and psychological functions. It creates an initial impression, locates and frames the doorway, acts as an interface between public and private spaces and further identifies individual unit entries. The entry design should emphasize these prime functions.

The entire door assembly should be treated as a single design element including surrounding wood frame, molding and glass sidelights. Aquabella® doors can also be detailed with transom windows above and ornate detailing. These are often accented with arches to match the window details. Typically, doors will be covered by an overhead element and recessed into the wall plane. This is done in order to show wall thickness and solidity of design.

Wherever possible, homes and other buildings should orient the entry door and principal access toward the public street. In the case that a front entry location is not immediately obvious due to the site or building plan, elements such as lighting and landscape should direct and draw the observer to it.

3.5.3 Garage Doors

The design of garage doors should reflect the theme and style of Aquabella® as well as the overall design of the community. Proper use of accent colors will compliment the architecture and provide visual variety along the street scene. The design of the door face should result in a tasteful treatment, breaking up the door plane while not being so excessively decorative as to draw attention away from the architectural elevation. The use of window elements is also encouraged. Roll up garage doors shall be used on single-family homes. Metal, wood or fiberglass garage doors are permitted when they complement the design.

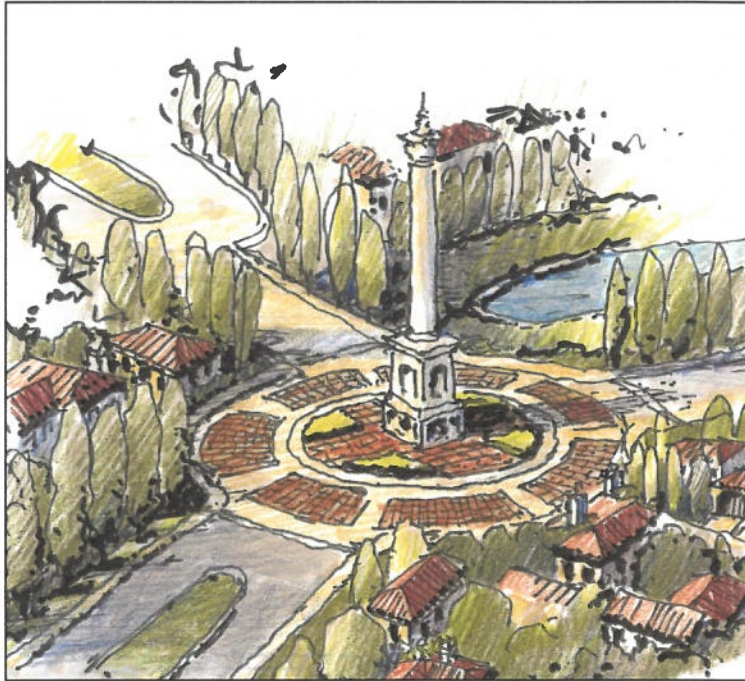
A nice feature could be to recess the garage door a minimum of six to twelve inches from the garage face. This allows for a strong shadow line and decreases the impact of the door while increasing the apparent sense of mass of the surrounding walls.

3.5.4 Windows

Windows greatly enhance the elevation through their grouping and coordination with other design elements. This relationship to one another creates a balanced composition and sense of order. Typically, the location of windows is determined by the practical consideration of room layout, possible furniture placement, view opportunities and concern for privacy. Greater design emphasis shall be directed to insure that window placement and organization will positively contribute to the exterior architectural character of Aquabella®.

All windows in a specific plan elevation shall appear compatible. This does not require all the same shape, size or type but, rather a hierarchy of windows which visually relate to and compliment one another. Furthermore, shutters are used occasionally to accent the wall massing.

Feature windows on the front elevation create a strong visual focal point. Arched and curved window tops are used predominantly above rectangular windows along with stucco treatment. These focal points may be used to decrease the visual impact of the garage door, draw attention to the entry or emphasize some other element of building.



LANDSCAPING GUIDELINES

4.1 General Concepts

4.1.1 Project Identity and Character Elements

In keeping with the thought processes of the Renaissance period, the Landscaping concept for Aquabella® interweaves the garden theater, the luxurious culture and the natural site advantages into the final design with an affinity for nature. Long Avenues and walks coalesce with open squares, parterre gardens and streaming water features to establish a community identity with two major components. The major roadways (Nason Street, Lasselle Street, and Club Way) feature formal plantings on the expanded parkways creating an overall Italianate style community identity. Secondly, a variety of landscape palettes, compatible yet unique to each planning area, will create individual harmonious identities within the community.



4.2 Landscape Areas

4.2.1 Planning Areas

Within the interior of each Planning Area will exist an individuality and unique landscape character complementary to its architectural theme. This character, produced by each theme, will come from a few common elements, e.g., entry statements, streetscape street trees and distinctive site features.

As the principle design element in each neighborhood, streets will feature plant and tree palettes developed specifically for each Planning Area. The street tree types within expanded parkways should be consistent within a Planning Area, but can vary between Planning Areas. Unity is seen through the landscape, sculpture, and architecture elements (i.e., plants, walls, fence, signs) which are selected and designed in a manner that ties the Planning Area together visually to create the desired character. The plant palette will provide contrasting forms, colors and placement to create visual interest in the streetscape yet be sensitive to drought conditions over long periods of time.



4.2.2 Lakeside Park

The Lakeside Park, featuring breathtaking water vistas, will serve as a community focal point creating a harmonious blend of the elements. Integral to the Mediterranean influence, formal Italian gardens, sculptural pieces and water features line a lake-side Paseo. Each neighborhood will be interconnected to the lake paseo via a paseo system generously planted with appropriately scaled trees to provide adequate shade and create a walkability fundamental to social ambiance.

Reminiscent of the privacy and privileges of the high roman scholars, the running water features of the lake will provide the white noise which is essential to an Italian garden. The ultimate effect is to create space designed for peace and relaxation. Landings provide opportunities for fishing and meeting friends for an afternoon boat ride around the lake. Recreational lakeside amenities within the park include overlook terraces, ample seating, and picnicking opportunities. The active minded will find exercise stations and space for more physical pursuits.



4.2.3 Residential – Single-Family

Landscaping within the single family neighborhoods will complement the ornate architectural styles and provide both visual and functional variety. Great design ideals will provide strong aesthetic influence and structure to the diversity in product type, strengthening the individuality of each neighborhood and the community as a whole.

The strong influence of Italianate landscape design shows itself in the tall formal hedges and tree plantings for increased privacy along the street edge.

Formal entry monuments welcome you upon arrival into the motor court area. Enhanced paving adds depth and color to the motor courts.

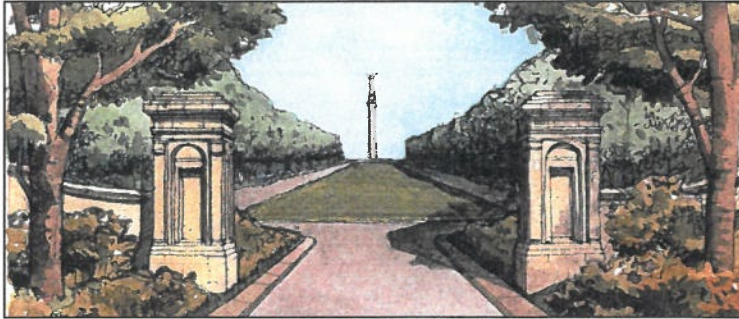
As a dimension of the garden component of Aquabella®, the home owners will be greeted by a water feature or other garden elements within common spaces, before entering their residence.



4.2.4 Residential – Multi-Family

Here, the strong presence of the southern Mediterranean influence of the Italianate Style is deeply imbedded in the landscape character enabling it to accentuate the unique variety of multi-family dwelling units in the Aquabella® community. Tall formal hedges provide for increased privacy along street edges and produce a unifying landscape scheme that adds to the mansion-like design of the architecture.

Formal entry monuments and walls frame and enhance the drive into the motor court area. Enhanced paving and decorative water features or sculptural elements accent the motor courts adding interest and elegance to the arrival home. Water features, parterre gardens and other garden elements decorate the common space within and around the periphery of the homes creating a sense of place.



4.2.5 Community Entries

The Community identity shall be ensured by a strong sense of entry at each Planning Area entrance. Each of these features shall use a plant palette of accent trees, shrubs and ground covers that set it apart and help define the individuality of the Planning Area. Each Planning Area, while defining its own character, shall complement major community entry monumentation, in both form and landscape.

The Primary Entry is an impressive garden lined water feature with a magnificent Italian architectural backdrop. A panoramic view of the expansive naturalistic lake feature embraces the visitor upon approach to the entry gates ensuring a feeling of peace and harmony between nature and community.

The Secondary Entries contain beautiful Italian gate houses with ornate metal vehicular and pedestrian gates. The homeowner and visitor alike are greeted to Aquabella® by a combination of illustrious jetting water fountains and sculptural elements framing and enhancing the drive experience up to the gate house.

The stunning lake features situated on both sides of the entry drive can not only be enjoyed by those driving into Aquabella®, but by passersby's as well via decorative terraces which extend out over the water's edge.



4.2.6 Neighborhood Streets

For centuries, Italian villages have been designed using the existing condition of the site. Aquabella®, having little natural vegetation and minor topographic relief, allows an opportunity to develop a landscape environment that will enhance the livability of the community and its individual Planning Areas. The design of the street network featuring an expanded parkway concept plays an important role in establishing the active, urban environment. Formal hedges and trees line the expanded parkways. Intersections are defined with accent trees and landscaping that will contrast, but complement the streetscape plantings.

Where parkway width allows, trees planted between the path-way and street increase a real sense of security from auto traffic and a park-like atmosphere. These trees provide partial screening for the adjacent residential units, while framing views and providing shade for the pedestrian.

Where included, street medians are embellished with formal Italian parterre gardens for interest and diversity. Complementing the individual architectural styles of each neighborhood, formal decorative monuments frame every driveway.

A buffer along John F. Kennedy Drive between Lasselle Street and the east end of the high school parking lot will be landscaped between the park/ school complex and the arterial roadway to provide additional screening.

Tree palettes will include trees that can provide the desired character for the community in a relatively short period of time and are sustainable on minimal watering once established. (See Appendix "A")



4.2.7 Perimeter Streets

The landscaping and streetscaping concepts along the perimeter streets will establish a uniform project identity. Decorative garden features will accent the perimeter walls along both sides of Nason St. A meandering two-way bike trail will add to the walkability and ambiance on the west side of Nason.

Street Medians embellished with beautiful formal parterre gardens and trees reminiscent of old Italia focus attention away from the street itself.

Ornately detailed seating opportunities and strategically located gated access points further define and enhance the street scene experience.



4.2.8 Clubhouse

As in the perspectives that govern the plan of every garden, the landscaping for the clubhouse and resort spa will be governed by the significant essence established by the architecture of the structures. Typical Italian inspired plantings will impart additional prestige and distinction to the community image. Formal plantings of Cypress, and olive trees along with tall hedges will add a Tuscan feel reminiscent of old world charm and respect.



4.3 Lighting and Site Furniture

Lighting is a balance between both safety and aesthetic purposes, illuminating dark areas and providing enhancements for architectural features and significant landscaping elements. Effective lighting will highlight building features, add emphasis to important spaces and create an ambience of vitality and security.

Low level lighting will be installed where appropriate for pedestrian safety compliant with the City standard illumination levels and night sky illumination policy. The ornamental detail of the exterior lighting fixtures accents the architectural style of the community in both color and design. Energy efficient lighting of buildings is encouraged.



4.4 Landscape Maintenance

4.4.1 Landscape Materials

Character and thematic landscape design throughout the project will be established by the Landowner or the master developer at the time of submittal of each Planning Area subdivision map and associated Development Standards and Guidelines.

4.4.2 Water Use

Landscape design in each Planning Area will emphasize efficient use of water, with regard to both selection of planting materials and extent of irrigation requirements.